

DATE 11/20/2008

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000027488

APPLICANT DEBRA HUNT PHONE 752-6367
ADDRESS 356 NW TURNER AVE LAKE CITY FL 32055
OWNER THOMAS YOUNG PHONE 438-3951
ADDRESS 113 SE CAROB GLEN LAKE CITY FL 32025
CONTRACTOR TODD HUNT PHONE 752-6367
LOCATION OF PROPERTY 90E, TR 100, TR CR245, TR PLANT, TR GOLDIE WAY, TR CAROB,
2ND LOT ON RIGHT
TYPE DEVELOPMENT SCREEN ROOM ESTIMATED COST OF CONSTRUCTION 29400.00
HEATED FLOOR AREA TOTAL AREA 588.00 HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING RSF-2 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 03-4S-17-07570-027 SUBDIVISION SUZANNE
LOT 27 BLOCK PHASE UNIT 1 TOTAL ACRES

SCC047025
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X08-372 BK WR N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: IMPACT FEE EXEMPT, ADDITION TO EXSISTING RESIDENCE

Check # or Cash 10067

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 150.00 CERTIFICATION FEE \$ 2.94 SURCHARGE FEE \$ 2.94
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 230.88
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

CIC# 10067

For Office Use Only Application # 0811-25 Date Received 11/13 By JW Permit # 27488
 Zoning Official BLK Date 11.11.08 Flood Zone X FEMA Map # N/A Zoning RSF-2
 Land Use RES. Ldw Elevation N/A MFE N/A River N/A Plans Examiner WJ Date 11/19/08
 Comments Impact Fee Exempt - addition to existing Residence
☒ NOC ☒ EH ☐ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☒ Letter of Authorization from Contractor
☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter

Septic Permit No. V-08-372 In file box Debra Hunt Fax (386) 752-6977
 Name Authorized Person Signing Permit Todd L Hunt Phone (386) 752-6367
 Address 356 NW Turner Ave. Lake City, FL 32055
 Owners Name Thomas Young Phone 386-438-3951
 911 Address 113 SE Carob Glen LAKE CITY, FL
 Contractors Name Todd L Hunt Hunts Aluminum Phone 386-752-6367
 Address 356 NW Turner Ave Lake City FL 32055

Fee Simple Owner Name & Address _____
 Bonding Co. Name & Address _____
 Architect/Engineer Name & Address David Miller 8455 Beverly Lane St. Augustine FL 32092
 Mortgage Lenders Name & Address _____
 Circle the correct power company FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 03-45-17-07570-027 Estimated Cost of Construction \$12,750.00
 Subdivision Name Suzanne Lot 27 Block _____ Unit 1 Phase 5
 Driving Directions 90 East to Hwy 100 T/R to Hwy 245 (Price Creek Rd) T/R
go 1/8 mile T/R on Plant St. to Goldie T/R to corner of Carob + Goldie

Number of Existing Dwellings on Property 1
 Construction of Screen Room Total Acreage _____ Lot Size _____
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____
 Actual Distance of Structure from Property Lines - Front 89' Side 29' Side 32' Rear 104'
 Number of Stories 1 Heated Floor Area _____ Total Floor Area 588 Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Spoke to Debra
11/19/08 Revised 11-30-07

Columbia County Building Permit Application

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.


Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

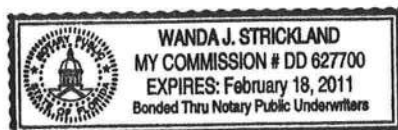

Contractor's Signature (Permitee)

Contractor's License Number SC C047025
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 11th day of NOVEMBER 2008.
Personally known X or Produced Identification _____


State of Florida Notary Signature (For the Contractor)

SEAL:



HUNTS ALUMINUM
356 NW TURNER AVE.
LAKE CITY, FL 32055
386-752-6367

TO WHOM IT MAY CONCERN:

I, TODD L. HUNT, OWNER OF HUNT'S ALUMINUM, REQUESTS
THAT DEBRA E. HUNT BE ALLOWED TO PICK UP AND DELIVER
PERMIT APPLICATIONS.

THANK YOU,

A handwritten signature in blue ink, appearing to read "TODD L. HUNT", with a stylized flourish at the end.

TODD L. HUNT
NOVEMBER 11, 2008

Prepared by & Return to:
Matthew D. Rocco
Sierra Title, LLC
619 SW Baya Drive, Suite 102
Lake City, Florida 32025

File Number: 07-0121

Inst:2007009001 Date:04/20/2007 Time:15:57
Doc Stamp-Deed : 1260.00
DC, P. DeWitt Cason, Columbia County B:1117 P:366

General Warranty Deed

Made this April 19, 2007 A.D. By **Donald L Plym, Sr and his wife, Phyllis Jean Plym**, whose address is: 113 SE Carob Gln, Lake City, Florida 32025, hereinafter called the grantor, to **Thomas V. Young and his wife, Diedri C. Young**, whose post office address is: 11050 SW 44 Street, Miami, FL 33165, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

Lot 27, of Suzanne Subdivision Unit 1, a subdivision according to the plat thereof, as recorded in Plat Book 4, Page 91, of the Public Records of Columbia County, Florida

Parcel ID Number: R07570-027

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2006.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Printed Name **Matthew D. Rocco**

 (Seal)
Donald L Plym, Sr
Address: 113 SE Carob Gln, Lake City, Florida 32025


Witness Printed Name **MELINDA WEAVER**

 (Seal)
Phyllis Jean Plym
Address:

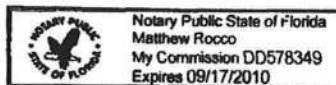
State of Florida
County of Columbia

The foregoing instrument was acknowledged before me this 19th day of April, 2007, by Donald L Plym, Sr and his wife, Phyllis Jean Plym, who is/are personally known to me or who has produced FL DL as identification.

Notary Public
Print Name:

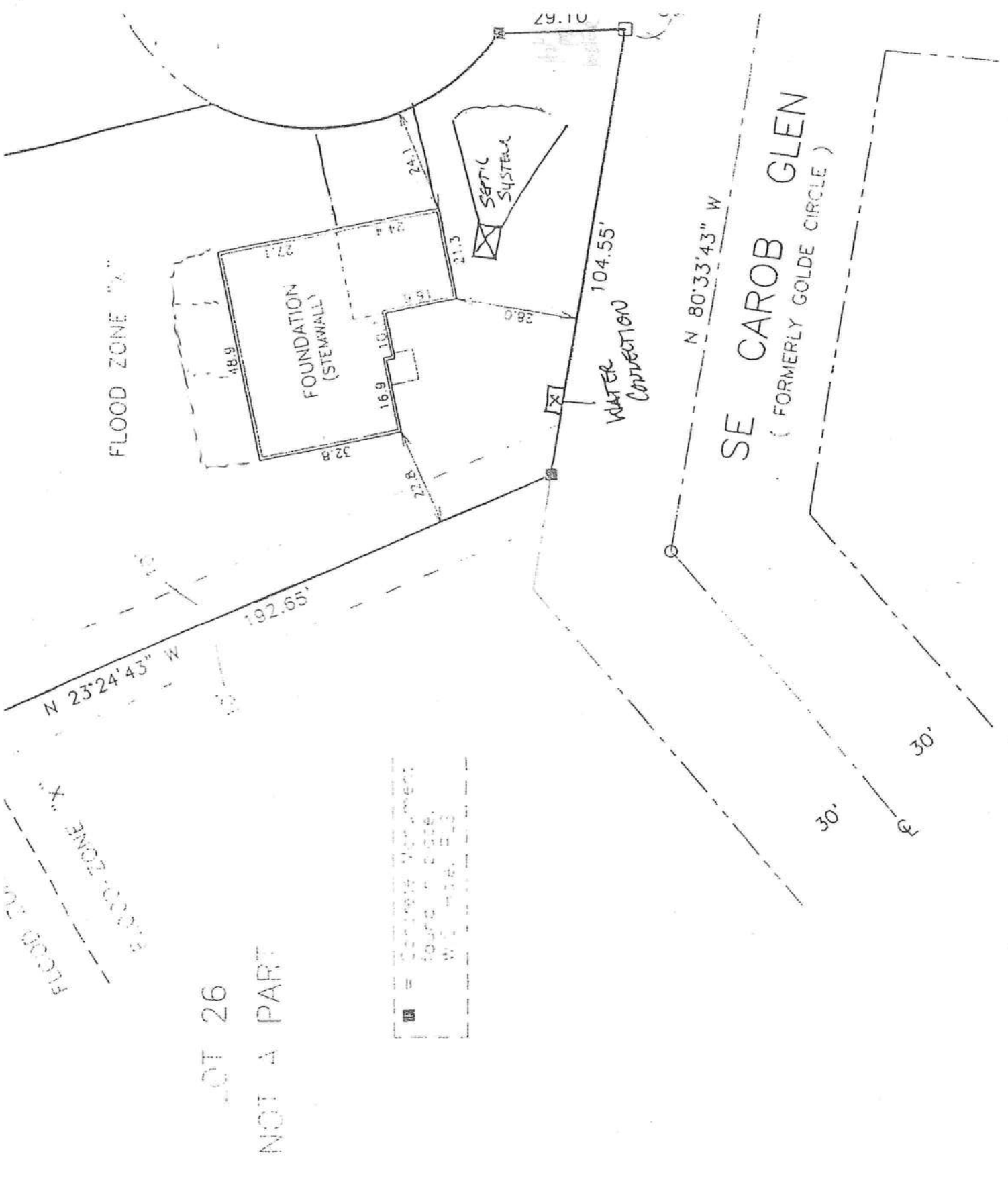
My Commission Expires:

DEED Individual Warranty Deed - Legal on Face
Closers' Choice





0811-25



LOT 26

NOT A PART

X = Concrete Vault
 O = Septic Tank
 W = Water Line

Chapter 2 - Screen Rooms

ALLOWABLE SPANS for Primary Members In Screen Walls (Posts/Columns)

Wind Zone = 110 MPH

Applied Unit Load =

13.0 PSF

Exposure B

Table 203a&b

Post / Column	Load Widths or Spacing								
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2" X 2" X 0.046" X 0.046" Hollow	5'-7"(1)	5'-3"(1)	5'-0"(1)	4'-9"(1)	4'-7"(1)	4'-5"(1)	4'-3"(1)	4'-1"(1)	3'-11"(1)
2" X 3" X 0.05" X 0.05" Hollow	7'-11"(1)	7'-6"(1)	7'-1"(1)	6'-9"(1)	6'-6"(1)	6'-3"(1)	6'-0"(1)	5'-10"(1)	5'-7"(1)
2" X 3" X 0.05" X 0.05" Snap	8'-6"(1)	8'-0"(1)	7'-8"(1)	7'-3"(1)	6'-11"(1)	6'-8"(1)	6'-5"(1)	6'-3"(1)	6'-0"(1)
2" X 4" X 0.050" X 0.050" Hollow	9'-7"(1)	9'-1"(1)	8'-7"(1)	8'-2"(1)	7'-10"(1)	7'-6"(1)	7'-3"(1)	7'-0"(1)	6'-9"(1)
2" X 4" X 0.05" X 0.05" Snap	10'-7"(1)	10'-0"(1)	9'-6"(1)	9'-1"(1)	8'-8"(1)	8'-4"(1)	8'-0"(1)	7'-9"(1)	7'-6"(1)
2" X 5" X 0.050" X 0.050" Hollow	9'-11"(1)	9'-4"(1)	8'-11"(1)	8'-6"(1)	8'-1"(1)	7'-10"(1)	7'-6"(1)	7'-3"(1)	7'-0"(1)
2"X4"X0.046"X0.10" SMB	8'-3"(1)	7'-9"(1)	7'-4"(1)	7'-0"(1)	6'-9"(1)	6'-5"(1)	6'-3"(1)	6'-0"(1)	5'-10"(1)
2"X5"X0.05"X0.116" SMB	10'-3"(1)	9'-8"(1)	9'-2"(1)	8'-9"(1)	8'-4"(1)	8'-0"(1)	7'-9"(1)	7'-6"(1)	7'-3"(1)
2"X6"X0.05"X0.12" SMB	11'-7"(1)	10'-11"(1)	10'-4"(1)	9'-10"(1)	9'-5"(1)	9'-1"(1)	8'-9"(1)	8'-5"(1)	8'-2"(1)
2"X7"X0.055"X0.12" SMB	12'-8"(1)	11'-11"(1)	11'-4"(1)	10'-10"(1)	10'-4"(1)	9'-11"(1)	9'-7"(1)	9'-3"(1)	8'-11"(1)
2"X8"X0.072"X0.224" SMB	23'-0"(1)	21'-9"(2)	20'-7"(2)	19'-8"(2)	18'-10"(2)	18'-1"(2)	17'-5"(2)	16'-10"(2)	16'-3"(2)
2"X9"X0.082"X0.306" SMB	29'-10"(2)	28'-2"(2)	26'-9"(2)	25'-6"(2)	24'-5"(2)	23'-5"(2)	22'-7"(2)	21'-10"(2)	21'-1"(2)
2"X10"X0.092"X0.389" SMB	36'-1"(2)	34'-0"(2)	32'-3"(2)	30'-9"(2)	29'-5"(2)	28'-4"(2)	27'-3"(2)	26'-4"(2)	25'-6"(2)
3" X 3" X 0.090" Hollow	9'-11"(1)	9'-4"(1)	8'-11"(1)	8'-6"(1)	8'-1"(1)	7'-10"(1)	7'-6"(1)	7'-3"(1)	7'-0"(1)
3" X 3" X 0.125" Hollow	13'-4"(1)	12'-7"(1)	11'-11"(1)	11'-5"(1)	10'-11"(1)	10'-6"(1)	10'-1"(1)	9'-9"(1)	9'-5"(1)

Note: 3x3 posts require the addition of a screen retention members on two sides

ALLOWABLE SPANS for Primary Members In Screen Walls (Posts/Columns)

Wind Zone = 120 MPH

Applied Unit Load =

15.0 PSF

Exposure B

Table 203c

Post / Column	Load Widths or Spacing								
	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2" X 2" X 0.046" X 0.046" Hollow	5'-3"(1)	4'-11"(1)	4'-8"(1)	4'-5"(1)	4'-3"(1)	4'-1"(1)	3'-11"(1)	3'-10"(1)	3'-8"(1)
2" X 3" X 0.05" X 0.05" Hollow	7'-5"(1)	6'-11"(1)	6'-7"(1)	6'-4"(1)	6'-0"(1)	5'-10"(1)	5'-7"(1)	5'-5"(1)	5'-3"(1)
2" X 3" X 0.05" X 0.05" Snap	7'-11"(1)	7'-6"(1)	7'-1"(1)	6'-9"(1)	6'-6"(1)	6'-3"(1)	6'-0"(1)	5'-10"(1)	5'-7"(1)
2" X 4" X 0.050" X 0.050" Hollow	8'-11"(1)	8'-5"(1)	7'-11"(1)	7'-7"(1)	7'-4"(1)	7'-0"(1)	6'-9"(1)	6'-6"(1)	6'-4"(1)
2" X 4" X 0.05" X 0.05" Snap	9'-11"(1)	9'-4"(1)	8'-10"(1)	8'-5"(1)	8'-1"(1)	7'-9"(1)	7'-6"(1)	7'-3"(1)	6'-11"(1)
2" X 5" X 0.050" X 0.050" Hollow	9'-3"(1)	8'-9"(1)	8'-3"(1)	7'-11"(1)	7'-7"(1)	7'-3"(1)	6'-11"(1)	6'-9"(1)	6'-6"(1)
2"X4"X0.046"X0.10" SMB	7'-8"(1)	7'-3"(1)	6'-10"(1)	6'-6"(1)	6'-3"(1)	6'-0"(1)	5'-9"(1)	5'-7"(1)	5'-5"(1)
2"X5"X0.05"X0.116" SMB	9'-6"(1)	8'-11"(1)	8'-6"(1)	8'-1"(1)	7'-9"(1)	7'-6"(1)	7'-2"(1)	6'-11"(1)	6'-9"(1)
2"X6"X0.05"X0.12" SMB	10'-9"(1)	10'-2"(1)	9'-8"(1)	9'-2"(1)	8'-9"(1)	8'-5"(1)	8'-2"(1)	7'-10"(1)	7'-7"(1)
2"X7"X0.055"X0.12" SMB	11'-9"(1)	11'-1"(1)	10'-6"(1)	10'-1"(1)	9'-7"(1)	9'-3"(1)	8'-11"(1)	8'-7"(1)	8'-4"(1)
2"X8"X0.072"X0.224" SMB	21'-5"(2)	20'-3"(2)	19'-2"(2)	18'-3"(2)	17'-6"(2)	16'-10"(2)	16'-2"(2)	15'-8"(2)	15'-2"(2)
2"X9"X0.082"X0.306" SMB	27'-10"(2)	26'-3"(2)	24'-10"(2)	23'-8"(2)	22'-8"(2)	21'-10"(2)	21'-0"(2)	20'-4"(2)	19'-8"(2)
2"X10"X0.092"X0.389" SMB	33'-7"(2)	31'-8"(2)	30'-0"(2)	28'-8"(2)	27'-5"(2)	26'-4"(2)	25'-5"(2)	24'-6"(2)	23'-9"(2)
3" X 3" X 0.090" Hollow	9'-3"(1)	8'-9"(1)	8'-3"(1)	7'-11"(1)	7'-7"(1)	7'-3"(1)	6'-11"(1)	6'-9"(1)	6'-7"(1)
3" X 3" X 0.125" Hollow	12'-5"(1)	11'-9"(1)	11'-1"(1)	10'-7"(1)	10'-2"(1)	9'-9"(1)	9'-5"(1)	9'-1"(1)	8'-9"(1)

Note: 3x3 posts require the addition of a screen retention members on two sides

Chapter 2 - Screen Rooms

ALLOWABLE SPANS for SECONDARY SCREEN WALL MEMBERS

Table 204

(GIRTS OR CHAIR RAILS)

FOR 100&110 mph Wind Zones

Table 204a&b

(Maximum Vertical Spacing 7 ft o.c.)

Unit Load = 13 lbs/sqft

	Load Width / Spacing						
Extrusion	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	5'-4"	5'-1"	4'-10"	4'-7"	4'-5"	4'-3"	4'-1"
2X3X.050 Hollow	7'-11"	7'-6"	7'-1"	6'-9"	6'-6"	6'-3"	6'-0"
2X4X.05"	10'-2"	9'-7"	9'-1"	8'-8"	8'-3"	7'-11"	7'-8"
2X3X.072"	9'-1"	8'-7"	8'-1"	7'-9"	7'-5"	7'-1"	6'-10"

FOR 120 mph Wind Zone

Table 204c

(Maximum Vertical Spacing 7 ft o.c.)

Unit Load = 15 lbs/sqft

	Load Width / Spacing						
Extrusion	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	4'-11"	4'-9"	4'-6"	4'-3"	4'-1"	3'-11"	3'-9"
2X3X.050 Hollow	7'-5"	6'-11"	6'-7"	6'-4"	6'-0"	5'-10"	5'-7"
2X4X.05"	9'-5"	8'-11"	8'-5"	8'-1"	7'-8"	7'-5"	7'-2"
2X3X.072"	8'-5"	7'-11"	7'-7"	7'-2"	6'-11"	6'-7"	6'-5"

FOR 130 mph Wind Zone

Table 204d

(Maximum Vertical Spacing 7 ft o.c.)

Unit Load = 18 lbs/sqft

	Load Width / Spacing						
Extrusion	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	4'-7"	4'-4"	4'-1"	3'-11"	3'-9"	3'-7"	3'-5"
2X3X.050 Hollow	6'-9"	6'-4"	6'-0"	5'-9"	5'-6"	5'-4"	5'-1"
2X4X.05"	8'-7"	8'-1"	7'-8"	7'-4"	7'-0"	6'-9"	6'-6"
2X3X.072"	7'-8"	7'-3"	6'-11"	6'-7"	6'-3"	6'-0"	5'-10"

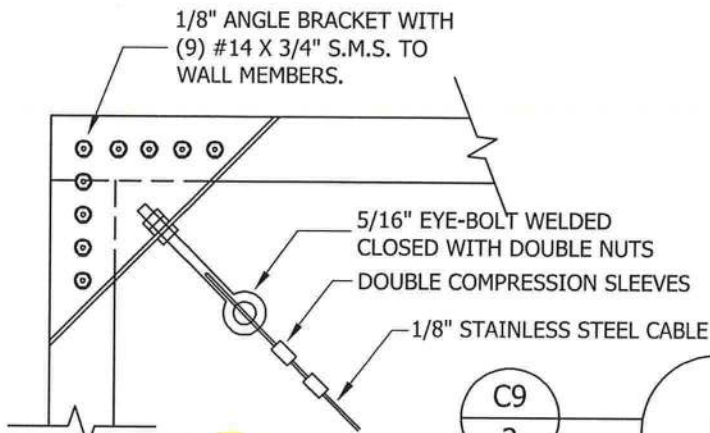
FOR 140 mph Wind Zone

Table 204e

(Maximum Vertical Spacing 7 ft o.c.)

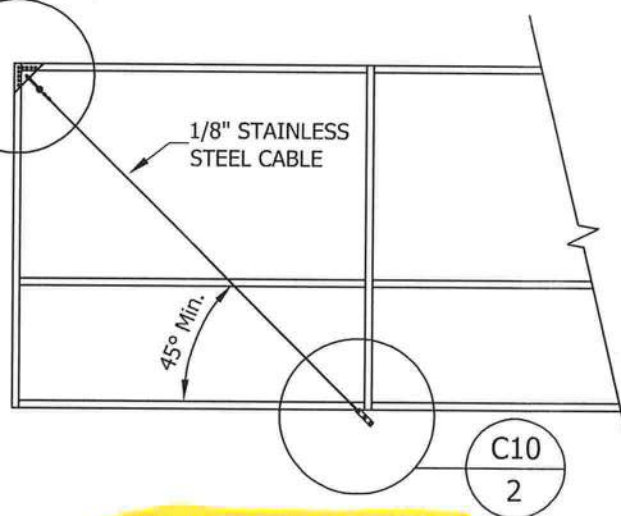
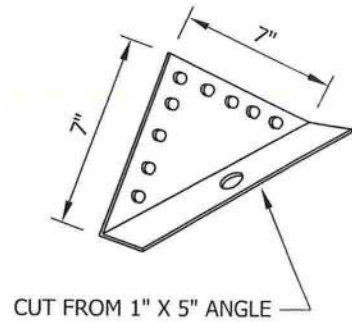
Unit Load = 21 lbs/sqft

	Load Width / Spacing						
Extrusion	4'-0"	4'-6"	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"
2X2X.046 Hollow	4'-3"	3'-11"	3'-9"	3'-7"	3'-5"	3'-4"	3'-2"
2X3X.050 Hollow	6'-3"	5'-11"	5'-7"	5'-4"	5'-1"	4'-11"	4'-9"
2X4X.05"	7'-11"	7'-6"	7'-2"	6'-10"	6'-6"	6'-3"	6'-0"
2X3X.072"	7'-2"	6'-9"	6'-5"	6'-1"	5'-10"	5'-7"	5'-5"



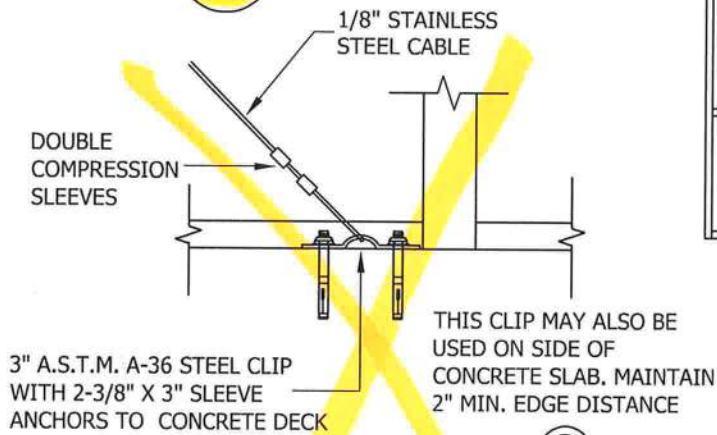
DETAIL

C9
2



TYPICAL WALL ELEVATION

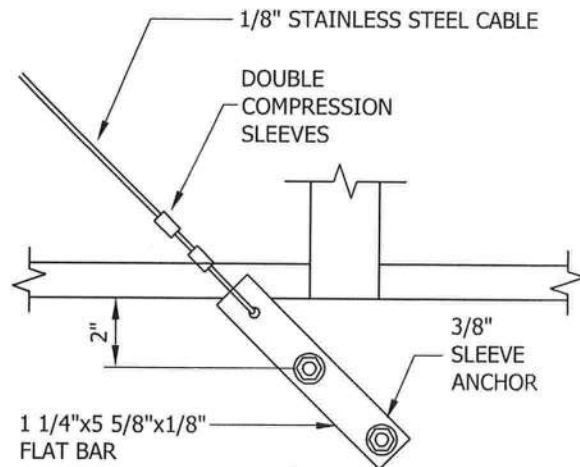
C10
2



DETAIL (ALTERNATIVE 1)

C10
2

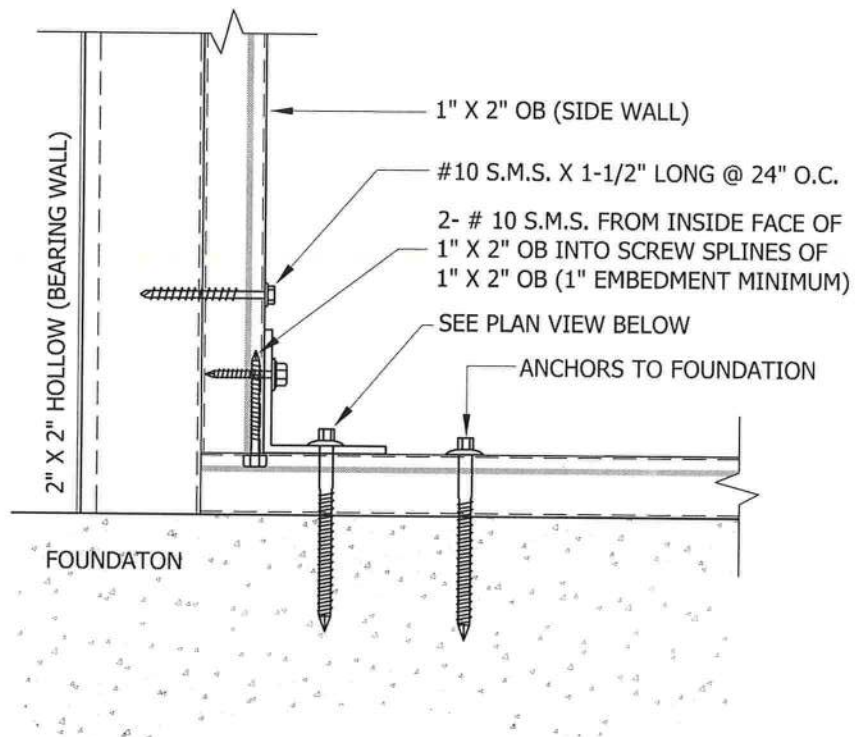
**EACH WALL NOT LATERALLY SUPPORTED BY HOST STRUCTURE MUST BE CABLED - TABULAR VALUES REPRESENT WALLS PERPENDICULAR TO CABLED WALL FOR NUMBER OF CABLES REFER TO TABLE 211



DETAIL (ALTERNATIVE 2)

C10
2

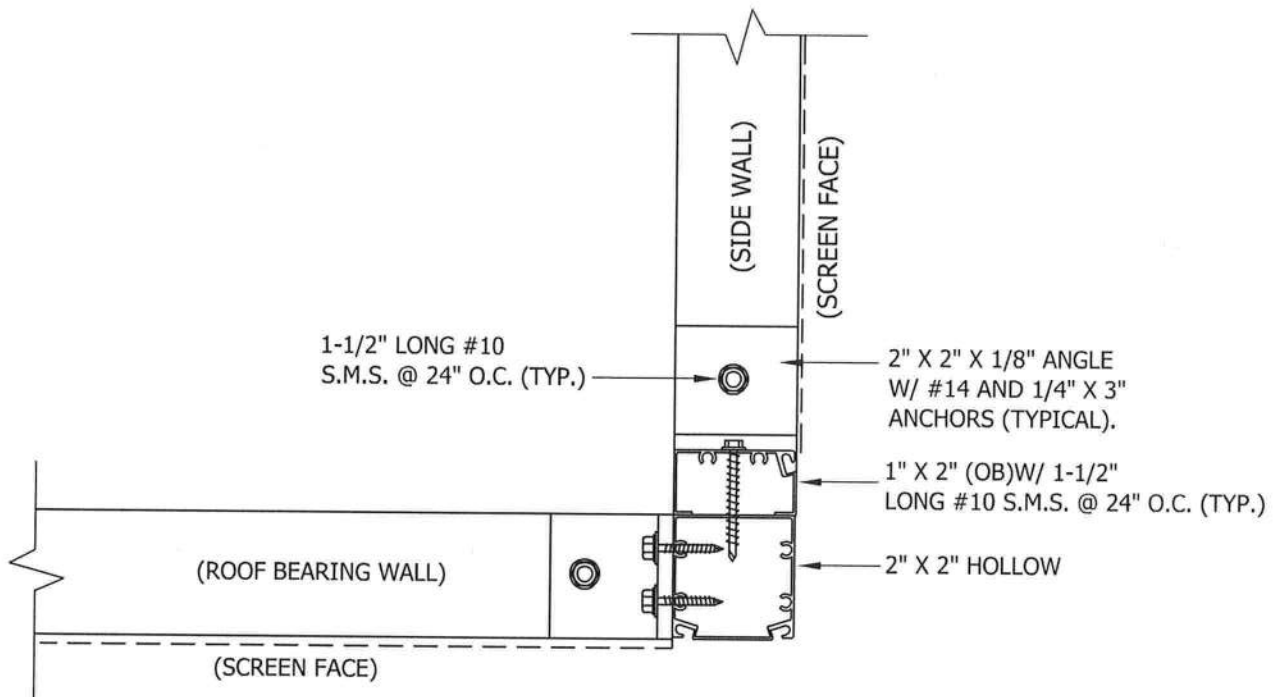
Chapter 2 - Screen Rooms



EXTERIOR CORNER DETAIL
(PARTIAL ELEVATION)

C8

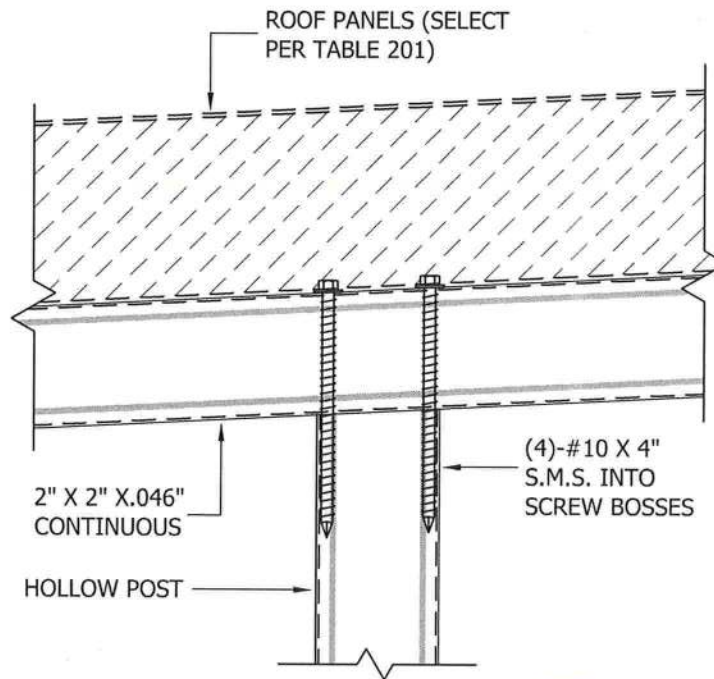
2



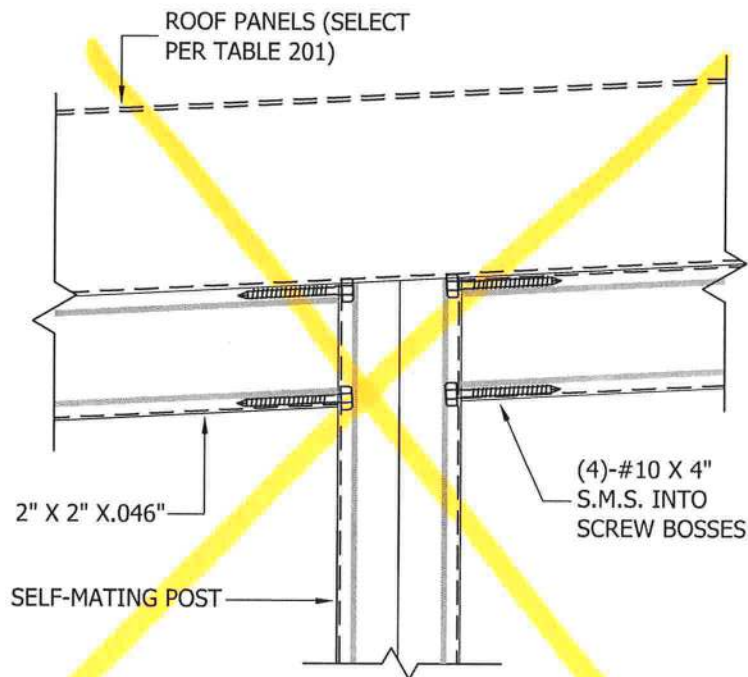
EXTERIOR CORNER DETAIL
(PLAN VIEW)

C8

2



HOLLOW POSTS W/ 2" X 2" HEADER

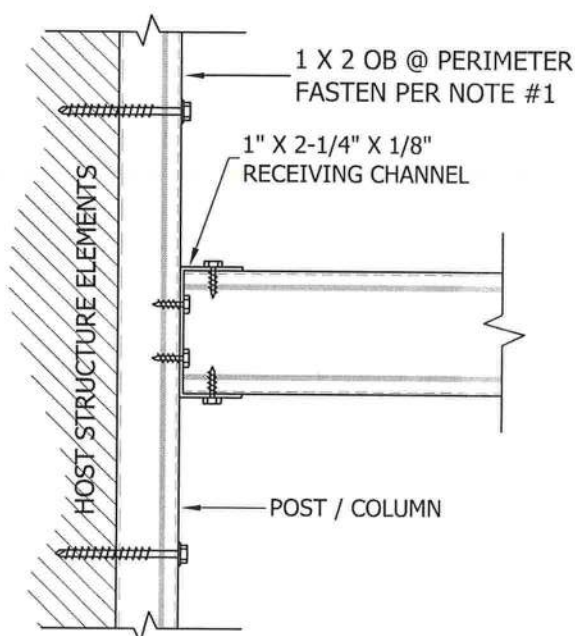
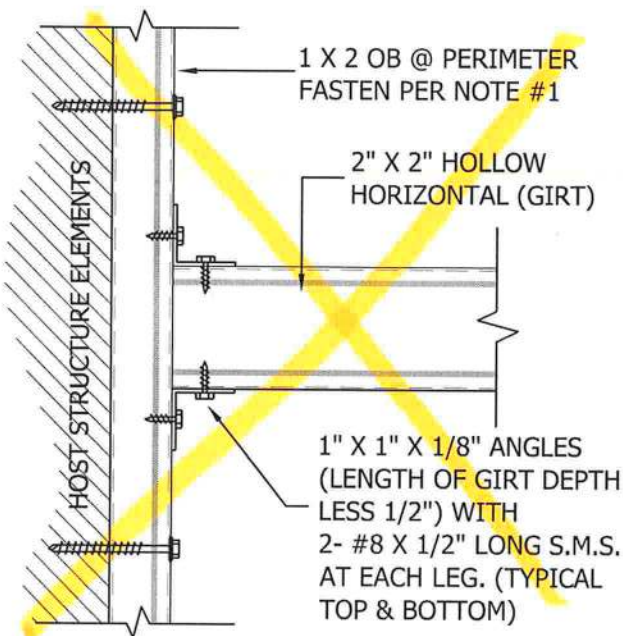


SELF-MATING POSTS W/ 2X2 HEADER

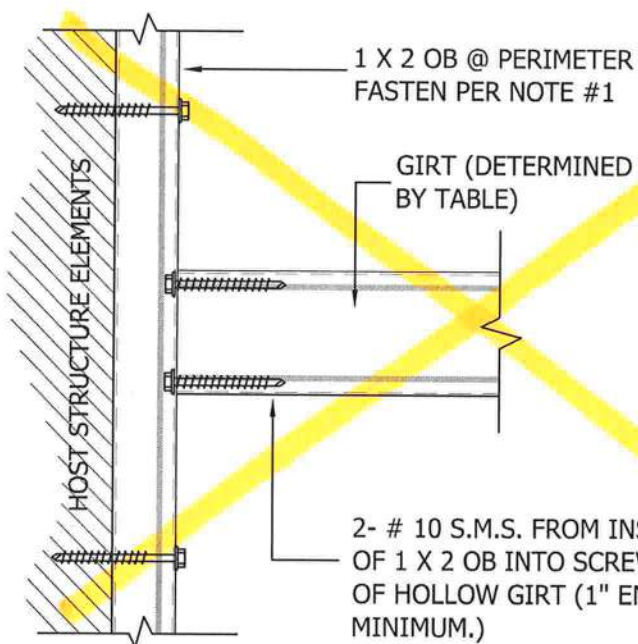
POSTS TO SIDE WALL HEADER CONNECTIONS
(PARTIAL ELEVATIONS @ WALL FACE)

C6

2



CONNECTION W/ EXPOSED FASTENERS



NOTE #1: USE 1/4"Ø X 3" LONG LAGS INTO WOOD HOST AND 1/4"Ø X 2 1/4" LONG CONCRETE SCREWS INTO CONCRETE OR MASONRY CONSTRUCTION (1" EMBEDMENT TYPICAL) SPACING 24" O.C. AND WITHIN 4" OF EACH PERPENDICULAR MEMBER

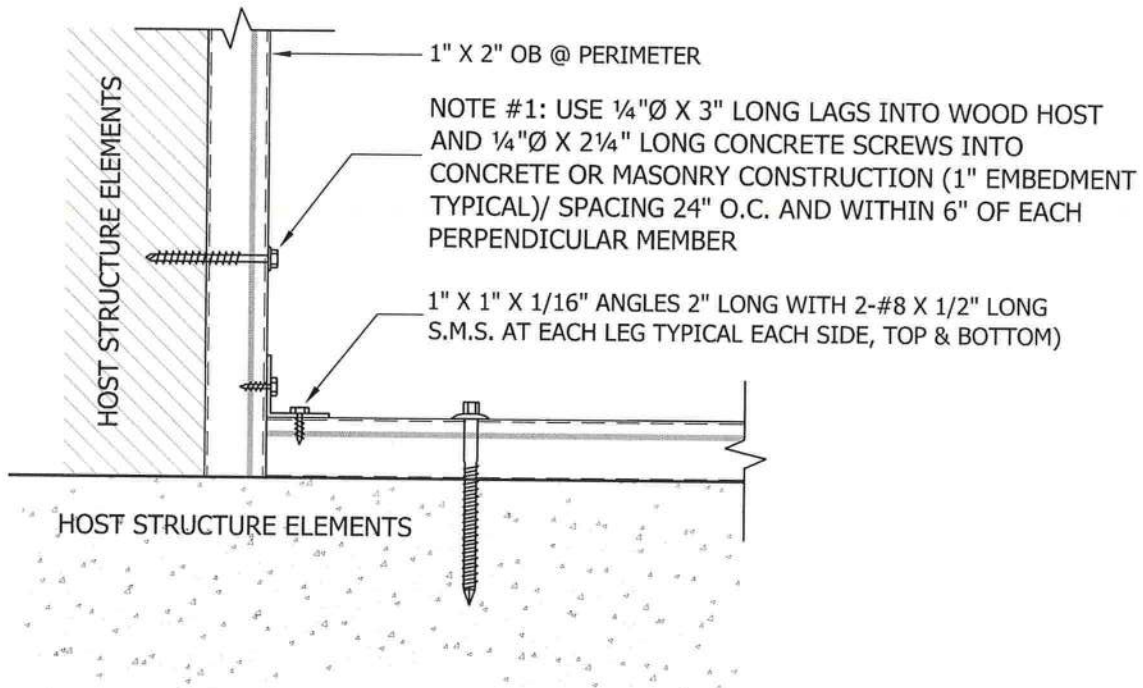
2- # 10 S.M.S. FROM INSIDE FACE OF 1 X 2 OB INTO SCREW SPLINES OF HOLLOW GIRT (1" EMBEDMENT MINIMUM.)

CONNECTION W/ CONCEALED FASTENERS

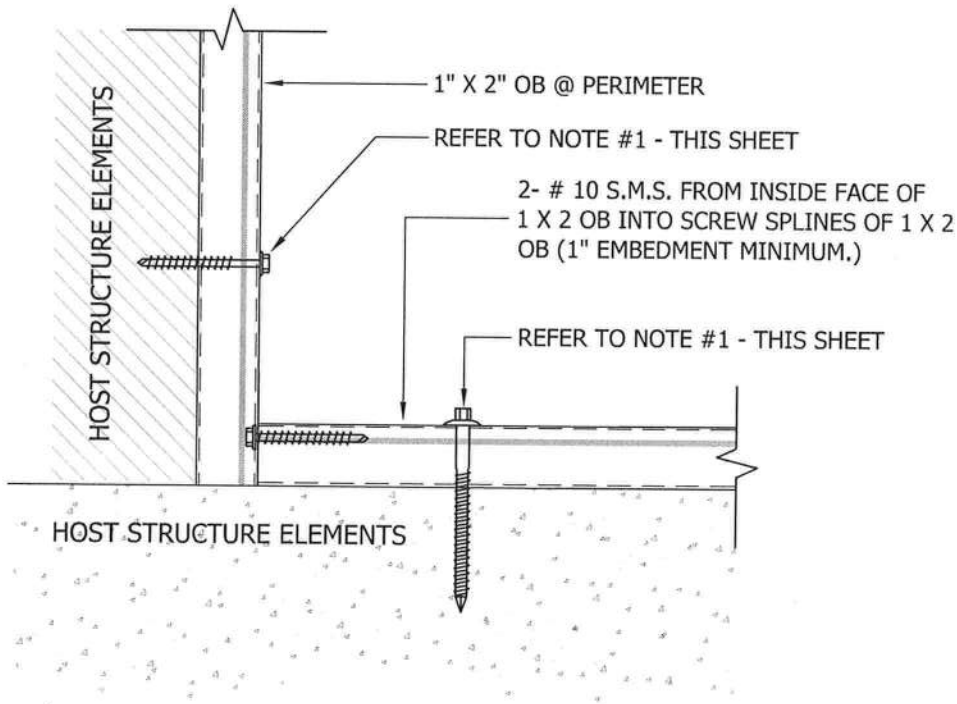
PARTIAL ELEVATIONS / 2 X 2 GIRT TO 1 X 2 CONNECTIONS

C4

2

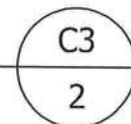


CONNECTION WITH EXPOSED FASTENERS



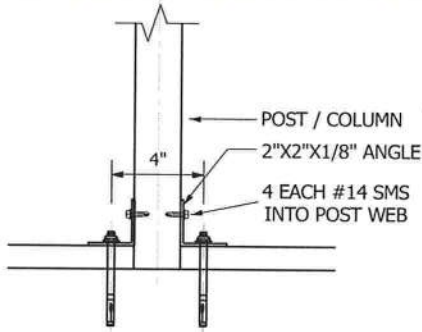
CONNECTION WITH CONCEALED FASTENERS

PARTIAL ELEVATIONS / 1" X 2" TO 1" X 2" CONNECTIONS



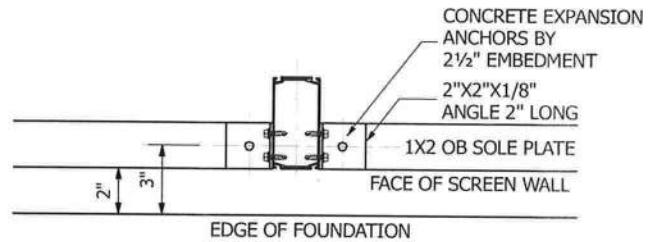
Chapter 2 - Screen Rooms

DETAIL C1 UTILIZED FOR FOUNDATION CONNECTIONS WHERE NUMERIC VALUE IN PARENTHESIS FOR ALLOWABLE SPAN (TABLE 203) OF POST IS 1; AND, DOES NOT EXCEED SPACING VALUES IN TABLE 207 (TYPE I OR TYPE II). C1(a) IS A SPECIAL CASE WHERE SCREEN WALL IS FASTENED TO THE TOP OF A MASONRY WALL (REFER TO C1(a) NOTES BELOW). TO PLACE A POST ON A MASONRY WALL, IT MUST SATISFY TABLE 203, TABLE 207 AND TABLE 215. COLUMNS (POSTS/UPRIGHTS) MUST NOT EXCEED ALLOWABLE SPANS IN TABLE 203. NUMBER IN PARENTHESIS IN TABLE 203 INDICATES THE APPROPRIATE LOAD CONDITION DETAIL (C1 OR C2).



WALL FACE PARTIAL ELEVATION
TYPICAL C1 POST/COLUMN AT FOUNDATION

C1
2

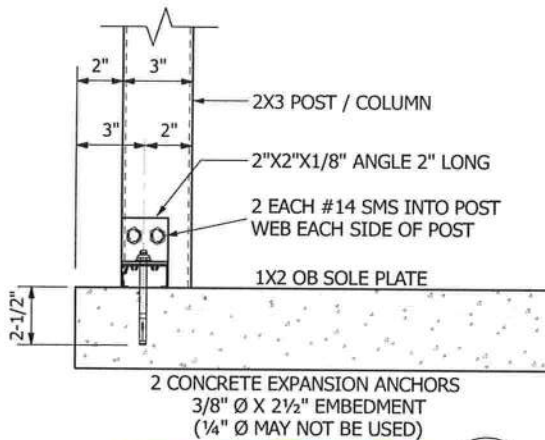


PLAN VIEW SECTION (W/ 1X2 SOLE PLATE)
TYPICAL C1 POST/COLUMN AT FOUNDATION

C1
2

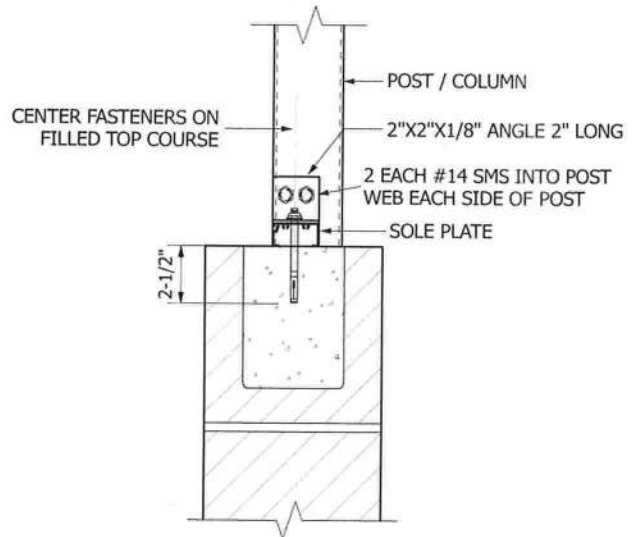
NOTES FOR CONNECTION C1(a):

- 1) C1(a) CONNECTION WITH ONLY 2 EACH 3/8" Ø CONCRETE FASTENERS;
- 2) COLUMNS MUST SATISFY BOTH COLUMN SPAN TABLE 203 AND 215 (THE LESSER OF THE TWO);
- 3) A 1X3 OB MAY BE SUBSTITUTED FOR THE 1X2 SOLE PLATE SHOWN.



SECTION / SIDE ELEVATION

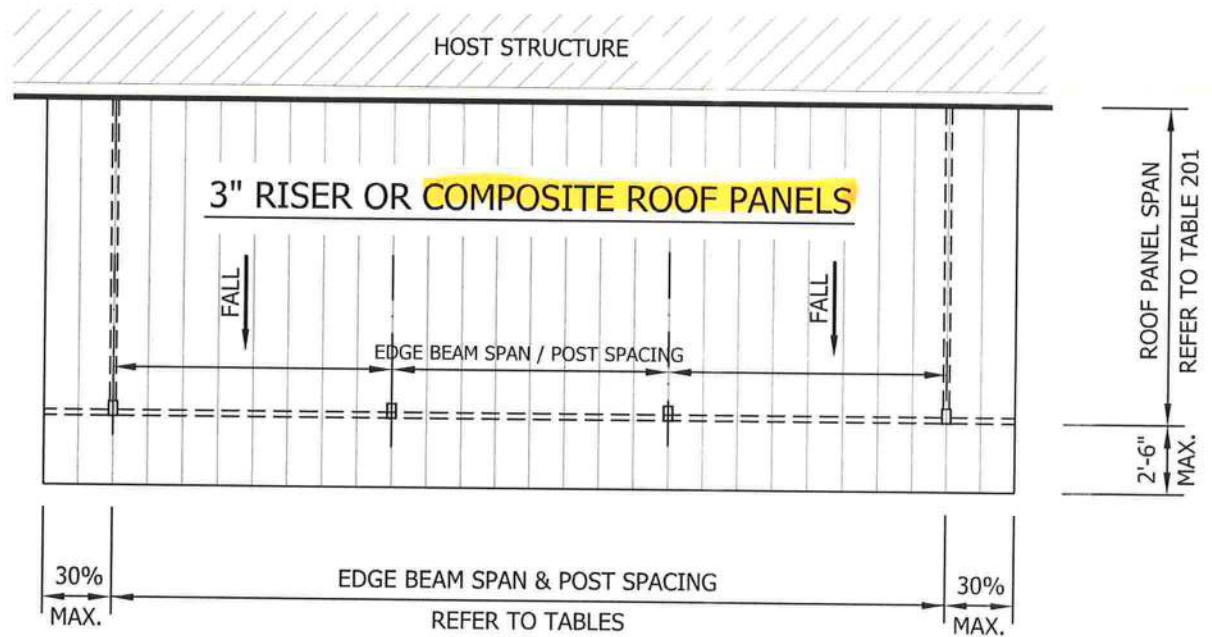
C1
2



TYPICAL C1 POST / COLUMN
CONNECTION DETAIL FOR 8" CMU WALL

C1
2

Allowable Post Heights (Spans [ft]) for 2 Each 3/8" Ø Concrete Fasteners								
Table 215		Post Spacing in feet (Load Width)						
zone	psf	5.0	5.5	6.0	6.5	7.0	7.5	8.0
110	13	18.5	16.8	15.4	14.2	13.2	12.3	11.5
120	15	16.0	14.5	13.3	12.3	11.4	10.7	10.0
130	18	13.3	12.1	11.1	10.3	9.5	8.9	8.3
140	21	11.4	10.4	9.5	8.8	8.2	7.6	7.1

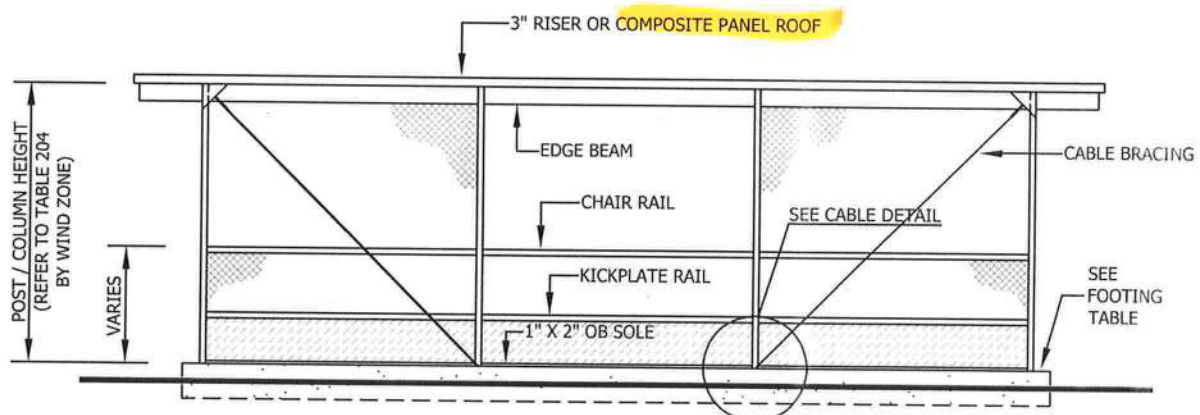


PLAN VIEW - SCREEN ROOM (SHED TYPE)

FOR ALLOWABLE SPANS, REFER TO:
 TABLE 201 FOR ROOF PANEL SPANS
 TABLE 202 FOR EDGE BEAMS
 TABLE 203 FOR POST SPANS
 TABLE 204 FOR GIRT SPANS

NOTES:

- 1) KICKPLATE RAIL AND CHAIR RAIL ARE SECONDARY WALL MEMBERS (GIRTS), SELECT FROM TABLE 204 BY WIND ZONE
- 2) MAXIMUM EDGE BEAM CANTILEVER IS 30% OF ALLOWABLE SPAN FOR SELECTED EDGE BEAM
- 3) MAXIMUM ROOF PANEL CANTILEVER IS 2' - 6"



FRONT ELEVATION - SCREEN ROOM (SHED TYPE)

Columbia County Property Appraiser

DB Last Updated: 10/21/2008

2008 Certified Values

Tax Record

Property Card

Interactive GIS Map

Print

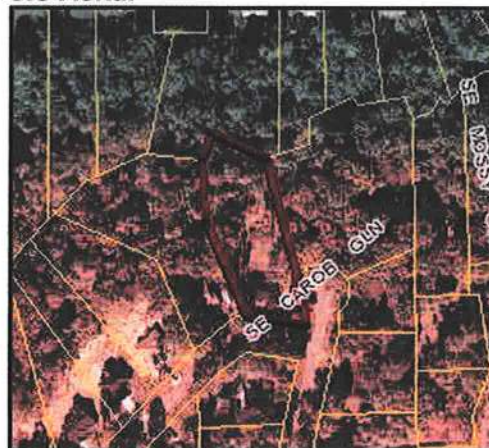
Parcel: 03-4S-17-07570-027

Owner & Property Info

Search Result: 1 of 1

Owner's Name	YOUNG THOMAS V & DIEDRI C		
Site Address	CAROB		
Mailing Address	113 SE CAROB GLN LAKE CITY, FL 32025		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	3417.02	Tax District	2
UD Codes	MKTA06	Market Area	06
Total Land Area	0.000 ACRES		
Description	LOT 27 SUZANNE S/D UNIT 1. ORB 522-434, 971-1597, AFD 1030-1112, WD 1058-431, WD 1058-2673. WD 1091-1328 WD 1117-366		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$25,000.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$117,902.00
XFOB Value	cnt: (1)	\$2,700.00
Total Appraised Value		\$145,602.00

Just Value	\$145,602.00
Class Value	\$0.00
Assessed Value	\$145,602.00
Exempt Value	\$0.00
Total Taxable Value	\$145,602.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
4/19/2007	1117/366	WD	I	Q		\$180,000.00
8/1/2006	1091/1328	WD	I	Q		\$177,000.00
9/13/2005	1058/431	WD	V	U	04	\$0.00

Building Characteristics

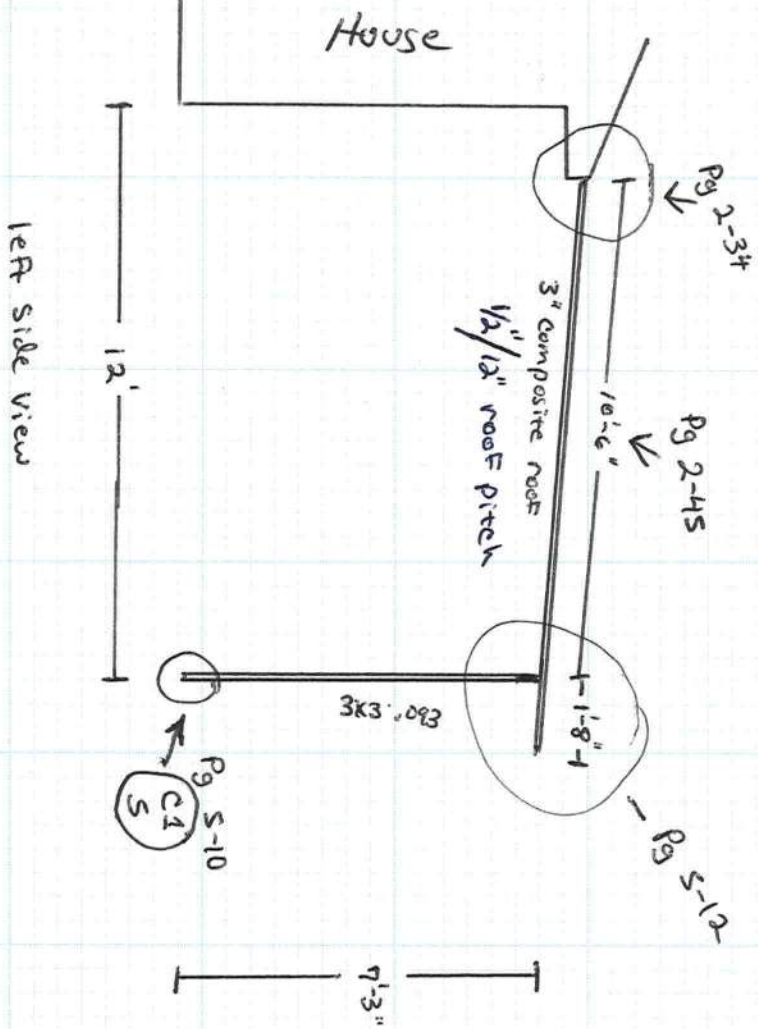
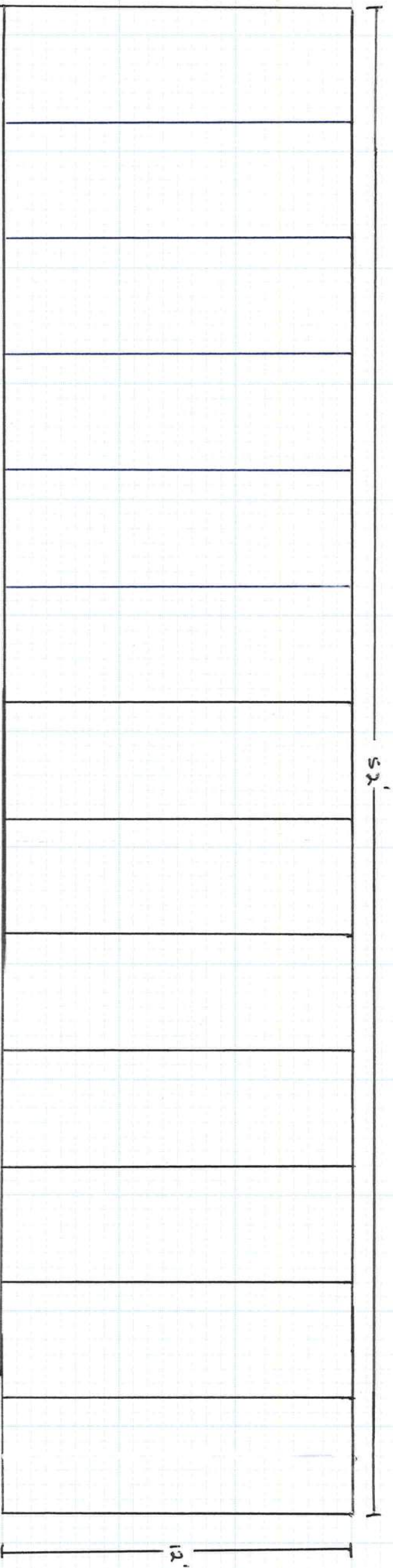
Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2006	(32)	1590	2232	\$117,902.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	2006	\$2,700.00	900.000	0 x 0 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	1.000 LT - (.000AC)	1.00/1.00/1.25/1.00	\$25,000.00	\$25,000.00



HUNT'S ALUMINUM

LAKE CITY, FLORIDA 32055
() 752-6367

JOB _____

SHEET NO. _____ OF _____

CALCULATED BY _____ DATE _____

CHECKED BY _____ DATE _____

SCALE _____

Notice of Treatment

ADD to
15140

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 556 SE 15th Ave

City: Fort Lauderdale Phone: 754 770 1703

Site Location: Subdivision Suzanne

Lot # 27 Block # 27488 Permit # 27488

Address 113 SE 15th Ave

Product used Active Ingredient % Concentration

☐ Premise Imidacloprid 0.1%

☒ Termidor Fipronil 0.12%

☐ Bora-Care Disodium Octaborate Tetrahydrate 23.0%

Type treatment: ☒ Soil ☐ Wood

Area Treated Square feet Linear feet Gallons Applied

Area Treated 588 122 0.0

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line .

Date 12/3/08 Time 0830 Print Technician's Name Jose Hernandez

Remarks:

Applicator - White Permit File - Canary Permit Holder - Pink

10/05 ©