

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 7-1-15)		Zoning Official <u>LC</u>	Building Official <u>MA 4-10-18</u>
AP# <u>1804-06</u>	Date Received <u>4-2-18</u>	By <u>LH</u>	Permit # <u>36587</u>
Flood Zone <u>X</u>	Development Permit _____	Zoning <u>RSF2</u>	Land Use Plan Map Category <u>RCD</u>
Comments _____			
FEMA Map# _____	Elevation _____	Finished Floor <u>1' above road</u>	River _____ In Floodway _____
<input type="checkbox"/> Recorded Deed or <input checked="" type="checkbox"/> Property Appraiser PO	<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> EH # <u>18-0290</u>	<input type="checkbox"/> Well letter OR
<input checked="" type="checkbox"/> Existing well	<input checked="" type="checkbox"/> Land Owner Affidavit	<input checked="" type="checkbox"/> Installer Authorization	<input type="checkbox"/> FW Comp. letter <input checked="" type="checkbox"/> App Fee Paid
<input type="checkbox"/> DOT Approval	<input type="checkbox"/> Parent Parcel # _____	<input type="checkbox"/> STUP-MH _____	<input checked="" type="checkbox"/> 911 App
<input type="checkbox"/> Ellisville Water Sys	<input checked="" type="checkbox"/> Assessment <u>paid m/h parts</u>	<input type="checkbox"/> Out County <input checked="" type="checkbox"/> In County	<input checked="" type="checkbox"/> Sub VF Form

Property ID # 28-35-16-02376-000 Subdivision FIVE ASH FOREST Lot# 28

- New Mobile Home ☒ Used Mobile Home _____ MH Size 28x54 Year 2018
- Applicant MARK S. GOODSON Phone # 386-303-2222
- Address 337 S.W. TOMPKINS ST. LAKE CITY FL. 32024
- Name of Property Owner FIVEASH FOREST, LLC Phone# 386-752-7207
- 911 Address 298 N.W. TURNBERRY DR. LAKE CITY FL 32055
- Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Duke Energy
- Name of Owner of Mobile Home JIM & BETTY STRAYER Phone # 386-365-3848
 Address 298 NW TURNBERRY DRIVE LAKE CITY FL 32055
- Relationship to Property Owner TENANT
- Current Number of Dwellings on Property 18
- Lot Size 75x150 Total Acreage 36
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
 (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home NO
- Driving Directions to the Property HWY 90 WEST TURN RIGHT ONTO BROWN ROAD TURN RIGHT ONTO TURNBERRY DRIVE. FOLLOW TO LOT 28. 2nd LOT ON RIGHT ON TURNBERRY DR.
- Name of Licensed Dealer/Installer DALE HOUSTON Phone # 386-623-6522
- Installers Address 136 SW BARRS GLEN LAKE CITY FL 32024
- License Number IH1025142 Installation Decal # 31228

- LH - PATTI knows what's needed 4-2-18
 LH - Left Patti a message 4-12-18

fiveashforest@comcast.net

375.10
 #3587

Mobile Home Permit Worksheet

Application Number: _____

Date: _____

Installer: Dale Houston License # TH 1025142

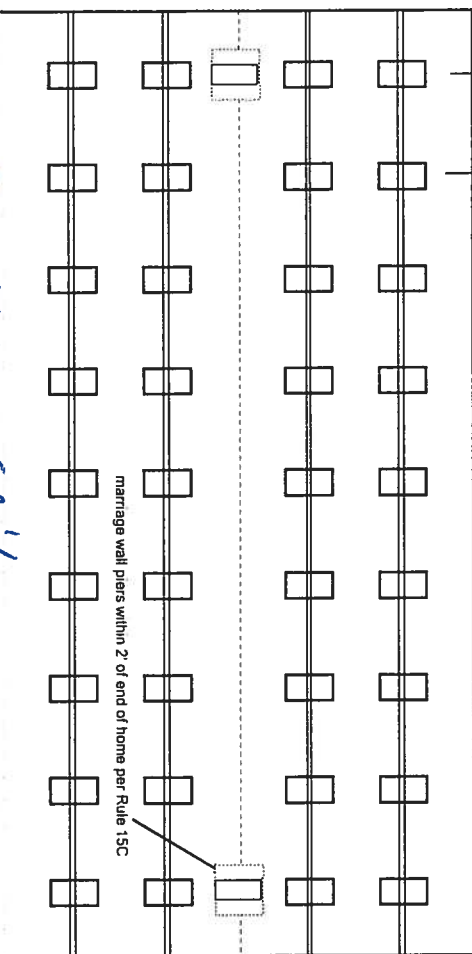
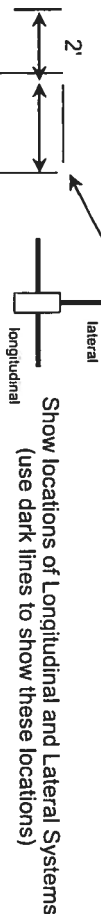
Address of home being installed 298 NW Turnberry Dr
Lake City, FL 32055

Manufacturer Palm Harbor Length x width 28 x 54

NOTE: if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home
I understand Lateral Arm Systems cannot be used on any home (new or used)
where the sidewall ties exceed 5 ft 4 in.

Installer's initials _____

Typical pier spacing



New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☒
Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 31228

Triple/Quad ☐ Serial # PHH 2110541B

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 14x25
Perimeter pier pad size 17x25
Other pier pad sizes (required by the mfg.) _____

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

17x25

ANCHORS

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
Manufacturer _____
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer OLIVERA

OTHER TIES

Sidewall Longitudinal Marriage wall Shearwall
Number 4
6
2

Mobile Home Permit Worksheet

Application Number: _____ Date: _____

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil _____ without testing.

X1000

X1500

X1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X1000

X1000

X1000

TORQUE PROBE TEST

The results of the torque probe test is 280 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. 1 understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

PH

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Oale Houston

Date Tested

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 47

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 42

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 4

Site Preparation

Debris and organic material removed ☒ Swale ☒ Pad ☒ Other ☐

Fastening multi wide units

Floor: Type Fastener: lock Length: 6" Spacing: 24"
Walls: Type Fastener: lock Length: 4" Spacing: 24"
Roof: Type Fastener: lock Length: 4" Spacing: 24"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials PH

Type gasket Pg. _____

Installed: Between Floors Yes ☒
Between Walls Yes ☒
Bottom of ridgebeam Yes ☒

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☐ Pg. _____
Siding on units is installed to manufacturer's specifications. Yes ☐
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☐

Miscellaneous

Skirting to be installed. Yes ☐ No ☒
Dryer vent installed outside of skirting. Yes ☒ N/A
Range downflow vent installed outside of skirting. Yes ☒ N/A
Drain lines supported at 4 foot intervals. Yes ☒
Electrical crossovers protected. Yes ☒
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Oale Houston

Date

TABLE 10. FOOTING DIMENSIONS

Soil Bearing Capacity	Minimum Footing Area (sq. in.)	Minimum Footing Dimensions (in.)	8 in. x 16 in. pier (single-stack blocks)		16 in. x 16 in. pier (double-stack blocks)	
			Unreinforced cast-in-place min. thickness (in.)	Maximum footing capacity (lbs)	Unreinforced cast-in-place min. thickness (in.)	Maximum footing capacity (lbs)
500	256	16 X 16	6	600	6	N/A
	324	18 X 18	6	800	6	N/A
	400	20 X 20	6	1030	6	580
	576	24 X 24	6	1550	6	1100
	900	30 X 30	6	2500	6	2050
	1296	36 X 36	6	3675	6	3225
1000	256	16 X 16	6	1490	6	1045
	324	18 X 18	6	1930	6	1480
	400	20 X 20	6	2420	6	1970
	576	24 X 24	6	3550	6	3100
	900	30 X 30	6	5630	6	5180
	1296	36 X 36	7	8060	6	7725
1500	256	16 X 16	6	2380	6	1930
	324	18 X 18	6	3055	6	2600
	400	20 X 20	6	3810	6	3360
	576	24 X 24	6	5550	6	5100
	900	30 X 30	7	8680	6	8300
	1296	36 X 36	8	12450	6	12100
2000	256	16 X 16	6	3270	6	2820
	324	18 X 18	6	4180	6	3730
	400	20 X 20	6	5200	6	4750
	576	24 X 24	6	7550	6	7100
	900	30 X 30	8	11725	6	11400
	1296	36 X 36	10	16725	7	16600
2500	256	16 X 16	6	4160	6	3710
	324	18 X 18	6	5300	6	4850
	400	20 X 20	6	6600	6	6130
	576	24 X 24	6	9550	6	9100
	900	30 X 30	8	14850	6	14550
	1296	36 X 36	11	21110	8	21000
4000	256	16 X 16	6	6830	6	6380
	324	18 X 18	6	8680	6	8230
	400	20 X 20	6	10760	6	10300
	576	24 X 24	8	15450	6	15100
	900	30 X 30	11	23990	7	23850
	1296	36 X 36	13	34390	10	34275

Note: The capacity values listed have been reduced by the dead load of the concrete footing and pier.

Design footings to comply with the following additional requirements:

- Design each footing at least slightly larger than the base of the pier it supports.
- To keep footings directly under I-beams and other support points, size them slightly larger than the minimum required area to allow slight adjustment of the pier location during home installation.
- Design footings with a footing extension (projection beyond the base of the

size of each footing as follows:

1. From **Table 9** determine if the pier is to be of single-stack blocks (8 inch x 16 inch) or double-stack blocks (16 inch x 16 inch) pier.
2. Locate the group of rows in **Table 10** with the soil-bearing capacity determined in **Prepare the Site, STEP 5. DETERMINE SOIL-BEARING CAPACITY AND FROST LINE** (p. 14). Use the next lowest value if the exact value does not appear.
3. Read across the table to determine the minimum required footing area and the minimum footing thickness for the corresponding footing type (single or double-stacked blocks).
4. The required footing size may be changed by selecting another support spacing (**Table 6** or **Table 7**).

TABLE 9. PIER CONFIGURATION

Pier location	Height	Configuration	Maximum load
Frame	Less than 36 in (except corner piers more than 3 blocks high)	Single-stack blocks with long side perpendicular to I-beam	8,000 lbs.
	Between 36 in and 67 in and corner piers over 3 blocks high	Double, interlocked blocks	16,000 lbs.
	Over 67 in	Double, interlocked blocks	16,000 lbs.
Perimeter	54 in or less	Single-stack blocks with long side parallel to perimeter rail (rim joist)	8,000 lbs.
Marriage line	54 in or less	Single-stack blocks with long side perpendicular to the marriage line	8,000 lbs.

for freezing climates.

section width. Find the group of rows corresponding to the selected support spacing. The values in the intersecting cells are the loads for the frame, perimeter, and marriage line supports respectively.

Loads on supports of a given type (frame, perimeter, or marriage) can be assumed to be equal if support spacing is equal. However, if different support spacings are used then each support with a different spacing should be calculated separately.

Note the location and load required of each support on the sketch.

TABLE 7. LOAD ON FRAME AND PERIMETER SUPPORTS FOR HOMES REQUIRING PERIMETER BLOCKING

Maximum spacing	Location	Roof load zone and max. section width								
		South (20 psf)			Middle (30 psf)			North (40 psf)		
		12 ft	14 ft	16 ft	12 ft	14 ft	16 ft	12 ft	14 ft	16 ft
4 ft	Frame	965	1060	1150	965	1060	1150	965	1060	1150
	Perimeter	1190	1360	1550	1475	1670	1900	1760	1985	2250
	Marriage	2055	2475	2860	2520	3020	3480	2990	3570	4100
6 ft	Frame	1450	1585	1715	1450	1585	1715	1450	1585	1715
	Perimeter	1780	2035	2325	2210	2505	2850	2640	2975	3375
	Marriage	3080	3710	4290	3780	4530	5220	4480	5350	6150
8 ft	Frame	1925	2115	2285	1925	2115	2285	1925	2115	2285
	Perimeter	2375	2715	3100	2950	3340	3800	3520	3970	4500
	Marriage	4110	4950	5720	5040	6040	6960	5975	7135	8200
10 ft	Frame	2405	2645	2860	2405	2645	2860	2405	2645	2860
	Perimeter	SEE 8FT ROW			SEE 8FT ROW			SEE 8FT ROW		
	Marriage									

STEP 4. SELECT FOOTING MATERIAL

Select one of the products and materials from **Table 8** for the footings.

TABLE 8. FOOTING MATERIALS

Material	Appropriate Use	Specification
Poured concrete	All soil types	Minimum 6" thick poured-in-place concrete pads, slabs, or ribbons with at least a 28 day compressive strength of 3,000 psi. Cast-in-place concrete footings may also require reinforcing steel based on acceptable engineering practice, the design loads, and site specific soil conditions.
Pre-cast concrete	All soil types	Minimum 4" thick nominal precast concrete pads meeting or exceeding ASTM C 90-02a, Standard Specification for Load Bearing Concrete Masonry Units, without reinforcement, with at least a 28-day compressive strength of 2,500 psi.
ABS plastic	Stable soils	Use in accordance with the pad manufacturer's instructions. Must be certified for use in the soil classification at the site, listed and labeled for the required load capacity.
Proprietary systems	Consult system manufacturer	Consult system manufacturer.

Will footings be concrete?

- ▶ **YES**, go to **STEP 5, SIZE FOOTING**, (p. 22).
- ▶ **NO**, see footing system manufacturer's instructions. For on-grade footings, the ground moisture barrier may be installed now – see **Complete Exterior Work, STEP 2. INSTALL GROUND MOISTURE RETARDER** (p. 94) then go to **Set the Home** (p. 29).

STEP 5. SIZE FOOTINGS

Once the load on the footing and the soil-bearing capacity are known, calculate the



Frost protection. When selecting footing materials, bear in mind the need for frost protection. Not all footing materials are suitable

OLIVER TECHNOLOGIES, INC.
FLORIDA INSTALLATION INSTRUCTIONS FOR THE
MODEL 1101 "V" SERIES ALL STEEL FOUNDATION SYSTEM
MODEL 1101"V" (STEPS 1-15)
LONGITUDINAL ONLY: FOLLOW STEPS 1-9
FOR ADDING LATERAL ARM : Follow Steps 10-15
FOR CONCRETE APPLICATIONS: Follow Steps 16-19

ENGINEERS STAMP

ENGINEERS STAMP

1. SPECIAL CIRCUMSTANCES: If the following conditions occur - **STOP! Contact Oliver Technologies at 1-800-284-7437 :**
a) Pier height exceeds 48" b) Length of home exceeds 76' c) Roof eaves exceed 16" d) Sidewall height exceed 96"
e) Location is within 1500 feet of coast

INSTALLATION OF GROUND PAN

2. Remove weeds and debris in an approximate two foot square to expose firm soil for each ground pan (C) .
3. Place ground pan (C) directly below chassis I-beam . Press or drive pan firmly into soil until flush with or below soil.
SPECIAL NOTE: The longitudinal "V" brace system serves as a pier under the home and should be loaded as any other pier. It is recommended that after leveling piers, and one-third inch (1/3") before home is lowered completely on to piers, complete steps 4 through 9 below then remove jacks.

INSTALLATION OF LONGITUDINAL "V" BRACE SYSTEM

NOTE: WHEN INSTALLING THE LONGITUDINAL SYSTEM ONLY, A MINIMUM OF 2 SYSTEMS PER FLOOR SECTION IS REQUIRED. SOIL TEST PROBE SHOULD BE USED TO DETERMINE CORRECT TYPE OF ANCHOR PER SOIL CLASSIFICATION. IF PROBE TEST READINGS ARE BETWEEN 175 & 275 A 5 FOOT ANCHOR MUST BE USED. IF PROBE TEST READINGS ARE BETWEEN 276 & 350 A 4 FOOT ANCHOR MAY BE USED. USE GROUND ANCHORS WITH DIAGONAL TIES AND STABILIZER PLATES EVERY 5'4" . VERTICAL TIES ARE ALSO REQUIRED ON HOMES SUPPLIED WITH VERTICAL TIE CONNECTION POINTS (PER FLORIDA REG.) .

4. Select the correct square tube brace (E) length for set - up (pier) height at support location. (The 18" tube is always used as the bottom part of the longitudinal arm). Note: Either tube can be used by itself, cut and drilled to length as long as a 40 to 45 degree angle is maintained.

PIER HEIGHT
(Approx. 45 degrees Max.)

1.25" ADJUSTABLE
Tube Length

1.50" ADJUSTABLE
Tube Length

7 3/4" to 25"	22"	18"
24 3/4" to 32 1/4"	32"	18"
33" to 41"	44"	18"
40" to 48"	54"	18"

5. Install (2) of the 1.50" square tubes (E {18" tube}) into the "U" bracket (J), insert carriage bolt and leave nut loose for final adjustment.
6. Place I-beam connector (F) loosely on the bottom flange of the I-beam.
7. Slide the selected 1.25" tube (E) into a 1.50" tube (E) and attach to I-beam connectors (F) and fasten loosely with bolt and nut.
8. Repeat steps 6 through 7 to create the "V" pattern of the square tubes loosely in place. The angle is not to exceed 45 degree and not below 40 degrees.
9. After all bolts are tightened, secure 1.25" and 1.50" tubes using four(4) 1/4"-14 x 3/4" self-tapping screws in pre-drilled holes.

INSTALLATION OF LATERAL TELESCOPING TRANSVERSE ARM SYSTEM

THE MODEL 1101 "V" (LONGITUDINAL & LATERAL PROTECTION) ELIMINATES THE NEED FOR MOST STABILIZER PLATES & FRAME TIES.

NOTE: THE USE OF THIS SYSTEM REQUIRES VERTICAL TIES SPACED AT 5'4".

FOUR FOOT (4') GROUND ANCHOR MAY BE USED EXCEPT WHERE THE HOME MANUFACTURER SPECIFIES DIFFERENT.

10. Install remaining vertical tie-down straps and 4' ground anchors per home manufacturer's instructions. **NOTE:** Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs. require a 5' anchor per Florida Code.
11. **NOTE:** Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location. This frame tie & stabilizer plate needs to be located within 18" from of center ground pan.
12. Select the correct square tube brace (H) length for set-up lateral transverse at support location. The lengths come in either 60" or 72" lengths. (With the 1.50" tube as the bottom tube, and the 1.25" tube as the inserted tube.)
13. Install the 1.50 transverse brace (H) to the ground pan connector (D) with bolt and nut.
14. Slide 1.25" transverse brace into the 1.50" brace and attach to adjacent I-beam connector (I) with bolt and nut.
15. Secure 1.50" transverse arm to 1.25" transverse arm using four (4) 1/4" - 14 x 3/4" self-tapping screws in pre-drilled holes.



OLIVER TECHNOLOGIES, INC.
1-800-284-7437

Telephone 931-796-4555
Fax: 931-796-8811
www.olivertechnologies.com

INSTALLATION USING CONCRETE RUNNER / FOOTER

16. A concrete runner, footer or slab may be used in place of the steel ground pan.
- The concrete shall be minimum 2500 psi mix
 - A concrete runner may be either longitudinal or transverse, and must be a minimum of 8" deep with a minimum width of 16 inches longitudinally or 18 inches transverse to allow proper distance between the concrete bolt and the edge of the concrete (see below).
 - Footers must have minimum surface area of 441 sq. in. (i.e. 21" square), and must be a minimum of 8" deep.
 - If a full slab is used, the depth must be a 4" minimum at system bracket location, all other specifications must be per local jurisdiction. Special inspection of the system bracket installation is not required.. Footers must allow for at least 4" from the concrete bolt to the edge of the concrete.

NOTE: The bottom of all footings, pads, slabs and runners must be per local jurisdiction.

LONGITUDINAL: (Model 1101 LC "V")

17. When using Part # 1101-W-CPCA (wetset), simply install the bracket in runner/footer **OR** When installing in cured concrete use Part # 101-D-CPCA (dryset). The 1101 (dryset) CA bracket is attached to the concrete using (2) 5/8"x3" concrete wedge bolts (Simpson part # S162300H 5/8" X 3" or Powers equivalent). Place the CA bracket in desired location. Mark bolt hole locations, then using a 5/8" diameter masonry bit, drill a hole to a minimum depth of 3". Make sure all dust and concrete is blown out of the holes. Place wedge bolts into drilled holes, then place 1101 (dry set) CA bracket onto wedge bolts and start wedge bolt nuts. Take a hammer and lightly drive the wedge bolts down by hitting the nut (making sure not to hit the top of threads on bolt). The sleeve of concrete wedge bolt needs to be at or below the top of concrete. Complete by tightening nuts.

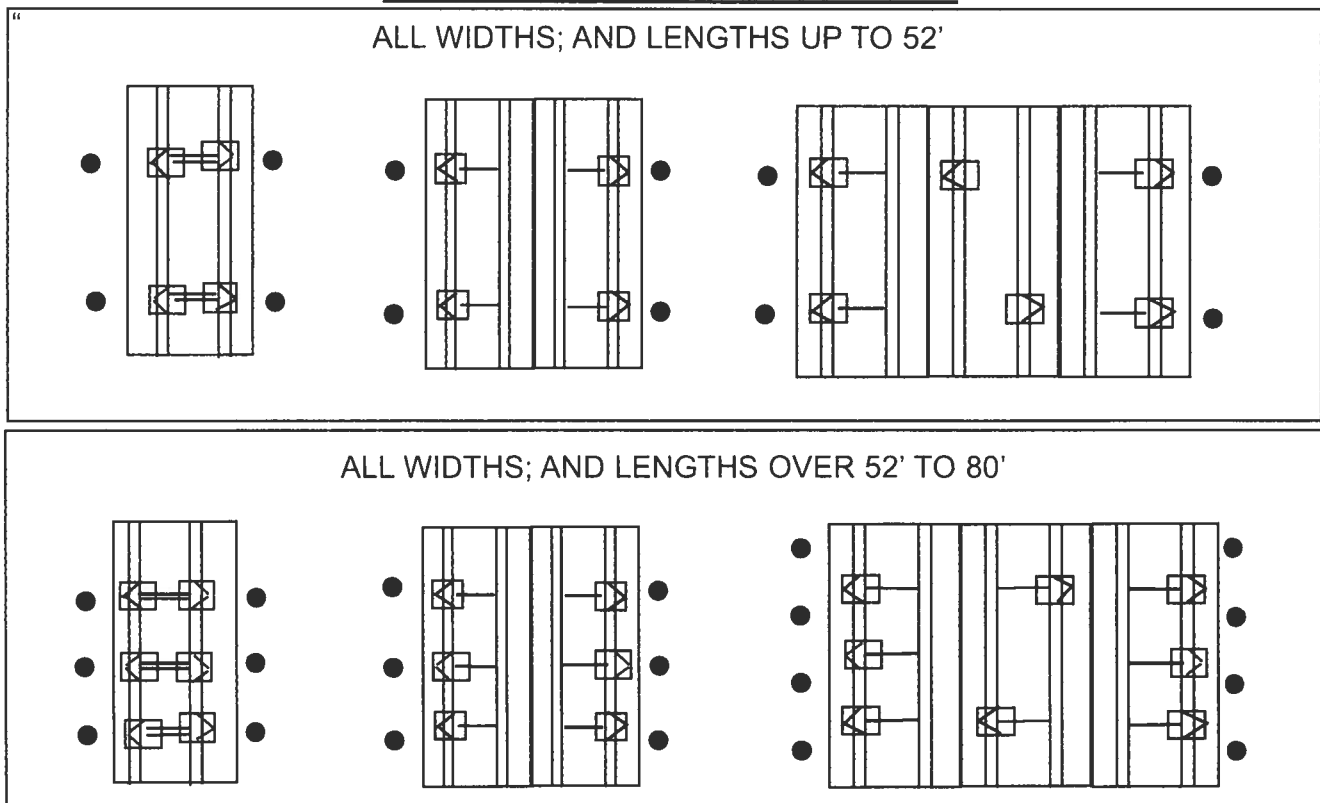
LATERAL: (Model 1101 TC "V")

18. For wet set (part # 1101-W-TACA) installation simply install the anchor bolt into runner/footer. For dry set installation (part # 1101-D-TACA) mark bolt hole locations, then using a 5/8" diam. masonry bit, drill a hole to a minimum depth of 3". Make sure all dust and concrete is blown out of the hole. Place wedge bolts (Simpson part #S162300H 5/8" X 3" or Powers equivalent) into (D) concrete dry transverse connector and into drilled hole. If needed, take a hammer and lightly drive the wedge bolts down by hitting the nut (making sure not to hit the top of threads on bolt), then remove the nut. The sleeve of concrete wedge bolt needs to be at or below the top of concrete.
19. When using part # 1101 CVW (wetset) or 1101 CVD (dryset), install per steps 17 & 18.

Notes:

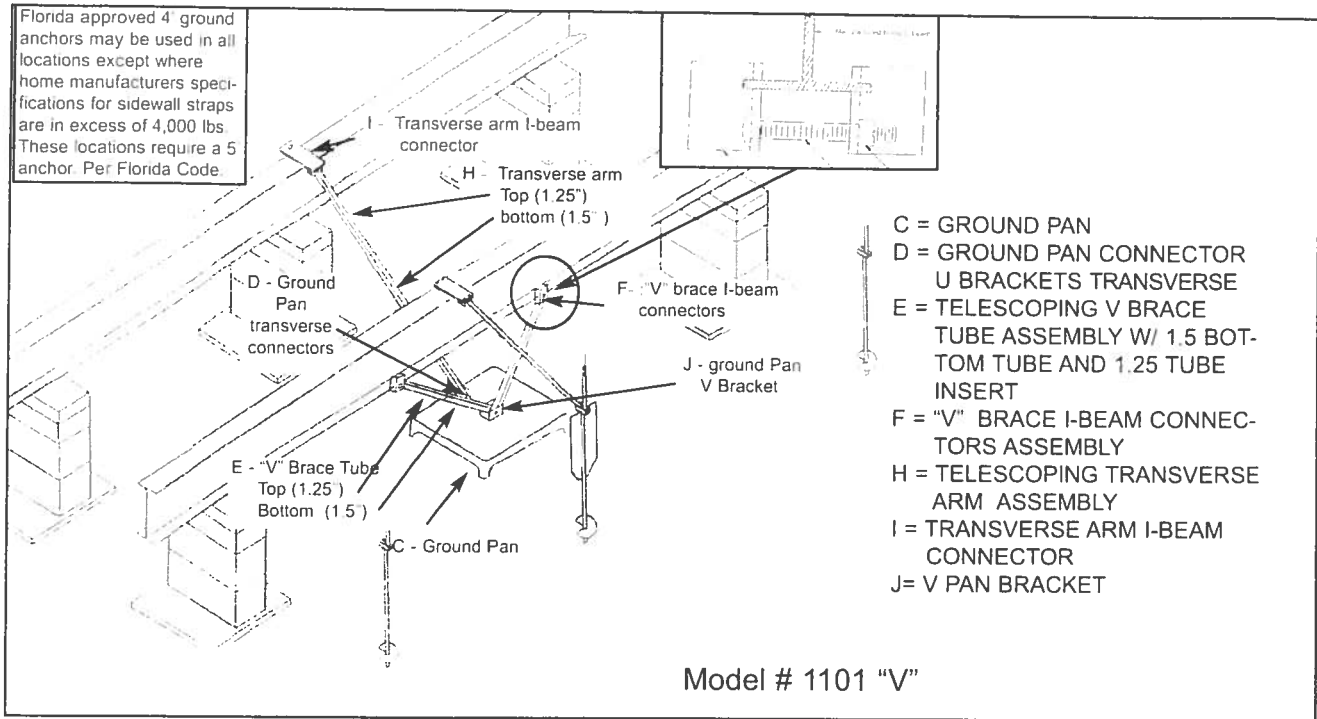
- LENGTH OF HOUSE IS THE ACTUAL BOX SIZE
- = STABILIZER PLATE AND FRAME TIE LOCATION (needs to be located within 18 inches of center of ground pan or concrete)
- ☐ = LOCATION OF LONGITUDINAL BRACING ONLY
- ☐ = TRANSVERSE & LONGITUDINAL LOCATIONS

REQUIRED NUMBER AND LOCATION OF MODEL 1101 "V" OR 1101 C "V" BRACES FOR UP TO 4/12 ROOF PITCH



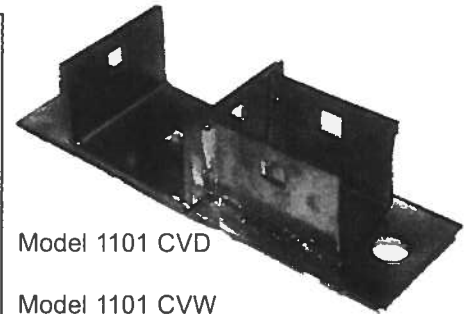
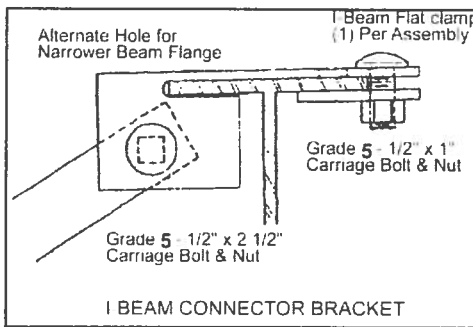
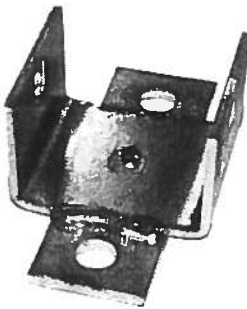
HOMES WITH 5/12 ROOF PITCH REQUIRE: PER FLORIDA REGULATIONS

6 systems for home lengths up to 52' and 8 systems for homes over 52' and up to 80'. One stabilizer plate and frame tie required at each lateral bracing system.



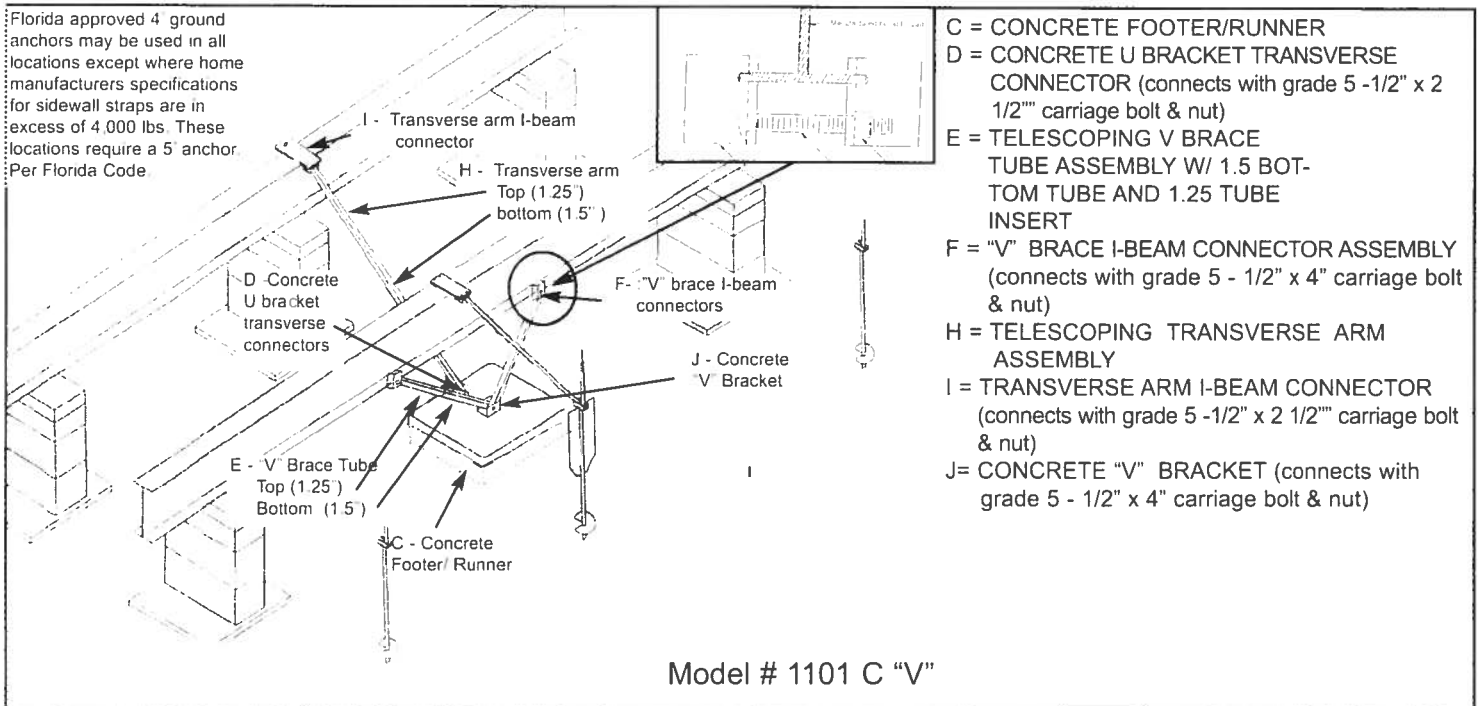
Longitude dry
concrete bracket
part # 1101 D-CPA

Wet bracket part #
1101 W-CPA not
shown



Model 1101 CVD

Model 1101 CVW
not shown

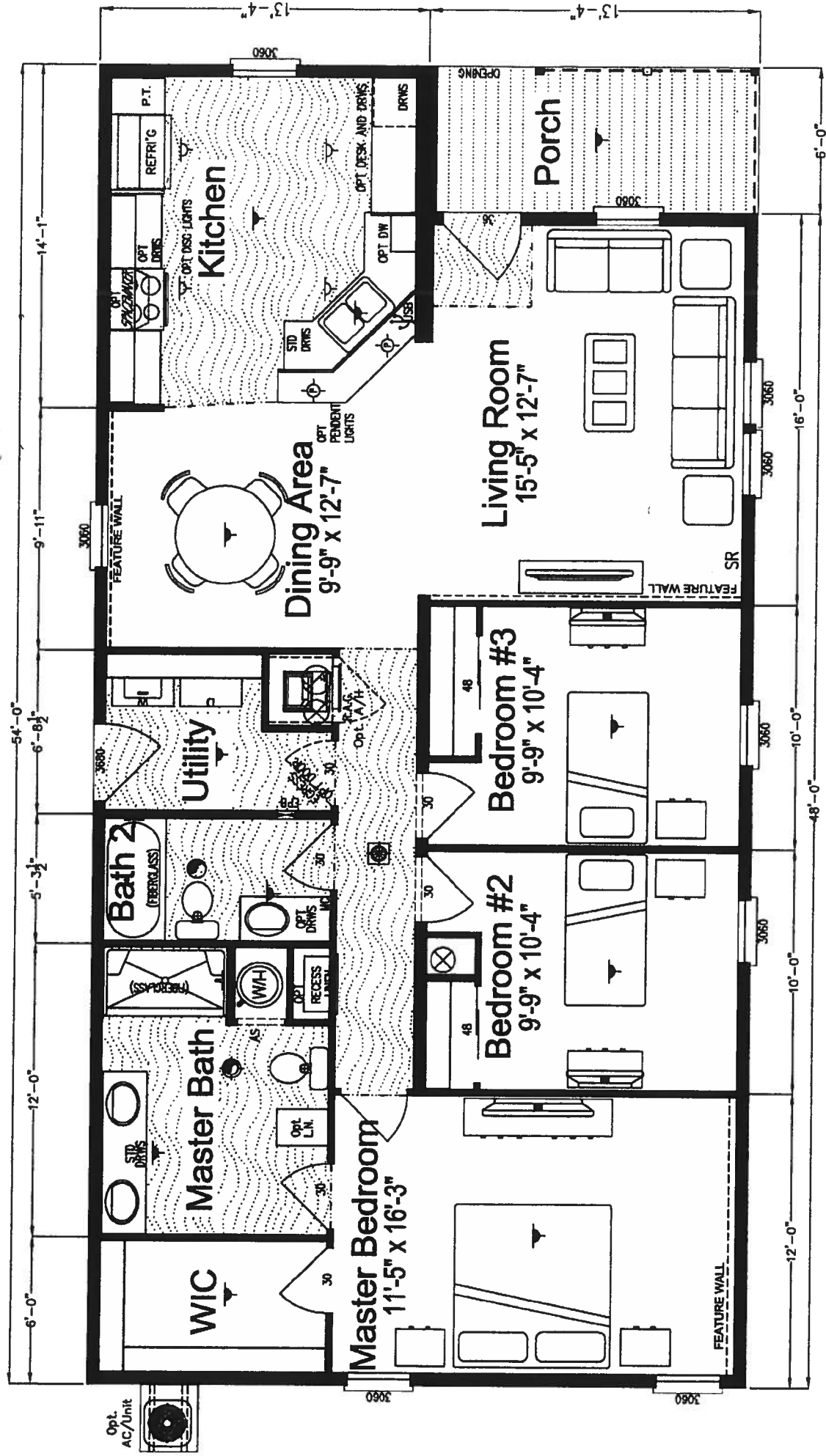


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TIM & BETTY STRAYER DEAL # 31228

Lifestyle Series



The Pine Valley
 Model 340LS28543A
 Approx 1,440 Sq Ft.

Plant City, FL • (800) 729-4363 • www.palmharbor.com

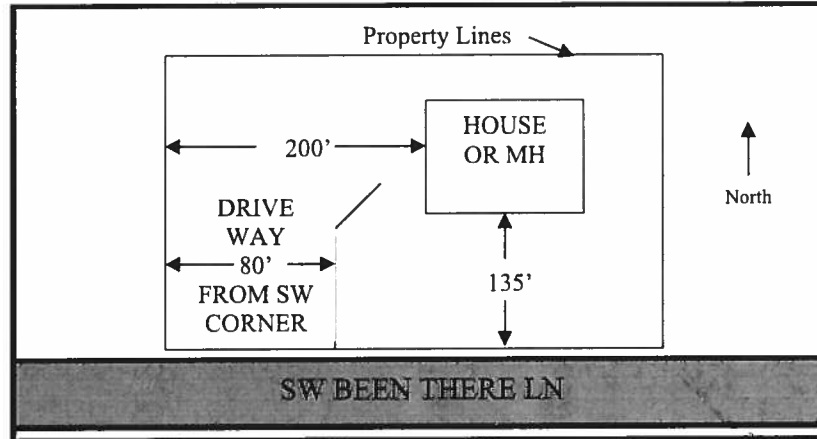
- 26' 8" x 54'
- 3 Bedrooms, 2 Baths
- Master Suite w/ Walk-in Closet
- Kitchen w/ Angled Bar & Optional Desk
- Full Size Utility Room
- Separate Living/Dining Room
- Standard 6' Front Porch

Copyright © Palm Harbor Homes, Inc. Because Palm Harbor Homes has a continuous product updating and improvement process, prices, plans, dimensions, features, materials, specifications and availability are subject to change without notice or obligation. Please refer to working drawings for actual dimensions. Renderings and floor plans are artist depictions only and may vary from the completed home. Square footage calculations and room dimensions are approximate and subject to industry standards.

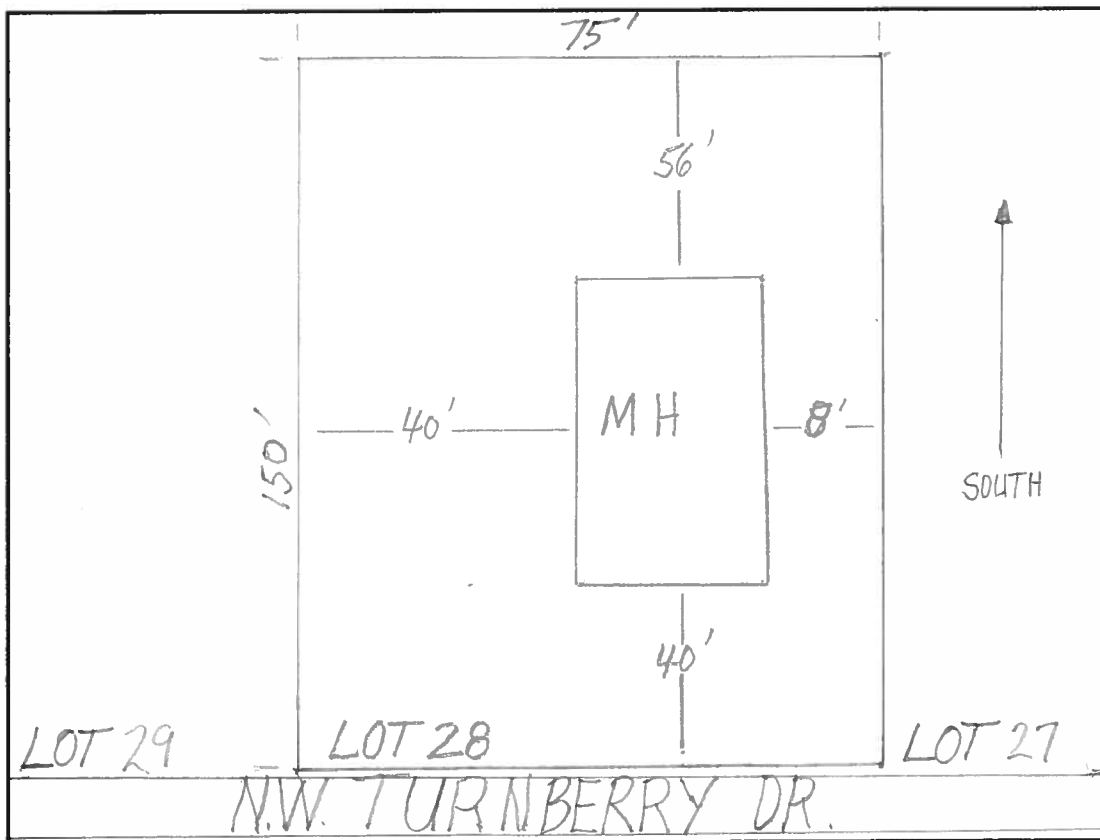
Rev. 7/25/16

1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



SITE PLAN BOX:



	466	454	281	280
441		440	297	266
427		426	253	252
413		412	239	238
397		396	215	224
385		384	201	210
371		370	185	194
355		354	181	180
341		340	167	166
327		326	153	152
313		312	139	138
299		298	125	124
285		284	111	110

TURNBERRY

MAN
100

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1804-06 CONTRACTOR Dale Houston PHONE _____

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name <u>MARK S. GOODSON</u> License #: <u>Owner</u> Qualifier Form Attached <input type="checkbox"/>	Signature <u>Mark S. Goodson</u> Phone #: <u>386 303 2491</u>
MECHANICAL/ A/C	Print Name <u>MARK S. GOODSON</u> License #: <u>Owner</u> Qualifier Form Attached <input type="checkbox"/>	Signature <u>Mark S. Goodson</u> Phone #: <u>386 303 2491</u>

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Ronnie Brannon

Ad Valorem Taxes and Non-Ad Valorem Assessments

Columbia County Tax Collector

REAL ESTATE 2017 28412

Account Number	Payor	Exemptions	Taxable Value	Millage Code
R02376-000		See Below	See Below	002

FIVE ASH FOREST LLC
337 SW TOMPKINS ST
LAKE CITY FL 32024

28-3S-16 5028/5028 36.00 Acres COMM
AT NW COR OF MAGNOLIA HILLS, RUN N
1122.85 FT, E 700 FT, N 200 FT, E
562.46 FT, S 1337.12 FT, W 1278.04
FT TO POB. ORB 433-304, WD 1004-
584, CWD 1056-1951. WD 1070-49.

Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	8.0150	369,625		\$369,625	\$2,962.54
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	369,625		\$369,625	\$276.48
LOCAL	4.3200	369,625		\$369,625	\$1,596.78
CAPITAL OUTLAY	1.5000	369,625		\$369,625	\$554.44
SUWANNEE RIVER WATER MGT DIST	0.4027	369,625		\$369,625	\$148.85
LAKE SHORE HOSPITAL AUTHORITY	0.9620	369,625		\$369,625	\$355.58
Total Millage		15.9477	Total Taxes		\$5,894.67

Non-Ad Valorem Assessments		
Code	Levying Authority	Amount
FFIR	FIRE ASSESSMENTS	\$2,920.52
GGAR	SOLID WASTE - ANNUAL	\$0.00
Total Assessments		\$2,920.52
Taxes & Assessments		\$8,815.19



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave. Suite B-21, Lake City, FL 32955
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLER LETTER OF AUTHORIZATION

I, DALE HOUSTON give this authority for the job address show below
(Install License Holder Name)

only _____ and I do certify that
(Job Address)

the below referenced person(s) listed on this form is/are under my direct supervision and control
and is/are authorized to purchase permits, call for inspections and sign on my behalf

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is (Check one)
Patti H. Goodson	<i>Patti H. Goodson</i>	<input type="checkbox"/> Agent <input type="checkbox"/> Officer
MARK S. GOODSON	<i>Mark S. Goodson</i>	<input checked="" type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer
		<input checked="" type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer
		<input type="checkbox"/> Property Owner

I, the license holder, realize that I am responsible for all permits purchased and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits

Dale Houston License Holders Signature (Notarized) 141025142 License Number 5-10-16 Date

NOTARY INFORMATION:

STATE OF Florida COUNTY OF Columbia

The above license holder, whose name is DALE HOUSTON personally appeared before me and is known by me or has produced identification (type of I.D.) _____ on this 10th day of May, 20 16

Laurie Hodson
NOTARY'S SIGNATURE

(Seal/Stamp)





STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 18-0290
DATE PAID: 4/21/18
FEE PAID: 60.00
RECEIPT #: 1337048

APPLICATION FOR:

[] New System [☒] Existing System [] Holding Tank [] Innovative
[] Repair [] Abandonment [] Temporary []

APPLICANT: MARK S. GOODSONAGENT: OWNERTELEPHONE: 386-752-7207MAILING ADDRESS: 337 SW TOMPKINS ST LAKE CITY FL 32024

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

*LOT: 28 BLOCK: _____ SUBDIVISION: FIVE ASH FOREST PLATTED: _____

PROPERTY ID #: 28-35-16-02376-000 ZONING: Res. I/M OR EQUIVALENT: [Y / ☒]

PROPERTY SIZE: 36 ACRES WATER SUPPLY: [] PRIVATE PUBLIC [] *LIMITED USE [] <=2000GPD [] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [☒] N [] DISTANCE TO SEWER: 112 FT

PROPERTY ADDRESS: 298 N.W. TURNBERRY DR. LAKE CITY FL 32055

DIRECTIONS TO PROPERTY: HWY. 90 WEST, TURN RIGHT ONTO BROWN RD.
TURN RIGHT ON TURNBERRY DR. 2ND LOT ON RIGHT ON
TURNBERRY DR. LOT 28

BUILDING INFORMATION

[☒] RESIDENTIAL [] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>SINGLE/MULTI FAM.</u>	<u>3</u>	<u>1440</u>	
2				
3				
4				

[] Floor/Equipment Drains [] Other (Specify) _____

SIGNATURE: Mark S. GoodsonDATE: 03/29/18

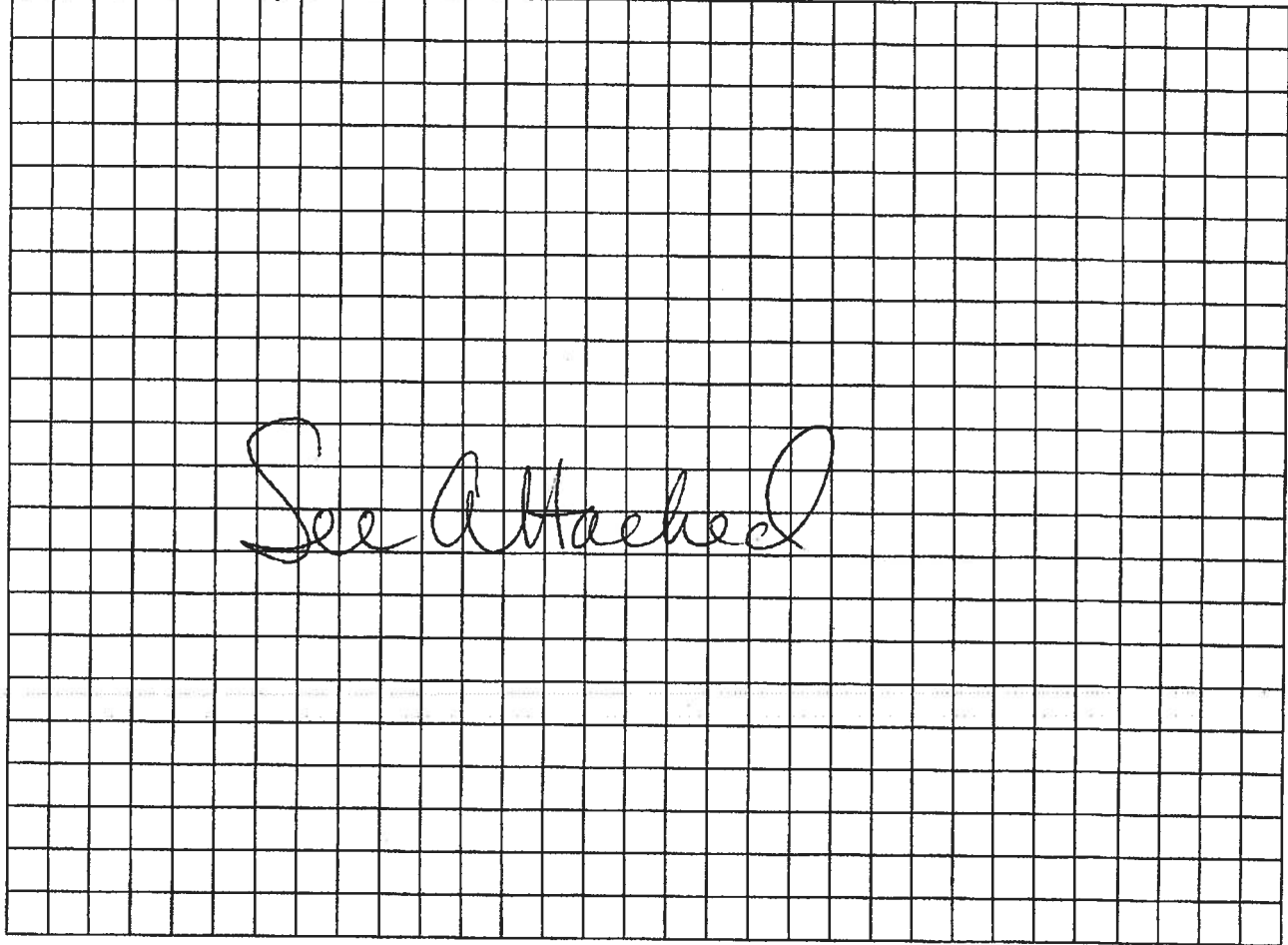
STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number

28-0290

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes: _____

Site Plan submitted by: _____

Plan Approved _____

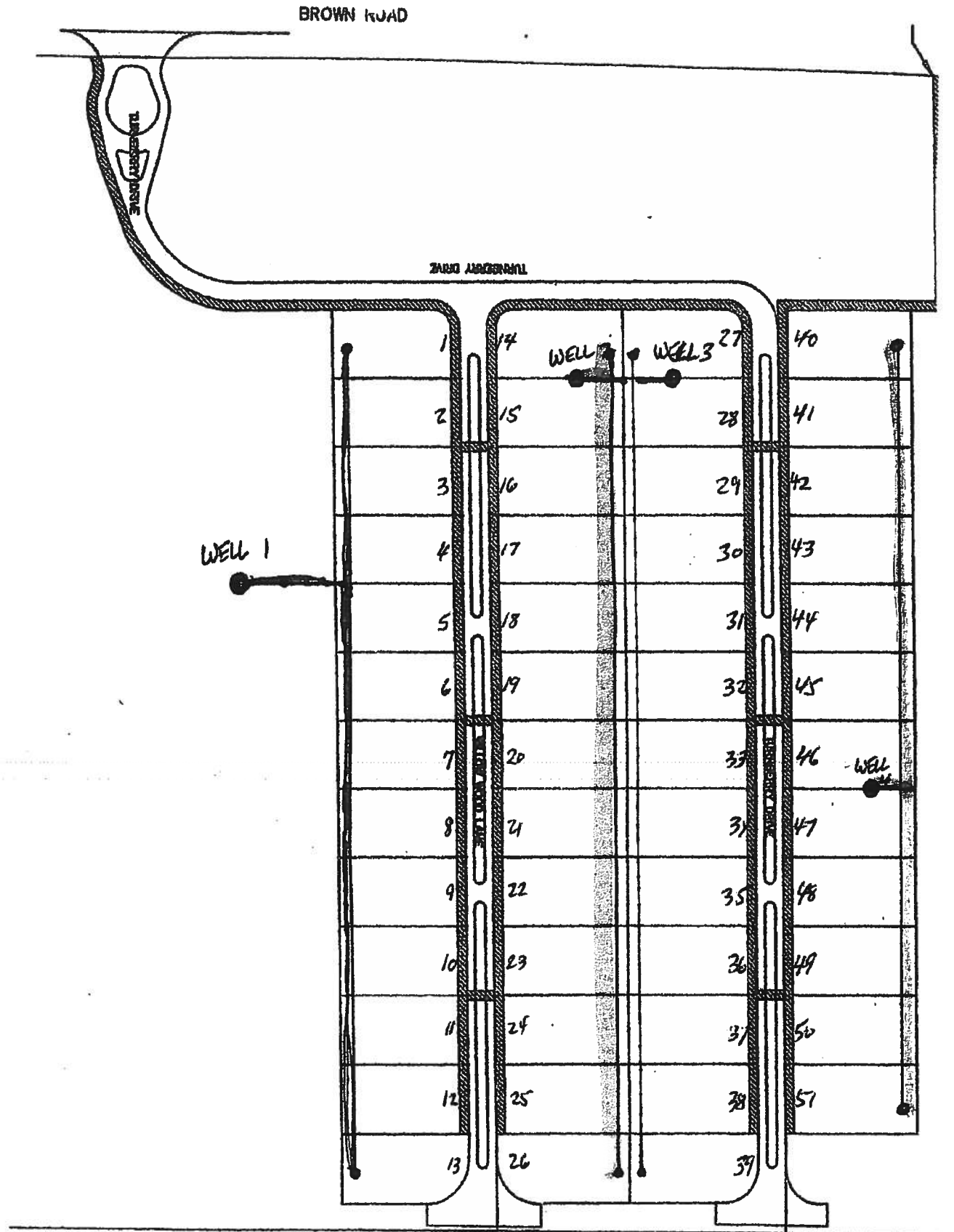
By _____

Not Approved _____

Date _____

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



FIVE ASH FOREST

LOT SIZE SQ FT: SW: 2400
DW: 3500

36A
total

