

COLUMBIA COUNTY
PLANNING AND ZONING BOARD MEETING
SCHOOL BOARD ADMINISTRATIVE COMPLEX
372 WEST DUVAL STREET, LAKE CITY, FLORIDA
SEPTEMBER 30, 2010
7:15 P.M.
AGENDA

Public Hearing;

- Z 0523 - T-Price Corp and Westridge Inc., requesting to amend the Official Zoning Atlas of the Land Development Regulations by changing the zoning district from AGRICULTURAL-3 (A-3) to PLANNED RURAL RESIDENTIAL DEVELOPMENT (PRRD). 112.05 acres, more or less. Property is adjacent to Hills of Huntsville, Units 1 and 2 Subdivision off of NW Huntsville Church Road, just past the cemetery of Huntsville Church.
- CPA 0202- Board of County Commissioners, requesting to amend 539.49 acres from RESIDENTIAL LOW DENSITY (less than or equal to 2 dwelling units per acre) to CONSERVATION, this is part of the requirements from the Florida Communities Trust Grant. Property located around Alligator Lake but not the portion located within the city limits of Lake City.

Staff Matters;

- SDP 10-03 - Site and Development Approval for Crew Engineering Services, LLC representing Global Innovation, LLC. New construction for office, showroom and warehousing facilities in an INDUSTRIAL, LIGHT AND WARHOUSING (ILW) zoning district. Located in Cannon Creek Center Industrial Subdivision at State Road 47 and I-75.

Approval of Minutes;

August 26, 2010 minutes

**COLUMBIA COUNTY
LAND DEVELOPMENT REGULATIONS AMENDMENT**

APPLICATION

Name of Applicant(s): T-Price Corp & Westridge Inc

Address: PO Box 1432

City: Lake City State: FL Zip Code: 32056-1432

Telephone: (386) 754-6697 FAX: (386) 754-1389
623-6918 mobile

E-mail address (optional) _____

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business are public records available to the public and media upon request. Your e-mail address and communications may be subject to public disclosure.

NOTE: If title holder(s) are represented by an agent, a letter of such designation from the title holder(s) addressed to the Land Development Regulations Administrator must be attached.

Name of Applicant's Agent (if applicable): Chris R. Bullard

Address: PO Box 1432

City: Lake City State: FL Zip Code: 32056-1432

Telephone: () same FAX: () same

E-mail address (optional) _____

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business are public records available to the public and media upon request. Your e-mail address and communications may be subject to public disclosure.

INSTRUCTIONS:

Please complete Part I for proposed zoning changes to the Official Zoning Atlas.

For changes to the text of the Land Development Regulations (LDR's), which do not require an Official Zoning Atlas amendment, please complete Part II of this application.

APPLICATION FOR AMENDMENT
OF THE LAND DEVELOPMENT REGULATIONS

PART I

Legal Description (Include Copy of Deed): See Deeds or Britt Surveying
Job # L-15283

Tax Parcel ID #: T-Price - 08-35-16-02041-000
Westridge: 08-35-16-02032-001, 17-35-16-02165-000, 16-35-16-
02150-00
Total acreage of land to be considered under this application: 112.05 acres

Zoning District: Present: A-3 Zoning District: Requested: PRRD

Future Land Use Plan Map Category: A-3

Present Use: Ag. (commercial, industrial, residential, agricultural, vacant, etc.)

Previous Application for Amendment of the Property or a Part of the Property:

Land Use Amendment, Yes No
Land Use Amendment Application No. CPA -

Land Development Regulations (Zoning) Amendment, Yes No
Land Development Regulations (Zoning) Amendment, Application No. Z-0523

PART II

For amendments to the text of the Land Development Regulations, please provide in the space provided below (or on separate pages to be attached and made a part herewith) the text of the proposed amendment.

APPLICATION FOR AMENDMENT
OF THE LAND DEVELOPMENT REGULATIONS

The Columbia County Land Development regulations require that a sign must be posted on the property ten (10) days prior to the Planning and Zoning Board hearing date. Once a sign has been posted, it is the property owner's responsibility to notify the Planning and Zoning Department if the sign has been moved, removed from the property, torn down, defaced or otherwise disturbed so the property can be reposted. If the property is not properly posted until all public hearings before the Planning and Zoning Board, the Board reserves the right to continue such public hearing until such time as the property can be property posted for the required period of time.

APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARDS RULES AND PROCEDURES, OTHERWISE THE REQUEST MAYBE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Chris A Bullard
Applicant/Agent Name (Type or Print)

CA Bullard
Applicant/Agent Signature

9/1/10
Date

FOR OFFICE USE ONLY

Date Filed: 2 SEPT. 2010 Application No: 20523
Fee Amount: \$1,250.00 Receipt No. 4095
Date of Planning and Zoning Board Public Hearing: 30 SEPT. 2010
Date notice published: 17 SEPT. 2010
Newspaper: Lake City Reporter
Date of Local Planning Agency Public Hearing: Planning and Zoning Board acting as L.P.A.
Date notice published: _____
Newspaper: _____
Date(s) of Board of County Commissioners Public Hearing(s): (1) _____ (2) _____
Date(s) notice published: (1) _____ (2) _____
Newspaper: _____
Date Notice of Enactment of Ordinance published: _____
Newspaper: Lake City Reporter
Board of County Commissioners decision: _____
(Granted/Denied)

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Detail by Entity Name

Florida Profit Corporation

T-PRICE CORP.

Filing Information

Document Number P03000114143

FEI/EIN Number 571190597

Date Filed 10/09/2003

State FL

Status ACTIVE

Principal Address

2753 E US 90
LAKE CITY FL 32055

Changed 02/23/2004

Mailing Address

P.O. BOX 766
LAKECITY FL 32056

Registered Agent Name & Address

DENUNE, H C
2753 E US 90
LAKE CITY FL 32055 US

Address Changed: 02/23/2004

Officer/Director Detail

Name & Address

Title DP

MC ARDLE, ELIZABETH
P.O. BOX 766
LAKECITY FL 32056

Title VPD

BULLARD, CHRIS A
P.O. BOX 1432
LAKE CITY FL 32056

Title STD

BULLARD, AUDREY S
P.O. BOX 1733
LAKE CITY FL 32056

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Detail by Entity Name

Florida Profit Corporation

WESTRIDGE, INC.

Filing Information

Document Number 686339
FE/EIN Number 592027446
Date Filed 09/03/1980
State FL
Status ACTIVE
Last Event REINSTATEMENT
Event Date Filed 06/20/1990
Event Effective Date NONE

Principal Address

2753 E US HWY 90
LAKE CITY FL 32055

Changed 03/06/2009

Mailing Address

P.O. BOX 766
LAKE CITY FL 32056-0766

Changed 06/20/1990

Registered Agent Name & Address

BULLARD, CHRIS A
212 N. MARION AVE
SUITE 202
LAKE CITY FL 32055 US

Name Changed: 03/03/2008

Address Changed: 03/03/2008

Officer/Director Detail

Name & Address

Title PSTD

BULLARD, AUDREY S
1826 SW SR 47
LAKE CITY FL 32025

Title VPD

BULLARD, CHRIS A
1826 SW SR 47

LEGAL DESCRIPTION for Z 0523 (T-Price Corp./Westridge, Inc.):

A parcel of land lying within Sections 8, 9, 16 and 17, Township 3 South, Range 16 East, Columbia County, Florida. Being more particularly described, as follows: Commence at the Southwest corner of said Section 9, said corner being the Point of Beginning; thence South 89°24'01" East along the South line of said Section 9 a distance of 137.97 feet; thence North 00°34'14" East 636.57 feet to the South right-of-way line of Northwest Levi Glen; thence North 89°25'46" West along said South right-of-way line of Northwest Levi Glen a distance of 132.05 feet to the East line of said Section 8; thence North 89°25'46" West still along said South right-of-way line of Northwest Levi Glen a distance of 582.78 feet to the point of a curve of a curve to the left having a radius of 25.00 feet, an included angle of 89°36'52" and a chord bearing of South 45°45'48" West and a distance of 35.24 feet; thence Southwesterly along the arc of said curve for an arc distance of 39.10 feet; thence South 00°57'22" West along the East right-of-way line of Northwest Milo Terrace a distance of 426.29 feet to the point of curve of a curve to the left having a radius of 25.00 feet, an included angle of 49°40'47" and a chord bearing South 23°53'02" East and a distance of 21.00 feet; thence Southeasterly along the arc of said curve for an arc distance of 21.68 feet to the point of reverse curve having a radius of 60.00 feet an included angle of 169°40'47" and a chord bearing of South 36°06'58" West and a distance of 119.51 feet; thence Westerly along the arc of said curve for an arc distance of 177.69 feet; thence South 00°57'22" West 12.72 feet; thence North 89°30'31" West 620.02 feet; thence North 00°57'22" East 1,062.04 feet; thence South 89°30'37" East 594.82 Feet to the point of a curve of a curve to the right having a radius of 25.00 Feet, an included angle of 90°27'59" and a chord bearing of South 44°16'38" East and a distance of 35.50 feet; thence Southeasterly along the arc of said curve for an arc distance of 39.47 feet; thence North 00°57'22" East 110.00 feet to a point on a non-tangent curve to the right having a radius of 25.00 feet, an included angle of 89°32'01" and a chord bearing of South 45°43'22" West and a distance of 35.21 feet; thence Southwesterly along the arc of said curve a distance of 39.07 feet; thence North 89°30'37" West 595.22 feet; thence North 00°57'22" East 1,466.35 feet; thence South 88°21'26" West 1,335.27 feet; thence South 01°38'53" West 1,790.26 feet to the North right-of-way of U.S. Interstate Highway 75 (State Road 83); thence South 49°35'17" East along said North right-of-way of U.S. Interstate Highway 75 (State Road 83) a distance of 1,287.28 feet to the intersection of said North right-of-way of U.S. Interstate Highway 75 (State Road 83) and the North line of Section 17; thence South 49°38'09" East still along said North right-of-way of U.S. Interstate Highway 75 (State Road 83) a distance of 2,141.93 feet to the East line of said Section 17; thence North 00°39'38" East 184.25 feet; thence South 89°24'01" East 420.00 feet; thence North 00°39'38" East 210.00 feet; thence South 89°24'01" West 420.00 feet to said East line of said Section 17; thence North 00°39'38" East along said East line of Section 17 a distance of 950.76 feet to the Point of Beginning.

Containing 112.05 acres, more or less.

110-17760

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Instr: 2004016592 Date: 08/12/2004 Time: 11:21
Doc Stamp-Deed : 1797.60
P.C., P. DeWitt Cason, Columbia County B: 1023 P: 1053

File No. 04-499

Property Appraiser's
Parcel Identification No.
08-3S-16-02033-001
08-3S-16-02041-000

WARRANTY DEED

THIS INDENTURE, made this 11th day of August 2004, BETWEEN ROGER W. DAVIS, SAMUEL FORD BREWER and ROD BOWDOIN, who do not reside on the property described herein, whose post office address is Post Office Box 393, Lake City, Florida 32056, of the County of Columbia, State of Florida, grantor*, and T-PRICE CORP., a Florida corporation, whose post office address is Post Office Box 766, Lake City, Florida 32056, of the County of Columbia, State of Florida, grantee*.

WITNESSETH: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

AS DESCRIBED IN SCHEDULE "A" AND SCHEDULE "B" ATTACHED HERETO.

TOGETHER WITH a non-exclusive perpetual easement for ingress, egress and utilities over and across the property described in Schedule "C" attached hereto.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

N.B.: None of the Grantors nor any member of their families live or reside on the property described herein or any land adjacent thereto or claim any part thereof or any land adjacent thereto as their homestead.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*"Grantor" and "grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:



(First Witness)

Terry McDavid

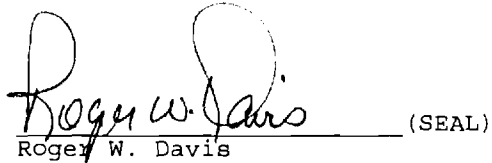
Printed Name



(Second Witness)

Myrtle Ann McElroy

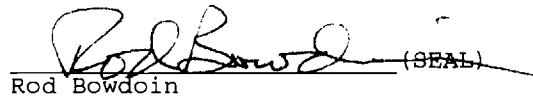
Printed Name



(SEAL)
Roger W. Davis



(SEAL)
Samuel Ford Brewer



(SEAL)
Rod Bowdoin

Inst:200401859? Date:08/12/2004 Time:11:20

Doc Stamp-Deed : 1797.60

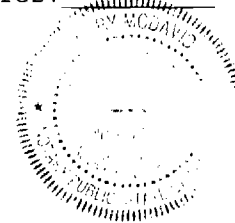
D.C. P. DeWitt Cason, Columbia County B:1023 P:1060

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 11th day of August 2004, by ROGER W. DAVIS, SAMUEL FORD BREWER and ROD BOWDOIN, who are personally known to me and who did not take an oath.



Notary Public
My Commission Expires:



SCHEDULE "A"

A part of Section 8, Township 3 South, Range 16 East, Columbia County, Florida, more particularly described as follows:

Commence at the Southeast Corner of Section 8, Township 3 South, Range 16 East and run North 88°33'26" West, a distance of 1286.50 feet to a concrete monument for a POINT OF BEGINNING; thence North 88°24'22" West, along the South Line of said Section 8, a distance of 362.06 feet to a concrete monument on the Northeasterly Right-of-Way Line of Interstate Highway No. 75; thence North 49°35'27" West, along said Right-of-Way Line, a distance of 1286.48 feet; thence North 01°39'28" East, along an existing fence line, a distance of 1790.26 feet to a concrete monument at the intersection of an existing East/West fence; thence North 88°22'01" East, along said fence line, a distance of 1335.27 feet to a concrete monument; thence South 00°57'22" West, a distance of 2671.97 feet to the POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

Instr: 2004018582 Date: 08/12/2004 Time: 11:30
Doc Stamp-Deed : 1787.60
DC, P. DeWitt Cason, Columbia County B: 1033 P: 1061

SCHEDULE "B"

A PARCEL OF LAND IN SECTION 8, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 16 EAST AND RUN N.88°53'54"W., ALONG THE NORTH LINE OF SAID SECTION 8, A DISTANCE OF 250.24 FEET TO THE CENTERLINE OF N. W. HUNTSVILLE CHURCH ROAD; THENCE S.63°41'31"W., ALONG SAID CENTERLINE OF N. W. HUNTSVILLE CHURCH ROAD, A DISTANCE OF 815.39 FEET; THENCE S.26°38'56"E., A DISTANCE OF 30.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID ROAD; THENCE CONTINUE S.26°38'56"E., A DISTANCE OF 347.95 FEET TO THE POINT OF CURVE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 27°08'19", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 108.94 FEET; THENCE S.00°29'23"W., A DISTANCE OF 213.36 FEET TO A POINT OF CURVE OF A CURVE TO THE LEFT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 40°27'33", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 162.41 FEET TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 40°27'33", THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 162.41 FEET; THENCE S.00°29'23"W., A DISTANCE OF 1067.84 FEET TO THE POINT OF CURVE OF A CURVE TO THE LEFT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 33°05'09", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 132.82 FEET TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 66°01'39", THENCE SOUTHEASTERLY AND SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 267.06 FEET AND TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 32°58'31", THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 132.37 FEET TO THE END OF SAID CURVE; THENCE S.00°57'22"W., A DISTANCE OF 1247.61 FEET; THENCE N.89°02'38"W., A DISTANCE OF 30.00 FEET FOR A POINT OF BEGINNING; SAID POINT BEING A POINT OF CURVE OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 25.00 FEET, AN INCLUDED ANGLE OF 89°32'01", THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 39.07 FEET TO THE END OF SAID CURVE; THENCE N.89°30'37"W., A DISTANCE OF 595.22 FEET; THENCE S.00°57'22"W., A DISTANCE OF 60.00 FEET; THENCE N.89°30'37"E., A DISTANCE OF 594.82 FEET TO A POINT OF CURVE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, AN INCLUDED ANGLE OF 90°27'59", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 39.07 FEET ; THENCE N.00°57'22"E., A DISTANCE OF 110.00 FEET TO THE POINT OF BEGINNING.

Inst:2004010592 Date:08/12/2004 Time:11:22

Doc Stamp-Deed : 1797.60

DC,P.Dewitt Cason,Columbia County B:1023 P:1062

SCHEDULE "C"

A 60.00' EASEMENT IN SECTION 8, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, WHOSE CENTERLINE IS DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF SECTION 8., TOWNSHIP 3 SOUTH, RANGE 16 EAST AND RUN N.88°53'54"W., ALONG THE NORTH LINE OF SAID SECTION 8, A DISTANCE OF 250.24 FEET TO THE CENTERLINE OF N. W. HUNTSVILLE CHURCH ROAD; THENCE S.63°41'31"W., ALONG SAID CENTERLINE OF N. W. HUNTSVILLE CHURCH ROAD, A DISTANCE OF 815.39 FEET; THENCE S.26°38'56"E., A DISTANCE OF 30.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID ROAD FOR A POINT OF BEGINNING. THENCE CONTINUE S.26°38'56"E., A DISTANCE OF 347.95 FEET TO THE POINT OF CURVE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 27°08'19", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 108.94 FEET; THENCE S.00°29'23"W., A DISTANCE OF 213.36 FEET TO A POINT OF CURVE OF A CURVE TO THE LEFT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 40°27'33", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 162.41 FEET TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 40°27'33", THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 162.41 FEET; THENCE S.00°29'23"W., A DISTANCE OF 1067.84 FEET TO THE POINT OF CURVE OF A CURVE TO THE LEFT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 33°05'09", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 132.82 FEET TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 66°01'39", THENCE SOUTHEASTERLY AND SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 267.06 FEET AND TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 32°58'31", THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 132.37 FEET TO THE END OF SAID CURVE; THENCE S.00°57'22"W., A DISTANCE OF 1350.00 FEET TO THE POINT OF TERMINATION OF SAID EASEMENT CENTERLINE.

A 60.00' EASEMENT IN SECTION 8, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, WHOSE CENTERLINE IS DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF SECTION 8., TOWNSHIP 3 SOUTH, RANGE 16 EAST AND RUN N.88°53'54"W., ALONG THE NORTH LINE OF SAID SECTION 8, A DISTANCE OF 250.24 FEET TO THE CENTERLINE OF N. W. HUNTSVILLE CHURCH ROAD; THENCE S.63°41'31"W., ALONG SAID CENTERLINE OF N. W. HUNTSVILLE CHURCH ROAD, A DISTANCE OF 815.39 FEET; THENCE S.26°38'56"E., A DISTANCE OF 30.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID ROAD FOR A POINT OF BEGINNING. THENCE CONTINUE S.26°38'56"E., A DISTANCE OF 347.95 FEET TO THE POINT OF CURVE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 27°08'19", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 108.94 FEET; THENCE S.00°29'23"W., A DISTANCE OF 213.36 FEET TO A POINT OF CURVE OF A CURVE TO THE LEFT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 40°27'33", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 162.41 FEET TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 40°27'33", THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 162.41 FEET; THENCE S.00°29'23"W., A DISTANCE OF 1067.84 FEET TO THE POINT OF CURVE OF A CURVE TO THE LEFT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 33°05'09", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 132.82 FEET TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 66°01'39", THENCE SOUTHEASTERLY AND SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 267.06 FEET AND TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 32°58'31", THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 132.37 FEET TO THE END OF SAID CURVE; THENCE S.00°57'22"W., A DISTANCE OF 1302.17 FEET; THENCE N.89°30'37"W., A DISTANCE OF 650.02 FEET TO THE POINT OF TERMINATION OF SAID EASEMENT CENTERLINE.

WARRANTY DEED

This Warranty Deed made and executed the 10th day of August A.D. 2005, by **LENVIL H. DICKS**, a single man not residing on the property described herein, hereinafter called the grantor, to **WESTRIDGE, INC., A FLORIDA CORPORATION**, whose post office address is P.O. BOX 1733, LAKE CITY, FL 32056, hereinafter called the grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for the consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

TOWNSHIP 3 SOUTH, RANGE 16 EAST

SECTION 16: FOR A POINT OF BEGINNING BEGIN AT THE SW CORNER OF NW ¼ OF NW ¼ AND RUN E 420 FEET, N 210 FEET, W 420 FEET, S 210 FEET, TO POINT OF BEGINNING. PARCEL #16-3S-16E-02150-000

Together with all the tenements, hereditaments and appurtenances thereto belong or in any-wise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple: that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2004.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Nanci Nettles
Signature of witness
Nanci Nettles

Lenvil H. Dicks L.S.
LENVIL H. DICKS

Suzanne Davis
Signature of witness
Suzanne Davis

Inst: 2005019734 Date: 08/16/2005 Time: 09:17
Doc Stamp-Deed : 7.70
mk DC, P. DeWitt Cason, Columbia County B: 1055 P. 3.1

State of Florida
County of Columbia

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared Lenvil H. Dicks, who is personally known to me to be the person described in and who executed the foregoing instrument, who was not required to furnish identification, and he acknowledged before me that he executed the same and who did not take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 10th day of August A.D. 2005

Nanci Nettles
Notary Public, State of Florida

This instrument prepared by: Bradley N. Dicks
Address: P.O. Box 513 Lake City, FL 32056



11: 5962.60

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Ins#:2004010588 Date:08/12/2004 Time:11:23
Doc Stamp-Deed : 5962.60
JK DC,P.DeWitt Cason,Columbia County B:1023 P:1919

File No. 04-515

Property Appraiser's
Parcel Identification Nos.
08-3S-16-02032-001
09-3S-16-02051-003
17-3S-16-02165-000

WARRANTY DEED

THIS INDENTURE, made this 11th day of August 2004, BETWEEN ROGER W. DAVIS, SAMUEL FORD BREWER and ROD BOWDOIN, who do not reside on the property described herein, whose post office address is Post Office Box 393, Lake City, Florida 32056, of the County of Columbia, State of Florida, grantor*, and WESTRIDGE, INC., a Florida corporation, whose post office address is Post Office Box 766, Lake City, Florida 32056, of the County of Columbia, State of Florida, grantee*.

WITNESSETH: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

AS DESCRIBED IN SCHEDULE "A" ATTACHED HERETO.

SUBJECT TO THE EASEMENTS AS DESCRIBED IN SCHEDULE "C" ATTACHED HERETO.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

N.B.: None of the Grantors nor any member of their families live or reside on the property described herein or any land adjacent thereto or claim any part thereof or any land adjacent thereto as their homestead.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*"Grantor" and "grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:



(First Witness)

Terry McDavid


Printed Name




(Second Witness)

Myrtle Ann McElroy

Printed Name

 (SEAL)
Roger W. Davis

 (SEAL)
Samuel Ford Brewer


 (SEAL)
Rod Bowdoin

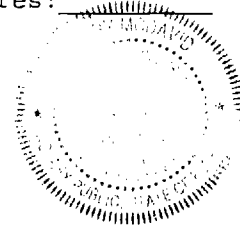
Inst:2004018588 Date:08/12/2004 Time:11:22
Doc Stamp-Deed : 5362.60

DC, P. Dewitt Cason, Columbia County B:1023 P:1020

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 11th day of August 2004, by ROGER W. DAVIS, SAMUEL FORD BREWER and ROD BOWDOIN, who are personally known to me and who did not take an oath.


Notary Public
My Commission Expires: _____



SCHEDULE "A"

A part of Sections 8, 9 and 17, Township 3 South, Range 16 East, Columbia County, Florida, more particularly described as follows: COMMENCE at the Northeast Corner of Section 8, Township 3 South, Range 16 East and run S 01°04'37"W, along the East Line of said Section 8, a distance of 368.70 feet for a POINT OF BEGINNING; thence continue S 01°04'37"W, along said East Line, a distance of 3638.70 feet to the Northwest Corner of the South 1/2 of the Southwest 1/4 of said Section 9, the same being the Southwest Corner of Rolling Oaks, as recorded in Plat Book 5, Pages 132, 132A and 132B of the public records of Columbia County, Florida; thence S 89°25'45"E, along the North Line of the said South 1/2 of the Southwest 1/4, a distance of 2201.31 feet; thence S 01°04'32"W, a distance of 1333.85 feet to a concrete monument on the South Line of said Section 9; thence N 89°25'08"W, along said South Line of Section 9, a distance of 2201.95 feet to the Southwest Corner of said Section 9, the same being the Northeast Corner of said Section 17; thence S 00°39'38"W, along the East Line of said Section 17, a distance of 1345.01 feet to the Northeast Right-of-Way Line of Interstate Highway #75; thence N 49°38'09"W, along said Right-of-Way Line, a distance of 2141.93 feet to its intersection with the South Line of said Section 8; thence S 88°31'47"E, along the South Line of said Section 8, a distance of 362.06 feet; thence N 00°57'22"E, a distance of 2623.63 feet to a concrete monument; thence continue N 00°29'23"E, a distance of 2120.36 feet to a concrete monument on the South Right-of-Way Line of NW Huntsville Church Drive (A 60 foot Right-of-Way); thence N 63°21'04"E, along said Right-of-Way Line, a distance of 1008.57 feet; thence S 14°23'00"E, a distance of 113.77 feet; thence S 64°42'23"W, a distance of 130.99 feet; thence S 04°37'00"E, a distance of 241.63 feet; thence N 72°56'54"E, a distance of 509.44 feet to the POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

LESS AND EXCEPT THE PARCEL DESCRIBED IN SCHEDULE "B" ATTACHED HERETO.

Inst:2004018588 Date:08/12/2004 Time:11:22
Doc Stamp-Deed : 5862.60
DC, P. Dewitt Cason, Columbia County B:1023 P:1021

SCHEDULE "B"

A PARCEL OF LAND IN SECTION 8, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 16 EAST AND RUN N.88°53'54"W., ALONG THE NORTH LINE OF SAID SECTION 8, A DISTANCE OF 250.24 FEET TO THE CENTERLINE OF N. W. HUNTSVILLE CHURCH ROAD; THENCE S.63°41'31"W., ALONG SAID CENTERLINE OF N. W. HUNTSVILLE CHURCH ROAD, A DISTANCE OF 815.39 FEET; THENCE S.26°38'56"E., A DISTANCE OF 30.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID ROAD; THENCE CONTINUE S.26°38'56"E., A DISTANCE OF 347.95 FEET TO THE POINT OF CURVE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 27°08'19", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 108.94 FEET; THENCE S.00°29'23"W., A DISTANCE OF 213.36 FEET TO A POINT OF CURVE OF A CURVE TO THE LEFT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 40°27'33", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 162.41 FEET TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 40°27'33", THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 162.41 FEET; THENCE S.00°29'23"W., A DISTANCE OF 1067.84 FEET TO THE POINT OF CURVE OF A CURVE TO THE LEFT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 33°05'09", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 132.82 FEET TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 66°01'39", THENCE SOUTHEASTERLY AND SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 267.06 FEET AND TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 32°58'31", THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 132.37 FEET TO THE END OF SAID CURVE; THENCE S.00°57'22"W., A DISTANCE OF 1247.61 FEET; THENCE N.89°02'38"W., A DISTANCE OF 30.00 FEET FOR A POINT OF BEGINNING; SAID POINT BEING A POINT OF CURVE OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 25.00 FEET, AN INCLUDED ANGLE OF 89°32'01", THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 39.07 FEET TO THE END OF SAID CURVE; THENCE N.89°30'37"W., A DISTANCE OF 595.22 FEET; THENCE S.00°57'22"W., A DISTANCE OF 60.00 FEET; THENCE N.89°30'37"E., A DISTANCE OF 594.82 FEET TO A POINT OF CURVE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, AN INCLUDED ANGLE OF 90°27'59", THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 39.07 FEET; THENCE N.00°57'22"E., A DISTANCE OF 110.00 FEET TO THE POINT OF BEGINNING.

Inst:2004018588 Date:08/12/2004 Time:11:22

Doc Stamp-Deed : 5962.60

DC P. DeWitt Cason, Columbia County B:1023 P:1022

SCHEDULE "C"

A 60.00' EASEMENT IN SECTION 8, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, WHOSE CENTERLINE IS DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF SECTION 8., TOWNSHIP 3 SOUTH, RANGE 16 EAST AND RUN N.88°53'54"W., ALONG THE NORTH LINE OF SAID SECTION 8, A DISTANCE OF 250.24 FEET TO THE CENTERLINE OF N. W. HUNTSVILLE CHURCH ROAD; THENCE S.63°41'31"W., ALONG SAID CENTERLINE OF N. W. HUNTSVILLE CHURCH ROAD, A DISTANCE OF 815.39 FEET; THENCE S.26°38'56"E., A DISTANCE OF 30.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID ROAD FOR A POINT OF BEGINNING. THENCE CONTINUE S.26°38'56"E., A DISTANCE OF 347.95 FEET TO THE POINT OF CURVE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 27°08'19', THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 108.94 FEET; THENCE S.00°29'23"W., A DISTANCE OF 213.36 FEET TO A POINT OF CURVE OF A CURVE TO THE LEFT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 40°27'33', THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 162.41 FEET TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 40°27'33', THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 162.41 FEET; THENCE S.00°29'23"W., A DISTANCE OF 1067.84 FEET TO THE POINT OF CURVE OF A CURVE TO THE LEFT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 33°05'09', THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 132.82 FEET TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 66°01'39', THENCE SOUTHEASTERLY AND SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 267.06 FEET AND TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 32°58'31', THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 132.37 FEET TO THE END OF SAID CURVE; THENCE S.00°57'22"W., A DISTANCE OF 1350.00 FEET TO THE POINT OF TERMINATION OF SAID EASEMENT CENTERLINE.

A 60.00' EASEMENT IN SECTION 8, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, WHOSE CENTERLINE IS DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF SECTION 8., TOWNSHIP 3 SOUTH, RANGE 16 EAST AND RUN N.88°53'54"W., ALONG THE NORTH LINE OF SAID SECTION 8, A DISTANCE OF 250.24 FEET TO THE CENTERLINE OF N. W. HUNTSVILLE CHURCH ROAD; THENCE S.63°41'31"W., ALONG SAID CENTERLINE OF N. W. HUNTSVILLE CHURCH ROAD, A DISTANCE OF 815.39 FEET; THENCE S.26°38'56"E., A DISTANCE OF 30.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID ROAD FOR A POINT OF BEGINNING. THENCE CONTINUE S.26°38'56"E., A DISTANCE OF 347.95 FEET TO THE POINT OF CURVE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 27°08'19', THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 108.94 FEET; THENCE S.00°29'23"W., A DISTANCE OF 213.36 FEET TO A POINT OF CURVE OF A CURVE TO THE LEFT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 40°27'33', THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 162.41 FEET TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 40°27'33', THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 162.41 FEET; THENCE S.00°29'23"W., A DISTANCE OF 1067.84 FEET TO THE POINT OF CURVE OF A CURVE TO THE LEFT HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 33°05'09', THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 132.82 FEET TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 66°01'39', THENCE SOUTHEASTERLY AND SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 267.06 FEET AND TO THE POINT OF REVERSE CURVE HAVING A RADIUS OF 230.00 FEET, AN INCLUDED ANGLE OF 32°58'31', THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 132.37 FEET TO THE END OF SAID CURVE; THENCE S.00°57'22"W., A DISTANCE OF 1302.17 FEET; THENCE N.89°30'37"W., A DISTANCE OF 650.02 FEET TO THE POINT OF TERMINATION OF SAID EASEMENT CENTERLINE.

158120040000 Date: 05/17/2004 Time: 11:22
100 Stamp Book : 5982 E
100 P. Survey Case: 00000 Columbia County 5-1023 6-1023

Doc. 76

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Inst: 2004018550 Date: 08/12/2004 Time: 11:22
Doc Stamp-Deed : 0.70
77K DC, P. DeWitt Cason, Columbia County B: 1023 P: 1054

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

File No. 04-515

Property Appraiser's
Parcel Identification Nos.
08-3S-16-02032-001
09-3S-16-02051-003
17-3S-16-02165-000

SPECIAL WARRANTY DEED

THIS INDENTURE, made this 11th day of August 2004, between ROGER W. DAVIS, SAMUEL FORD BREWER and ROD BOWDOIN, who do not reside on the property described herein, whose post office address is Post Office Box 393, Lake City, Florida 32056, of the County of Columbia, State of Florida, grantor*, and WESTRIDGE, INC., a Florida corporation, whose post office address is Post Office Box 766, Lake City, Florida 32056, of the County of Columbia, State of Florida, grantee*.

WITNESSETH: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

SEE SCHEDULE "A" ATTACHED HERETO FOR LEGAL DESCRIPTION.

N.B.: None of the Grantors nor any member of their families live or reside on the property described herein or any land adjacent thereto or claim any part thereof or any land adjacent thereto as their homestead.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever claiming or to claim the same, by, through and under the grantor herein.

*"Grantor" and "grantee" are used for singular or plural, as context requires.

SCHEDULE "A"

OFFICIAL RECORDS

A PART OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT A CONCRETE MONUMENT MARKING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF NW HUNTSVILLE CHURCH DRIVE AND THE NORTH LINE OF SAID SECTION 8, AND RUN S.26°38'56"E., PERPENDICULAR TO SAID RIGHT-OF-WAY, A DISTANCE OF 30.00 FEET TO THE CENTERLINE OF THE EXISTING ROADWAY; THENCE S.63°21'04"W., ALONG SAID CENTERLINE, A DISTANCE OF 136.02 FEET; THENCE S.14°23'00"E., A DISTANCE OF 30.70 FEET TO A CONCRETE MONUMENT MARKING THE SOUTH RIGHT-OF-WAY OF SAID ROAD; THENCE S.63°21'04"W., ALONG SAID SOUTH RIGHT-OF-WAY, A DISTANCE OF 1008.57 FEET TO A CONCRETE MONUMENT; THENCE N.00°19'54"E., A DISTANCE OF 67.33 FEET TO AN IRON PIN AND CAP ON THE NORTH RIGHT-OF-WAY OF SAID ROAD; THENCE N.63°21'04"E., ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 1120.57 FEET TO THE POINT OF BEGINNING.

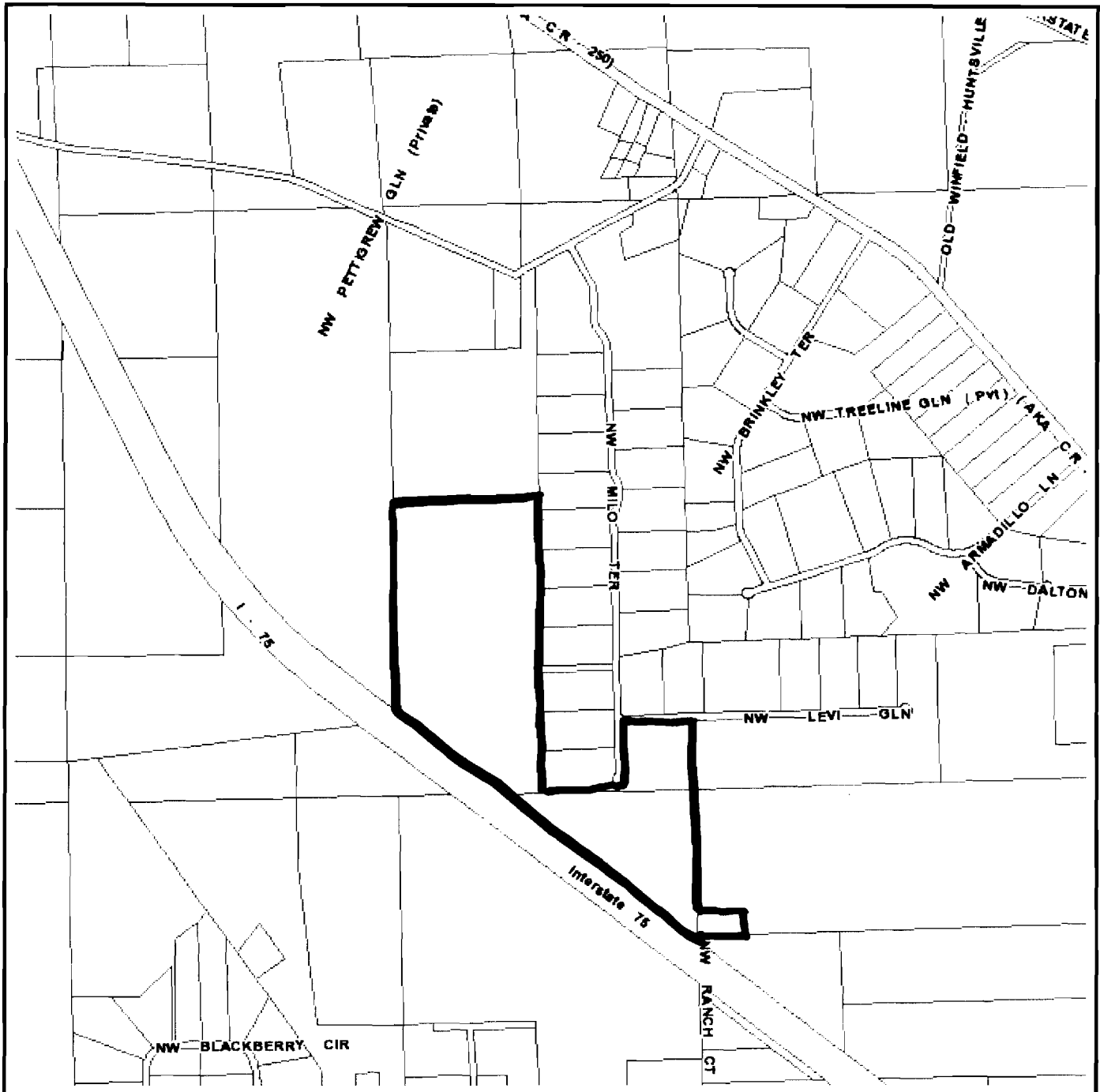
A PART OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT A CONCRETE MONUMENT MARKING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF NW HUNTSVILLE CHURCH DRIVE AND THE NORTH LINE OF SAID SECTION 8, AND RUN S.26°38'56"E., PERPENDICULAR TO SAID RIGHT-OF-WAY, A DISTANCE OF 30.00 FEET TO THE CENTERLINE OF THE EXISTING ROADWAY; THENCE S.63°21'04"W., ALONG SAID CENTERLINE, A DISTANCE OF 136.02 FEET; THENCE S.14°23'00"E., A DISTANCE OF 30.70 FEET TO A CONCRETE MONUMENT MARKING THE SOUTH RIGHT-OF-WAY OF SAID ROAD; THENCE N.63°21'04"E., ALONG SAID SOUTH RIGHT-OF-WAY LINE, 256.58 FEET TO A POINT ON THE NORTH LINE OF SAID SECTION 8; THENCE N.88°53'54"W., ALONG SAID NORTH LINE, 128.86 FEET TO THE POINT OF BEGINNING.

A PART OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT A CONCRETE MONUMENT MARKING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF NW HUNTSVILLE CHURCH DRIVE AND THE NORTH LINE OF SAID SECTION 8, AND RUN THENCE N.63°21'04"E., ALONG SAID NORTH RIGHT-OF-WAY LINE, 207.82 FEET; THENCE S.26°38'56"E., 60.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF HUNTSVILLE CHURCH DRIVE; THENCE S.63°21'04"W., ALONG SAID SOUTH RIGHT-OF-WAY LINE, 93.78 FEET TO A POINT ON THE NORTH LINE OF SAID SECTION 8; THENCE N.88°53'54"W., ALONG SAID NORTH LINE, 128.86 FEET TO THE POINT OF BEGINNING.

Inst:2004018590 Date:00/12/2004 Time:11:22

Doc Stamp-Deed : 0.70

DC, P. DeWitt Cason, Columbia County B:1023 P:1056



Columbia County Property Appraiser

J. Doyle Crews - Lake City, Florida 32055 | 388-758-1083

PARCEL: 16-3S-16-02150-000 - [REDACTED]		NOTES:
420 FT E & W BY 210 FT N & S IN SW COR OF NW1/4 OF NW1/4. ORB 678-531, 688-602 (BORROW P/T), WD 1055-341.		
Name: WESTRIDGE INC		
Site: ---	2009 Certified Values	
Mail: P O BOX 1733	Land	\$1,080.00
LAKE CITY, FL 32056	Bldg	\$0.00
Sales 8/10/2005 \$1,100.00 V / Q	Assd	\$1,080.00
Info 6/10/1988 \$1,200.00 V / U	Exmpt	\$0.00
	Taxbl	Cnty: \$1,080
		Other: \$1,080 Schl: \$1,080



This information, GIS Map Updated: 8/5/2010, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

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**COLUMBIA COUNTY
COMPREHENSIVE PLAN AMENDMENT
APPLICATION**

Name of Applicant(s): Columbia County Board of County Commissioners

Address: P.O. Box 1529

City, State, Zip Code: Lake City, FL 23056-1529

Telephone: 386-755-4100

Name of Applicant's Agent (if applicable): N/A

Address: _____

City, State, Zip Code: _____

Telephone: _____

Please complete Part I for proposed amendments to the Future Land Use Plan Map.
For amendments to the text of the Comprehensive Plan, which do not require a Future Land Use
Plan Map amendment, please omit responses to Part I and only complete Part II of this
Application.

PART I

Legal Description:

See Attached Legal Description

Tax Parcel ID #: 04-4S-17-07598-005, 09-4S-17-08301-020, 09-4S-17-08301-022,
09-4S-17-08301-098, a portion of 09-4S-17-08301-999 and a portion of 08-4S-17-
08164-001

Total Acreage of land to be considered under amendment: 539.49 Acres

Future Land Use Plan Map Category: Present: Residential Low Density

Requested: Conservation

APPLICATION FOR AMENDMENT
OF THE COMPREHENSIVE PLAN

PART II

For amendments to the text of the Comprehensive Plan, please provide in the space provided below (or on separate pages to be attached and made a part herewith) the text of the proposed amendment.

N/A

APPLICATION FOR AMENDMENT
OF THE COMPREHENSIVE PLAN

A previous application for amendment to the Comprehensive Plan:

_____ was made with respect to these premises, Application No. _____

was not made with respect to these premises.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and correct to the best of my knowledge and belief.

If title holder(s) are represented by an agent, a letter of such designation from the title holder(s) addressed to the Land Development Regulation Administrator must be attached.

Dale Williams, County Manager
Applicant/Agent Name (Type or Print Name)


Applicant/Agent Signature

SEPT. 9, 2010
Date

APPLICATION FOR AMENDMENT
OF THE COMPREHENSIVE PLAN

FOR OFFICE USE ONLY

Date Filed: _____
Application No: CPA 0202
Fee Amount: N/A
Receipt No. N/A
Date of Planning and Zoning Board Public Hearing: 30 SEPT. 2010
Date notice published: 17 SEPT. 2010
Newspaper: LAKE CITY REPORTER
Date of Local Planning Agency Public Hearing: Same as Above
Date notice published: _____
Newspaper: _____
Date(s) Board of County Commissioners Public Hearing: (1) _____ (2) _____
Date notice published: (1) _____ (2) _____
Newspaper: _____
Date Notice of Enactment of an Ordinance published: _____
Newspaper: _____
Board of County Commissioners decision: _____

(Granted/Denied)

The amendment is _____ is not a small scale land use amendment pursuant to Chapter 163.3187(1)(c)1.

The small scale amendment, pursuant to Chapter 163.3187(1)(c)1. was _____ was not _____ Processed with only one public hearing before the Board of County Commissioners.

Date adopted small scale amendment submitted to Department of Community Affairs: _____

Regular land use amendment submitted to Department of Community Affairs for review: _____

Date adopted regular land use amendment submitted to Department of Community Affairs: _____

Date notice of intent issued by the Department of Community Affairs finding regular amendment in compliance with the Comprehensive Plan; _____

Property considered in this amendment is _____ Is not in a area of critical state concern.

Property considered in this amendment is _____ Is not directly related to a Development of Regional Impact (DRI).

LEGAL DESCRIPTION FOR county property at Alligator Lake being changed to Public Land Use Classification located in the unincorporated area of the County;

A parcel of land lying within Section 4,5,8 and 9, Township 4 South, Range 17 East, Columbia County, Florida. Being more particularly described, as follows: Commence at the Southeast corner of said Section 4; thence North 88°40'51" West along the South line of said Section 4 a distance of 887.69 feet to the Point of Beginning; thence continue North 88°40'51" West along the South line of said Section 4 a distance of 396.00 feet to the Southwest corner of the Southeast 1/4 of the Southeast 1/4 of said Section 4; thence South 02°09'58" East 58.70 feet; thence South 83°18'08" West 151.80 feet; thence South 09°22'41" East 140.47 feet; thence South 61°03'33" East 156.14 feet; thence South 02°09'59" East 1,640.32 feet; thence South 89°06'49" East 1,254.18 feet to the Westerly right-of-way line of Southeast Country Club Road (County Road 133); thence South 02°27'45" East along said Westerly right-of-way line of Southeast Country Club Road (County Road 133) a distance of 1,203.46 feet; thence North 59°12'06" West 205.59 feet; thence North 39°08'56" West 96.25 feet; thence North 83°02'46" West 599.12 feet; thence North 28°57'33" West 241.05 feet; thence South 70°40'31" West 420.66 feet; thence North 73°49'18 West 219.57 feet; thence South 79°35'36" West 254.05 feet; thence North 65°40'18" West 448.00 feet; thence North 01°47'51" West 24.24 feet; thence North 84°42'22" West 120.15 feet; thence North 62°31'34" West 37.85 feet; thence South 01°47'51" East 42.15 feet; thence North 84°42'22" East 185.04 feet; thence North 01°43'17" West 30.00 feet; thence North 89°15'19" West 30.00 feet; thence North 01°43'17" West 110.83 feet; thence North 89°06'49" West 210.00 feet; thence North 01°43'17" West 498.16 feet; thence North 89°06'49" West 1,117.00 feet more or less to the Northeast corner of the Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of said Section 9; thence South 00°47'19" East 330.00 feet more or less; thence North 89°06'49" West 660.00 feet more or less; thence North 00°47'19" West 300.00 feet more or less; thence North 89°06'49" West 612.62 more or less to the Northwest corner of the Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of said Section 9 and the East line of said Section 8; thence South 00°47'49" East along said East line of Section 8 a distance of 1,479.34 feet; thence North 73°30'53" West 714.50 feet; thence South 31°17'55" West 1,090.92 feet; thence North 76°11'16" West 1,238.59 feet; thence North 08°17'30" West 215.68 feet; thence South 80°09'53" West 212.69 feet to the West line of the East half of said Section 8; thence North 00°50'07" along said West line of the East half of Section 8 a distance of 2,991.47 feet; thence North 89°44'40" East 660.42 feet; thence North 00°49'11" East 345.00 feet more or less to the South city limits of the City of Lake City, Florida; thence North 89°00'10" East along said South city limits of the City of Lake City a distance of 3,890.00 feet more or less to the Southeast corner of the city limits of the City of Lake City , as described by Special Acts of the State of Florida, Chapter 8993; 1921; thence North 01°30'10" West along the East line of the city limits of the City of Lake City a distance of 924.66 feet to the North line of said Section 9; thence North 00°39'25" East still along said East line of the city limits of the City of Lake City a distance of 4,077.52 feet; thence North 00°53'42" East continuing along said East line of the city limits of the City of Lake City a distance of 355.00 feet more or less to the South line of the Northeast corner of the South 1/2 of the East 1/2 of the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of said Section 4; thence North 88°40'46" East along said South line the Northeast corner of the South 1/2 of the East 1/2 of the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of said Section 4 a distance of 440.00 feet to the West line of the Northeast 1/4 of said Section4; thence South 00°41'35" East along said West line of

the Northeast 1/4 of Section 4 a distance of 1,678.38 feet to the Southwest corner of said Northeast 1/4 of said Section 4; thence North 89°43'47" East 330.00 feet more or less; thence North 00°18'50" West 381.83 feet; thence South 86°32'48" East 749.95 feet; thence South 04°23'50" East 333.99 feet to the South line of said Northeast 1/4 of said Section 4; thence North 89°43'47" East along said South line of said Northeast 1/4 of Section 4 a distance of 199.11 feet to the Northeast corner of the Northwest 1/4 of the Southeast 1/4 of said Section 4; thence South 00°18'26" East 857.75 feet; thence South 89°28'58" East 1,255.61 feet to said Westerly right-of-way line of Southeast Country Club Road (County Road 133); thence South 00°01'29" East along said Westerly right-of-way line of Southeast Country Club Road (County Road 133) a distance of 999.21 feet; thence North 88°40'51" West 774.40 feet; thence South 04°57'54" West 877.39 feet to the Point of Beginning.

Containing 578.59 acres, more or less.

LESS AND EXCEPT

A parcel of land lying within Section 9, Township 4 South, Range 17 East, Columbia County, Florida. Being more particularly described, as follows: Commence at the Southwest corner of the Northeast 1/4 of the Northwest 1/4 of said Section 9; thence South 89°55'02" East 1,941.51 feet to the Southeast corner of the West 1/2 of the Northwest 1/4 of the Northeast 1/4 of said Section 49 thence North 02°51'39" West 1,332.67 feet to the North line of said Section 9; thence North 89°35'26" West along said North line of Section 9 a distance of 642.55 feet; thence South 48°51'45" West 818.00 feet more or less to the East line of the city limits of the City of Lake City; thence South 01°30'10" East along said East line of the city limits of the City of Lake City a distance of 381.00 feet more or less to the Southeast corner of the city limits of the City of Lake City, as described by Special Acts of the State of Florida, Chapter 8993, 1921; thence South 89°00'10" West along the South line of the city limits of the City of Lake City a distance of 465.00 feet more or less; thence South 48°51'45" West 258.00 feet more or less to the point of Beginning.

Containing 39.1 acres, more or less.

All said lands containing 539.49 acres more or less.

This Instrument Prepared By:
ASSOCIATED LAND TITLE GROUP, INC.
300 N. MARION STREET
LAKE CITY, FLORIDA 32055

OK 0833 PG 1419

OFFICIAL RECORDS

ADDITIONAL STATE # 2268.00
INTANGIBLE TAX 6
P. BARRY GASON, CLERK OF
COURT, COLUMBIA COUNTY
MK

WARRANTY DEED

THIS INDENTURE, made this 14th day of January, 1997, A.D., between EVERETT W. ROGERS, a married person not residing on the property described herein, whose address in Rt. 6, Box 175, Lake City, Florida 32055, of the County of Columbia in the State of Florida, grantor, and COLUMBIA COUNTY, Florida, whose address is P.O. Drawer 1529, Lake City, Florida 32056 grantee,

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and their heirs, legal representatives, successors and assigns. "Grantor" and "grantee" are used for singular and plural, as the context requires and the use of any gender shall include all genders.)

WITNESSETH: That the said grantor, for and in consideration of the sum of Ten Dollars and other good and valuable considerations, to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sol to the said grantee, and grantee's successors and assigns forever, the following described land situate, lying and being in COLUMBIA County, Florida, to-wit:

See Exhibit "A" attached hereto and by this reference made a part hereof.

By acceptance of this warranty deed, grantee herein agrees that the use of the Property described herein shall be subject to the covenants and restrictions as set forth in that certain Grant Award Agreement recorded in Official Record Book 833, Page 1394, Public Records of Columbia County, Florida. These covenants and restrictions shall run with the Property herein described. If any of the covenants and restrictions of the Grant Award Agreement are violated by the grantee or by some third party with the knowledge of the grantee, fee simple title to the Property described herein shall be conveyed to the Borad of Trustees of the Internal Improvement Trust Fund of the State of Florida in accordance with the Grant Award Agreement without further notice to grantee, its successors and assigns, and grantee, its successors and assigns shall forfeit all right, title and interest in and to the Property described herein.

Property Appraiser's Parcel Identification Number: 08164-001

This conveyance is subject to easements, restrictions, limitations and conditions of record if any now exist, but any such interests that may have been terminated are not hereby re-imposed.

This property is not the homestead property of the grantor, nor contiguous to homestead property, as such homestead is defined under Florida law.

AND the said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF the grantor has hereunto set grantor's hand and seal, the day and year first above written.

Signed, sealed and delivered in the presence of:

Marlin Feagle
(SIGNATURE OF FIRST WITNESS)

MARLIN FEAGLE
(PRINTED, TYPED OR STAMPED NAME OF FIRST WITNESS)

Carol H. Wright
(SIGNATURE OF SECOND WITNESS)

CAROL H. WRIGHT
(PRINTED, TYPED OR STAMPED NAME OF SECOND WITNESS)

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 14 day of January, 1997, by EVERETT W. ROGERS, a married person ~~not residing~~ on the property described herein, who is personally known to me or who has produced a valid driver's license as identification.

(NOTARY PUBLIC)
SEAL

Everett W. Rogers
(SIGNATURE OF GRANTOR)
EVERETT W. ROGERS

BK 0833 Pg 1420
OFFICIAL RECORDS

Carol H. Wright
(SIGNATURE OF NOTARY PUBLIC)
CAROL H. WRIGHT
(PRINTED, TYPED OR STAMPED NAME OF NOTARY PUBLIC)

Commission No. :
My Commission Expires:

CAROL H. WRIGHT
Notary Public - State of Florida
My Commission Expires: April 9, 1998
Commission No. CC 356981

Exhibit "A"

A part of the E 1/2 of Section 8, Township 4 South, Range 17 East, more particularly described as follows: Commence at the Southeast Corner of said Section 8 and run N 00 deg. 47'49" W along the East line thereof, 1220.88 feet for a POINT OF BEGINNING; thence continue N 00 deg. 47'49" W, 1479.34 feet to an iron pipe being the Northeast Corner of the SE 1/4 of said Section 8; thence N 00 deg. 47'19" W along the East line of the NE 1/4 of said Section 8, 2275.75 feet; thence N 89 deg. 54'59" W 1981.63 feet; thence S 00 deg. 49'11" E, 987.01 feet; thence S 89 deg. 44'40" W, 660.42 feet to the Northwest Corner of the S 1/2 of the NE 1/4 of said Section 8; thence S 00 deg. 50'07" E, 2991.47 feet; thence N 89 deg. 09'53" E, 212.69 feet to a concrete monument on a dike; thence S 08 deg. 17'30" W, 215.68 feet to a concrete monument; thence S 76 deg. 11'16" E, 1238.59 feet to a concrete monument; thence N 31 deg. 17'55" E, 1090.92 feet to a concrete monument; thence S 73 deg. 30'53" E, 714.50 feet to a concrete monument and the POINT OF BEGINNING.
COLUMBIA COUNTY, FLORIDA.

Said property being also Part of the SE 1/4, the S 1/2 of the NE 1/4 and the East 3/4 of the South 3/4 of the N 1/2 of NE 1/4, All in said Section 8.

97-00589

BK 0837 PG 1421

OFFICIAL RECORDS

No. 170-33614



RECORDS SECTION
CLERK OF COURTS
COLUMBIA COUNTY, FLORIDA
BY *[Signature]*
D.C.

1997 JAN 15 AM 9:54

FILED AND RECORDED IN PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA

copy
Coglianese

BK 0922 PG 1557

WARRANTY DEED

THIS INDENTURE, made this 9th day of MARCH, 2001, OFFICIAL RECORDS

between **EDWARD J. COGLIANESE** and his wife, **LAURA J. COGLIANESE**, parties of the first part, Grantor, and **COLUMBIA COUNTY, FLORIDA**, a political subdivision of the State of Florida, whose mailing address is Post Office Box 1529, Lake City, Florida 32056-1529, party of the second part, Grantee,

W I T N E S S E T H:

That said grantor, for and in consideration of the sum of **TEN AND NO/100 (\$10.00) DOLLARS**, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

TOWNSHIP 4 SOUTH, RANGE 17 EAST

Section 9: N 1/2 of SE 1/4 of SW 1/4 of NW 1/4 of Section 9, Township 4 South, Range 17 East, Columbia County, Florida, together with the right of ingress and egress over and across the South 30 feet and the West 30 feet of the S 1/2 of the said SE 1/4 of SW 1/4 of NW 1/4.

SUBJECT TO 30 foot easement over and across the West 30 feet of N 1/2 of SE 1/4 of SW 1/4 of NW 1/4 of Section 9, Township 4 South, Range 17 East, Columbia County, Florida.

SUBJECT TO that part of a 75-foot drainage easement along the North side of N 1/2 of SE 1/4 of SW 1/4 of NW 1/4 of Section 9, Township 4 South, Range Columbia County, Florida.

Tax Parcel No.: 09-4S-17-8301-020

Prepared by Martin M. Feagle
Attorney at Law
Post Office Box 1653
Lake City, Florida 32055
(as to form only)

BK 0922 PG 1558
OFFICIAL RECORDS

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claim of all persons whatsoever.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in the presence of:

Shannon Butterworth
Witness

Shannon Butterworth
Print or type name

Jamie Rogers
Witness

Jamie Rogers
Print or type name

Edward J. Coglianesi (SEAL)
EDWARD J. COGLIANESE

Laura J. Coglianesi (SEAL)
LAURA J. COGLIANESE

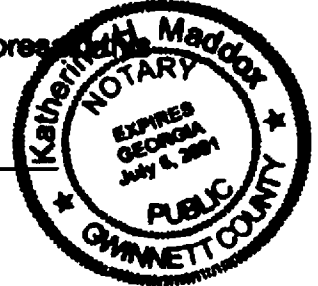
STATE OF GEORGIA
COUNTY OF GWINNETT

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared EDWARD J. COGLIANESE and his wife, LAURA J. COGLIANESE, who are personally known to me or who have produced DRIVERS LICENSE as identification.

9 WITNESS my hand and official seal in the County and State last aforesaid, 9 day of MARCH, 2001.

[Signature]
NOTARY PUBLIC

MY COMMISSION EXPIRES:



(NOTARIAL SEAL)

FILED AND RECORDED IN PUBLIC RECORDS OF COLUMBIA COUNTY, FL.

01-04889

'01 MAR 16 2 11: 24

RECORDED

mk



This Instrument Prepared By: BK 0833 PG 1416
ASSOCIATED LAND TITLE GROUP, INC.
300 N. MARION STREET
LAKE CITY, FLORIDA 32055 OFFICIAL RECORDS

COLLATERAL STATE # 113470
INTANGIBLE TAX
P. DEWITT GASON, CLERK OF
COUNTY COLUMBIA COUNTY
MK

WARRANTY DEED

THIS INDENTURE, made this 14th day of January, 1997, A.D., between JEFFREY L. HILL a married man not residing on the property described herein, whose address in 1400 Country Club Road, Lake City, Florida 32055, of the County of Columbia in the State of Florida, grantor, and COLUMBIA COUNTY, Florida, whose address is P.O. Drawer 1529, Lake City, Florida 32056 grantee,

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and their heirs, legal representatives, successors and assigns. "Grantor" and "grantee" are used for singular and plural, as the context requires and the use of any gender shall include all genders.)

WITNESSETH: That the said grantor, for and in consideration of the sum of Ten Dollars and other good and valuable considerations, to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sol to the said grantee, and grantee's successors and assigns forever, the following described land situate, lying and being in COLUMBIA County, Florida, to-wit:

See Exhibit "A" attached hereto and by this reference made a part hereof.

By acceptance of this warranty deed, grantee herein agrees that the use of the Property described herein shall be subject to the covenants and restrictions as set forth in that certain Grant Award Agreement recorded in Official Record Book 833, Page 1374, Public Records of Columbia County, Florida. These covenants and restrictions shall run with the Property herein described. If any of the covenants and restrictions of the Grant Award Agreement are violated by the grantee or by some third party with the knowledge of the grantee, fee simple title to the Property described herein shall be conveyed to the Borad of Trustees of the Internal Improvement Trust Fund of the State of Florida in accordance with the Grant Award Agreement without further notice to grantee, its successors and assigns, and grantee, its successors and assigns shall forfeit all right, title and interest in and to the Property described herein.

Property Appraiser's Parcel Identification Number: 08301-001
08301-022 - 08301-098 - 08301-099
This conveyance is subject to easements, restrictions, limitations and conditions of record if any now exist, but any such interests that may have been terminated are not hereby re-imposed.

This property is not the homestead property of the grantor, nor contiguous to homestead property, as ~~defined~~ ^{OFFICIAL RECORDS} defined under Florida law.

AND the said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF the grantor has hereunto set grantor's hand and seal, the day and year first above written.

Signed, sealed and delivered in the presence of:

Marlin Feagle
(SIGNATURE OF FIRST WITNESS)

Jeffrey L. Hill
(SIGNATURE OF GRANTOR)
JEFFREY L. HILL

MARLIN FEAGLE
(PRINTED, TYPED OR STAMPED
NAME OF FIRST WITNESS)

Carol H. Wright
(SIGNATURE OF SECOND WITNESS)

CAROL H. WRIGHT
(PRINTED, TYPED OR STAMPED
NAME OF SECOND WITNESS)

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 14th day of January, 1997, by JEFFREY L. HILL, a married man not residing on the property described herein, who is personally known to me or who has produced a valid driver's license as identification.

(NOTARY PUBLIC)
SEAL

Carol H. Wright
(SIGNATURE OF NOTARY PUBLIC)
CAROL H. WRIGHT

(PRINTED, TYPED OR STAMPED NAME
OF NOTARY PUBLIC)

Commission No.:
My Commission Expires:

CAROL H. WRIGHT
Notary Public - State of Florida
My Commission Expires: April 9, 1998
Commission No. CC 356981

Schedule A

OFFICIAL RECORDS

PARCEL 3: A Part of Section 9, Township 4 South, Range 17 East, more particularly described as follows: Begin at a concrete monument marking the Northwest Corner of said Section 9 and run S 00 deg. 47'19" E along the West line thereof, 2024.25 feet; thence S 89 deg. 06'49" E, 2389.62 feet; thence S 01 deg. 43'17" E, 498.16 feet; thence S 89 deg. 06'49" E, 210.0 feet; thence S 01 deg. 43'17" E, 110.53 feet to the North Right-of-Way line of Woodhaven Boulevard; thence S 89 deg. 15'19" E along said Right-of-Way, 30.0 feet; thence S 01 deg. 43'17" E along the East Right-of-Way of said Woodhaven Boulevard, 30.0 feet to the South line of the NE 1/4 of said Section 9; thence S 89 deg. 15'19" E along the said South line and also being the North line of Lot 47 of Woodhaven Unit II as recorded in Plat Book 4, Page 75 of the public records of Columbia County, Florida, 185.04 feet to the Northeast Corner of said Lot 47; thence N 01 deg. 47'51" W, 42.15 feet to the Southerly waters edge of Price Creek; thence S 62 deg. 31'34" E along said waters edge, 37.85 feet; thence S 84 deg. 42'22" E still along said waters edge, 120.15 feet; thence S 01 deg. 47'51" E, 24.24 feet to the Northeast Corner of Lot 35 of said Woodhaven Unit II; thence S 65 deg. 40'18" E along the Northerly line of Lots 34, 26 and 25 of said Woodhaven Unit II, 448.0 feet; thence Easterly along the meander of the Southerly waters edge of Price Creek having the following chord bearing and chord distances: N 79 deg. 35'56" E, 254.05 feet; South 73 deg. 49'18" E, 219.57 feet; N 70 deg. 40'31" E, 420.68 feet; S 28 deg. 57'33" E, 241.05 feet; S 83 deg. 02'46" E, 599.12 feet; S 39 deg. 08'56" E, 96.25 feet; S 59 deg. 12'06" E, 205.59 feet to its intersection with the West Right-of-Way of County Road #133 (80 foot Right-of-Way); thence N 02 deg. 27'46" W along said Right-of-Way 1203.52 feet to a point 66.0 feet North of the South line of the S 1/2 of S 1/2 of NE 1/4 of said Section 9, thence N 89 deg. 06'49" W parallel with the South line of S 1/2 of S 1/2 of NE 1/4 1254.18 feet; thence N 02 deg. 09'59" W 1640.32 feet; thence N 61 deg. 03'33" W, 156.14 feet; thence N 09 deg. 22'41" W, 140.47 feet; thence N 83 deg. 18'08" E 151.80 feet; thence N 02 deg. 09'58" W 58.70 feet to the Northwest Corner of the E 1/2 of the NE 1/4 of Said Section 9; thence N 88 deg. 40'51" W, 641.84 feet to the Northwest Corner of the E 1/2 of the NW 1/4 of the NE 1/4; thence S 01 deg. 56'36" E along the West line thereof, 1334.39 feet to the Southwest Corner of the said E 1/2 of the NW 1/4 of NE 1/4; thence N 88 deg. 58'14" W, 1941.21 feet to the Southeast Corner of the NW 1/4 of NW 1/4 of said Section 9; thence N 01 deg. 15'11" W, 1343.40 feet to the Northeast Corner of the said NW 1/4 of NW 1/4; thence N 88 deg. 40'51" W, 1283.69 feet to the POINT OF BEGINNING.

FILED AND RECORDED IN PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA

97-00588

1997 JAN 15 AM 9:52

RECORDED BY
P. D. Williams
 CLERK OF COURTS
 COLUMBIA COUNTY, FLORIDA
 BY *JCR*

File No: 170-33574

Documentary Stamp

254-10

Intangible Tax

P. DeWitt Cason

Clerk of Court

By *MCK* D.C.

00-11550

'00 JUL -6 PM 3:19

RECORDS DEPARTMENT

WARRANTY DEED

MCK

THIS INDENTURE, made this 13 day of June, 2000, between **LEONARD**

P. HILL, JR., a single person, party of the first part, Grantor, and **COLUMBIA**

COUNTY, FLORIDA, a political subdivision of the State of Florida, whose mailing

address is Post Office Drawer 1529, Lake City, Florida 32056-1529, party of the

second part, Grantee,

W I T N E S S E T H:

That said grantor, for and in consideration of the sum of **TEN AND NO/100** (\$10.00) **DOLLARS**, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

TOWNSHIP 4 SOUTH, RANGE 17 EAST

Section 9: Begin at the NW corner of the NE 1/4 of the NW 1/4 of Section 9, Township 4 South, Range 17 East, Columbia County, Florida, and run S 88°40'51" E, along the North line of said Section 9 a distance of 1282.98 feet to the NE corner of said NE 1/4 of the NW 1/4; thence S 49°47'30" W, 1649.52 feet to a point on the West line of said NE 1/4 of the NW 1/4; thence N 01°11'55" W, along said West line 1094.65 feet to the **POINT OF BEGINNING**.

Tax Parcel No.: 09-4S-17-08301-006 and 09-4S-17-08301-005

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claim of all persons whatsoever.

EX 0905 861602

OFFICIAL RECORDS

Prepared by **Marlin M. Feagle**
Attorney at Law
Post Office Box 1653
Lake City, Florida 32055
(as to form only)

BK 0905 P61603

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the
OFFICIAL RECORDS

day and year first above written.

Signed, sealed and delivered
in the presence of:

M. J. Register
Witness
M. T. Register
(Print or type name)

Leonard P Hill Jr (SEAL)
LEONARD P. HILL, JR.
805 South Country Club Road
Lake City, Florida 32025

Thomas E. Gaswin
Witness
THOMAS E. Gaswin
(Print or type name)

STATE OF FLORIDA
COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take
acknowledgments, personally appeared **LEONARD P. HILL, JR.** who is personally
known to me.

WITNESS my hand and official seal in the County and State last aforesaid this
14th day of JUNE, 2000.

(NOTARIAL SEAL)

Thomas E. Gaswin
NOTARY PUBLIC
MY COMMISSION EXPIRES
04/13/2001
Notary Service & Banking Co.
No. CC 637824
State of Florida

doc 98.00
wr 15.00

Documentary Stamp \$ 98.00
Intangible Tax 0
F. DeWitt Cason
Clerk of Court
By MLK D.C.

WARRANTY DEED

PK 0894 PG 1124

OFFICIAL RECORDS

THIS INDENTURE, made this 21st day of December, 1999, between
JEFFREY L. HILL, SR. and his wife, **LINDA P. HILL**, parties of the first part, Grantor,
and **COLUMBIA COUNTY, FLORIDA**, a political subdivision of the State of Florida,
acting by and through its Board of County Commissioners, whose mailing address is
Post Office Drawer 1529, Lake City, Florida 32056-1529, party of the second part,
Grantee,

W I T N E S S E T H:

That said grantor, for and in consideration of the sum of **TEN AND NO/100**
(\$10.00) DOLLARS, and other good and valuable considerations to said grantor in
hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted,
bargained and sold to the said grantee, and grantee's heirs, successors and assigns
forever, the following described land, situate, lying and being in Columbia County,
Florida, to-wit:

**SEE SCHEDULE "A" ATTACHED HERETO AND
INCORPORATED HEREIN BY REFERENCE.**

Tax Parcel No.: 04-4S-XXXXXXXXXX

and said grantor does hereby fully warrant the title to said land, and will defend the
same against the lawful claim of all persons whatsoever.

FILED AND RECORDED IN PUBLIC
RECORDS OF COLUMBIA COUNTY, FL

1999 DEC 29 PM 3:12

RECORD VERIFIED

MLK

99-21908

Documentary Stamp
Intangible Tax
F. DeWitt Cason
Clerk of Court
By MLK D.C.

EX 0894 PG 1125

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the

OFFICIAL RECORDS

day and year first above written.

Signed, sealed and delivered
in the presence of:

Diane S. Edenfield
Witness

DIANE S. EDENFIELD
(Print or type name)

J. L. Hill Sr. (SEAL)
JEFFREY L. HILL, SR.

Betsy Pottle
Witness

Betsy Pottle
(Print or type name)

Linda P. Hill (SEAL)
LINDA P. HILL

STATE OF FLORIDA
COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take
acknowledgments, personally appeared JEFFREY L. HILL, SR. and his wife, LINDA P.
HILL, who are personally known to me.

2nd WITNESS my hand and official seal in the County and State last aforesaid this
day of December, 1999.



Betsy Pottle
NOTARY PUBLIC
MY COMMISSION EXPIRES: 07/04/03

SCHEDULE "A"

GK 0894 PG 1126

OFFICIAL RECORDS

Begin at the Southwest corner of the East 3/4 of the SW 1/4 of the NE 1/4 of Section 4, Township 4 South, Range 17 East, Columbia County, Florida, and run N 00°18'50" W along the West line of said East 3/4 of the SW 1/4 of the NE 1/4 a distance of 381.83 feet; thence S 86°32'48" E, 749.95 feet; thence S 04°23'50" E, 333.99 feet to a point on the South line of the SW 1/4 of the NE 1/4; thence S 89°43'47" W along said South line 772.11 feet to the **POINT OF BEGINNING**. Containing 6.23 acres, more or less.

This Instrument Prepared By: **0833 PG 1413**
ASSOCIATED LAND TITLE GROUP, INC.
300 N. MARION STREET
LAKE CITY, FLORIDA 32055 OFFICIAL RECORDS

UNLAWFUL TRANSFER \$ **1575.00**
INTANGIBLE TAX
P. DONNIT EASON, CLERK OF
COURTS, COLUMBIA COUNTY
MCR

WARRANTY DEED

THIS INDENTURE, made this 14 day of January, 1997, A.D., between JEFFREY L. HILL and his wife, LINDA P. HILL, whose address in 1400 Country Club Road, Lake City, Florida 32055, of the County of Columbia in the State of Florida, grantor, and COLUMBIA COUNTY, Florida, whose address is P.O. Drawer 1529, Lake City, Florida 32056 grantee,

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and their heirs, legal representatives, successors and assigns. "Grantor" and "grantee" are used in singular and plural, as the context requires and the use of any gender shall include all genders.)

WITNESSETH: That the said grantor, for and in consideration of the sum of Ten Dollars and other good and valuable considerations, to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's successors and assigns forever, the following described land situate, lying and being in COLUMBIA County, Florida, to-wit:

See Exhibit "A" attached hereto and by this reference made a part hereof.

By acceptance of this warranty deed, grantee herein agrees that the use of the Property described herein shall be subject to the covenants and restrictions as set forth in that certain Grant Award Agreement recorded in Official Record Book 833, Page 1394, Public Records of Columbia County, Florida. These covenants and restrictions shall run with the Property herein described. If any of the covenants and restrictions of the Grant Award Agreement are violated by the grantee or by some third party with the knowledge of the grantee, fee simple title to the Property described herein shall be conveyed to the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida in accordance with the Grant Award Agreement without further notice to grantee, its successors and assigns, and grantee, its successors and assigns shall forfeit all right, title and interest in and to the Property described herein.

Property Appraiser's Parcel Identification Number:

07598-0 [redacted] -
This conveyance is subject to easements, restrictions, limitations and conditions of record if any now exist, but any such interests that may have been terminated are not hereby re-imposed.

This property is not the homestead property of the grantor, nor contiguous to homestead property, as such homestead is defined under Florida law.

AND the said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF the grantor has hereunto set grantor's hand and seal, the day and year first above written.

Signed, sealed and delivered in the presence of:

Marlin Feagle
(SIGNATURE OF FIRST WITNESS)

MARLIN FEAGLE
(PRINTED, TYPED OR STAMPED NAME OF FIRST WITNESS)

Carol H. Wright
(SIGNATURE OF SECOND WITNESS)

CAROL H. WRIGHT
(PRINTED, TYPED OR STAMPED NAME OF SECOND WITNESS)

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 14 day of January, 1997, by JEFFREY L. HILL and his wife, LINDA P. HILL, who are personally known to me or who have produced a valid driver's license as identification.

(NOTARY PUBLIC)
SEAL

Carol H. Wright
(SIGNATURE OF NOTARY PUBLIC)

CAROL H. WRIGHT
(PRINTED, TYPED OR STAMPED NAME OF NOTARY PUBLIC)

Commission No.:
My Commission Expires:

CAROL H. WRIGHT
Notary Public - State of Florida
My Commission Expires. April 9, 1998
Commission No. CC 356981

OFFICIAL RECORDS

Jeffrey L. Hill
(SIGNATURE OF GRANTOR)
JEFFREY L. HILL

Linda P. Hill
(SIGNATURE OF GRANTOR)
LINDA P. HILL

Schedule A OFFICIAL RECORDS

PARCEL 4: TOWNSHIP 4 SOUTH - RANGE 17 EAST

SECTION 4: The N 1/2 of the NE 1/4 of SW 1/4 of SE 1/4 of Section 4, Township 4 South, Range 17 East and Part of the E 1/2 of the SE 1/4 of said Section 4 more particularly described as follows: Commence at the Southeast Corner of said Section 4 and run N 00 deg. 04'06" E along the East line thereof, 893.12 feet; thence N 88 deg. 40'51" W, 38.0 feet to the West Right-of-Way of County Road #133 for a POINT OF BEGINNING; thence N 00 deg. 01'29" W along said West Right-of-Way 562.72 feet; thence N 88 deg. 40'51" W, 774.40 feet; thence S 00 deg. 01'29" E parallel to the said West Right-of-Way, 562.72 feet, thence S 88 deg. 40'51" E (On The North line of Property described in OR Book 246, Page 558 of the public records of Columbia County, Florida), 774.40 feet to the POINT OF BEGINNING.

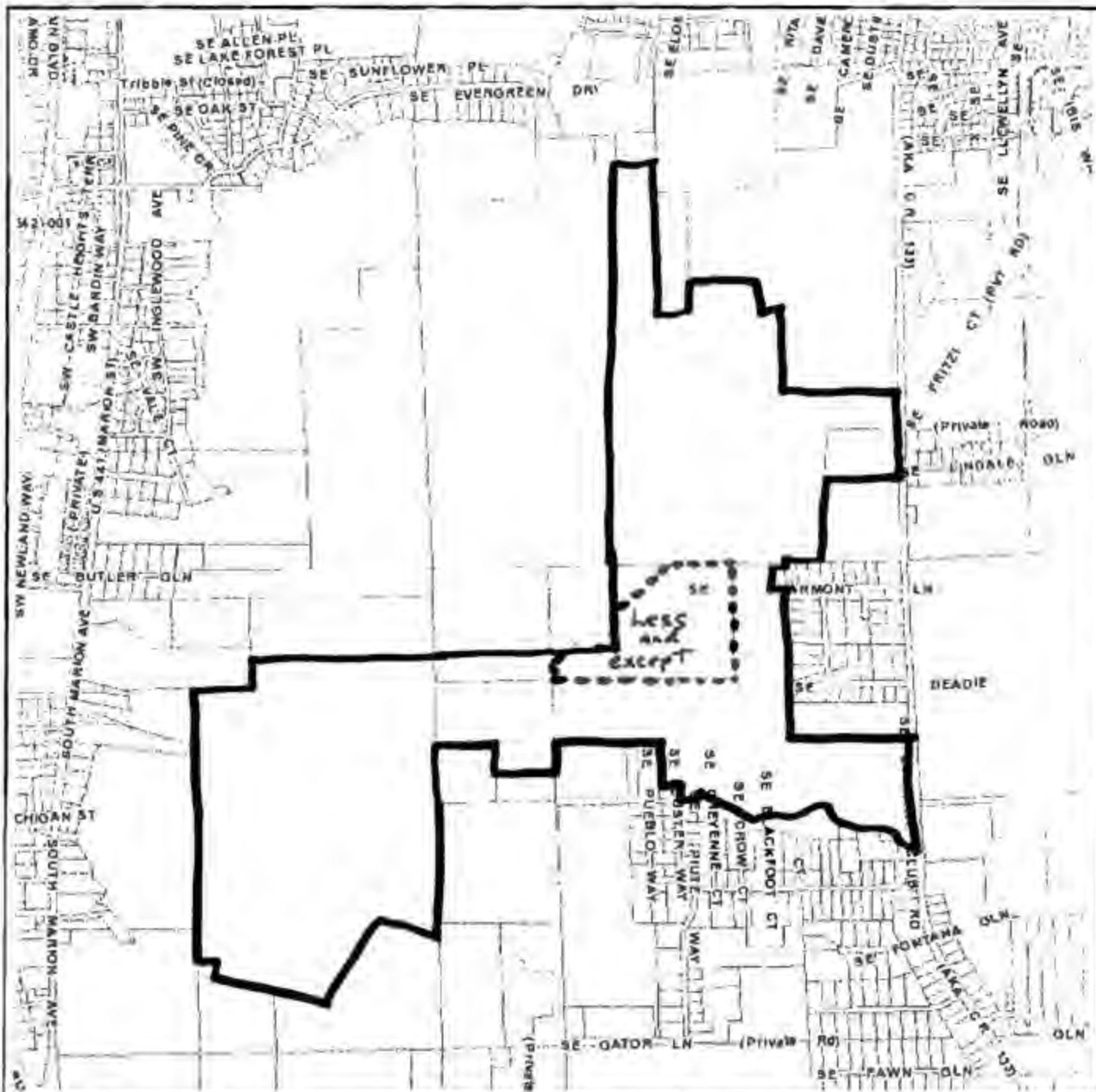
TOGETHER WITH AND SUBJECT TO A PERPETUAL, NON-EXCLUSIVE EASEMENT FOR THE RIGHT OF INGRESS AND EGRESS OVER THE NORTH 60 FEET OF THE SE 1/4 OF THE SE 1/4 OF SECTION 4, TOWNSHIP 4 SOUTH, RANGE 17 EAST. COLUMBIA COUNTY, FLORIDA.

97-00587

File No: 170-33615

FILED AND RECORDED IN PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA
1997 JAN 15 AM 9:46
RECORDED BY
Clerk of Courts
COLUMBIA COUNTY, FLORIDA
BY: [Signature]





Columbia County Property Appraiser
 J. Doyle Crews - Lake City, Florida 32055 | 386-758-1083

PARCEL: 04-4S-17-07598-005 - COUNTY (006600)
 S1/2 OF NE1/4 OF NW1/4, EX NE1/4 OF S1/2 OF NE1/4 OF NW1/4 & S1/2 OF NW1/4 & S1/2 EX N 25 AC OF NE1/4 OF SE1/4 & EX RD & EX 26.70 AC IN SE COR OF SE1/4

Name: COLUMBIA COUNTY	2009 Certified Values
Site: 420 SE ALLIGATOR GLN	Land \$36,936.00
Mail: P O DRAWER 1529	Bldg \$29,014.00
LAKE CITY, FL 32056	Asst \$79,055.00
Sales 12/21/1999 \$14,000.00 V/U	Exmpt \$79,055.00
Info 1/14/1997 \$225,000.00 I/U	Only \$0
	Other \$0 Schl: \$0

NOTES:



This information, GIS Map Updated: 8/5/2010, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for all various assessment purposes.

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APPLICATION FOR SITE AND DEVELOPMENT PLAN APPROVAL
BY THE COLUMBIA COUNTY PLANNING AND ZONING BOARD

SECTION TO BE COMPLETED BY APPLICANT

INFORMATION CONCERNING TITLE HOLDER(S) AND AGENT

Name of Title Holder(s): Abram Huber d/b/a Global Innovation, LLC
Address: 496 SW Ring Ct. Lake City State: FL Zip: 32025
Telephone: _____

Do any other persons have any ownership or interest in subject property? Yes _____ No X

If yes, list such persons: _____

Title Holder's Representative (Agent), if applicable: Brett Crews, P.E.

Address: P.O. Box 970 Lake City State: FL Zip: 32056

Telephone: 386-754-4085

A Site and Development Plan Approval is requested in conformity with the County's Zoning Regulations to permit (check as appropriate):

() Alteration of site square footage of gross floor area of alteration: _____

(X) New construction on a site-square footage of gross floor area of new construction: 5,000

() Relocation of a structure-square footage of gross floor area of structure: _____

on the property described below, and in conformity with the site plan dated: _____

Type of Use: OFFICE, WAREHOUSING

(retail commercial, repair garage, office, warehousing, assembling, etc.)

Legal description (add additional pages as necessary):

LOT 9 of Cannon Creek Center as per plat thereof recorded in Plat Book 6, Pages 113 to 114 of the public records of Columbia County, Florida

Size of property in acres or fractions thereof: 2.750

Present Use: vacant com

(commercial, industrial, residential, agricultural, etc.)

Future Land Use Plan Map Category: Commercial

Zoning District: CHI

Application for Site and Development Plan
Approval by Planning and Zoning Board

ACTIONS BY APPLICANT ON PROPERTY

A previous site and development plan application:

_____ was made with respect to these premises, Application No. _____

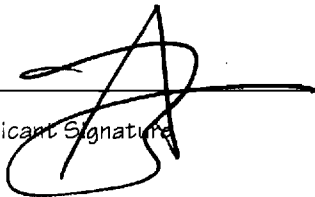
was not made with respect to these premises.

I (we) hereby certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct to the best of my (our) knowledge and belief.

If titleholder(s) are represented by an agent, a letter of such designation from the title holder(s) addressed to the county's Building and Zoning Coordinator must be attached.

Abram Huber

Applicant Name (Type or Print)



Applicant Signature

7.8.10

Date

APPLICANT ACKNOWLEDGES THAT EITHER APPLICANT OR REPRESENTATIVE MUST BE PRESENT AT THE PUBLIC HEARINGS BEFORE THE BOARD, OTHERWISE THE REQUEST WILL NOT BE CONSIDERED (UNLESS APPLICANT'S APPEARANCE IS PREVIOUSLY WAIVED BY STAFF).

FOR OFFICE USE ONLY

Date Filed: 10 SEPT. 2010

Site and Development Plan Application No. SDP 10-03

Fee Amount: \$ 500.00 Receipt No.: 4097

Planning and Zoning Board Decision: _____

(Granted, Denied, Etc.)

Date of Action of Planning and Zoning Board: 30 SEPT. 2010

NOTICE TO APPLICANTS FOR SITE AND DEVELOPMENT PLAN APPROVAL

THE SITE AND DEVELOPMENT PLAN REQUIRED TO BE SUBMITTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ZONING REGULATIONS SHALL INCLUDE THE FOLLOWING ELEMENTS, WHERE APPLICABLE:

{1} VICINITY MAP- Indicating general location of the site, abutting streets, existing utilities, complete legal description of property in question, and adjacent land use.

{2} SITE PLAN- Including but not limited to the following:

- a. Name, location, owner, and designer of the proposed development.
- b. Present zoning for subject site.
- c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
- d. Date, north arrow, and graphic scale not less than one (1) inch equal to fifty (50) feet.
- e. Area and dimensions of site.
- f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs and gutters.
- g. Access to utilities and points of utility hook-up.
- h. Location and dimensions of all existing and proposed parking areas and loading areas.
- i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
- j. Location and size of any lakes, ponds, canals, or other waters and waterways.
- k. Structures and major features fully dimensioned including setbacks, distance between structures, floor area, width of driveways, parking spaces, property or lot lines and percent of property covered by structures.
- l. Location of trash receptacles.

*Notice to Applicants for
Site and Development Plan Approval
(continued)*

- m. For multiple family, hotel, motel, and mobile home park site plans:
 - (1) Tabulation of gross acreage.
 - (2) Tabulation of density.
 - (3) Number of dwelling units proposed.
 - (4) Location and percent of total open space and recreation areas.
 - (5) Percent of lot covered by buildings.
 - (6) Floor area of dwelling units.
 - (7) Number of proposed parking spaces.
 - (8) Street layout.
 - (9) Layout of mobile home stands (for mobile home parks only).

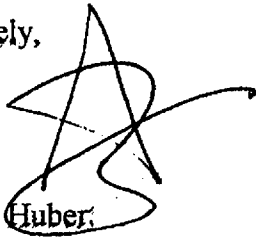
{3} STORMWATER MANAGEMENT PLAN-INCLUDING THE FOLLOWING:

- a. Existing contours at one (1) foot intervals based on United States Coastal and Geodetic Datum.
- b. Proposed finished elevation of each building site and first floor level.
- c. Existing and proposed stormwater management facilities with size and grades.
- d. Proposed orderly disposal of surface water runoff.
- e. Centerline elevations along adjacent streets.
- f. Water management District surface water management permit.

To Whom It May Concern:

I, Abram Huber, a managing member of Global Innovation, LLC, owner of Parcel #19-4S-17-08558-109 in Columbia County, Florida, does hereby give authorization to Brett A. Crews, PE of Crews Engineering Services, LLC to act as agent on my behalf in matters concerning permitting the construction and development of said property.

Sincerely,

A handwritten signature in black ink, appearing to be 'Abram Huber', written over a printed name.

Abram Huber,
Managing Member,
Global Innovation, LLC

FLORIDA DEPARTMENT OF STATE DIVISION OF CORPORATIONS

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Detail by Entity Name

Florida Limited Liability Company

GLOBAL INNOVATION, LLC

Filing Information

Document Number L06000090233
FEVEIN Number 205588326
Date Filed 09/13/2006
State FL
Status ACTIVE

Principal Address

496 SW RING COURT
 LAKE CITY FL 32025 US

Changed 05/03/2007

Mailing Address

496 SW RING COURT
 LAKE CITY FL 32025 US

Changed 01/08/2008

Registered Agent Name & Address

HUBER, ABRAM B MR.
 496 SW RING COURT
 LAKE CITY FL 32025 US

Name Changed: 05/03/2007

Address Changed: 05/03/2007

Manager/Member Detail

Name & Address

Title MR

HUBER, ABRAM B OWNER
 496 SW RING COURT
 LAKE CITY FL 32025 US

Annual Reports

Report Year	Filed Date
2008	01/08/2008
2009	01/16/2009
2010	06/15/2010

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

File No. 08-88

Property Appraiser's
Parcel Identification No.
08558-109

Inst 200812008624 Date 5/2/2008 Time 3:29 PM
Doc Stamp-Deed 3265 00
C.C.P. DeWitt Cason, Columbia County Page 1 of 2 B 1149 P 1257

WARRANTY DEED

THIS INDENTURE, made this 30th day of April 2008, BETWEEN WESTFIELD GROUP, LLLP, a Florida Limited Liability Partnership, whose post office address is Post Office Box 3566, Lake City, Florida 32056, of the County of Columbia, State of Florida, grantor*, and GLOBAL INNOVATION, LLC, a Florida Limited Liability Company, whose post office address is Post Office Box 932, Lake City, Florida 32056, of the County of Columbia, State of Florida, grantee*.

WITNESSETH: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lot 9 of CANNON CREEK CENTER as per plat thereof recorded in Plat Book 6, Pages 113 to 114 of the public records of Columbia County, Florida.

LESS AND EXCEPT a part along the North Line of the property more particularly described as follows: Begin at the NE Corner of said Lot 9 and run S [REDACTED] W, 286.58 feet; thence S 25°52'23"E, 82.58 feet; thence S 53°44'29"E, 41.79 feet; thence S 30°30'01"W, 314.73 feet to the POINT OF BEGINNING.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons

whomsoever.

*"Grantor" and "grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in the presence of:

WESTFIELD GROUP, LLLP, a Florida Limited Liability Limited Partnership

Lisa C. Ogburn
First Witness
Lisa C. Ogburn
(Printed Name)

By: *Charles S. Sparks*
Charles S. Sparks
General Partner

Terry McDavid
Second Witness
Terry McDavid
(Printed Name)

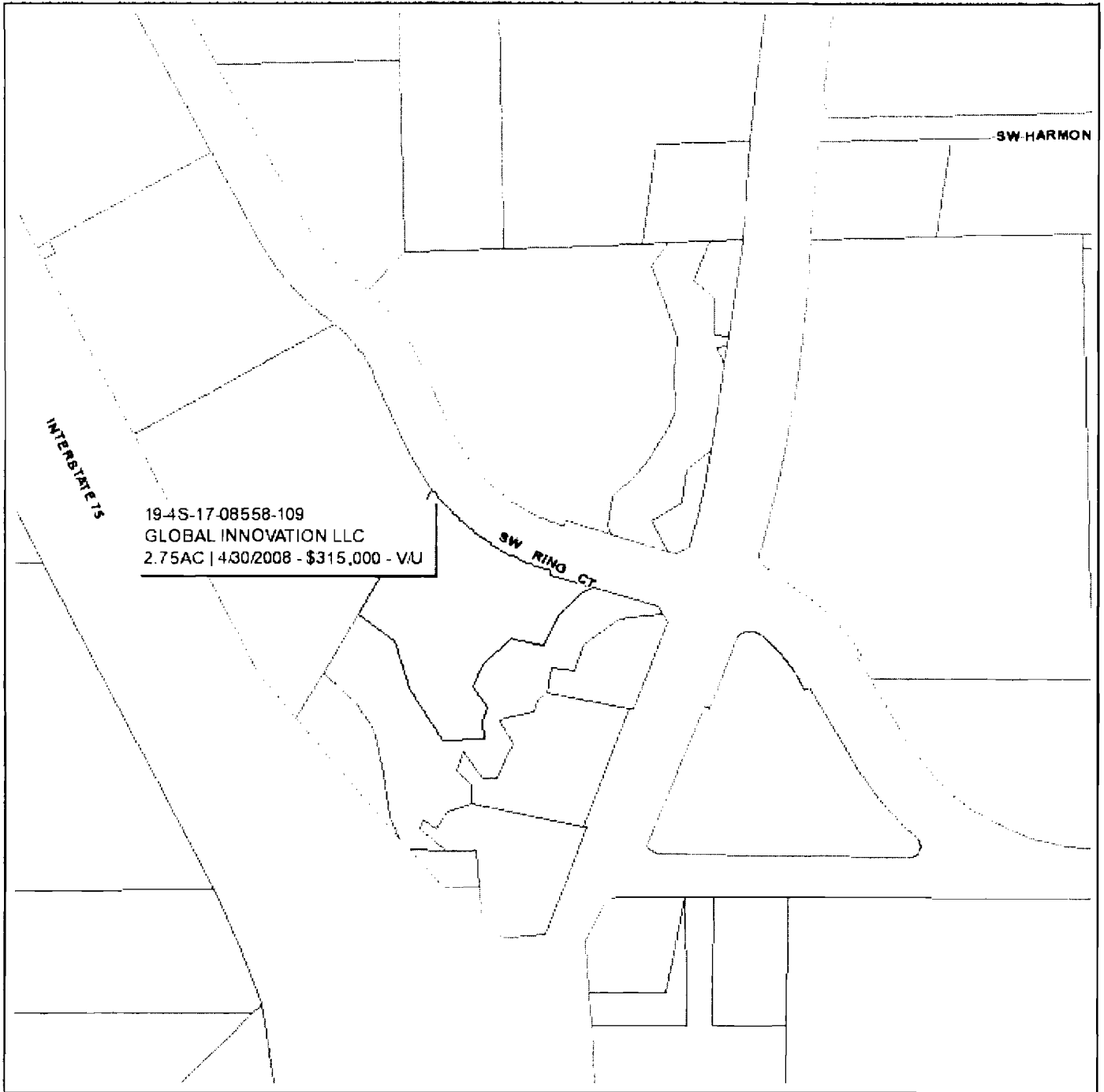
By: *Scott D. Stewart*
Scott D. Stewart
General Partner

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 30th day of April 2008, by CHARLES S. SPARKS and SCOTT D. STEWART, General Partners of WESTFIELD GROUP, LLLP, a Florida Limited Liability Limited Partnership, on behalf of the partnership. They are personally known to me and did not take an oath.

Terry McDavid
Notary Public
My commission expires: _____





Columbia County Property Appraiser

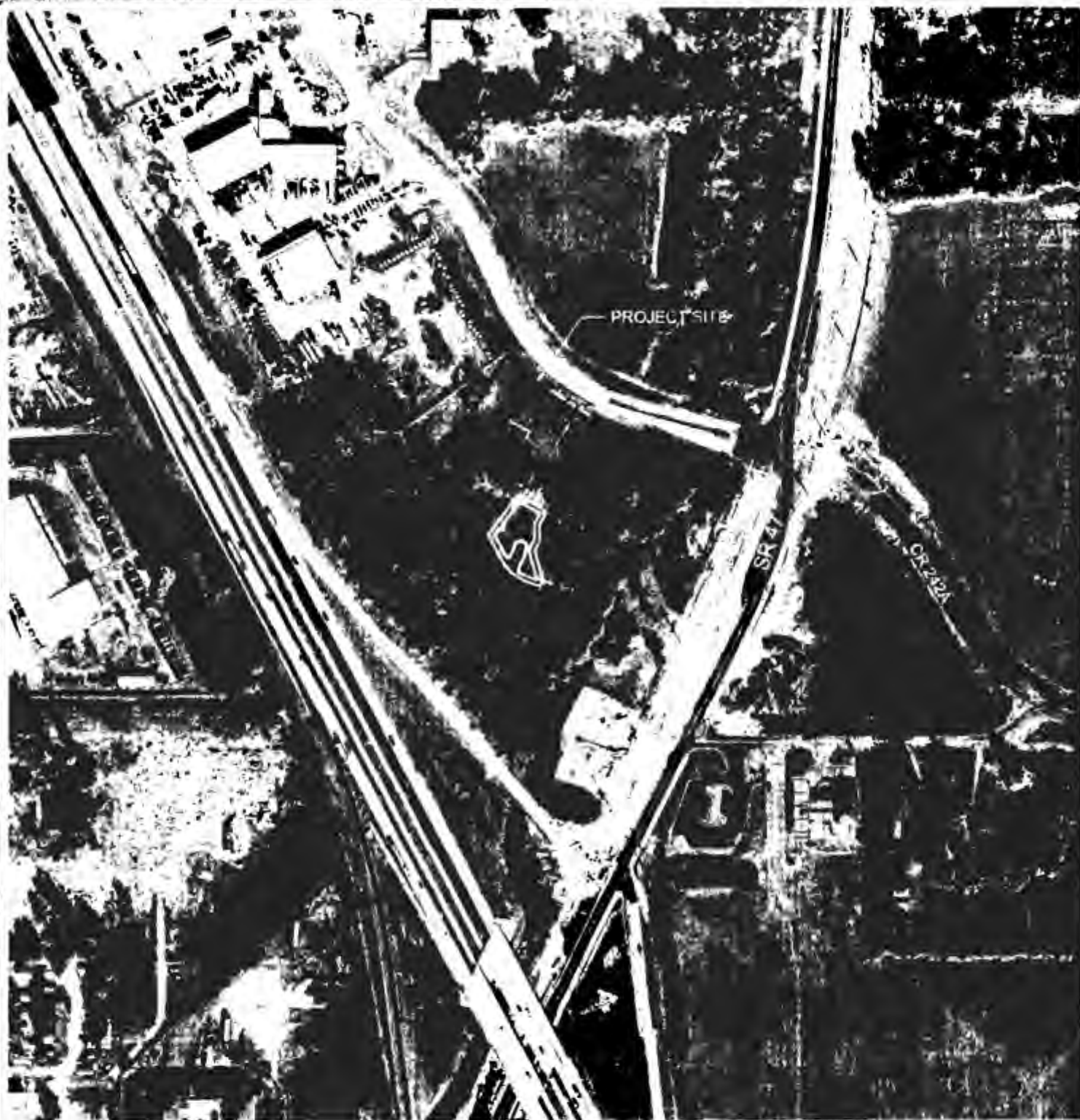
J. Doyle Crews - Lake City, Florida 32055 | 386-758-1083

PARCEL: 19-4S-17-08558-109 - VACANT COM (001000)
 LOT 9 CANNON CREEK CENTER S/D EX BEG NE COR LOT 9, RUN SW 286.58 FT, SE 82.58 FT, SE 41.79 FT, NW 314.73 FT TO POB. ORB 886-2254, 924-686, WD 990-490.

NOTES:



Name: GLOBAL INNOVATION LLC		2009 Certified Values	
Site: CANNON CREEK CENTER	Land		\$206,250.00
Mail: P O BOX 932 LAKE CITY, FL 32056	Bldg		\$0.00
	Assd		\$206,250.00
Sales 4/30/2008 \$315,000.00 V / U	Exmpt		\$0.00
Info 7/25/2003 \$135,000.00 V / Q	Taxbl		Cnty: \$206,250 Other: \$206,250 Schl: \$206,250



CES

Crews Engineering Services, LLC

P.O. BOX 970
LAKE CITY, FL 32056
386.754.4085

BRETT A. CREWS, P.E.

**GLOBAL INNOVATIONS
COMMERCIAL SITE**

AERIAL MAP

CES PROJECT NO:
2010-008

SHEET:
A1

COLUMBIA COUNTY
PLANNING AND ZONING BOARD MEETING
SCHOOL BOARD ADMINISTRATIVE COMPLEX
372 WEST DUVAL STREET, LAKE CITY, FLORIDA
AUGUST 26, 2010
UNADOPTED MINUTES

The meeting opened at 7:25 P.M.

Board Members in Attendance:

Clay Feagle, Chairman
Robert Jordan, Vice-chairman
Jock Phelps
Teena Ruffo
Matt Vann

Others in Attendance:

Brian Kepner, Secretary to the Board
Marlin Feagle, County Attorney

PUBLIC HEARING:

Z 0522

Brad Dicks: Requesting a change in zoning from Residential single family to commercial neighborhood on 5 acres located at Bascom Norris and Lake Jerry. The idea is to place a convenience store at that location.

Clay Feagle: Any questions from the Board?

Clay Feagle: Public hearing open for public comment.
Seeing no one, close the public hearing.
Discussion among the Board.

Jordan: Is water available to the site?

Brad Dicks: There is a water line out there.

Jordan: Motion to recommend approval of Z0522 from RSF-2 to CN.

Phelps: 2nd Motion.

MOTION APPROVED UNANIMOUSLY

STAFF MATTERS:

Clay Feagle: Approval of minutes from June 24, 2010 meeting.

Jordan: Motion to approve July 22nd minutes.

Ruffo: 2nd Motion.

MOTION APPROVED UNANIMOUSLY

Meeting Adjourned

GLOBAL INNOVATION, LLC

SITE PLAN FOR:
ABRAM HUBER
GLOBAL INNOVATION, LLC
496 SW RING CT
LAKE CITY, FL 32025
386.752.4502

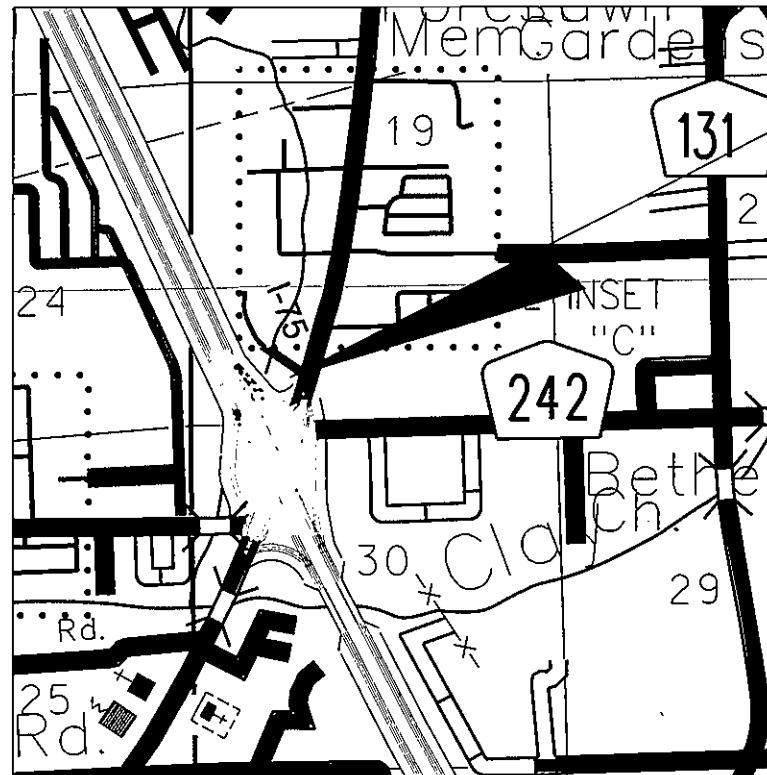
CES

Crews Engineering Services, LLC

P.O. BOX 970
LAKE CITY, FL 32056
PHONE: 386.754.4085
www.crewsengineeringservices.com

CERTIFICATE OF AUTHORIZATION: NO. 28022

BRETT A. CREWS, P.E. 65592



PROJECT LOCATION

INDEX OF SHEETS

DET1
DET2
SIT1
SIT2
PAV1
PAV2
SWM1

GENERAL NOTES
MISCELLANEOUS NOTES AND DETAILS
EXISTING CONDITIONS
SITE PLAN
PAVING AND DRAINAGE PLAN
PAVING AND DRAINAGE NOTES AND DETAILS
SURFACE WATER MANAGEMENT FACILITY
APPLICABLE FDOT DESIGN STANDARDS

LOCATION MAP

SECTION 19, TOWNSHIP 4 SOUTH, RANGE 17 EAST
COLUMBIA, FLORIDA

LOT 9, CANNON CREEK CENTER

PARCEL # 19-4S-17-08558-109

CES PROJECT ID:
2010-008

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO INSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SUCH DIFFERENCES IMMEDIATELY & PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE AT ALL TIMES IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
3. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
4. THE STORM WATER MANAGEMENT SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH SRWMD RULES AND REGULATIONS (CH. 40B-4 F.A.C.).
5. EXISTING DRAINAGE STRUCTURES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED IN THE PLANS.
6. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE ENGINEER.
7. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE COLUMBIA COUNTY LAND DEVELOPMENT REGULATIONS.
8. SITE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT LIMITS.
9. ALL PROPOSED CONSTRUCTION SHALL CONFORM TO CURRENT FDOT DESIGN STANDARDS AND FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
10. ALL STORM SEWER PIPES SHALL HAVE A MINIMUM COVER OF 6". LIMEROCK BACKFILL SHALL BE USED IF PIPE UNDER PAVEMENT HAS LESS THAN 12" COVER.
11. ALL SWALES, DEPRESSION AREAS AND RETENTION PONDS SHALL BE INSPECTED MONTHLY FOR SINKHOLE OCCURRENCE. SHOULD A SINKHOLE OCCUR, THE AREA SHOULD BE REPAIRED AS SOON AS POSSIBLE. IF A SOLUTION PIPE SINKHOLE FORMS WITHIN THE STORM WATER SYSTEM, THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH A LOW PERMEABILITY MATERIAL. A 2-FOOT CAP THAT EXTENDS 2 FEET BEYOND THE PERIMETER OF THE SINKHOLE SHALL BE CONSTRUCTED WITH CLAYEY SOILS. THE CLAYEY SOIL SHOULD HAVE AT LEAST 20% PASSING THE NUMBER 200 SIEVE, COMPACTED TO 95% OF STANDARD PROCTOR, AND COMPACTED IN A WET CONDITION WITH MOISTURE 2%-4% ABOVE OPTIMUM. THE CLAY SOIL CAP SHALL BE RE-GRADED TO PREVENT PONDING AND RE-VEGETATED.
12. ALL NEW TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE CURRENT FDOT DESIGN STANDARDS.
13. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH CURRENT FDOT DESIGN STANDARDS.
14. CONTRACTOR SHALL CONTACT COLUMBIA COUNTY BUILDING AND ZONING DEPARTMENT TO PERFORM THE FOLLOWING SITE INSPECTIONS:
 - A) EROSION AND SEDIMENT CONTROL - PRIOR TO BEGINNING CONSTRUCTION
 - B) SITE COMPLIANCE - ONCE BUILDING FOUNDATION IS POURED AND IMPROVEMENTS ARE STAKED OUT
 - C) FINAL SITE COMPLIANCE - ONCE ALL IMPROVEMENTS ARE FINALIZED
15. CONTRACTOR SHALL CONTACT SRWMD AND ENGINEER OF RECORD 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
16. ANY UNSUITABLE MATERIAL (SPOTIC, CLAY, OTHER IMPERMEABLE SOILS) SHALL BE REMOVED FROM THE SURFACE WATER MANAGEMENT FACILITIES. THIS UNSUITABLE MATERIAL SHALL NOT BE USED AS FILL MATERIAL IN CONSTRUCTION OF THE BERMS. CONTRACTOR SHALL CONTACT ENGINEER OF RECORD TO INSPECT SURFACE WATER MANAGEMENT FACILITY ONCE EXCAVATED TO FINISH GRADE TO DETERMINE IF LINED WITH SUITABLE MATERIAL.

UTILITY NOTES

1. ALL EXISTING UTILITIES SHALL BE LOCATED PRIOR TO BEGINNING WORK. THIS INCLUDES VERIFYING LOCATION (HORIZONTAL AND VERTICAL) AT ANY CONNECTION POINT OF THE EXISTING UTILITY. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES EXISTING BETWEEN THE CONSTRUCTION PLANS AND ACTUAL FIELD CONDITIONS. EXISTING UTILITIES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY AND SHALL BE VERIFIED IN THE FIELD BY NON-DESTRUCTIVE METHODS.
2. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE CONNECTION TO THE EXISTING UTILITIES. THIS INCLUDES, BUT IS NOT LIMITED TO, MANHOLE CORING, WET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.
3. ALL UTILITY CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF LAKE CITY UTILITY STANDARDS.
4. ALL NEW AND RELOCATED WATER MAIN PIPES, FITTINGS, APPURTENANCES AND PACKING AND JOINT MATERIALS SHALL CONFORM TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS AND/OR MANUFACTURES RECOMMENDATIONS.
5. SUFFICIENT VALVES SHALL BE PROVIDED IN NEW AND RELOCATED WATER MAINS TO MINIMIZE INCONVENIENCE AND SANITARY HAZARDS DURING REPAIRS.
6. AT HIGH POINTS WHERE AIR CAN ACCUMULATE IN NEW AND RELOCATED WATER MAINS, HYDRANTS OR AIR RELEASE VALVES SHALL BE PROVIDED TO REMOVE AIR.
7. AUTOMATIC AIR RELEASE VALVES ON NEW AND RELOCATED WATER MAINS SHALL NOT BE LOCATED WHERE FLOODING OF THE VALVE MANHOLE OR CHAMBER COULD OCCUR.
8. HYDRANT DRAINS, FLUSHING DEVICES, AIR RELEASE VALVES OR CHAMBERS, MANHOLES CONTAINING VALVES, BLOW-OFFS, METERS, OR OTHER APPURTENANCES PROVIDED IN CONJUNCTION WITH NEW AND RELOCATED WATER MAINS SHALL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER.
9. STONES FOUND IN TRENCHES FOR NEW AND RELOCATED WATER AND SANITARY SEWER MAINS SHALL BE REMOVED TO A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF PIPE. CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED IN THESE TRENCHES. THIS BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND PIPE TO A SUFFICIENT HEIGHT ABOVE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE.
10. ALL TEES, BENDS, PLUGS, AND HYDRANTS IN NEW AND RELOCATED WATER MAINS SHALL BE PROVIDED WITH RESTRAINED JOINTS TO PREVENT MOVEMENT. MEGALUG MECHANICAL JOINT RESTRAINTS OR APPROVED ALTERNATIVE (NOT THRUST BLOCKS) SHALL BE USED WITH MANUFACTURES RECOMMENDATIONS. ALL RESTRAINED JOINTS SHALL BE LEFT OPEN UNTIL INSPECTED BY THE CITY.
11. A 24" MINIMUM COVER HEIGHT SHALL BE PROVIDED ABOVE ANY NEW OR RELOCATED WATER OR SANITARY SEWER MAIN CROSSING UNDER ANY SURFACE WATER. PROVIDE THE FOLLOWING FEATURES IF WIDTH OF SURFACE WATER IS GREATER THAN 15' AT THIS CROSSING:
 - A) FLEXIBLE WATER TIGHT JOINTS THROUGHOUT THE CROSSING
 - B) EASILY ACCESSIBLE VALVES LOCATED IN A MANHOLE
 - C) PERMANENT TAPS ON EACH SIDE OF VALVE WITHIN THE MANHOLE TO ALLOW FOR SAMPLING AND INSERTION OF A SMALL METER TO DETERMINE LEAKAGE
12. PROPER BACKFLOW PREVENTION SHALL BE PROVIDED IN ACCORDANCE WITH RULE 62-555.360 F.A.C. (CROSS-CONNECTION CONTROL FOR PUBLIC WATER SYSTEMS).
13. THIS PROJECT SHALL NOT INCLUDE ANY INTERCONNECTION BETWEEN PREVIOUSLY SEPARATE PUBLIC WATER SYSTEMS HAVING SEPARATE WATER SUPPLY SOURCES.
14. ANY NEW AND RELOCATED WATER LATERALS SHALL CROSS ABOVE SANITARY SEWER PIPE OR PROVIDE PROTECTION TO PREVENT CONTAMINATION AS REQUIRED BY FDEP AND OTHER APPLICABLE STANDARDS.

EROSION CONTROL NOTES

1. CONTRACTORS SHALL ADHERE TO THE STORM WATER POLLUTION PREVENTION PLAN, EROSION AND SEDIMENT CONTROL REGULATIONS AS SET BY SRWMD AND OTHER GOVERNING AUTHORITIES AND USE (AS A MINIMUM) THE MEASURES DESCRIBED ON THE EROSION CONTROL NOTES AND DETAILS SHEET.
2. ALL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND WATER MANAGEMENT FACILITIES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ADDITIONAL MEASURES AS REQUIRED FOR PROPER EROSION AND SEDIMENT CONTROL. THE CONTRACTOR SHOULD USE BMP'S IN THE FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL TO IMPLEMENT A PLAN THAT WILL WORK AND MEET ACTUAL FIELD CONDITIONS.
4. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
5. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED IMMEDIATELY AND RIP RAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
6. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS. SILT FENCE SHALL BE CLEANED OR REPLACED WHEN SILT BUILDS UP TO WITHIN ONE FOOT OF TOP OF SILT FENCE.
7. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
8. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY TO PREVENT EROSION. SLOPES GREATER THAN 1V:4H SHALL BE STABILIZED WITH SOD. STAPLE SOD SHALL BE USED ON SLOPES GREATER THAN 1V:2H. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK-GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS: FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
9. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN THREE (3) DAYS.
10. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS AND EXCESS DIRT REMOVED DAILY.
11. THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE WATER QUALITY STANDARDS.
12. QUALIFIED PERSONNEL SHALL INSPECT THE STOCKPILE AREAS, SILT FENCE, CONSTRUCTION ENTRANCE, AND ALL DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER A STORM OF 0.5 INCHES OR GREATER. CORRECTIVE ACTIONS SHALL BE TAKEN IMMEDIATELY.
13. CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROLS DURING PROPOSED CONSTRUCTION.

REVISIONS

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION



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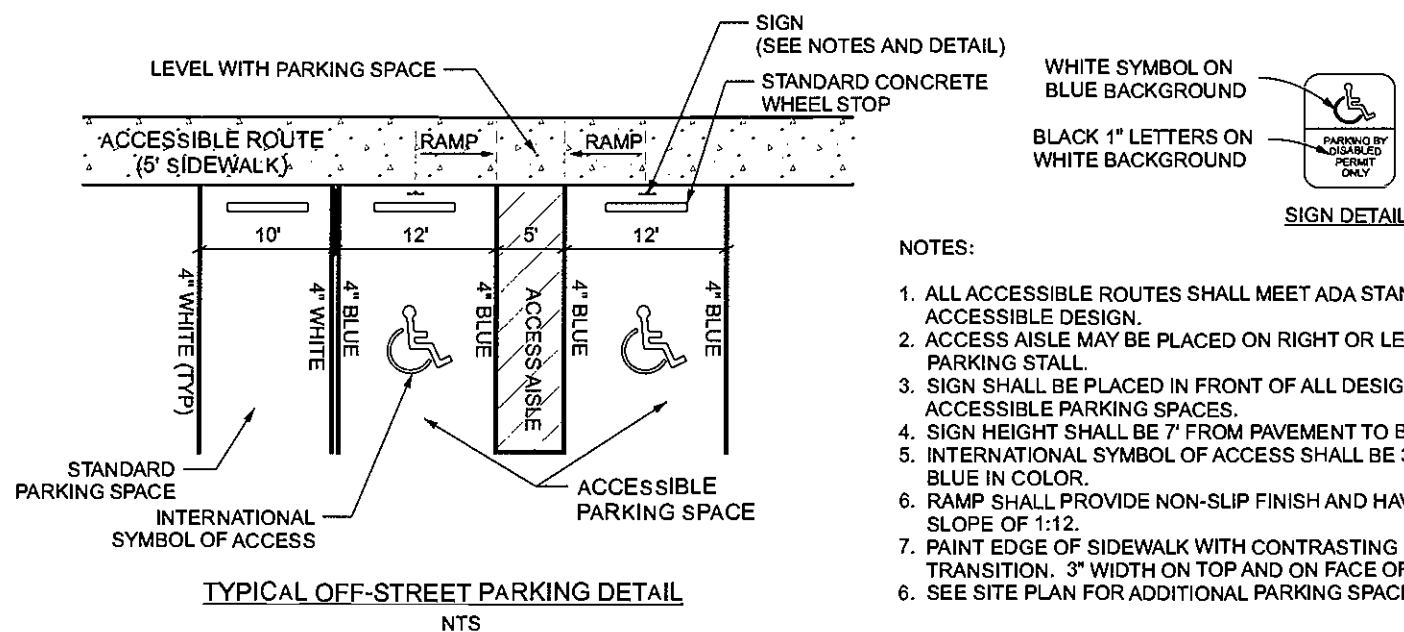
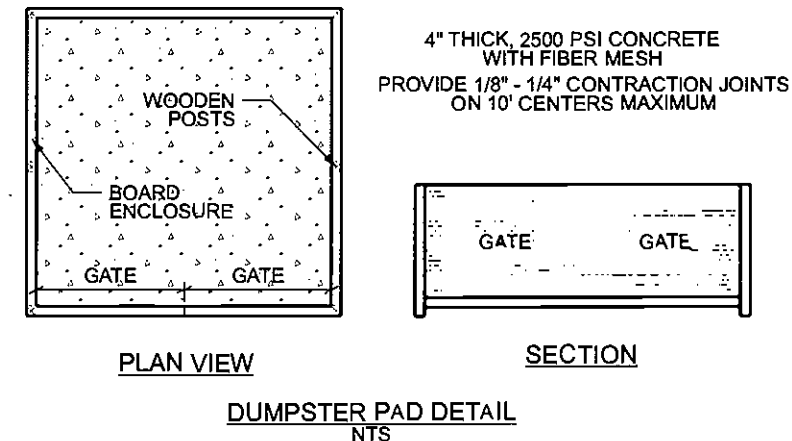
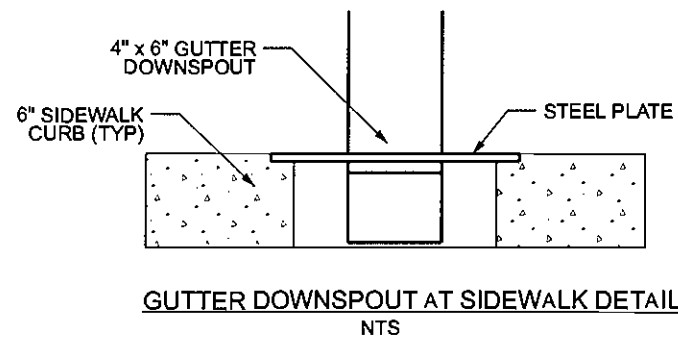
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9-7-2010
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BC

**GLOBAL INNOVATIONS
COMMERCIAL SITE**

GENERAL NOTES

CES PROJECT NO.:
2010-008
SHEET:
DET1



- NOTES:
1. ALL ACCESSIBLE ROUTES SHALL MEET ADA STANDARDS FOR ACCESSIBLE DESIGN.
 2. ACCESS AISLE MAY BE PLACED ON RIGHT OR LEFT SIDE OF PARKING STALL.
 3. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED ACCESSIBLE PARKING SPACES.
 4. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
 5. INTERNATIONAL SYMBOL OF ACCESS SHALL BE 3 - 5 FT HIGH AND BLUE IN COLOR.
 6. RAMP SHALL PROVIDE NON-SLIP FINISH AND HAVE A MAXIMUM SLOPE OF 1:12.
 7. PAINT EDGE OF SIDEWALK WITH CONTRASTING PAINT AT RAMP TRANSITION. 3" WIDTH ON TOP AND ON FACE OF TRANSITION.
 8. SEE SITE PLAN FOR ADDITIONAL PARKING SPACEL DIMENSIONS.

STRIPING LEGEND	
YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55Y300
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT WHITE TM5494
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

CES
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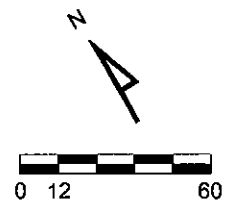
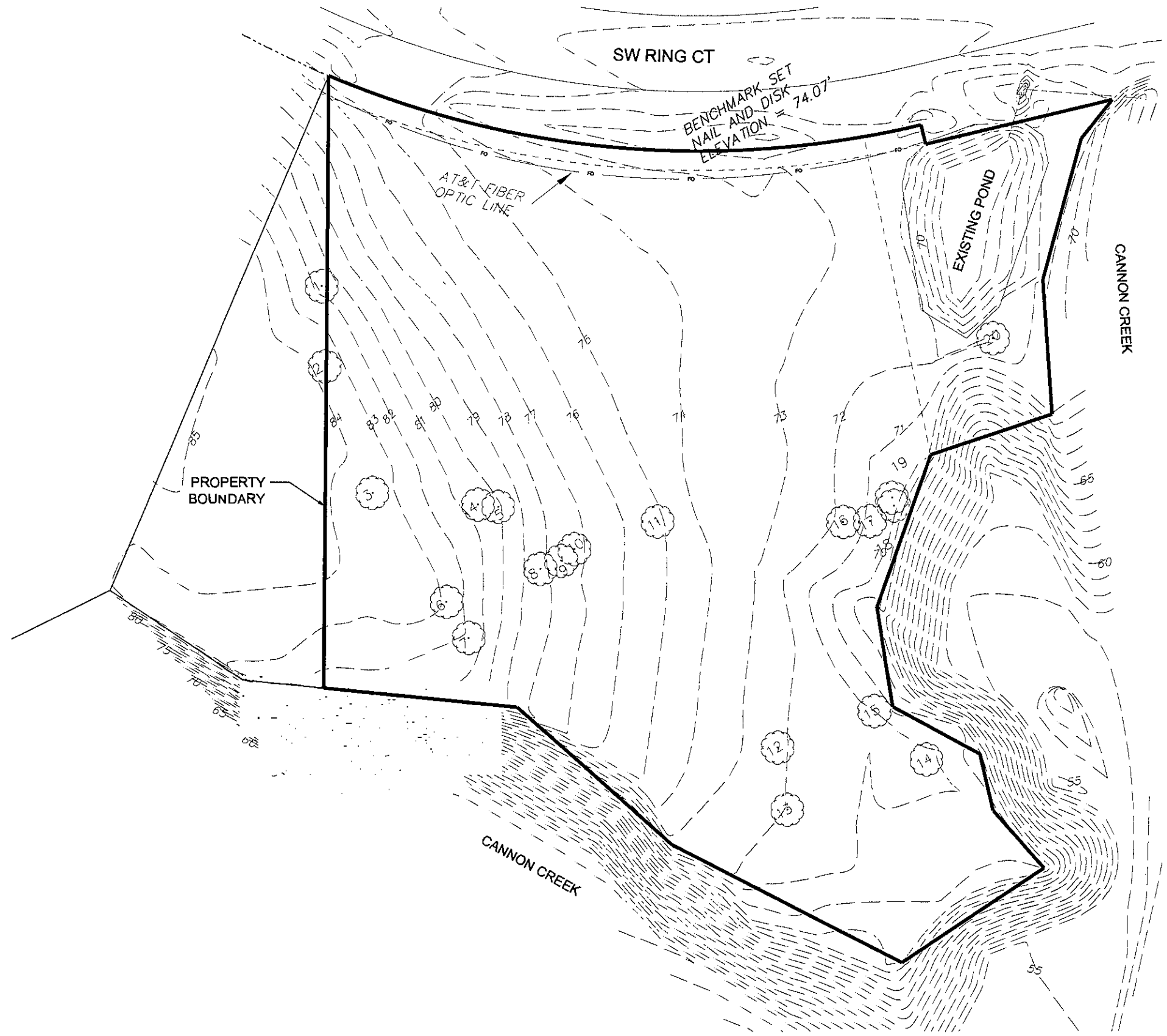
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**GLOBAL INNOVATIONS
COMMERCIAL SITE**
**MISCELLANEOUS NOTES
AND DETAILS**

CES PROJECT NO.:
2010-008
SHEET:
DET2



TREE TABLE

- 1. 26" OAK TREE
- 2. 18" PECAN TREE
- 3. 15" OAK TREE
- 4. 18" OAK TREE
- 5. 18" OAK TREE
- 6. 24" OAK TREE
- 7. 48" OAK TREE
- 8. 18" OAK TREE
- 9. 18" OAK TREE
- 10. 18" OAK TREE
- 11. 48" OAK TREE
- 12. 30" HICKORY TREE
- 13. 30" HICKORY TREE
- 14. 26" OAK TREE
- 15. 18" CEDAR TREE
- 16. 34" OAK TREE
- 17. 30" OAK TREE
- 18. 18" OAK TREE
- 19. 12" OAK TREE
- 20. 24" PINE TREE BENCHMARK
ELEVATION = 74.36'

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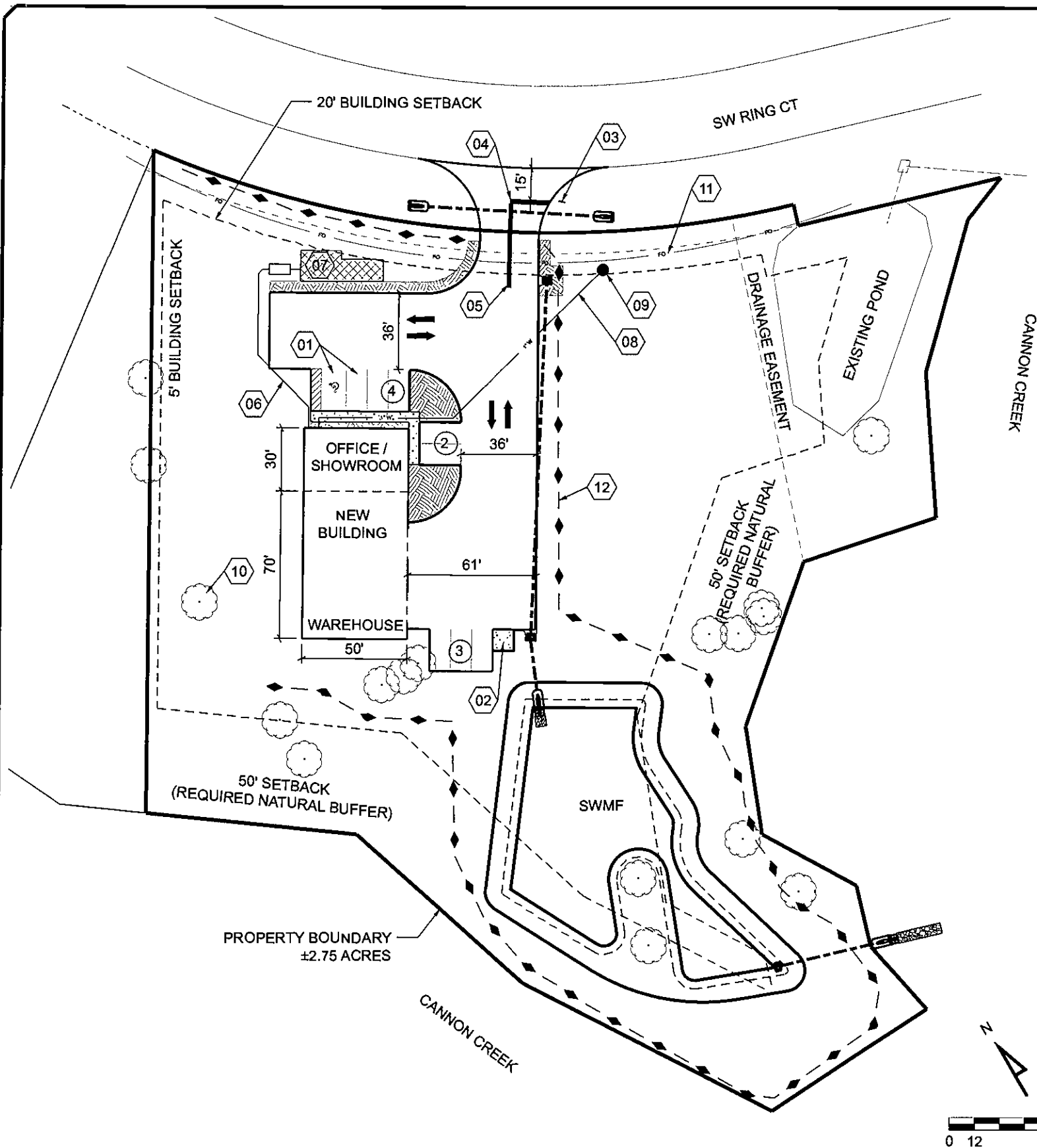
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**GLOBAL INNOVATIONS
COMMERCIAL SITE**

EXISTING CONDITIONS

CES PROJECT NO.:
2010-008
SHEET:
SIT1



LANDSCAPING
 REQUIRED LANDSCAPED AREA:
 10% OF NEW PARKING AREA = 13,875 SF * 10% = 1,388 SF

LANDSCAPE AREA PROVIDED = +2,000 SF

REQUIRED TREES
 1 TREE PER 200 SF OF REQUIRED LANDSCAPED AREA
 # OF REQUIRED TREES = 1,388 / 200 = 7 TREES

LAND USE AND ZONING
 FUTURE LAND USE: COMMERCIAL
 ZONING: COMMERCIAL HIGHWAY INTERCHANGE

DEVELOPMENT DATA
 TOTAL SITE AREA = 119,256 SF = 2.74 ACRES

EXISTING CONDITIONS IMPERVIOUS AREAS
 NONE

PROPOSED CONDITIONS IMPERVIOUS AREAS
 BUILDING (NEW) = 5,000 SF
 ASPHALT PAVEMENT (NEW) = 13,875 SF
 CONCRETE PAVEMENT (NEW) = 460 SF

TOTAL IMPERVIOUS AREA = 19,335 SF (16.2% SITE AREA)

FAR = 5,000 SF / 119,256 SF = 0.04

MINIMUM BUILDING/YARD SETBACKS PER LDR
 FRONT YARD = 35'
 SIDE YARD = 25'
 REAR YARD = 35'

PARKING CALCULATIONS
 COMMERCIAL SERVICE (SHOWROOM):
 1 SPACE PER 150 SF NON-STORAGE FLOOR AREA
 REQUIRED PARKING = 500 SF / 150 = 3 SPACES

OFFICE SPACE:
 1 SPACES PER 500 SF OF FLOOR AREA
 REQUIRED PARKING = 1,000 SF / 500 = 2 SPACES

WAREHOUSING AND STORAGE:
 1 SPACE PER 1,500 SF OF FLOOR AREA
 REQUIRED PARKING = 3,500 SF / 1500 = 2 SPACES

ACCESSIBLE PARKING :
 1 PER 25 REQUIRED SPACES = 1 SPACE

STANDARD PARKING PROVIDED = 8 SPACES
 ACCESSIBLE PARKING PROVIDED = 1 SPACE

BOUNDARY AND TOPOGRAPHICAL SURVEY
 THE BOUNDARY AND TOPOGRAPHICAL SURVEY INFORMATION SHOWN IN THESE PLANS IS BASED ON A SURVEY BY BRITT SURVEYING AND ACCOCIATES, INC., LB 7593

ELEVATIONS BASED ON NAVD 88 DATUM

UTILITIES
 WATER SERVICE: TO BE PROVIDED BY PRIVATE WELL, DESIGN AND PERMITTED BY OTHERS

WASTEWATER SERVICE: TO BE PROVIDED BY PRIVATE ON-SITE SEPTIC SYSTEM, DESIGNED AND PERMITTED BY OTHERS

ELECTRIC SERVICE: PROVIDED BY CONNECTION TO CLAY ELECTRIC FACILITIES

DRAINAGE
 THE PROPOSED STORMWATER MANAGEMENT SYSTEM IS DESIGNED TO MEET SRWMD RULES AND REGULATIONS AS A DRY RETENTION FACILITY

NOTES

- 01 OFFSTREET PARKING SEE DETAILS
- 02 10'X10' CONCRETE DUMPSTER PAD SEE DETAIL
- 03 30" X 30" FDOT R-1-1 "STOP" SIGN FDOT INDEX 11860 AND 17302
- 04 24" WHITE STOP BAR
- 05 6" DOUBLE YELLOW
- 06 4" SANITARY GRAVITY
- 07 SEPTIC SYSTEM LOCATION
- 08 1" WATER LINE
- 09 WATER WELL
- 10 EXISTING TREE TO REMAIN (TYP) SHALL BE PROTECTED DURING CONSTRUCTION
- 11 BURIED FIBER OPTIC CABLE COORDINATE WITH PROVIDER PRIOR TO CONSTRUCTION USE EXTREME CAUTION
- 12 TYPE IV SILT FENCE, ±1,000 LF FDOT INDEX 102

LEGEND

- ⑩ AVAILABLE PARKING SPACES
- ⇄ TRAFFIC FLOW
- ▨ AREA TO BE LANDSCAPED WITH GRASS, PLANTS, SHRUBS AND/OR TREES



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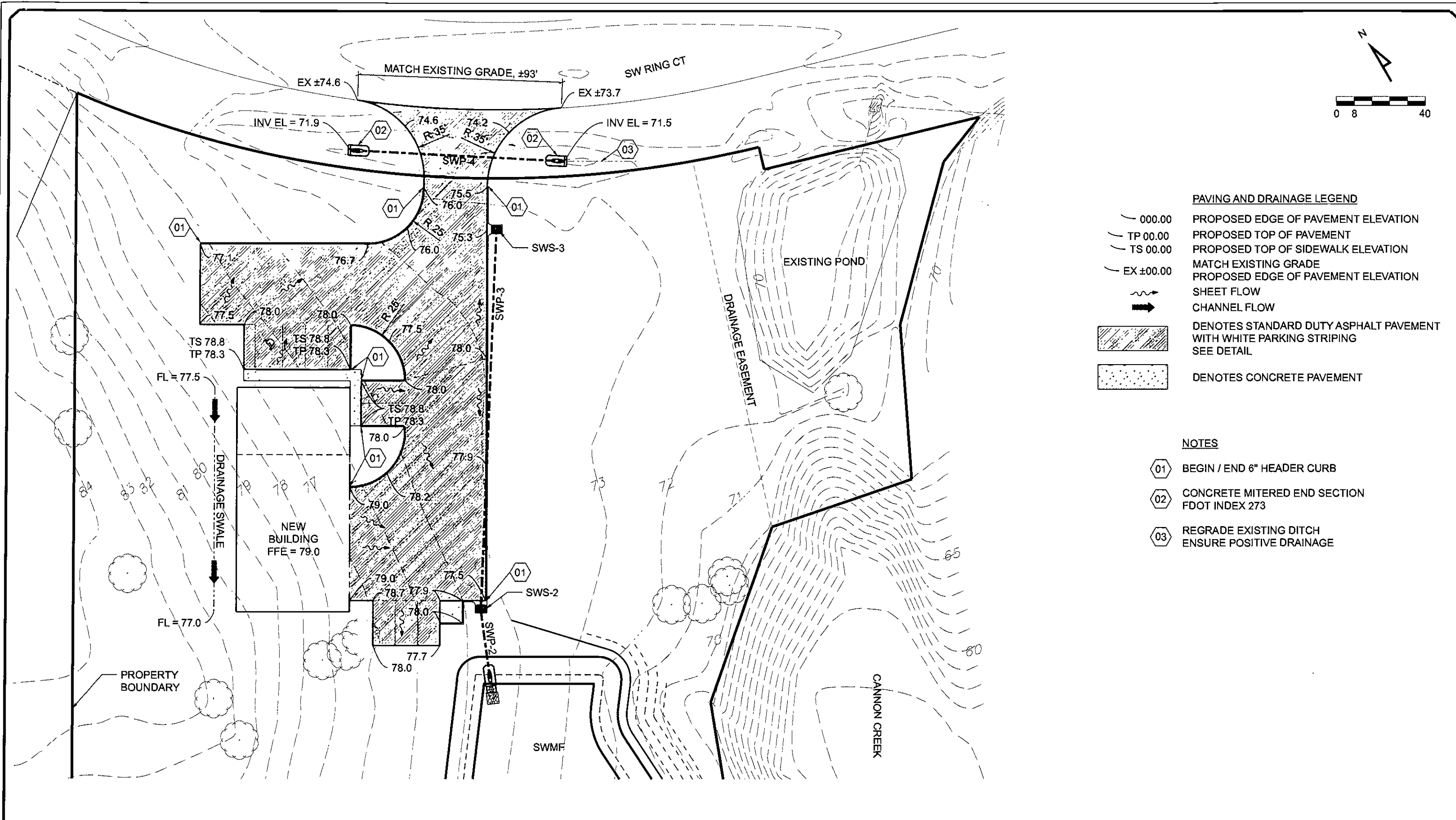
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**GLOBAL INNOVATIONS
 COMMERCIAL SITE**

SITE PLAN

CES PROJECT NO.:
 2010-008

SHEET:
 SIT2



- PAVING AND DRAINAGE LEGEND**
- 000.00 PROPOSED EDGE OF PAVEMENT ELEVATION
 - TP 00.00 PROPOSED TOP OF PAVEMENT
 - TS 00.00 PROPOSED TOP OF SIDEWALK ELEVATION
 - EX ±00.00 MATCH EXISTING GRADE
 - PROPOSED EDGE OF PAVEMENT ELEVATION
 - ~ SHEET FLOW
 - CHANNEL FLOW
 - [Diagonal Hatching] DENOTES STANDARD DUTY ASPHALT PAVEMENT WITH WHITE PARKING STRIPING SEE DETAIL
 - [Dotted Pattern] DENOTES CONCRETE PAVEMENT

- NOTES**
- 01 BEGIN / END 6" HEADER CURB
 - 02 CONCRETE MITERED END SECTION FDOT INDEX 273
 - 03 REGRADE EXISTING DITCH ENSURE POSITIVE DRAINAGE

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION



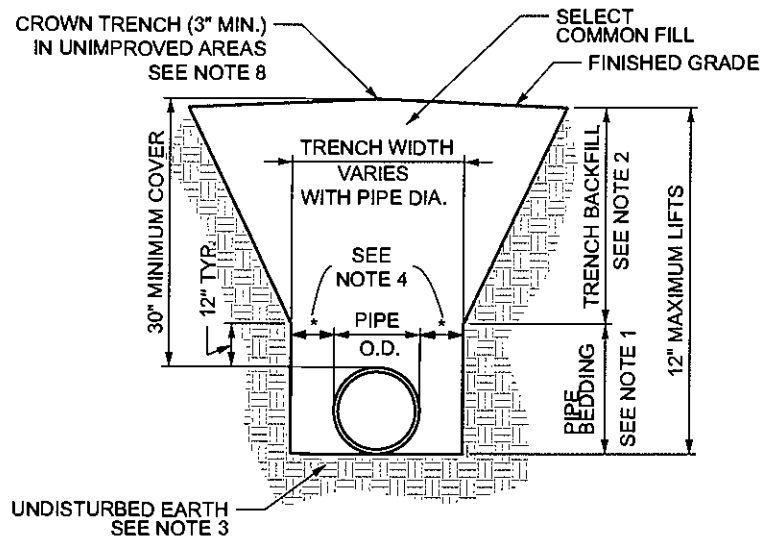
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**GLOBAL INNOVATIONS
 COMMERCIAL SITE**
**PAVING AND DRAINAGE
 PLAN**

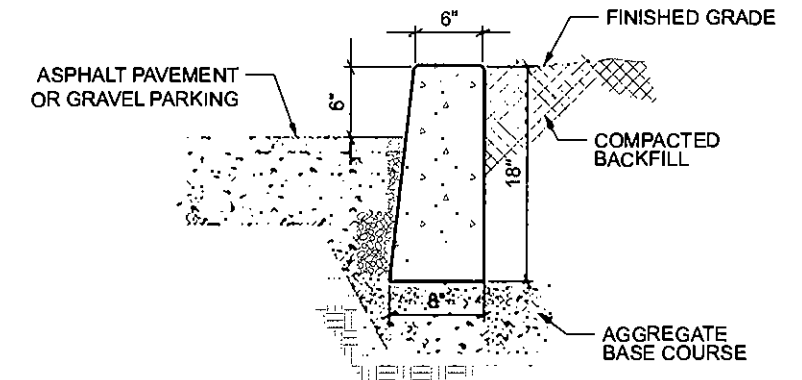
CES PROJECT NO.:
 2010-008
 SHEET:
 PAV1



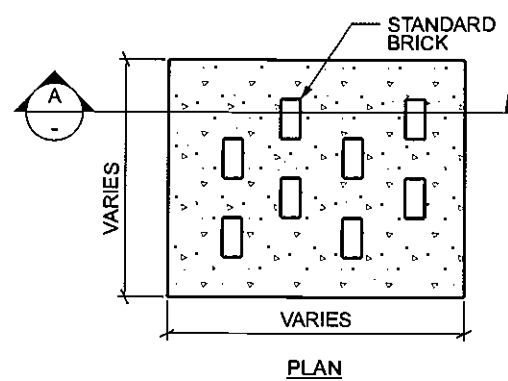
TRENCH AND BACKFILL DETAIL
NTS

NOTES

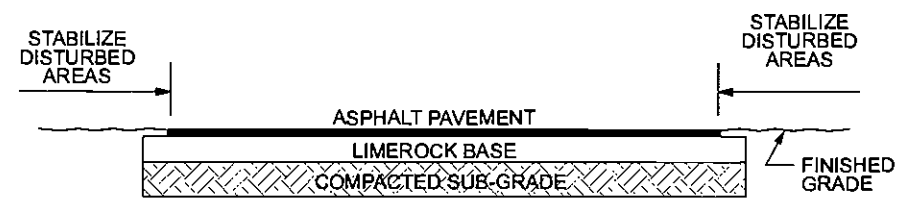
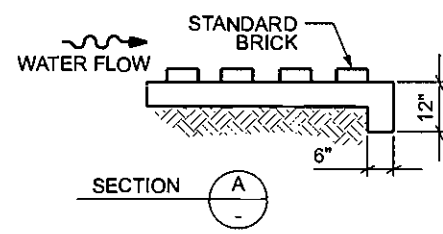
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK WILL BE REQUIRED IF OVER-EXCAVATION OCCURS.
4. (*): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
7. PROVIDE TRENCH SLOPING AND BRACING AS REQUIRED FOR SAFETY.
8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN PAVED AREAS SHALL COMPLY WITH THE REQUIREMENTS OF THE ROAD CONSTRUCTION SPECIFICATIONS.



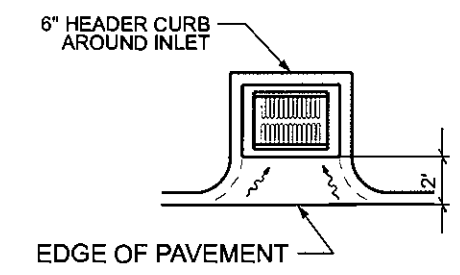
HEADER CURB DETAIL
NTS



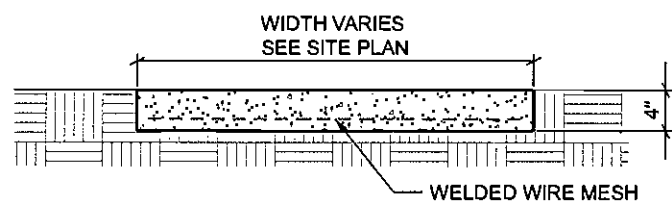
ENERGY DISSIPATION PAD DETAIL
NTS



STANDARD DUTY ASPHALT PAVEMENT SECTION
NTS



CURB INLET DETAIL
NTS



3000 PSI CONCRETE
REINFORCED WITH 6x6x10/10 WELDED WIRE MESH
PROVIDE 1/8"-1/4" CONTRACTION JOINTS
AT 10' CENTERS (MAXIMUM)
TYPICAL SIDEWALK DETAIL
NTS

STORM SEWER STRUCTURES

STRUCTURE NO.	DESCRIPTION	ELEVATIONS				NOTES		
		GRATE / RIM	ORIFICE / SLOT	INVERTS				
				N	E	S	W	
SWS-1	FDOT TYPE C MODIFIED INLET	73.60	72.50 (W)		67.60			SWMF OUTFALL STRUCTURE 3.5" DIAMETER ORIFICE, FDOT INDEX 232
SWS-2	FDOT TYPE C INLET	77.30		71.60		71.60		FDOT INDEX 232
SWS-3	FDOT TYPE C INLET	75.10			72.00	72.00		FDOT INDEX 232

STORM SEWER PIPES

PIPE NO.	LENGTH (FT)	SLOPE (%)	SIZE (IN)	MATERIAL	INVERTS			NOTES	
					FROM	TO			
SWP-1	57	-0.35	18	HDPE	67.60	SWS-1	67.40	EXIST	Outfall to Creek
SWP-2	35	-0.29	18	HDPE	71.60	SWS-2	71.50	SWMF	
SWP-3	168	-0.24	18	HDPE	72.00	SWS-3	71.60	SWS-2	
SWP-4	96	-0.31	18	HDPE	71.90	DITCH	71.60	DITCH	Driveway Culvert

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION



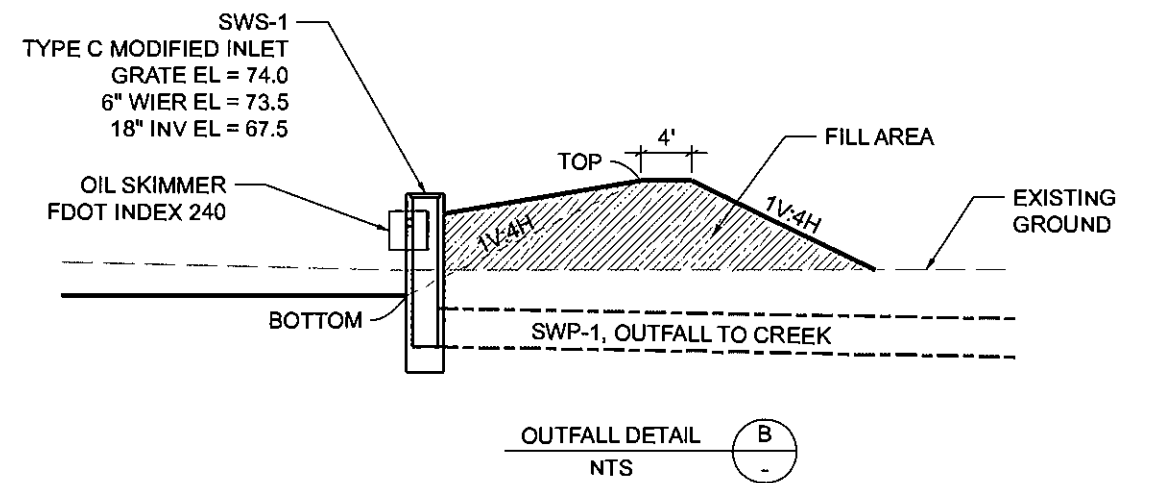
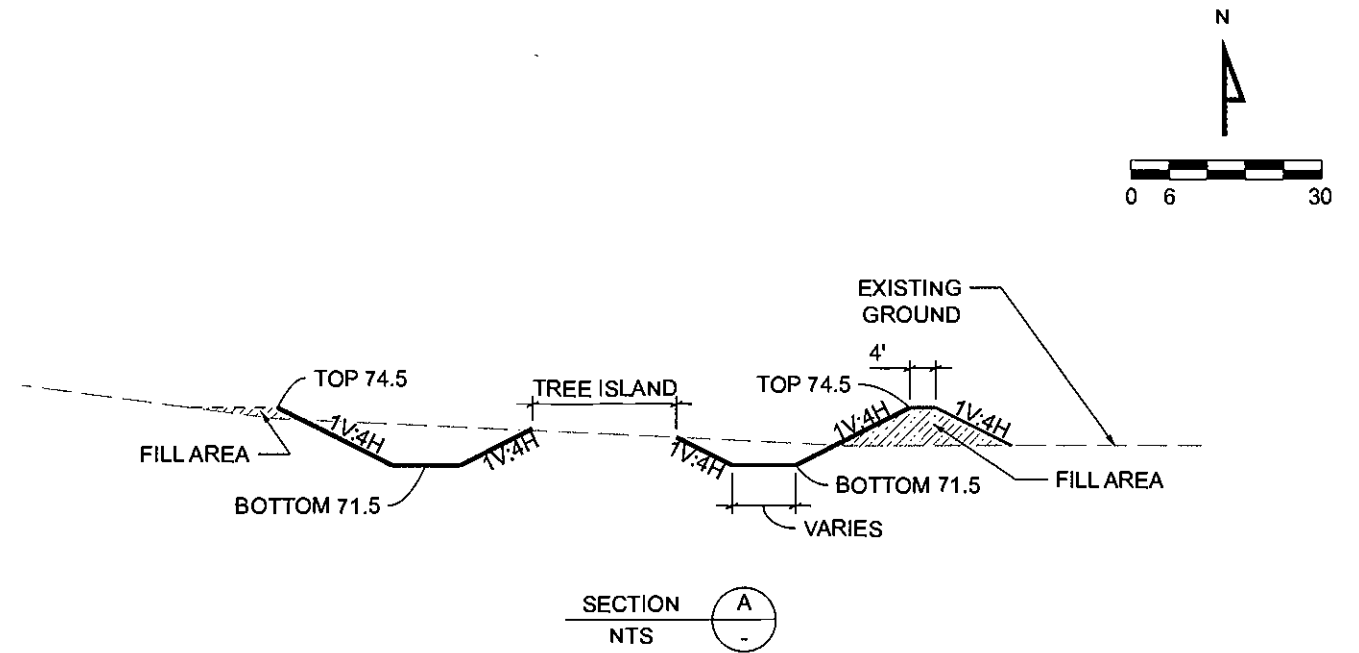
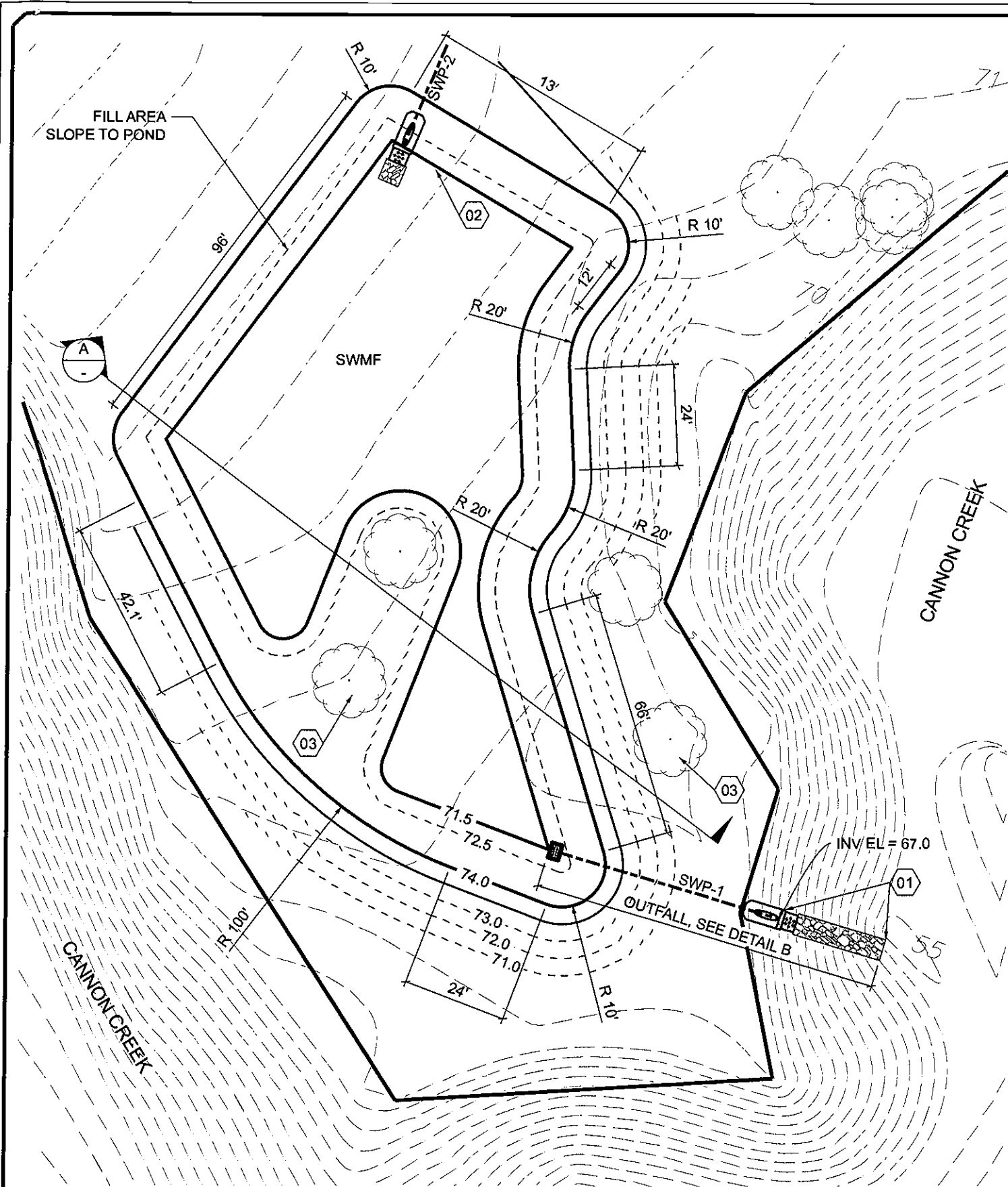
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**GLOBAL INNOVATIONS
COMMERCIAL SITE**
**PAVING AND DRAINAGE
NOTES AND DETAILS**

CES PROJECT NO.:
2010-008
SHEET:
PAV/2



NOTES

- 01 CONCRETE MES, FDOT INDEX 272
ENERGY DISSIPATION PAD
RIP RAP TO BOTTOM OF SLOPE
- 02 CONCRETE MES, FDOT INDEX 272
ENERGY DISSIPATION PAD
- 03 EXISTING TREE TO REMAIN (TYP)
SHALL BE PROTECTED
DURING CONSTRUCTION

REVISIONS					
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**GLOBAL INNOVATIONS
COMMERCIAL SITE**
**SURFACE WATER
MANAGEMENT FACILITY**

CES PROJECT NO.:
2010-008
SHEET:
SWM1