

DATE 01/10/2013

**Columbia County Building Permit**  
This Permit Must Be Prominently Posted on Premises During Construction

**PERMIT**  
**000030707**

APPLICANT DAVID SIMQUE PHONE 386-867-0294  
ADDRESS PO BOX 2962 LAKE CITY FL 32056  
OWNER FABRIC ART SHOP, LLC PHONE 954-292-4677  
ADDRESS 4136 W US HIGHWAY 90 LAKE CITY FL 32055  
CONTRACTOR DAVID SIMQUE PHONE 386-867-0294  
LOCATION OF PROPERTY 90 WEST NEXT TO CAR WASH ON THE LEFT

TYPE DEVELOPMENT COMM BUILDING ESTIMATED COST OF CONSTRUCTION 349000.00  
HEATED FLOOR AREA 6300.00 TOTAL AREA 6300.00 HEIGHT 20.00 STORIES 1  
FOUNDATION CONCRETE WALLS METAL ROOF PITCH 3/12 FLOOR SLAB  
LAND USE & ZONING CHI MAX. HEIGHT 35  
Minimum Set Back Requirments: STREET-FRONT 20.00 REAR 15.00 SIDE 5.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. \_\_\_\_\_

PARCEL ID 34-3S-16-02491-001 SUBDIVISION \_\_\_\_\_  
LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ PHASE \_\_\_\_\_ UNIT \_\_\_\_\_ TOTAL ACRES 1.50

CGC1516165  
Culvert Permit No. \_\_\_\_\_ Culvert Waiver \_\_\_\_\_ Contractor's License Number X Applicant/Owner/Contractor \_\_\_\_\_  
EXST/CONDITIONS CITY BK TC Y  
Driveway Connection \_\_\_\_\_ Septic Tank Number \_\_\_\_\_ LU & Zoning checked by \_\_\_\_\_ Approved for Issuance \_\_\_\_\_ New Resident \_\_\_\_\_

COMMENTS: SDP 12-04, SEE ATTACHED MEMO FOR OTHER CONDITIONS PRIOR TO CO BEING ISSUED, MINIMUM FLOOR ELEVATION SET @ 157.8, NEED FLOOR HEIGHT CONFIRMATION LETTER AT SLAB, FIRE DEPT APPROVAL REC'D, CITY WATER & SEWER Check # or Cash 1511

**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power \_\_\_\_\_ Foundation \_\_\_\_\_ Monolithic \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Framing \_\_\_\_\_ Insulation \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Rough-in plumbing above slab and below wood floor \_\_\_\_\_ Electrical rough-in \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Heat & Air Duct \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_ Pool \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Permanent power \_\_\_\_\_ C.O. Final \_\_\_\_\_ Culvert \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Pump pole \_\_\_\_\_ Utility Pole \_\_\_\_\_ M/H tie downs, blocking, electricity and plumbing \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Reconnection \_\_\_\_\_ RV \_\_\_\_\_ Re-roof \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

BUILDING PERMIT FEE \$ 1745.00 CERTIFICATION FEE \$ 31.50 SURCHARGE FEE \$ 31.50  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ \_\_\_\_\_  
FLOOD DEVELOPMENT FEE \$ \_\_\_\_\_ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ \_\_\_\_\_ **TOTAL FEE** 1883.00

INSPECTORS OFFICE Lisa Jodson CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

**The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.**



# SWANSON PLAZA

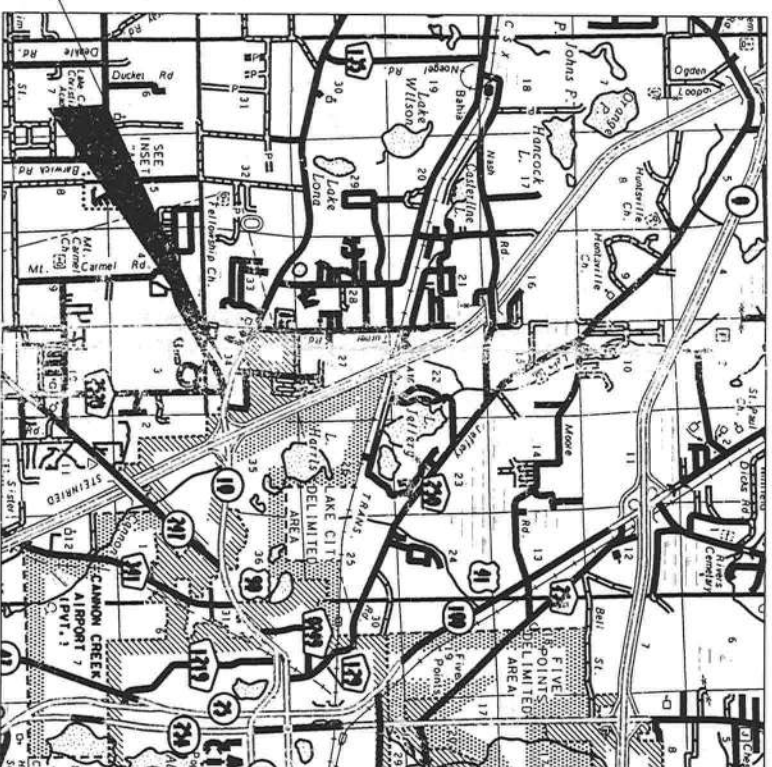
# CES

Crews Engineering Services, LLC

P.O. BOX 970  
LAKE CITY, FL 32056  
PHONE: 386.754.4085  
[www.crewsengineeringservices.com](http://www.crewsengineeringservices.com)

CERTIFICATE OF AUTHORIZATION: NO. 28022

PROJECT LOCATION



SITE PLAN FOR:  
BARBIE SWANSON  
FABRIC ART SHOP LLC  
158 SW DOMINO WAY  
LAKE CITY, FL 32025  
386.755.0179

LOCATION MAP

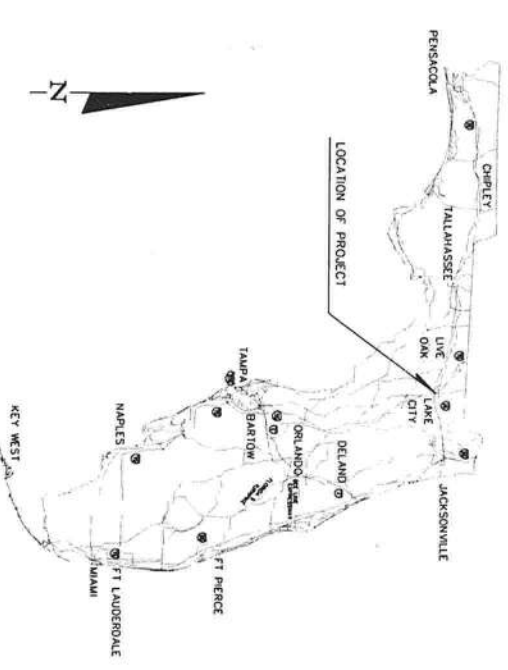
SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST  
COLUMBIA COUNTY, FLORIDA

PARCEL # 34-3S-16-02491-001

CES PROJECT ID:

2012-031

PERMITTING PLANS ONLY  
NOT FOR CONSTRUCTION



## INDEX OF SHEETS

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BRETT A. CREWS, P.E. 65592



GENERAL

1. ALL EXISTING UTILITIES SHALL BE LOCATED PRIOR TO BEGINNING WORK. THIS INCLUDES VERIFYING LOCATION (HORIZONTAL AND VERTICAL) AT ANY CONNECTION POINT OF THE EXISTING UTILITY. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES EXISTING BETWEEN THE CONSTRUCTION PLANS AND ACTUAL FIELD CONDITIONS. EXISTING UTILITIES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY AND SHALL BE VERIFIED IN THE FIELD BY NON-DESTRUCTIVE METHODS.
2. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE CONNECTION TO THE EXISTING UTILITIES. THIS INCLUDES, BUT IS NOT LIMITED TO, MANHOLE CORING, WET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.
3. CONTRACTOR SHALL CONTACT THE CITY OF LAKE CITY (386.397.2310) PRIOR TO BEGINNING WORK TO COORDINATE INSPECTION OF UTILITY CONNECTIONS.
4. EXISTING WATER SHOULD REMAIN IN SERVICE DURING CONSTRUCTION. THE CITY OF LAKE CITY SHALL BE NOTIFIED IN THE EVENT INTERRUPTIONS TO SERVICE ARE REQUIRED.
5. ALL NEW AND RELOCATED WATER MAIN PIPES, FITTINGS, APPURTENANCES AND PACKING AND JOINT MATERIALS SHALL CONFORM TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS AND/OR MANUFACTURES RECOMMENDATIONS.
6. SUFFICIENT VALVES SHALL BE PROVIDED IN NEW AND RELOCATED WATER MAINS TO MINIMIZE INCONVENIENCE AND SANITARY HAZARDS DURING REPAIRS.
7. AT HIGH POINTS WHERE AIR CAN ACCUMULATE IN NEW AND RELOCATED WATER MAINS, HYDRANTS OR AIR RELEASE VALVES SHALL BE PROVIDED TO REMOVE AIR.
8. AUTOMATIC AIR RELEASE VALVES ON NEW AND RELOCATED WATER MAINS SHALL NOT BE LOCATED WHERE FLOODING OF THE VALVE MANHOLE OR CHAMBER COULD OCCUR.
9. HYDRANT DRAINS, FLUSHING DEVICES, AIR RELEASE VALVES OR CHAMBERS, MANHOLES CONTAINING VALVES, BLOW-OFFS, METERS, OR OTHER APPURTENANCES PROVIDED IN CONNECTION WITH NEW AND RELOCATED WATER MAINS SHALL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER.
10. STONES FOUND IN TRENCHES FOR NEW AND RELOCATED WATER AND SANITARY SEWER MAINS SHALL BE REMOVED TO A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF PIPE. CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED IN THESE TRENCHES. THIS BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND PIPE TO A SUFFICIENT HEIGHT ABOVE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE.
11. ALL TEES, BENDS, PLUGS, AND HYDRANTS IN NEW AND RELOCATED WATER MAINS SHALL BE PROVIDED WITH RESTRAINED JOINTS TO PREVENT MOVEMENT. MEGALUG MECHANICAL JOINT RESTRAINTS OR APPROVED ALTERNATIVE (NOT THRUST BLOCKS) SHALL BE USED WITH MANUFACTURES RECOMMENDATIONS. ALL RESTRAINED JOINTS SHALL BE LEFT OPEN UNTIL INSPECTED BY THE TOWN.
12. A 24" MINIMUM COVER HEIGHT SHALL BE PROVIDED ABOVE ANY NEW OR RELOCATED WATER OR SANITARY SEWER MAIN CROSSING UNDER ANY SURFACE WATER. PROVIDE THE FOLLOWING FEATURES IF WIDTH OF SURFACE WATER IS GREATER THAN 15' AT THIS CROSSING:
  - A) FLEXIBLE WATER TIGHT JOINTS THROUGHOUT THE CROSSING
  - B) EASILY ACCESSIBLE VALVES LOCATED IN A MANHOLE
  - C) PERMANENT TAPS ON EACH SIDE OF VALVE WITHIN THE MANHOLE TO ALLOW FOR SAMPLING AND INSERTION OF A SMALL METER TO DETERMINE LEAKAGE
13. PROPER BACKFLOW PREVENTION SHALL BE PROVIDED IN ACCORDANCE WITH RULE 62-565.360 F.A.C. (CROSS-CONNECTION CONTROL FOR PUBLIC WATER SYSTEMS).
15. THIS PROJECT SHALL NOT INCLUDE ANY INTERCONNECTION BETWEEN PREVIOUSLY SEPARATE PUBLIC WATER SYSTEMS HAVING SEPARATE WATER SUPPLY SOURCES.
16. ANY NEW AND RELOCATED WATER LATERALS SHALL CROSS ABOVE SANITARY SEWER PIPE OR PROVIDE PROTECTION TO PREVENT CONTAMINATION AS REQUIRED BY FDEP AND OTHER APPLICABLE STANDARDS.
17. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY FOR WATER AND SANITARY SEWER EXTENSIONS.
18. CONTRACTOR SHALL PROVIDE TRACER WIRE ABOVE ALL NEW AND RELOCATED WATER AND SANITARY SEWER MAINS.
19. LOCATOR DEVICES SHALL BE PROVIDED AT WATER AND SANITARY SEWER TAP LOCATIONS.
20. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAKE CITY UTILITY STANDARDS UNLESS OTHERWISE APPROVED BY THE ENGINEER.

PIPES AND FITTINGS

- A. GENERAL: ALL PIPE AND FITTINGS FOR WATER AND WASTEWATER SERVICE SHALL BE CLEARLY MARKED WITH THE NAME OR TRADEMARK OF THE MANUFACTURER. THE BATCH NUMBER, THE LOCATION OF THE PLANT AND THE STRENGTH DESIGNATION, AS APPLICABLE.
- B. POLYVINYL CHLORIDE (PVC):
  1. POTABLE WATER AND EFFLUENT REUSE PIPE SHALL BE MANUFACTURED FROM CLEAN VIRGIN TYPE I, GRADE I RIGID, UNPLASTICIZED POLYVINYL CHLORIDE RESIN CONFORMING TO ASTM DESIGNATION D1784. POTABLE WATER AND REUSE PIPE SHALL HAVE THE NATIONAL SANITATION FOUNDATION (NSF) SEAL, SHALL CONFORM TO AWWA C-900, AND SHALL HAVE A DIMENSION RATIO (DR) OF NOT MORE THAN 18. PVC PIPE FOR WASTEWATER FORCE MAINS SHALL HAVE A DR OF NOT MORE THAN 25, OR LESS IF DESIGN CONSIDERATIONS REQUIRE. THE PVC PIPE SHALL HAVE INTEGRAL BELL PUSH ON TYPE JOINTS CONFORMING TO ASTM D3139. PIPE USED FOR REUSE MAINS SHALL BE PURPLE (PANTONE 522C). FOR WATER MAIN SHALL BE BLUE, AND FOR WASTEWATER SHALL BE GREEN IN COLOR.
  2. CONNECTIONS FOR PIPE 2 INCHES IN DIAMETER AND LARGER SHALL BE RUBBER COMPRESSION RING TYPE. PIPE SHALL BE EXTRUDED WITH INTEGRAL THICKENED BELL WALLS WITHOUT INCREASE IN DR. RUBBER RING GASKETS SHALL CONSIST OF SYNTHETIC COMPOUNDS MEETING THE REQUIREMENTS OF ASTM DESIGNATION D1869, AND SUITABLE FOR THE DESIGNATED SERVICE. OTHER CONNECTIONS SHALL BE SOLVENT CEMENTED JOINTS.
  3. GRAVITY WASTEWATER PVC PIPE AND FITTINGS SHALL BE MANUFACTURED FROM POLYVINYL CHLORIDE RESIN CONFORMING TO ASTM DESIGNATION D1784. PIPE AND FITTINGS OF THIS MATERIAL SHALL CONFORM TO ASTM DESIGNATION D3034 AND F679. STANDARD SPECIFICATIONS FOR TYPE PSM POLYVINYL CHLORIDE SEWER PIPE AND FITTINGS. \* ALL PIPE AND FITTINGS SHALL HAVE A STANDARD DIMENSION RATIO (SDR) OF NOT MORE THAN 35.
  4. PVC PIPE FOR GRAVITY SEWERS SHALL BE SUPPLIED IN STANDARD LENGTHS NOT TO EXCEED 20 FEET, AND BE FURNISHED WITH INTEGRALLY FORMED BELL JOINTS.
  5. ALL PVC PIPE AND ACCESSORIES LESS THAN 2 INCHES IN DIAMETER SHALL BE SCHEDULE 80 AND BE OF RIGID NORMAL IMPACT POLYVINYL CHLORIDE. THE PIPE AND ACCESSORIES SHALL CONFORM TO ASTM SPECIFICATION D1788 AND PRODUCT STANDARD PS21-70. ALL MATERIALS TO BE FURNISHED COMPLETE TO PERFORM THE WORK, INCLUDING SOLVENT CEMENT, ETC.
  6. CONNECTIONS: CONNECTION OF PVC GRAVITY SEWER LINES TO MANHOLES SHALL BE MADE BY USING A PVC MANHOLE COUPLING ADAPTER CONNECTING PIECE MANUFACTURED FROM A 2 FOOT PIECE OF PVC PIPE WITH A WATER STOP OR RUBBER BOOT. THE CONNECTION SHALL PROVIDE FLEXIBILITY AND A WATERTIGHT CONNECTION AT THE STRUCTURE.
  - C. SERVICE PIPE:
    1. WATER SERVICE PIPE: ALL POTABLE WATER SERVICE LINES SHALL BE 1-INCH, 1 1/2 INCHES OR 2 INCHES POLYETHYLENE TUBING CONFORMING TO AWWA C-900 AND C-901.
    2. WASTEWATER SERVICE LATERAL: ALL WASTEWATER SERVICE LATERALS SHALL BE PVC AND HAVE A MINIMUM DIAMETER OF 6 INCHES AND SHALL CONFORM TO ASTM D3034, SDR 35.
    - D. PRESSURE PIPE RESTRAINTS:
      1. PRESSURE PIPE FITTINGS SHALL BE RESTRAINED WITH RESTRAINT GLANDS AND DEVICES AS APPROVED BY THE TOWN. CONCRETE THRUST BLOCKS ARE NOT ACCEPTABLE FOR PIPE RESTRAINT UNLESS PRIOR APPROVED BY THE CITY FOR LIMITED APPLICATIONS.
      2. THE MINIMUM NUMBER OF RESTRAINED JOINTS REQUIRED FOR RESISTING FORCES AT FITTINGS AND CHANGES IN DIRECTION OF PIPE SHALL BE DETERMINED FROM THE LENGTH OF RESTRAINED PIPE ON EACH SIDE OF FITTINGS AND CHANGES IN DIRECTION NECESSARY TO DEVELOP ADEQUATE RESISTING FRICTION WITH THE SOIL. THE REQUIRED LENGTHS OF RESTRAINED JOINT DUCTILE IRON PIPE SHALL BE DETERMINED BY THE ENGINEER.
    - G. SPECIAL ITEMS:
      1. EXPANSION JOINTS: PIPE EXPANSION JOINTS SHALL BE SUITABLE FOR THE APPLICABLE SERVICE WITH A MINIMUM 150 PSI WORKING PRESSURE.
      2. FLANGED COUPLING ADAPTERS: UNITS SHALL BE COMPATIBLE WITH ANSI STANDARD B16.1, 125 LB. FLANGES.
      3. CAST IRON SL EEVES AND WALL PIPES: UNITS SHALL HAVE INTEGRAL ANNULAR RING WATERTIGHTS, AND ALSO CONFORM TO OTHER REQUIREMENTS FOR CAST IRON FITTINGS SPECIFIED IN THIS SECTION. SLEEVES AND WALL PIPES TO HAVE LAYING LENGTH AND ENDS REQUIRED FOR PROPER INSTALLATION.
      4. TAPPING SADDLES: UNITS SHALL BE FABRICATED OF DUCTILE IRON AND SUITABLE FOR EITHER WET OR DRY INSTALLATION. THE SEALING GASKET SHALL BE THE "O-RING TYPE SUITABLE FOR THE APPLICABLE SERVICE. OUTLET FLANGE SHALL BE ANSI B16.1, 125 LB. STANDARD. THE STRAPS AND BOLTS SHALL BE A CORROSION RESISTANT ALLOY STEEL.

PIPES AND FITTINGS CONT.

5. TAPPING SLEEVES: UNITS SHALL BE OF THE MECHANICAL JOINT TYPE OR FABRICATED STEEL TYPE SLEEVES FOR PRESSURE CONNECTIONS 4 INCHES AND LARGER. ALL PRESSURE CONNECTIONS TO ASBESTOS CEMENT PIPE AND ALL "SIZE ON SIZE" TAP SHALL UTILIZED MECHANICAL JOINT SLEEVES.
  - A. MECHANICAL JOINT SLEEVES: SLEEVES SHALL BE CAST OF GRAY-IRON OR DUCTILE IRON AND HAVE AN OUTLET FLANGE WITH THE DIMENSIONS OF THE CLASS 125 FLANGES AS SHOWN IN ANSI B16.1. PROPERLY RECESSED FOR TAPPING VALVE. GLANDS SHALL BE GRAY-IRON OR DUCTILE IRON. GASKETS SHALL BE VULCANIZED NATURAL OR SYNTHETIC RUBBER. BOLTS AND NUTS SHALL COMPLY WITH ANSIAWWA C-111A/21-11. SLEEVES SHALL BE CAPABLE OF WITHSTANDING A 200 PSI WORKING PRESSURE.
  - B. STEEL TAPPING SLEEVE: SLEEVES SHALL BE FABRICATED OF MINIMUM 3/8-INCH CARBON STEEL MEETING ASTM A285, GRADE C.
  - C. OUTLET FLANGE SHALL MEET AWWA C-207, CLASS D, ANSI 150 LB. DRILLING AND BE PROPERLY RECESSED FOR THE TAPPING VALVE. BOLTS AND NUTS SHALL BE HIGH STRENGTH LOW ALLOY STEEL TO ANSIAWWA A21 11/C-111. GASKET SHALL BE VULCANIZED NATURAL OR SYNTHETIC RUBBER. SLEEVE SHALL HAVE MANUFACTURER APPLIED FUSION BONDED EPOXY COATING, MINIMUM 12-MIL THICKNESS.
  6. SERVICE SADDLES: SADDLES FOR DUCTILE IRON PIPE SHALL BE DOUBLE STRAP, ANCHORED BY A MINIMUM FOUR (4) BOLT PATTERN ON A DUCTILE IRON SADDLE BODY. SERVICE SADDLES FOR PVC PIPE SHALL HAVE A DOUBLE STRAP SIZED EXACTLY TO THE PIPE OUTSIDE DIAMETER. SEALING GASKETS SHALL BE SUITABLE FOR THE APPLICABLE SERVICE AND STRAPS SHALL BE CORROSION RESISTANT ALLOY STEEL. THE CITY MAY REQUIRE A STAINLESS STEEL STRAP AND FUSION EPOXY OR NYLON COATED DUCTILE IRON BODY WITH STAINLESS STEEL HARDWARE IN AREAS DESIGNATED AS CORROSIVE.
  7. POLYETHYLENE ENCASEMENT: ENCASEMENT SHALL HAVE A MINIMUM THICKNESS OF 8- MILS AND COMPLY WITH THE APPLICABLE PROVISIONS OF ANSIAWWA C-105/A21 5. POLYETHYLENE ENCASEMENT FOR GRAY AND DUCTILE IRON PIPING FOR WATER AND OTHER LIQUIDS.\*

PIPE RESTRAINT NOTES

1. DUCTILE IRON (DI) FITTINGS TO BE RESTRAINED TO PVC (C900) PIPE WITH SERIES OF 2000PV MECHANICAL RESTRAINT GLANDS AS MANUFACTURED BY EBAA IRON, INC. OR APPROVED EQUAL. DI FITTINGS TO BE RESTRAINED TO DIP PER CURRENT DIPRA STANDARDS.
2. WATER MAIN OR FORCE MAIN TO BE RESTRAINED EACH SIDE OF FITTINGS FOR LENGTHS AS NOTED IN TABLE BELOW. RESTRAINT SHALL BE ACCOMPLISHED WITH DUCTILE IRON RESTRAINT HARNESSSES FOR PVC CONFORMING TO ASTM A-536. RESTRAINT HARNESSSES TO BE SERIES 1600 AS MANUFACTURED BY EBAA IRON, INC. OR APPROVED EQUAL. RESTRAINT FOR DIP SHALL BE BY INTERNAL RESTRAINT GASKETS PER CURRENT DIPRA STANDARDS.
3. THE TABLE BELOW SHOWS TYPICAL NUMBERS, IN 20'-SECTIONS, OF PIPE TO BE RESTRAINED FOR THE FOLLOWING ASSUMPTIONS: (1) DEPTH OF COVER = 36" (2) TEST PRESSURE = 150 psi, (3) SAFETY FACTOR = 1.5, (4) LAYING CONDITIONS = PIPE EMBEDDED IN LOOSE CLEAN SAND AND COMPACTED TO TOP OF PIPE (APPROXIMATELY 90% STANDARD PROCTOR), (5) SILTY SANDS AND SAND SILT MIXTURE FOR BACKFILL MATERIAL.

MINIMUM NUMBER OF RESTRAINED JOINTS IN 20' STRAIGHT PIPE, EACH SIDE OF RESTRAINED FITTING.									
		PIPE SIZE							
		6"	8"	10"	12"	16"	20"		
90° BEND	1	1	1	1	2	2	3		
45° BEND	0	0	0	0	0	1	1		
22-1/2° BEND	0	0	0	0	0	0	0		
11-1/4° BEND	0	0	0	0	0	0	0		
PLUG OR BRANCH	2	3	4	5	6	7			

REVISIONS			
DATE	BY	DESCRIPTION	



CERTIFICATE OF AUTHORIZATION  
NO. 28022

P.O. BOX 970  
LAKE CITY, FL 32066  
PHONE: 386.754.4085

*[Signature]*  
12-7-2012

Brett A. Crews, P.E. 65592

DRAWN BY:

BC

SWANSON PLAZA

CES PROJECT NO.:

2012-031

APPROVED BY:

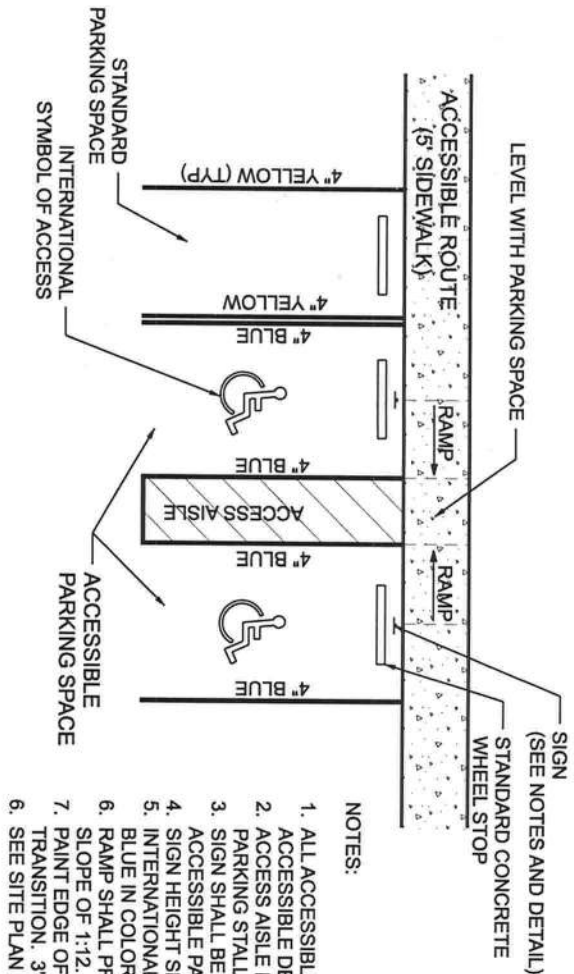
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UTILITY NOTES

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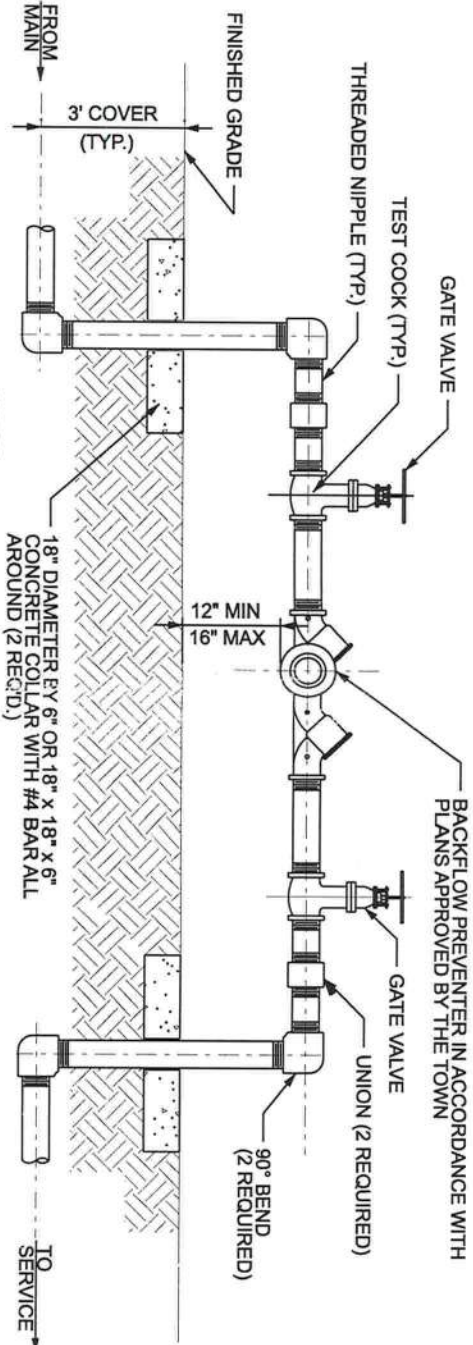
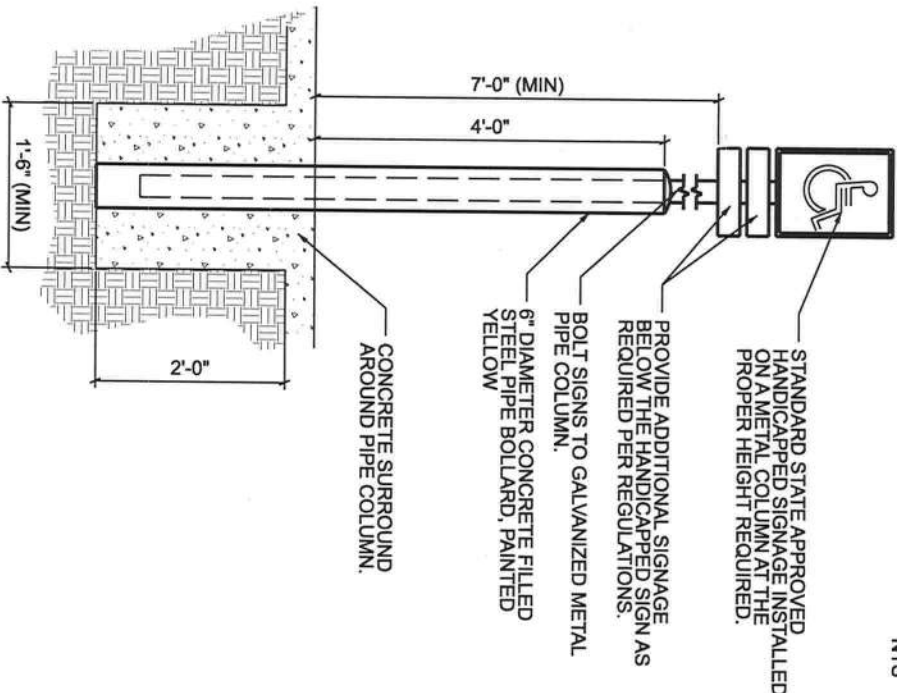
DET2



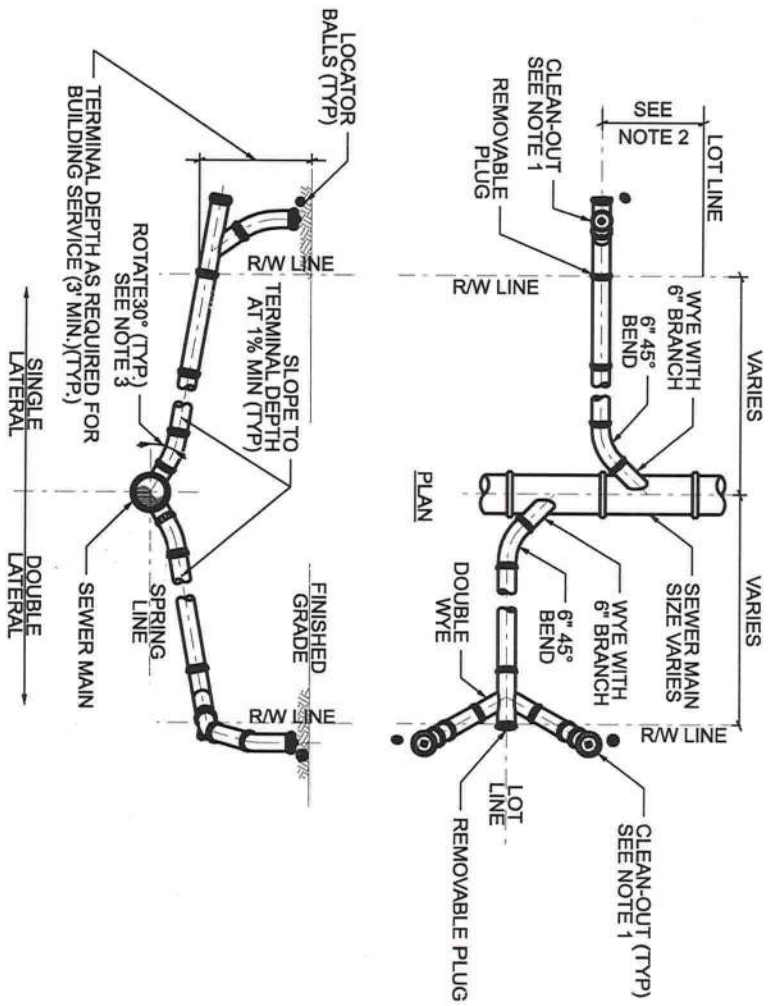


- NOTES:
1. ALL ACCESSIBLE ROUTES SHALL MEET ADA STANDARDS FOR ACCESSIBLE DESIGN.
  2. ACCESS AISLE MAY BE PLACED ON RIGHT OR LEFT SIDE OF PARKING STALL.
  3. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED ACCESSIBLE PARKING SPACES.
  4. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
  5. INTERNATIONAL SYMBOL OF ACCESS SHALL BE 3 - 5 FT HIGH AND BLUE IN COLOR.
  6. RAMP SHALL PROVIDE NON-SLIP FINISH AND HAVE A MAXIMUM SLOPE OF 1:12.
  7. PAINT EDGE OF SIDEWALK WITH CONTRASTING PAINT AT RAMP TRANSITION. 3" WIDTH ON TOP AND ON FACE OF TRANSITION.
  6. SEE SITE PLAN FOR ADDITIONAL PARKING SPACEL DIMENSIONS.

STRIPING LEGEND	
YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B657300
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT WHITE TMS494
ACCESSIBLE STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE



- NOTES:
1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 40 GALVANIZED STEEL OR BRASS.



- NOTES:
1. CLEAN-OUT (SHOWN SHADED) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
  2. LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE, 25" MAXIMUM.
  3. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
  4. SERVICE LATERALS SHALL HAVE A MINIMUM 18" OF COVER BETWEEN ROW TIE-IN AND BUILDING.
  5. INDENT CURB WITH 'S' AT EACH SEWER SERVICE LOCATION.

# ACCESSIBLE PARKING SIGN DETAIL

NTS

# REDUCED PRESSURE ZONE BACKFLOW PREVENTER DETAIL

NTS

# SANITARY SERVICE DETAIL

NTS

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

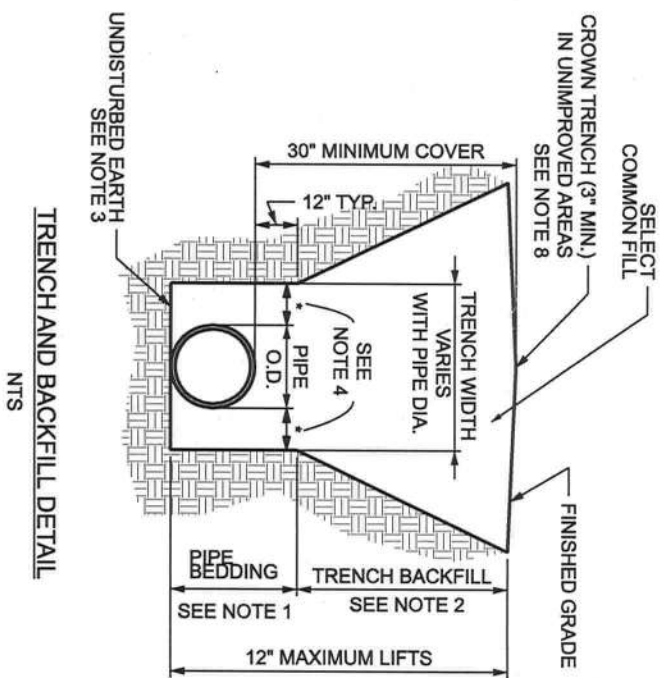
## REVISIONS

**CES**  
 CERTIFICATE OF AUTHORIZATION  
 NO. 28022  
 P.O. BOX 970  
 LAKE CITY, FL 32056  
 PHONE: 386.754.4085  
 Crews Engineering Services, LLC

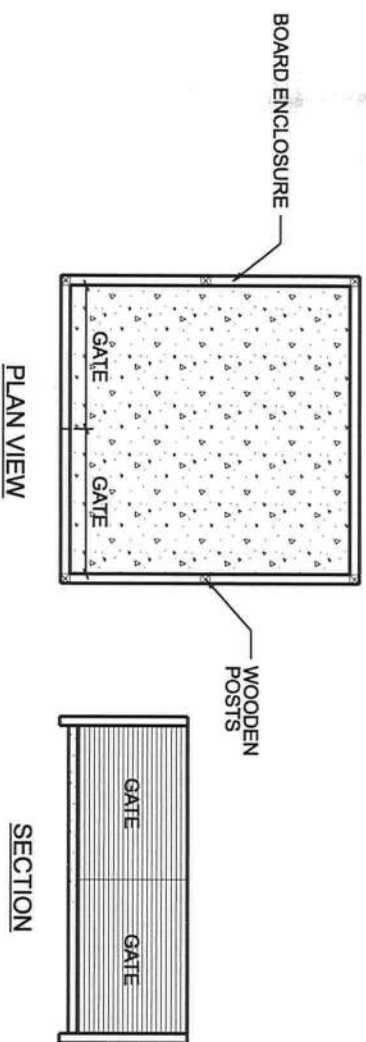
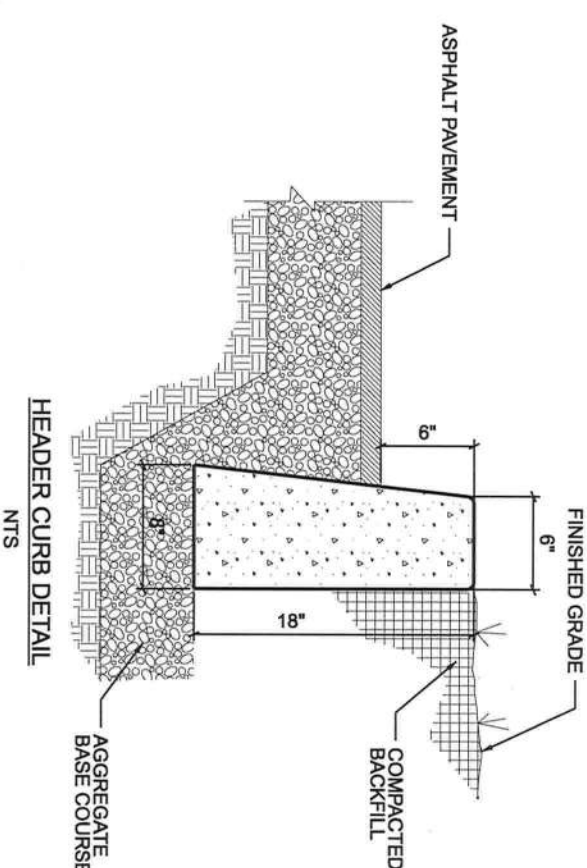
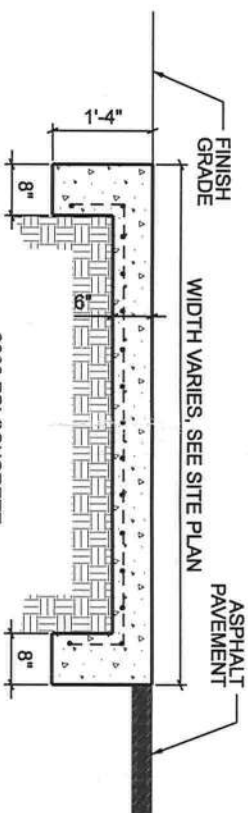
*Brett A. Crews*  
 12-4-2012  
 Brett A. Crews, P.E. 65592

DRAWN BY:	BC	SWANSON PLAZA	CES PROJECT NO.:
APPROVED BY:	BC	MISCELLANEOUS NOTES AND DETAILS	2012-031
			SHEET: DET3

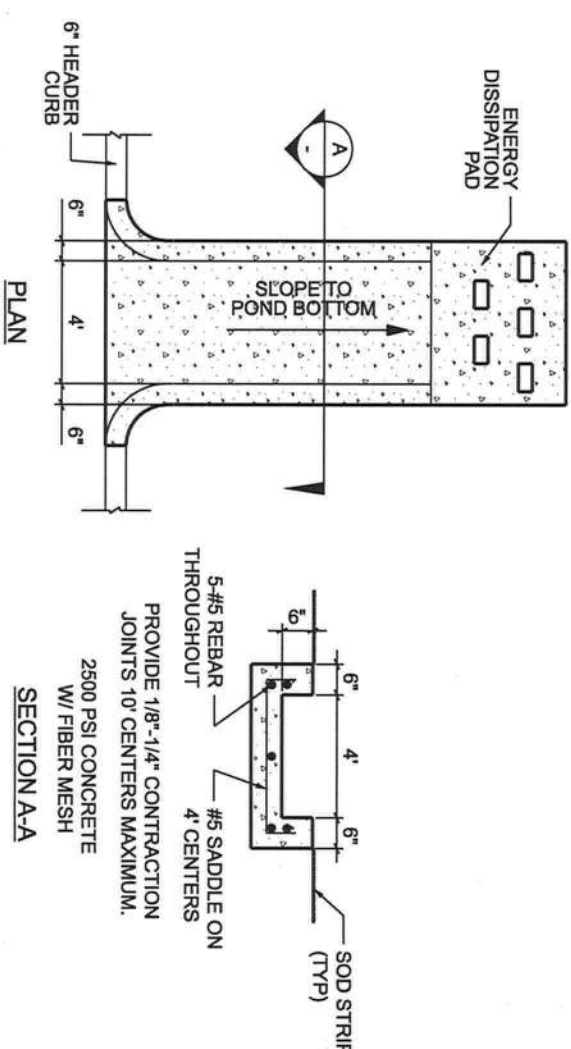
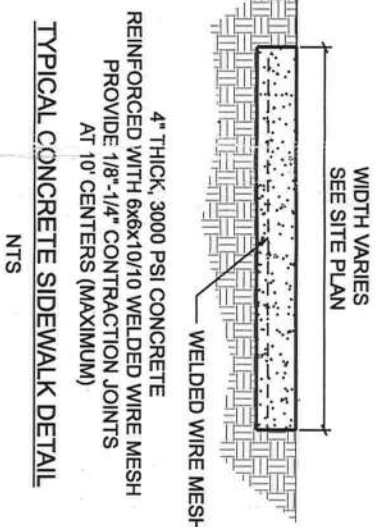




- NOTES**
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK WILL BE REQUIRED IF OVER-EXCAVATION OCCURS.
  4. (?): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
  5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
  6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
  7. PROVIDE TRENCH SLOPING AND BRACING AS REQUIRED FOR SAFETY.
  8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN PAVED AREAS SHALL COMPLY WITH THE REQUIREMENTS OF THE ROAD CONSTRUCTION SPECIFICATIONS.



PROVIDE 1/8" - 1/4" CONTRACTION JOINTS ON 10' CENTERS MAXIMUM  
2500 PSI CONCRETE WITH FIBER MESH  
DUMPSTER PAD DETAIL  
NTS



DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

CERTIFICATE OF AUTHORIZATION  
NO. 28022

P.O. BOX 970  
LAKE CITY, FL 32056  
PHONE: 386.754.4085

**CES**  
Crews Engineering Services, LLC

SWANSON PLAZA

PAVING AND DRAINING  
NOTES AND DETAILS

CES PROJECT NO.:  
2012-031

SHEET:  
PAV2

Brett A. Crews, P.E. 65592

APPROVED BY:  
BC



# SWANSON PLAZA

SITE PLAN FOR:  
BARBIE SWANSON  
FABRIC ART SHOP LLC  
158 SW DOMINO WAY  
LAKE CITY, FL 32025  
386.755.0179

# CES

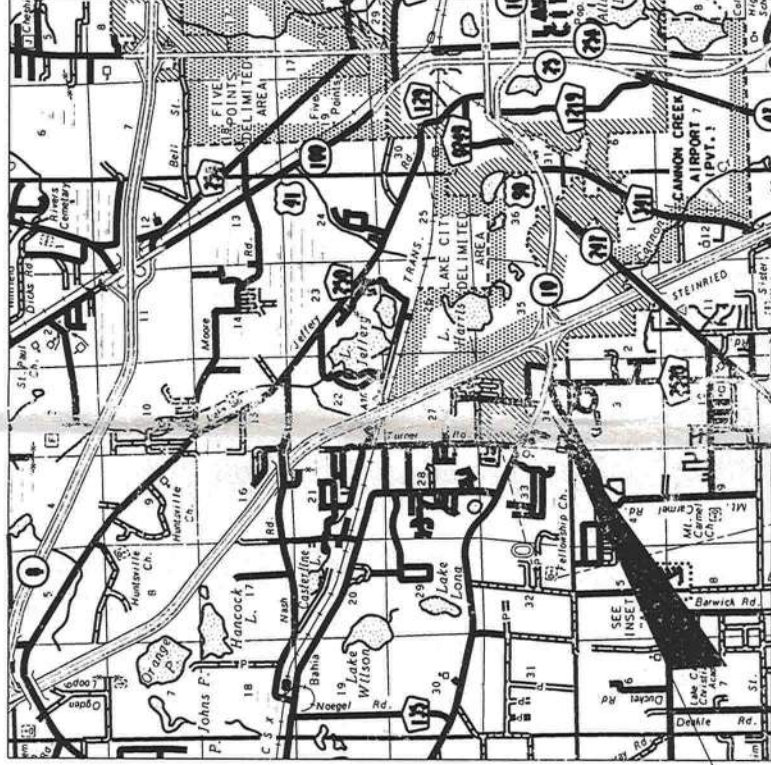
Crews Engineering Services, LLC

P.O. BOX 970  
LAKE CITY, FL 32056  
PHONE: 386.754.4085

[www.crewsengineeringservices.com](http://www.crewsengineeringservices.com)

CERTIFICATE OF AUTHORIZATION: NO. 28022

PROJECT LOCATION

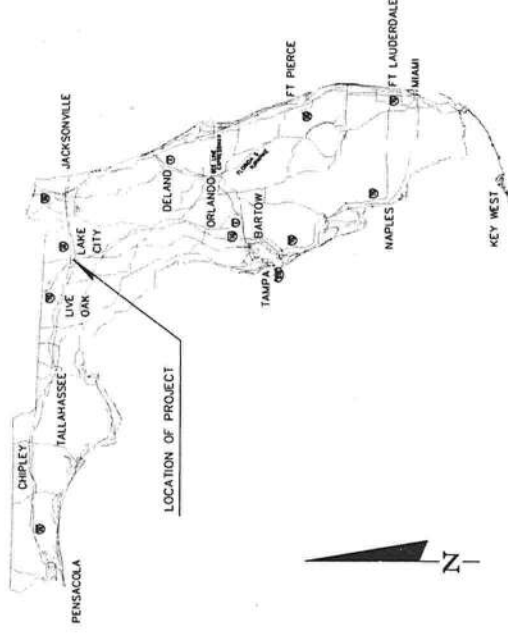


LOCATION MAP

SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST  
COLUMBIA COUNTY, FLORIDA

PARCEL # 34-3S-16-02491-001

CES PROJECT ID:  
2012-031  
PERMITTING PLANS ONLY  
NOT FOR CONSTRUCTION



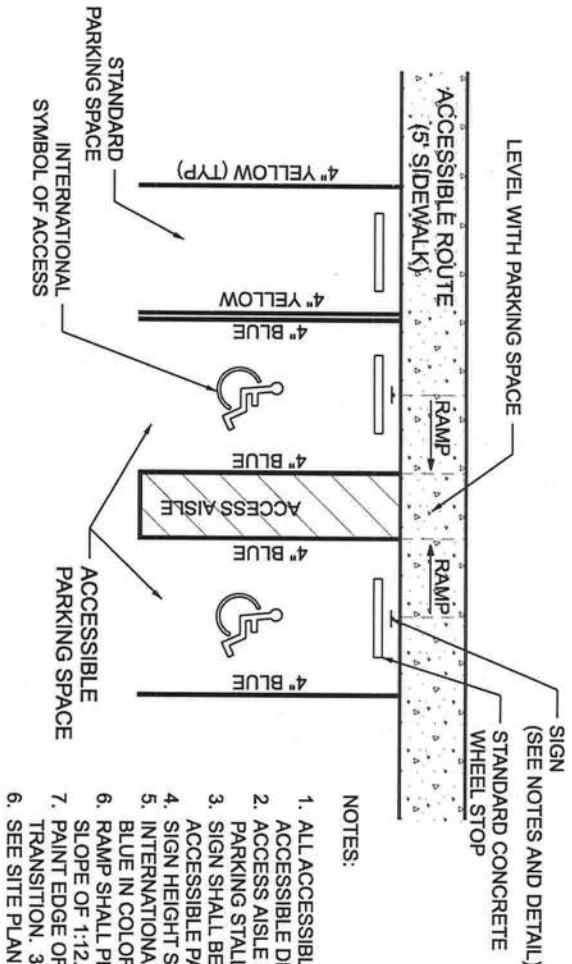
## INDEX OF SHEETS

GENERAL NOTES	DET1
UTILITY NOTES	DET2
MISCELLANEOUS NOTES AND DETAILS	DET3 - DET4
EXISTING CONDITIONS	SIT1
SITE PLAN	SIT2
PAVING AND DRAINAGE PLAN	PAV1
PAVING AND DRAINAGE NOTES AND DETAILS	PAV2

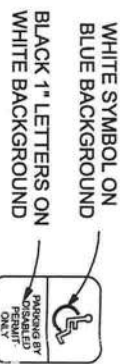
LAKE CITY, FLORIDA  
12-20-2012

BRETT A. CREWS, P.E. 65592



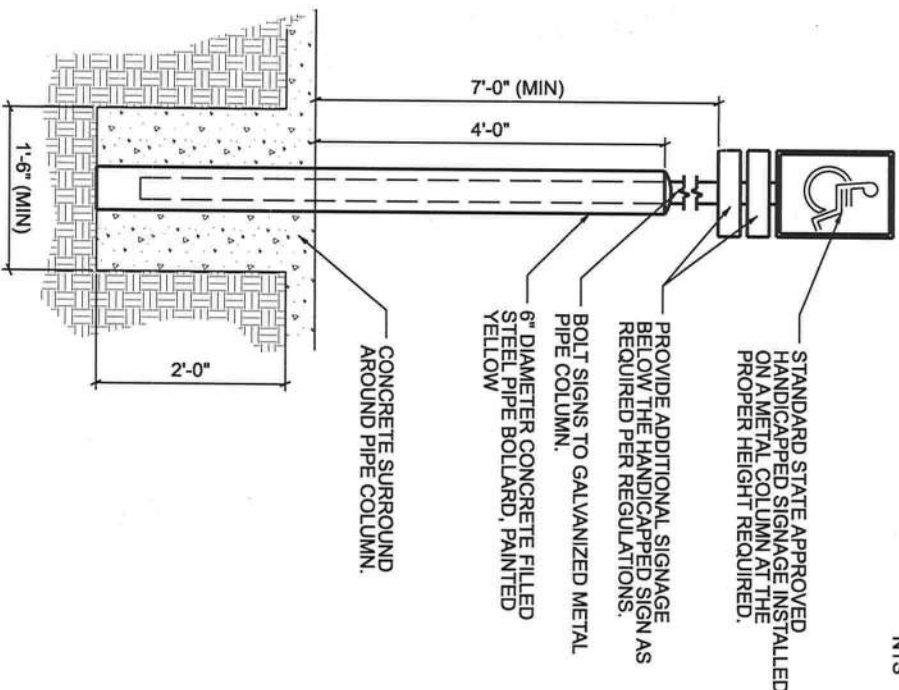


- NOTES:
1. ALL ACCESSIBLE ROUTES SHALL MEET ADA STANDARDS FOR ACCESSIBLE DESIGN.
  2. ACCESS AISLE MAY BE PLACED ON RIGHT OR LEFT SIDE OF PARKING STALL.
  3. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED ACCESSIBLE PARKING SPACES.
  4. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
  5. INTERNATIONAL SYMBOL OF ACCESS SHALL BE 3 - 5 FT HIGH AND BLUE IN COLOR.
  6. RAMP SHALL PROVIDE NON-SLIP FINISH AND HAVE A MAXIMUM SLOPE OF 1:12.
  7. PAINT EDGE OF SIDEWALK WITH CONTRASTING PAINT AT RAMP TRANSITION. 3" WIDTH ON TOP AND ON FACE OF TRANSITION.
  6. SEE SITE PLAN FOR ADDITIONAL PARKING SPACE DIMENSIONS.

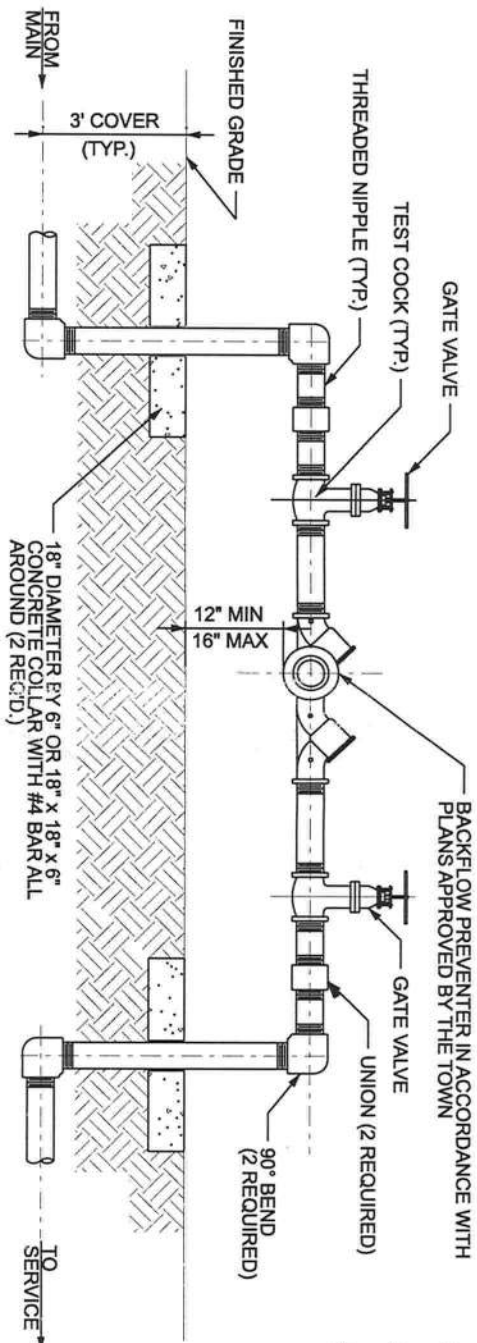


TYPICAL OFF-STREET PARKING DETAIL

NTS



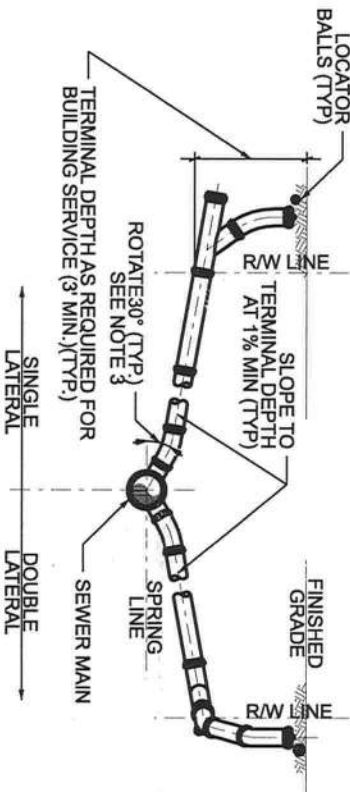
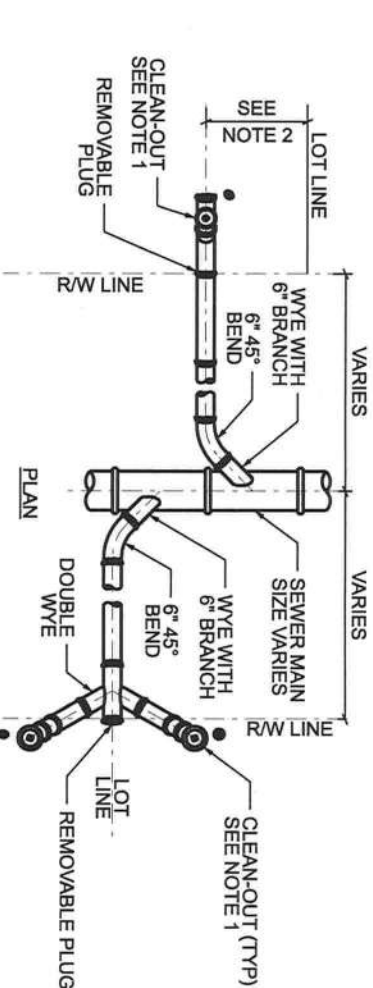
STRIPING LEGEND	
YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B56Y300
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT WHITE TMS494
ACCESSIBLE STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE



- NOTES:
1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 40 GALVANIZED STEEL OR BRASS.

REDUCED PRESSURE ZONE BACKFLOW PREVENTER DETAIL

NTS



- NOTES:
1. CLEAN-OUT (SHOWN SHADED) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
  2. LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE, 25' MAXIMUM.
  3. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
  4. SERVICE LATERALS SHALL HAVE A MINIMUM 18" OF COVER BETWEEN R/W TIE-IN AND BUILDING.
  5. INDENT CURB WITH 'S' AT EACH SEWER SERVICE LOCATION.

SANITARY SERVICE DETAIL

NTS

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

ACCESSIBLE PARKING SIGN DETAIL

NTS

**CES**

CERTIFICATE OF AUTHORIZATION  
NO. 28022  
P.O. BOX 970  
LAKE CITY, FL 32056  
PHONE: 386.754.4085

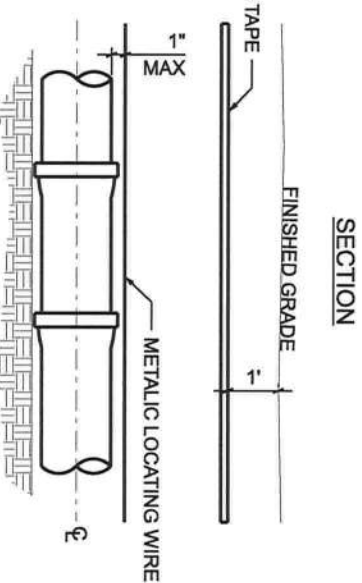
*Southwest*  
12-4-2012

BC  
APPROVED BY:

**SWANSON PLAZA**  
MISCELLANEOUS NOTES  
AND DETAILS

CES PROJECT NO.:  
2012-031  
SHEET:  
DET3





**CES**  
Crews Engineering Services, LLC

# CERTIFICATE OF AUTHORIZATION

**P.O. BOX 970  
LAKE CITY, FL 32056  
PHONE: 386.754.4085**

Brett A. Crews, P.E. 65592

**SWANSON PLAZA**

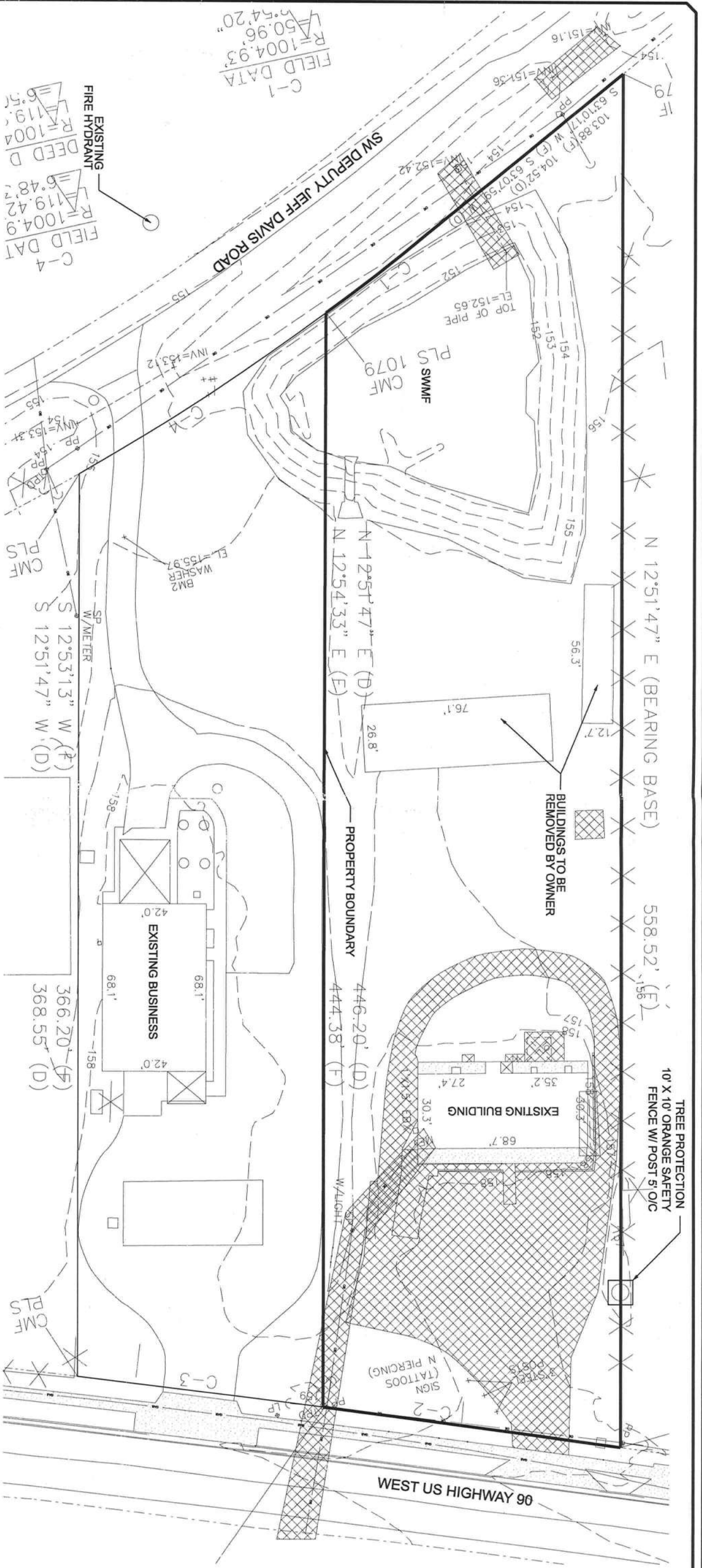
CES PROJECT NO.:  
2012-031

## MISCELLANEOUS NOTES AND DETAILS

SHEET

DETA



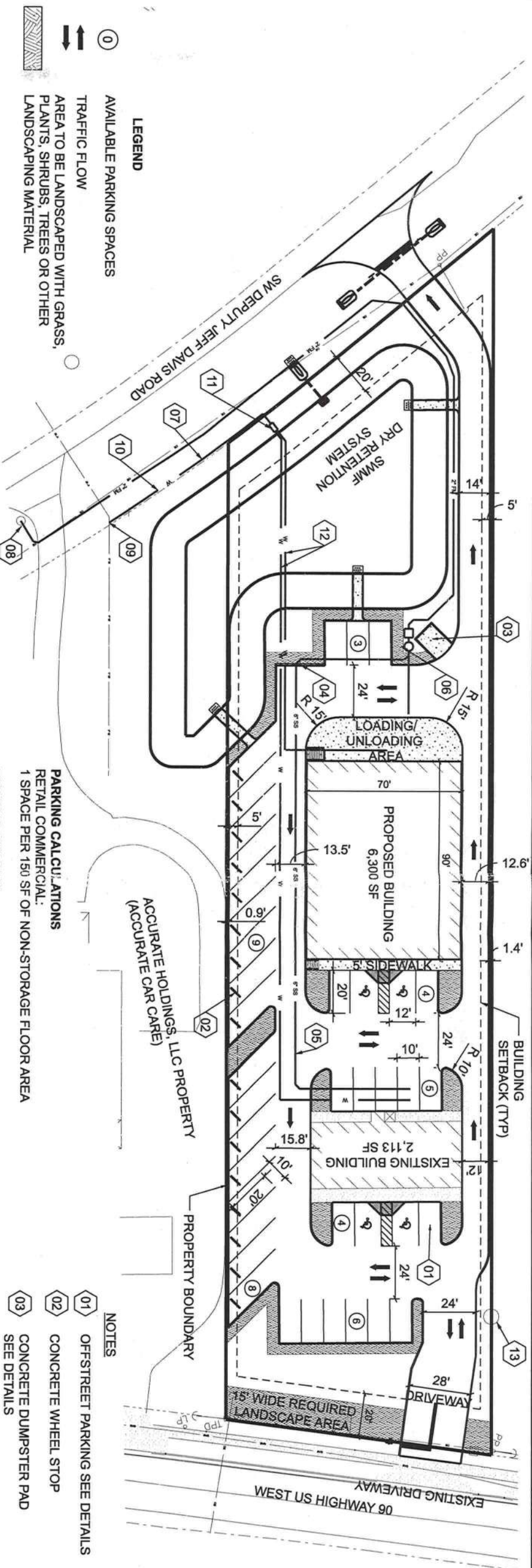


EXISTING BUILDINGS, FACILITIES, DEBRIS, SEPTIC AND DRAIN FIELD, IMPROVEMENTS, ASPHALT AND CONCRETE TO BE DEMOLISHED AND REMOVED. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS CONCERNING DEMOLITION, HANDLING AND DISPOSING OF CONSTRUCTION MATERIALS.



REVISIONS				DATE		BY		DESCRIPTION	





- LEGEND**
- ① AVAILABLE PARKING SPACES
  - TRAFFIC FLOW
  - AREA TO BE LANDSCAPED WITH GRASS, PLANTS, SHRUBS, TREES OR OTHER LANDSCAPING MATERIAL

**DRAINAGE**  
THE PROPOSED STORMWATER MANAGEMENT FACILITY IS DESIGNED TO MEET SRWMD RULES AND REGULATIONS AS DRY RETENTION SYSTEM

**LANDSCAPING**  
REQUIRED AREA  
10% OF NEW PARKING AREA = 27,054 SF \* 10% = 2,705 SF  
LANDSCAPING AREA PROVIDED (AS SHOWN) = +3,950 SF

REQUIRED TREES  
1 TREE PER 200 SF OF REQUIRED LANDSCAPING AREA  
# OF REQUIRED TREES = 2,705 SF / 200 = 14 TREES

36" OAK TREE AT FRONT TO BE PROTECTED

REQUIRED SUPPLEMENTAL PLANTS  
SIX TWO-GALLON PLANTS PER REQUIRED TREE  
# OF REQUIRED PLANTS = 14 \* 6 = 84 PLANTS

REQUIRED SUPPLEMENTAL SHRUBS  
THREE FIVE-GALLON SHRUBS PER REQUIRED TREE  
# OF REQUIRED SHRUBS = 14 \* 3 = 42 SHRUBS

**GENERAL PROJECT INFORMATION**  
PARCEL #: 34-3S-16-02491-001  
FUTURE LAND USE: COMMERCIAL  
ZONING: COMMERCIAL HIGHWAY INTERCHANGE

**DEVELOPMENT DATA**  
TOTAL SITE AREA = 60,132 SF = 1.38 AC

**EXISTING CONDITIONS IMPERVIOUS AREAS**  
ASPHALT PAVEMENT = 15,684 SF  
CONCRETE PAVEMENT = 1,583 SF  
BUILDING (EXISTING) = 2,113 SF

**PROPOSED CONDITIONS IMPERVIOUS AREAS**  
BUILDING(EXISTING) = 2,113 SF  
BUILDING(NEW) = 6,300 SF  
ASPHALT PAVEMENT = 27,054 SF  
CONCRETE PAVEMENT (NEW) = 1,653 SF  
CONCRETE PAVEMENT (EXISTING) = 1,583 SF

**TOTAL IMPERVIOUS AREA = 38,703 SF (59% SITE AREA)**

FAR = 8.413 SF / 60,132 SF = 0.14

**MINIMUM BUILDING/YARD SETBACKS PER LDR**  
FRONT YARD = 20'  
REAR YARD = 15'  
SIDE YARD = 5'

**PARKING CALCULATIONS**  
RETAIL COMMERCIAL:  
1 SPACE PER 150 SF OF NON-STORAGE FLOOR AREA

**EXISTING BUILDING:**  
REQUIRED PARKING = (2,113 SF X 70%) = 1,479 SF / 150 = 10 SPACES

**PROPOSED BUILDING:**  
REQUIRED PARKING = (6,300 X 70%) = 4,410 SF / 150 = 29 SPACES

**TOTAL REQUIRED PARKING = 39 SPACES**  
AVAILABLE PARKING = 39 SPACES

**ACCESSIBLE PARKING:**  
2 PER 50 REQUIRED SPACES = 4 SPACES  
AVAILABLE ACCESSIBLE PARKING = 4 SPACES

**BOUNDARY AND TOPOGRAPHICAL SURVEY**  
THE BOUNDARY AND TOPOGRAPHICAL SURVEY INFORMATION SHOWN IN THESE PLANS IS BASED ON A SURVEY BY DONALD F. LEE AND ASSOCIATES INC.

ELEVATIONS BASED ON NAVD88 DATUM

**UTILITIES**  
WATER SERVICE: TO BE PROVIDED BY CITY OF LAKE CITY

WASTEWATER SERVICE: TO BE PROVIDED BY CITY OF LAKE CITY  
FIRE PROTECTION: TO BE PROVIDED BY EXISTING FIRE HYDRANT ALONG CR 252

ELECTRIC SERVICE: PROVIDED BY CONNECTION TO FLORIDA POWER AND LIGHT FACILITIES ALONG US 90 TO BE UNDERGROUND THROUGHOUT SITE

**NOTES**

- 01 OFFSTREET PARKING SEE DETAILS
- 02 CONCRETE WHEEL STOP
- 03 CONCRETE DUMPSTER PAD SEE DETAILS
- 04 DROP CURB, ± 22LF FDOT INDEX 304
- 05 6" PVC WASTEWATER GRAVITY SEWER PLACE CLEANOUTS @ 75' (MAXIMUM) TO SERVICE NEW AND EXISTING BUILDINGS
- 06 WASTE WATER LIFT STATION
- 07 2" WASTE WATER FORCE MAIN, ±408LF MAINTAIN 36" MINIMUM COVER
- 08 CONNECT TO EXISTING SANITARY SEWER MANHOLE
- 09 CONNECT TO EXISTING 2" WATER MAIN WITH 2"x2"x1" TAPPING SLEEVE AND VALVE, FIELD VERIFY LOCATION
- 10 1" WATER LINE
- 11 (3) 3/4" WATERMETER WITH RPZ BACKFLOW PREVENTOR (1 TO SERVICE EACH BUILDING AND 1 TO SERVICE IRRIGATION SYSTEM)
- 12 1" WATER LINE TO SERVICE BUILDINGS
- 13 TREE PROTECTION 10'X10' ORANGE SAFETY FENCE W/POST 5' O/C

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

**REVISIONS**

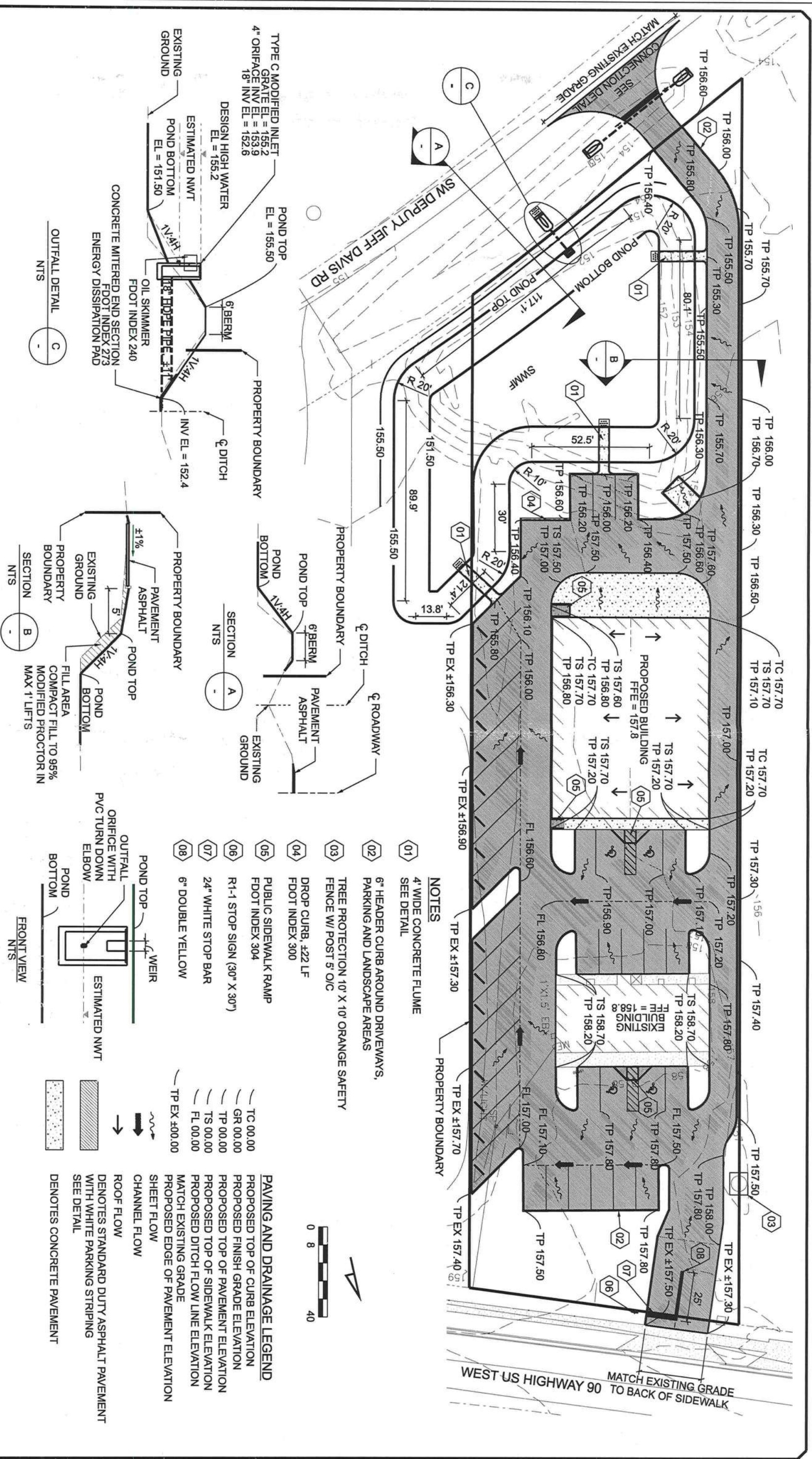
**CES**  
CREWS ENGINEERING SERVICES, LLC

CERTIFICATE OF AUTHORIZATION  
NO. 28022  
P.O. BOX 970  
LAKE CITY, FL 32056  
PHONE: 386.754.4085

*Brett A. Crews*  
12-11-2012  
Brett A. Crews, P.E. 65592

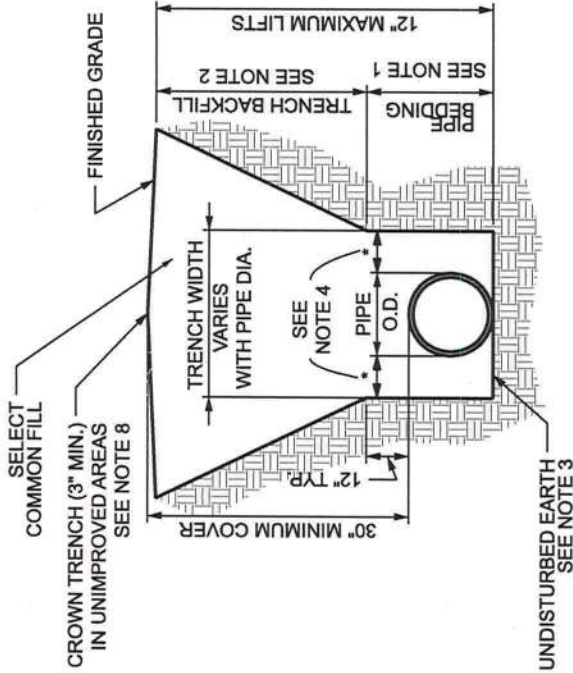
DRAWN BY:	BC	SWANSON PLAZA	CES PROJECT NO.: 2012-031
APPROVED BY:	BC	SITE PLAN	SHEET: SIT2





DATE		BY		DESCRIPTION		REVISED		DATE		BY		DESCRIPTION	
<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;">  <p><b>CES</b></p> <p>CERTIFICATE OF AUTHORIZATION NO. 28022</p> <p>P.O. BOX 970 LAKE CITY, FL 32056 PHONE: 386.754.4085</p> </div> <div style="width: 50%;">  <p>12-4-2012</p> <p>Brett A. Crews, P.E. 65592</p> </div> </div>													
DRAWN BY:		BC		APPROVED BY:		BC		CES PROJECT NO.:		2012-031		SHEET:	
PAVING AND DRAINAGE PLAN		PAV1											

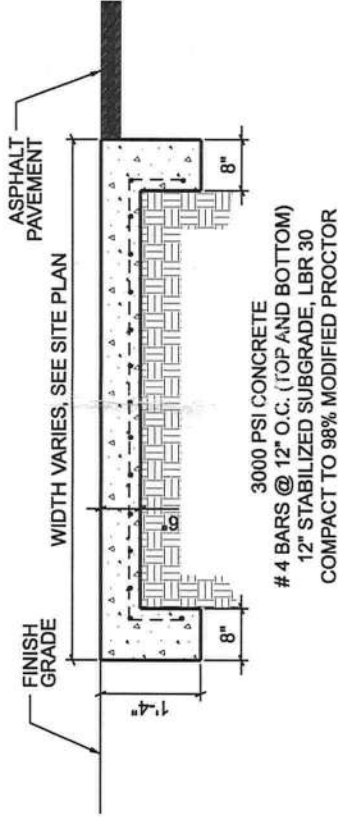




TRENCH AND BACKFILL DETAIL  
NTS

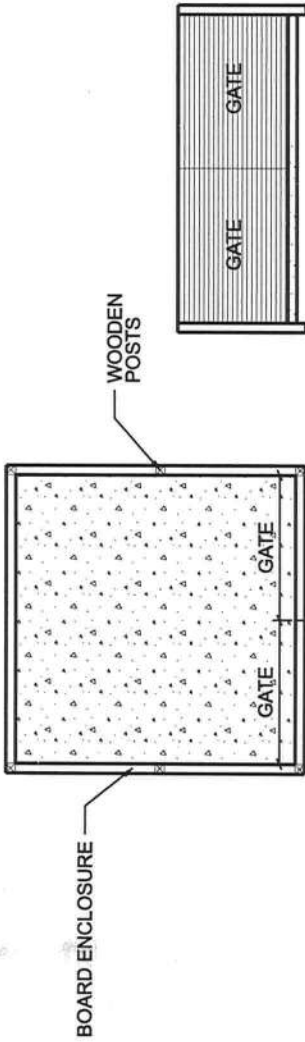
NOTES

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\*\*\* REMOVE ALL UNSUITABLE SOILS (MUCK OR CLAY) TO 12" BELOW BOTTOM OF STABILIZED SUBGRADE

TYPICAL CONCRETE DUMPSTER/LOADING PAD DETAIL  
NTS

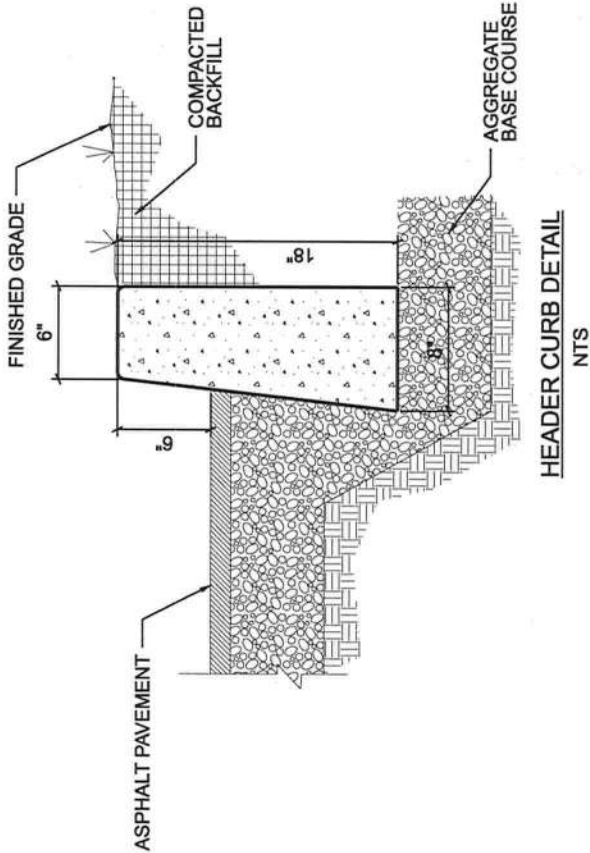


PLAN VIEW

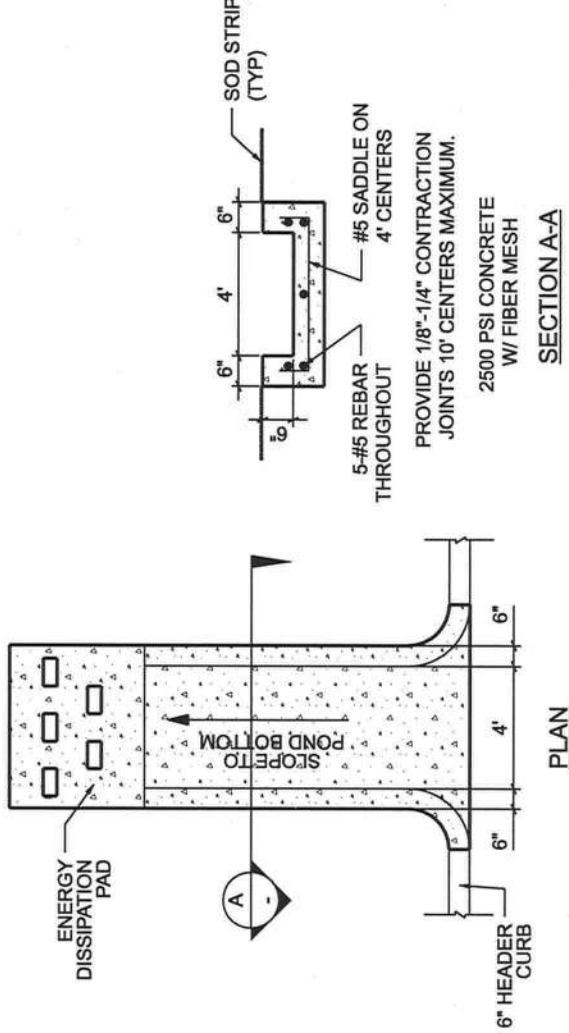
SECTION

PROVIDE 1/8" - 1/4" CONTRACTION JOINTS ON 10' CENTERS MAXIMUM  
2500 PSI CONCRETE WITH FIBER MESH

DUMPSTER PAD DETAIL  
NTS



HEADER CURB DETAIL  
NTS



PLAN

SECTION A-A

CONCRETE FLUME DETAIL  
NTS

REVISIONS		DESCRIPTION	
DATE	BY	DATE	BY

**CES**  
Crews Engineering Services, LLC

CERTIFICATE OF AUTHORIZATION  
NO. 28022  
P.O. BOX 970  
LAKE CITY, FL 32056  
PHONE: 386.754.4085

*Brett A. Crews*  
12-4-2012  
Brett A. Crews, P.E. 65592

DRAWN BY: **BC**  
APPROVED BY: **BC**

**SWANSON PLAZA**  
**PAVING AND DRAINING**  
**NOTES AND DETAILS**

CES PROJECT NO.: **2012-031**  
SHEET: **PAV2**



Fire Dept Has Set of Plans  
10. Per David Simque.

clt#: 1511

Columbia County Building Permit Application

For Office Use Only Application # 1212-39 Date Received 12/20/12 By LH Permit # 30707  
Zoning Official BLK Date 07 JAN 2013 Flood Zone X Land Use Com. Inter. Zoning CHI  
FEMA Map # N/A Elevation N/A MFE 157.8 River N/A Plans Examiner TC Date 1-7-13  
Comments Elevation Confirmation Letter at Slab. SEE Attached memo for other conditions prior to go  
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☒ Well letter ☒ 911 Sheet ☐ Parent Parcel # being issued  
☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter 524-W/C  
IMPACT FEES: EMS ☐ Fire ☐ Corr ☐ Sub VF Form 48-W/C & Lab  
Road/Code ☐ School ☐ = TOTAL (Suspended) ☒ Ellisville Water ☒ App Fee Paid Bullard Signature

Septic Permit No. City Water & Sewer

Fax \_\_\_\_\_

Name Authorized Person Signing Permit DAVID SIMQUE Phone 386-867-0294

Address P.O. Box 2962 LAKE CITY, FL 32056

Owners Name BORBE SWANSON FABRIC ART SHOPS Phone 954-292-4677

911 Address 4136 W. U.S. 90, L.C. FL 32055

Contractors Name DAVID SIMQUE Phone 386-867-0294

Address P.O. Box 2962 LAKE CITY, FL 32056

Fee Simple Owner Name & Address FABRIC ART SHOP LLC

Bonding Co. Name & Address NA

Architect/Engineer Name & Address NICK GEISLER 1758 BROWN RD.

Mortgage Lenders Name & Address NA

Circle the correct power company ☒ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☐ Progress Energy

Property ID Number 34-35-16-02491-001 Estimated Cost of Construction \$349,000.00

Subdivision Name \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions WEST 90 NEXT TO ACCURATE COR WEST

ON THE L.

ONE COMMERCIAL BUILDING Number of Existing <sup>Buildings</sup> Dwellings on Property 1

Construction of New Comm. Building Total Acreage 1.5 AC Lot Size 1.5

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 20'

Actual Distance of Structure from Property Lines - Front 200' Side 12.6' Side 31.5' Rear 160'

Number of Stories 1 Heated Floor Area 6300 Total Floor Area 6300 Roof Pitch 3/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2010 and the 2008 National Electrical Code.

spoke to David 1-8-13



30707

**D**  
**G** **Daniel & Gore, LLC**  
**Professional Surveying and Mapping**

P.O. Box 1501  
Lake City, Florida 32056

**May 23, 2013**

Simque Construction  
PO Box 2962  
Lake City, FL 32056

OK  
23 May 2013  
BLK

**Subject: Swanson Plaza - Elevation Letter**

Dear David:

Daniel & Gore, LLC has performed a vertical survey on a parcel identified as Tax Parcel # 34-3S-16-02491-001 in Columbia County, Florida from a benchmark being a railroad spike in a power pole at the NW corner of the property (elevation - 157.64', NAVD 1988) and have determined the following:

- The Construction Plans from CES, Crews Engineering Services, LLC requires the finish floor elevation to be 157.8'.
- The actual finish floor elevation is at 157.8', being at the minimum finish floor requirement.

If you have any questions, please call me.

Sincerely,



Scott Daniel, PSM



#30707

# New Construction Subterranean Termite Service Record

OMB Approval No. 2502-0525  
(exp. 04/30/2015)

This form is completed by the licensed Pest Control Company

**Public reporting burden** for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential, therefore, no assurance of confidentiality is provided.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA, or VA.

All contracts for services are between the Pest Control company and builder, unless stated otherwise.

## Section 1: General Information (Pest Control Company Information)

Company Name: Aspen Pest Control, Inc.  
 Company Address: PO Box 1795 City: Lake City State: FL Zip: 32056  
 Company Business License No. JB182948 Company Phone No. (386) 755-3611  
 FHA/VA Case No. (if any) \_\_\_\_\_

## Section 2: Builder Information

Company Name: Simque Construction Phone No. 867-0294

## Section 3: Property Information

Location of Structure (s) Treated (Street Address or Legal Description, City, State and Zip): Fabric Art Shop  
4136 W US Hwy 90  
Lake City, FL 32055

## Section 4: Service Information

Date(s) of Service(s): 1/15/13  
 Type of Construction (More than one box may be checked) ☒ Slab ☐ Basement ☐ Crawl ☐ Other \_\_\_\_\_

Check all that apply:

- ☒ A. Soil Applied Liquid Termiticide  
 Brand Name of Termiticide: Bifen XTS EPA Registration No. 53883-189  
 Approx. Dilution (%): 0.06 Approx. Total Gallons Mix Applied: 630 Treatment completed on exterior: ☐ Yes ☒ No
- ☐ B. Wood Applied Liquid Termiticide  
 Brand Name of Termiticide: \_\_\_\_\_ EPA Registration No. \_\_\_\_\_  
 Approx. Dilution (%): \_\_\_\_\_ Approx. Total Gallons Mix Applied: \_\_\_\_\_
- ☐ C. Bait system Installed  
 Name of System: \_\_\_\_\_ EPA Registration No. \_\_\_\_\_ Number of Stations installed: \_\_\_\_\_
- ☐ D. Physical Barrier System Installed  
 Name of System: \_\_\_\_\_ Attach installation information (required) \_\_\_\_\_

Service Agreement Available? ☒ Yes ☐ No

Note: Some state laws require service agreements to be issued. This form does not preempt state law.

Attachments (List) \_\_\_\_\_

Comments \_\_\_\_\_

Name of Applicator(s): S. Gregory Certification No. (if required by State law) JF104376

The applicator has used a product in accordance with the product label and state requirements. All materials and methods used comply with state and federal regulations.

Authorized Signature: [Signature] Date: 1/15/13

**Warning:** HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)





# CAL-TECH TESTING, INC.

## ENGINEERING & TESTING LABORATORY

P.O. Box 1625, Lake City, FL 32056-1625  
450 SR. 13 N. • Suite 206-308 • Jacksonville, FL 32259

Lake City • (386) 755-3633

Fax • (386) 752-5456

Jacksonville • (904) 381-8901

Fax • (904) 381-8902

JOB NO.:  
DATE TESTED: 1-15-13

### REPORT OF IN-PLACE DENSITY TEST

ASTM METHOD: X (D-2922) Nuclear \_\_\_\_\_ (D-2937) Drive Cylinder \_\_\_\_\_ Other

PROJECT: Fabric Art Shop # 30707

CLIENT: Dave Simgue

GENERAL CONTRACTOR: \_\_\_\_\_ EARTHWORK CONTRACTOR: \_\_\_\_\_

SOIL USE (SEE NOTE): 7- Footer SPECIFICATION REQUIREMENTS: 95%

TECHNICIAN: Thyema

MODIFIED (ASTM D-1557): \_\_\_\_\_ STANDARD (ASTM D-698): \_\_\_\_\_

TEST NO.	TEST LOCATION	TEST:	PROCTOR NO.	WET DENS. LBS./CU.FT.	DRY DENS. LBS./CU.FT.	MOIST PERCENT	% MAX. DENS.
		<u>X</u> DEPTH ELEV. LIFT					
	<u>Footers</u>						
	20' S from NE Corner BLDG	12"	104	108.1	100.6	7.4	97
	22' W from NE Corner BLDG	↓	↓	111.5	100.7	10.7	97
	25' E from SW Corner BLDG	↓	↓	107.1	98.8	8.4	95
	32' N from SW Corner BLDG	↓	↓	109.4	101.7	7.6	98

REMARKS: \_\_\_\_\_

PROCTOR NO.	SOIL DESCRIPTION	PROCTOR VALUE	OPT. MOIST.
		104	

NOTE: 1. Building Fill 2. Trench Backfill 3. Base Course 4. Subbase/Stabilized Subgrade 5. Embankment 6. Subgrade/Natural Soil 7. Other  
The test results presented in this report are specific only to the samples tested at the time of testing. The tests were performed in accordance with generally accepted methods and standards. Since material conditions can vary between test location and change with time, sound judgement should be exercised with regard to the use and interpretation of the data.



## CERTIFICATIONS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

Prepared By: N.P.GEISLER

Building Official: \_\_\_\_\_

Date: 18 Dec 2012

Date: \_\_\_\_\_

I certify that this building is in compliance with the FLorida Energy Efficiency Code

Owner Agent: \_\_\_\_\_

Date: \_\_\_\_\_

If Required by Florida law, I hereby certify (\*) that the system design is in compliance with the Florida Energy Efficiency Code

Architect: N.P.GEISLER

Reg No: 187005

18 Dec 2012

Electrical Designer: \_\_\_\_\_

Reg No: \_\_\_\_\_

Lighting Designer: \_\_\_\_\_

Reg No: \_\_\_\_\_

Mechanical Designer: \_\_\_\_\_

Reg No: \_\_\_\_\_

Plumbing Designer: \_\_\_\_\_

Reg No: \_\_\_\_\_

(\*) Signature is required where Florida Law requires design to be performed by registered design professionals.





# Florida Energy Efficiency Code For Building Construction

EnergyGauge Summit® Fla/Com-2010, Effective Date: March 15, 2012 -- Form 506-2010  
Total Building Performance Method for Commercial Buildings

## PROJECT SUMMARY

<b>Short Desc:</b> New Prj	<b>Description:</b> FABRIC ART SHOP
<b>Owner:</b> B SWANSON	
<b>Address1:</b> HWY 90 W	<b>City:</b> LAKE CITY
<b>Address2:</b> -	<b>State:</b> FL here
	<b>Zip:</b> 0
<b>Type:</b> Retail	<b>Class:</b> New Finished building
<b>Jurisdiction:</b> LAKE CITY, COLUMBIA COUNTY, FL (221200)	
<b>Conditioned Area:</b> 6300 SF	<b>Conditioned &amp; UnConditioned Area:</b> 6300 SF
<b>No of Stories:</b> 1	<b>Area entered from Plans</b> 0 SF
<b>Permit No:</b> 0	<b>Max Tonnage</b> 5
	<b>If different, write in:</b> _____



## Compliance Summary

Component	Design	Criteria	Result
Gross Energy Cost (in \$)	5,003.5	6,202.0	<b>PASSED</b>
System Unmet Hours	57.0	7.0	<b>PASSED</b>
LIGHTING CONTROLS			<b>PASSES</b>
EXTERNAL LIGHTING			<b>PASSES</b>
HVAC SYSTEM			<b>PASSES</b>
PLANT			<b>None Entered</b>
WATER HEATING SYSTEMS			<b>PASSES</b>
PIPING SYSTEMS			<b>PASSES</b>
Met all required compliance from Check List?			<b>Yes/No/NA</b>
<b>IMPORTANT MESSAGE</b>			
Info 5009 -- -- -- An input report of this design building must be submitted along with this Compliance Report			



## CERTIFICATIONS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

Prepared By: N.P.GEISLER

Building Official: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

I certify that this building is in compliance with the FLorida Energy Efficiency Code

Owner Agent: \_\_\_\_\_

Date: \_\_\_\_\_

If Required by Florida law, I hereby certify (\*) that the system design is in compliance with the Florida Energy Efficiency Code

Architect: N.P.GEISLER

Reg No: \_\_\_\_\_

Electrical Designer: \_\_\_\_\_

Reg No: \_\_\_\_\_

Lighting Designer: \_\_\_\_\_

Reg No: \_\_\_\_\_

Mechanical Designer: \_\_\_\_\_

Reg No: \_\_\_\_\_

Plumbing Designer: \_\_\_\_\_

Reg No: \_\_\_\_\_

(\*) Signature is required where Florida Law requires design to be performed by registered design professionals.



Project: New Prj  
 Title: FABRIC ART SHOP  
 Type: Retail  
 (WEA File: FL\_JACKSONVILLE\_INTL\_ARPT.tm3)

### Building End Uses

	1) Proposed	2) Baseline
<b>Total</b>	<i>340.80</i>	<i>505.90</i>
	<i>\$5,212</i>	<i>\$7,753</i>
ELECTRICITY(MBtu/kWh/\$)	340.80	505.90
	99843	148233
	<i>\$5,212</i>	<i>\$7,753</i>
AREA LIGHTS	83.70	197.50
	24510	57857
	<i>\$1,279</i>	<i>\$3,026</i>
MISC EQUIPMT	92.20	92.20
	27018	27018
	<i>\$1,410</i>	<i>\$1,413</i>
PUMPS & MISC	0.00	0.00
	9	12
	<i>\$0</i>	<i>\$1</i>
SPACE COOL	95.30	171.20
	27924	50152
	<i>\$1,458</i>	<i>\$2,623</i>
SPACE HEAT	2.30	0.00
	673	0
	<i>\$35</i>	<i>\$0</i>
VENT FANS	67.30	45.00
	19709	13194
	<i>\$1,029</i>	<i>\$690</i>

ERV Credit = 4%

Passing requires Proposed Building cost to be at most 80%  
 of Baseline cost. This Proposed Building is at 64.5%

PASSES



Project: New Prj  
 Title: FABRIC ART SHOP  
 Type: Retail  
 (WEA File: FL\_JACKSONVILLE\_INTL\_ARPT.tm3)

### External Lighting Compliance

Description	Category	Tradable?	Allowance (W/Unit)	Area or Length or No. of Units (Sqft or ft)	ELPA (W)	CLP (W)
Ext Light 1	Uncovered Parking Areas -- Parking lots and Drives	Yes	0.15	6,300.0	945	900
Ext Light 2	Walk way less than 10 feet wide	Yes	1.00	140.0	140	260

Tradable Surfaces: 1160 (W) Allowance for Tradable: 1492 (W)

PASSES

All External Lighting: 1160 (W)

Complicance check includes a excess/Base allowance of 750.00(W)

Project: New Prj  
 Title: FABRIC ART SHOP  
 Type: Retail  
 (WEA File: FL\_JACKSONVILLE\_INTL\_ARPT.tm3)

### Lighting Controls Compliance

Acronym	Ashrae ID	Description	Area (sq.ft)	Design CP	Min CP	Compli- ance
Pr0ZolSp1	25,001	Sales Area	6,300	12	3	PASSES

PASSES



Project: New Prj  
Title: FABRIC ART SHOP  
Type: Retail  
(WEA File: FL\_JACKSONVILLE\_INTL\_ARPT.tm3)

### System Report Compliance

Pr0Sy1      System 1      Constant Volume Air Cooled      No. of Units  
Split System < 65000 Btu/hr      3

Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance
Cooling System	Air Conditioners Air Cooled Split System < 65000 Btu/h Cooling Capacity		15.00	12.23	8.00		PASSES
Heating System	Heat Pumps Air Cooled (Heating Mode) Split System < 65000 Btu/h Cooling Capacity		8.00	7.70			PASSES
Air Handling System -Supply	Air Handler (Supply) - Constant Volume		0.30	0.82			PASSES
Air Handling System - Return	Air Handler (Return) - Constant Volume		0.30	0.82			PASSES
Air Distribution System (Sup)	ADS System (Sup)		4.20				PASSES
Air Distribution System (Ret)	ADS System (Ret)		4.20				PASSES
Energy Recovery Unit	Compliance Not Applicable						PASSES

PASSES

### Plant Compliance

Description	Installed No	Size	Design Eff	Min Eff	Design IPLV	Min IPLV	Category	Compliance
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None



Project: New Prj  
 Title: FABRIC ART SHOP  
 Type: Retail  
 (WEA File: FL\_JACKSONVILLE\_INTL\_ARPT.tm3)

### Water Heater Compliance

Description	Type	Category	Design Eff	Min Eff	Design Loss	Max Loss	Compliance
Water Heater 1	Electric water heater	<= 12 [kW]	0.93	0.93			PASSES
							PASSES

Project: New Prj  
 Title: FABRIC ART SHOP  
 Type: Retail  
 (WEA File: FL\_JACKSONVILLE\_INTL\_ARPT.tm3)

### Piping System Compliance

Category	Pipe Dia [inches]	Is Runout?	Operating Temp [F]	Ins Cond [Btu-in/hr .SF.F]	Ins Thick [in]	Req Ins Thick [in]	Compliance
Domestic and Service Hot Water Systems	0.75	False	125.00	0.28	0.62	0.50	PASSES
							PASSES



Project: New Prj  
Title: FABRIC ART SHOP  
Type: Retail  
(WEA File: FL\_JACKSONVILLE\_INTL\_ARPT.tm3)

### Other Required Compliance

Category	Section	Requirement (write N/A in box if not applicable)	Check
Report	506.4.2	Input Report Print-Out from EnergyGauge FlaCom attached	<input type="checkbox"/>
Operations Manual	303.3.1, 503.2.9.3, 505.7.4.2	Operations manual provided to owner	<input type="checkbox"/>
Windows & Doors	502.3.2	Glazed swinging entrance & revolving doors: max. 1.0 cfm/ft <sup>2</sup> ; all other products: 0.3 cfm/ft <sup>2</sup>	<input type="checkbox"/>
Joints/Cracks	502.3.3	To be caulked, gasketed, weather-stripped or otherwise sealed	<input type="checkbox"/>
Dropped Ceiling Cavity	502.3	Vented: seal & insulated ceiling. Unvented seal & insulate roof & side walls	<input type="checkbox"/>
HVAC Efficiency	503.2.3	Minimum efficiencies: Tables 503.2.3(1)-(8)	<input type="checkbox"/>
HVAC Controls	503.2.4	Zone controls prevent reheat (exceptions); separate thermostatic control per zone;	<input type="checkbox"/>
Ventilation	503.2.5	Outdoor air supply & exhaust ducts shall have dampers that automatically shut when systems or spaces served are not in use. Exhaust air energy recovery required for cooling systems (Exceptions).	<input type="checkbox"/>
ADS	503.2.7.5	Duct sizing and Design have been performed	<input type="checkbox"/>
HVAC Ducts	503.2.7	Air ducts, fittings, mechanical equipment & plenum chambers shall be mechanically attached, sealed, insulated & installed per Table 503.2.7.2. Fan power limitations.	<input type="checkbox"/>
Balancing	503.2.9.1	HVAC distribution system(s) tested & balanced. Report in construction documents.	<input type="checkbox"/>
Piping Insulation	503.2.8	HAC and service hot water. In accordance with Table 503.2.8.	<input type="checkbox"/>
Water Heaters	504	Performance requirements in accordance with Table 504.2. Heat trap required.	<input type="checkbox"/>
Swimming Pools	504.7	Vapor-retardant or liquid cover or other means proven to reduce heat loss on heated pools; Time switch (exceptions); readily accessible on/off switch.	<input type="checkbox"/>
Motors	505.7.5	Motor efficiency criteria have been met	<input type="checkbox"/>
Lighting Controls	505.2, 502.3	Automatic control required for interior lighting in buildings >5,000 s.f.; Space control; Exterior photo sensor; Tandom wiring with 1 or 3 linear fluorescent lamps>30W	<input type="checkbox"/>



Project: New Prj  
 Title: FABRIC ART SHOP  
 Type: Retail  
 (WEA File:  
 FL\_JACKSONVILLE\_INTL\_ARPT.tm  
 3)

## Unmet Hours Report

### Proposed Building

**System: Pr0Sy1**

Zone:Pr0Zo1

	Hours Under Heated	Hours Under Cooled
Jun	0	17
Jul	0	32
Aug	0	8
<b>Year:</b>	<b>0</b>	<b>57</b>

### Baseline Building

**System: Pr0Sy2**

Zone:Pr0Zo1

	Hours Under Heated	Hours Under Cooled
Jan	7	0
<b>Year:</b>	<b>7</b>	<b>0</b>

**Columbia County Building Permit Application**

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

BE Swanson  
Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

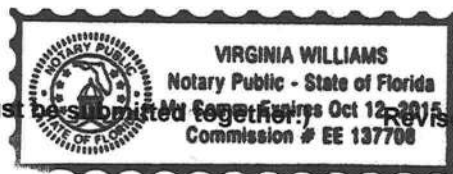
[Signature]  
Contractor's Signature (Permitee)

Contractor's License Number CGC 196165  
Columbia County  
Competency Card Number 529 dk

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 20<sup>th</sup> day of December 2012.  
Personally known \_\_\_\_\_ or Produced Identification FLDL S520 170563100

Virginia Williams  
State of Florida Notary Signature (For the Contractor)

SEAL:





**D**  
**G** **Daniel & Gore, LLC**  
**Professional Surveying and Mapping**

# 30707  
P.O. Box 1501  
Lake City, Florida 32056

May 23, 2013

Simque Construction  
PO Box 2962  
Lake City, FL 32056

OK  
28 MAY 2013  
BLK

**Subject: Swanson Plaza - Elevation Letter**

Dear David:

Daniel & Gore, LLC has performed a vertical survey on a parcel identified as Tax Parcel # 34-3S-16-02491-001 in Columbia County, Florida from a benchmark being a railroad spike in a power pole at the NW corner of the property (elevation - 157.64', NAVD 1988) and have determined the following:

- The Construction Plans from CES, Crews Engineering Services, LLC requires the finish floor elevation to be 157.8'.
- The actual finish floor elevation is at 157.8', being at the minimum finish floor requirement.

If you have any questions, please call me.

Sincerely,



Scott Daniel, PSM

**CERTIFICATE OF OCCUPANCY**

# OCCUPANCY

COLUMBIA COUNTY, FLORIDA

## Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 34-3S-16-02491-001

Building permit No. 000030707

Use Classification COMM BUILDING

Fire: 358.05

Permit Holder DAVID SIMQUE

Waste:

Owner of Building FABRIC ART SHOP, LLC

Total: 358.05

Location: 4136 WEST US HWY 90, LAKE CITY, FL 32055

Date: 05/28/2013



Building Inspector

POST IN A CONSPICUOUS PLACE  
(Business Places Only)





**SUBCONTRACTOR VERIFICATION FORM**

APPLICATION NUMBER \_\_\_\_\_ CONTRACTOR \_\_\_\_\_ PHONE \_\_\_\_\_

**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

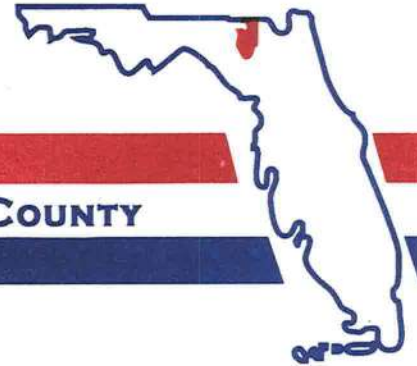
**Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.**

<b>ELECTRICAL</b> 124	Print Name <u>LYNDON RAINBOLT</u> License #: <u>EC13001835</u>	Signature <u>[Signature]</u> Phone #: <u>386-867-1004</u>
<b>MECHANICAL/A/C</b> A 476	Print Name <u>LYNDON RAINBOLT</u> License #: <u>RA0066590</u>	Signature <u>[Signature]</u> Phone #: <u>386-867-1004</u>
<b>PLUMBING/GAS</b> 524	Print Name <u>KEN ROLHE</u> License #: <u>CEC 1426527</u>	Signature _____ Phone #: <u>867-1004</u>
<b>ROOFING</b> 529	Print Name <u>SIMONE CONSTRUCTION</u> License #: <u>CGC 1516165</u>	Signature <u>[Signature]</u> Phone #: <u>867-6294</u>
<b>SHEET METAL</b>	Print Name <u>NA</u> License #: _____	Signature _____ Phone #: _____
<b>FIRE SYSTEM/SPRINKLER</b>	Print Name <u>NA</u> License #: _____	Signature _____ Phone #: _____
<b>SOLAR</b>	Print Name <u>NA</u> License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON		NA	
CONCRETE FINISHER	<u>000048</u>	<u>BEN LOFTSTROM</u>	
FRAMING <u>529</u>	<u>CGC1516165</u>	<u>SIMONE</u>	<u>[Signature]</u>
INSULATION	<u>CGC1516165</u>	<u>SIMONE</u>	<u>[Signature]</u>
STUCCO		NA	
DRYWALL <u>529</u>	<u>CGC1516165</u>	<u>SIMONE</u>	<u>[Signature]</u>
PLASTER		NA	
CABINET INSTALLER	<u>CGC1516165</u>	<u>SIMONE</u>	<u>[Signature]</u>
PAINTING <u>529</u>	<u>CGC1516165</u>	<u>SIMONE</u>	<u>[Signature]</u>
ACOUSTICAL CEILING		NA	
GLASS	<u>618</u>	<u>LAKE CITY GLASS</u>	<u>[Signature]</u>
CERAMIC TILE		NA	
FLOOR COVERING <u>529</u>	<u>CGC1516165</u>	<u>SIMONE</u>	<u>[Signature]</u>
ALUM/VINYL SIDING		NA	
GARAGE DOOR		NA	
METAL BLDG ERECTOR <u>529</u>	<u>CGC1516165</u>	<u>SIMONE</u>	<u>[Signature]</u>

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

District No. 1 - Ronald Williams  
District No. 2 - Rusty DePratter  
District No. 3 - Bucky Nash  
District No. 4 - Stephen E. Bailey  
District No. 5 - Scarlet P. Frisina



**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**

**MEMORANDUM**

**Date:** 7 January 2013  
**To:** Building Permit File  
**From:** Brian L. Kepner, Land Development Regulation Administrator *BLK*  
**Re:** Application # 1212-39 and SDP 12-04

Columbia County Planning and Zoning Board approved SDP 12-04 for Fabric Art Shop, LLC with the conditions as recommended by Neil Miles, Permits Coordinator for FDOT as described below and the following conditions.

1. A 24x24 white stop bar, a 30 x 30 "STOP" sign and a "Do Not Enter" sign at the southern connection with County Road SW Deputy J. Davis Lane.
2. FDOT Improvements on U.S. Highway 90 (No access permit is required):
  - a. Improvements to existing paved area that lies across and behind the main entrance;
  - b. Install minimum safety pavement striping/markings, those being a 24 inch wide white STOP bar (set a minimum of 4 feet back of concrete and a short 25 foot long yellow lane separation double striping and;
  - c. Install new 30 by 30 inch diameter MUTCD R1-1 STOP sign for safety utilizing FDOT Post & Sign specifications.

These conditions will need to be met prior to the issuance of a Certificate of Occupancy. Land Development Regulation Administrator may need to accompany inspectors at time of CO inspection for such compliance.



## Brian Kepner

---

**From:** Miles, Neil [Neil.Miles@dot.state.fl.us]  
**Sent:** Wednesday, November 28, 2012 12:18 PM  
**To:** Brian Kepner  
**Cc:** brett@crewsengineering.com; Cray, Dale; Trippensee, Aaron; Laurie Hodson; Troy Crews  
**Subject:** Swanson Plaza FDOT Preliminary Review

Mr. Kepner & Staff Members:

Our office personnel completed a field review of the proposed Swanson Plaza Site as requested and the following comments are given:

### EXISTING CONDITIONS OF CONNENTION

- The existing concrete urban flared access connection from the FDOT Highway No. 10 (US 90) is a twenty-eight foot wide access as the engineer shows on the received site plan.
- The driveway has a major crack to the east end, but the two half's haven't moved.
- The existing asphalt pavement & limerock base right behind the access entrance is deteriorated with several major pot holes.

### PROPOSED ACCESS IMPROVEMENTS

- Allow the use of the existing 28 foot wide concrete driveway access.
- Have the owner make improvements to the existing paved area that lies across and behind the main entrance.
- Have the owner install the minimum safety pavement striping/markings, those being a 24 inch wide white STOP Bar (set a min. of 4 feet back of concrete) and a short 25 foot long yellow lane separation double striping.
- Install a new 30 by 30 inch dia. MUTCD R1-1 Stop Sign for safety (there isn't one currently) Utilize FDOT Post & Sign Specifications.)

The above proposed access safety improvement items can be required under Columbia County review requirements with no State Access permit being obtained. In the event any additional stormwater is diverted to the State FDOT Stormwater System, then a complete Drainage Connection Permit review would be required. We believe that these access safety items will bring the existing connection into minimum compliance for the planned addition.

Neil E. Miles  
Permits Coordinator  
Lake City Operational Ctr-Lake City Maintenance  
PO Box 1415 Lake City, FL 32056-1415  
Phone No. 386-961-7180  
Cell # 386-365-5873

# COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787  
PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 12/31/2013      DATE ISSUED: 1/7/2013

### ENHANCED 9-1-1 ADDRESS:

4136      W      US HIGHWAY 90  
LAKE CITY      FL      32055  
PROPERTY APPRAISER PARCEL NUMBER:  
34-3S-16-02491-001

### Remarks:

ADDRESS FOR PROPOSED STRUCTURE ON PARCEL. 2ND LOCATION  
ON PARCEL

Address Issued By: SIGNED: / RONAL N. CROFT  
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION  
INFORMATION RECEIVED FROM THE REQUESTER. SHOULD,  
AT A LATER DATE, THE LOCATION INFORMATION BE FOUND  
TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**



Inst. 201212017993 Date: 12/5/2012 Time: 3:03 PM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1245 P: 2226

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 34-35-16-02491-001

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 16-35-34 1102/1102 1.389 ACRES  
a) Street (job) Address: 4134 WEST US HWY 90, LAKE CITY, FL 32055
2. General description of improvements: \_\_\_\_\_
3. Owner Information  
a) Name and address: FABRIC ART SHOP LLC (BARBIE SWANSON, DIRECTOR)  
b) Name and address of fee simple titleholder (if other than owner) 4134 W. US HWY 90, LAKE CITY, FL 32055  
c) Interest in property OWNER 100%
4. Contractor Information  
a) Name and address: SIMQUE CONSTRUCTION, PO BOX 3962, LAKE CITY, FL 32056  
b) Telephone No.: 386-755-7787 Fax No. (Opt.) 386-755-1188
5. Surety Information  
a) Name and address: NA  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
6. Lender  
a) Name and address: NA  
b) Phone No.: \_\_\_\_\_
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
a) Name and address: FABRIC ART SHOP LLC, 4134 WEST US HWY 90, LAKE CITY, FL 32055  
b) Telephone No.: 386-755-0179 Fax No. (Opt.) 386-755-8530
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b).  
Florida Statutes:  
a) Name and address: DAVID J SIMQUE, SIMQUE CONSTRUCTION, PO BOX 3962, LAKE CITY, FL 32056  
b) Telephone No.: 386-755-7787 Fax No. (Opt.) 386-755-1188
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

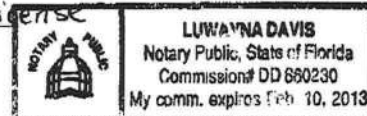
STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Barbie Swanson  
Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager  
BARBIE SWANSON  
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 4<sup>th</sup> day of December, 2012, by:  
Barbie Swanson as Director (type of authority, e.g. officer, trustee, attorney  
fact) for Fabric Art Shop LLC (name of party on behalf of whom instrument was executed).

Personally Known \_\_\_\_\_ OR Produced Identification ☒ Type Florida Drivers License

Notary Signature Luwanna Davis Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Barbie Swanson  
Signature of Natural Person Signing (in line #10 above.)

529

# Columbia County Property Appraiser

CAMA updated: 12/19/2012

2012 Tax Year

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

Print

Parcel: 34-3S-16-02491-001

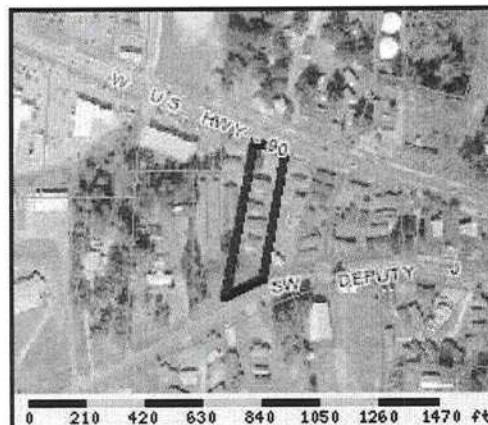
&lt;&lt; Next Lower Parcel

Next Higher Parcel &gt;&gt;

Search Result: 1 of 1

## Owner & Property Info

Owner's Name	FABRIC ART SHOP LLC		
Mailing Address	2502 NW LAKE JEFFERY RD LAKE CITY, FL 32055		
Site Address	4134 W US HWY 90		
Use Desc. (code)	STORES, 1 (001100)		
Tax District	2 (County)	Neighborhood	34316
Land Area	1.389 ACRES	Market Area	06
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
COMM INTERS W LINE OF SW1/4 OF SE1/4 WITH N R/W CR-252, N 63 DEG E ALONG N R/W 420 FT FOR POB, RUN N 12 DEG E 561.69 FT TO S R/W OF US-90, SE'LY ALONG CURVE 120.95 FT, S 12 DEG W 446.20 FT TO N R/W CR-252, SWLY ALONG R/W 50.48 FT, S 63 DEG W ALONG R/W 104.52 FT TO POB. ORB 968-1049, WD 1239-765			



## Property & Assessment Values

2012 Certified Values		
<b>Mkt Land Value</b>	cnt: (0)	\$307,281.00
<b>Ag Land Value</b>	cnt: (1)	\$0.00
<b>Building Value</b>	cnt: (1)	\$32,085.00
<b>XFOB Value</b>	cnt: (2)	\$1,750.00
<b>Total Appraised Value</b>		\$341,116.00
<b>Just Value</b>		\$341,116.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$341,116.00
<b>Exempt Value</b>		\$0.00
<b>Total Taxable Value</b>	Cnty: \$341,116 Other: \$341,116   Schl: \$341,116	

## 2013 Working Values

**NOTE:**  
2013 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

## Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
8/1/2012	1239/765	WD	I	U	38	\$226,000.00
11/22/2002	968/1049	WD	I	Q		\$332,800.00
4/1/1986	589/463	WD	V	U	01	\$66,000.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	STORE RETL (003500)	1988	MOD METAL (25)	2040	2380	\$30,827.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

## Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	0	\$150.00	0000001.000	0 x 0 x 0	(000.00)



0260	PAVEMENT-A	1993	\$1,600.00	0000001.000	0 x 0 x 0	AP (020.00)
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**Land Breakdown**

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
001100	STORE 1FLR (MKT)	47058 SF - (0000001.080AC)	1.00/1.00/0.70/1.00	\$5.07	\$238,819.00
009601	RETENTION (MKT)	0.309 AC	1.00/1.00/1.00/1.00	\$175.00	\$54.00

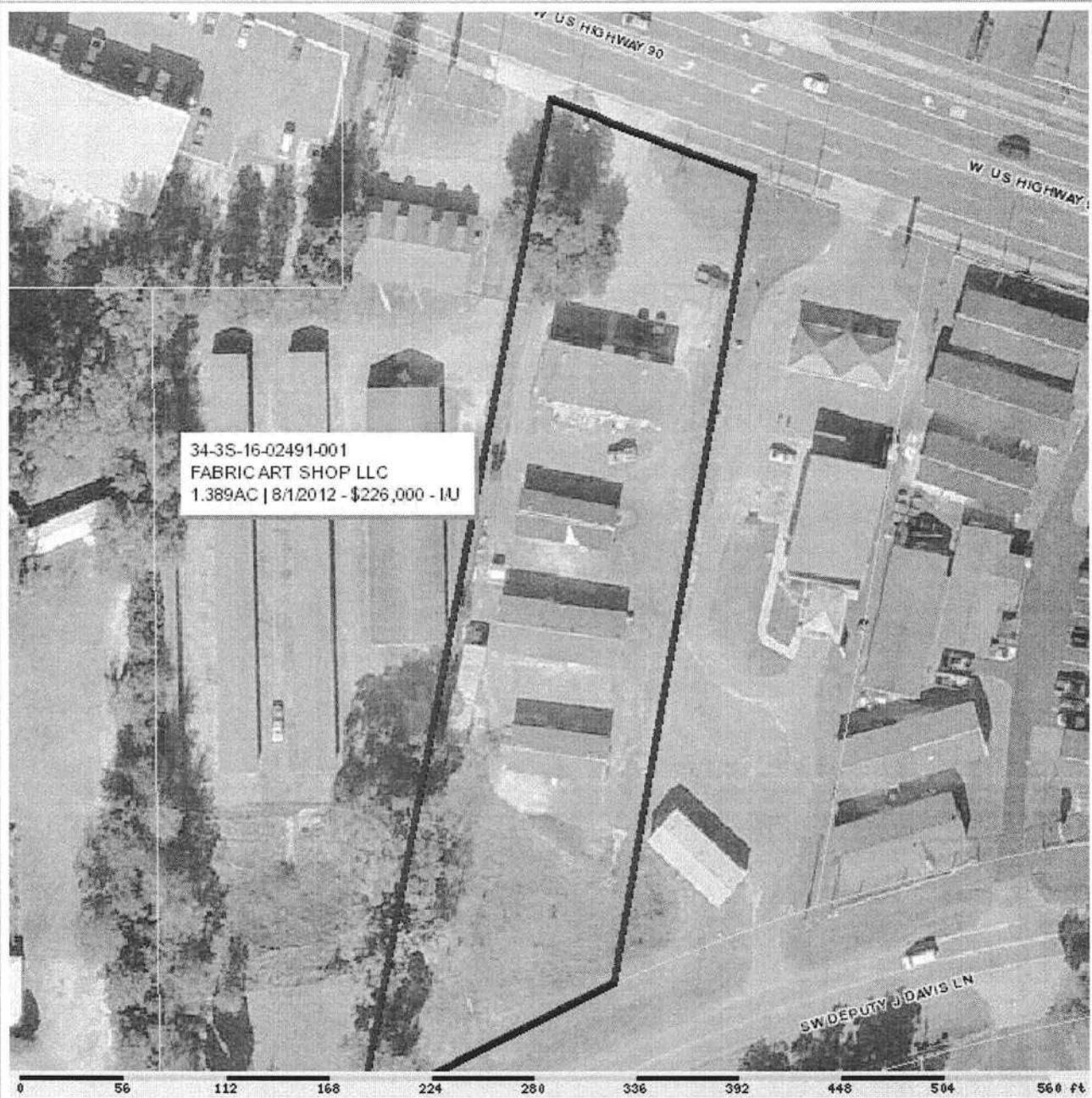
Columbia County Property Appraiser

CAMA updated: 12/19/2012

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**DISCLAIMER**

This information was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



## Columbia County Property Appraiser

J. Doyle Crews - Lake City, Florida 32055 | 386-758-1083

**PARCEL: 34-3S-16-02491-001 - STORES, 1 (001100)**



COMM INTERS W LINE OF SW1/4 OF SE1/4 WITH N R/W CR-252, N 63 DEG E ALONG N R/W 420 FT FOR  
POB, RUN N 12 DEG E 561.69 FT TO S R/W OF US-90, SE'LY ALONG

NOTES:

Name:	FABRIC ART SHOP LLC	<b>2012 Certified Values</b>	
Site:	4134 W US HWY 90	Land	\$307,281.00
Mail:	2502 NW LAKE JEFFERY RD	Bldg	\$32,085.00
	LAKE CITY, FL 32055	Assd	\$341,116.00
Sales	8/1/2012 \$226,000.00 I/U	Exmpt	\$0.00
Info	11/22/2002 \$332,800.00 I/Q	Taxbl	Cnty: \$341,116
			Other: \$341,116   Schl: \$341,116





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**No Events**   **No Name History**

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## Detail by Entity Name

### Florida Limited Liability Company

**FABRIC ART SHOP LLC.**

### Filing Information

<b>Document Number</b>	L11000142392
<b>FEI/EIN Number</b>	454491856
<b>Date Filed</b>	12/20/2011
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Effective Date</b>	01/01/2012

### Principal Address

158 SW DOMINOS WAY  
LAKE CITY FL 32025-1594 US

### Mailing Address

158 SW DOMINOS WAY  
LAKE CITY FL 32025-1594 US

### Registered Agent Name & Address

SWANSON, BARBIE  
158 SW DOMINOS WAY  
LAKE CITY FL 32025-1594 US

### Manager/Member Detail

**Name & Address**

Title MGRM

**SWANSON, BARBIE**  
158 SW DOMINOS WAY  
LAKE CITY FL 32025-1594 US

### Annual Reports

**No Annual Reports Filed**

### Document Images

12/20/2011 -- Florida Limited Liability  

**Note:** This is not official record. See documents if question or conflict.

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