

SHEET LIST- CONST SET

SHEET NUMBER	SHEET NAME
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E-2	LEFT & RIGHT ELEVATIONS
E-3	ROOF OVERVIEW
F-1	FOUNDATION
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S-3	MONOSLAB WALL SECTIONS - CONCRETE SIDING
S-4	8" COASTAL PORCH COLUMN DETAILS
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S-6	TRUSS BRACING SUMMARY
S-7	FL- HOLD DOWN DETAILS

ABBREVIATION LEGEND:

5 SH.  
6 SH.  
A.F.F.  
B.C.  
C.J.  
C.M.U.  
C.O.  
CONC.  
C.R.V.  
DBL SH-RD  
D.H.  
DR. or DRR  
D.S.  
EVP  
EXT.  
F.J.  
F.S.  
FTG.  
GYP. BD.  
H.B.  
H.D.G.  
HDWD  
HDR.  
HT.  
INT.  
K.S.  
KDAT  
L.B.W.  
L.S.  
LVP  
LVT  
O.C.  
O.H.  
OPT.  
O.W.H.  
P.T.  
PANT.  
R/A  
REINF.  
R.O.  
S.C.  
S.D.  
SH  
SH-RD  
S.J.  
SM/CO  
SPEC.  
SPF  
S.R.O.  
S.Y.P.  
T&G  
TEMP.  
T.O.P.  
TRAP.  
U.N.O.  
UTIL  
VAN.  
W/H  
W.H.H.  
W.I.C.

FIVE SHELVES  
SIX SHELVES  
ABOVE FINISHED FLOOR  
BLIND CORNER (CABINET)  
CEILING JOIST  
CONCRETE MASONRY UNIT  
CASED OPENING  
CONCRETE  
CONTINUOUS RIDGE VENT  
DOUBLE SHELF AND ROD  
DOUBLE HUNG  
DRAWER  
DRAWER SPACE  
ENGINEERED VINYL PLANK  
EXTERIOR  
FLOOR JOIST  
SUPPLY IN FLOOR (HVAC)  
FOOTING  
GYPSUM BOARD  
HOSE BIBB  
HOT DIPPED GALVANIZED  
HARDWOOD  
HEADER  
HEIGHT  
INTERIOR  
KNEE SPACE  
KILN DRIED AFTER TREATMENT  
LOAD BEARING WALL  
LAUNDRY SINK or LAZY SUSAN  
LUXURY VINYL PLANK  
LUXURY VINYL TILE  
ON CENTER  
OVERHEAD  
OPTIONAL  
OVER THE WALL HEIGHT  
PRESSURE TREATED  
PANTRY  
RETURN AIR (HVAC)  
REINFORCED  
ROUGH OPENING  
SUPPLY IN CEILING (HVAC)  
SMOKE DETECTOR  
SINGLE HUNG  
SHELF AND ROD  
SINGLE JOIST  
SMOKE AND CARBON MONOXIDE DETECTOR  
SPECIFIED  
SPRUCE/PINE/FIR  
SHEETROCK OPENING  
SOUTHERN YELLOW PINE  
TONGUE AND GROOVE  
TEMPERED  
TOP OF PLATE  
TRAPEZOID (WINDOW)  
UNLESS NOTED OTHERWISE  
UTILITY  
VANITY  
WATER HEATER  
WINDOW HEADER HEIGHT  
WALK IN CLOSET

DESIGN CODES:  
All wind load calculations and design criteria are based on an enclosed structure and are shown on the construction plans.  
Indicate work scope has been designed and shall be constructed in accordance with the following applicable building codes:  
  
Florida Building Code, Residential (FBC-R) - 2023 8th Edition  
Florida Building Code, Mechanical (FBC-M) - 2023 8th Edition  
Florida Building Code, Plumbing (FBC-P) - 2023 8th Edition  
Florida Building Code, Energy Conservation - 2023 8th Edition  
National Electrical Code (NEC) NFPA 70 - 2023

DESIGN DATA:  
a) Occupancy Classification per FBC-B and Chapter 3:  
Residential Group R.3 - Single Family Residence.  
b) Construction Type per FBC-B and Chapter 6:  
Type V - Unsprinklered  
c) Occupancy Load per Chapter 16, FBC-B:  
Residential- Single family residence  
Attics with storage - 20 psf  
Heated Areas - 30 psf

Floor Live Load: 30 PSF  
Roof Live Load: 20 PSF  
Snow Load : 0 PSF  
Seismic Load: 0 PSF

Design Wind Speed: 120 MPH  
Wind Importance Factor : 1.0  
Exposure Category : B  
Internal Pressure Coefficient: +/- 0.18  
  
Soil Load Bearing Value: 3,000 psi  
Risk Category : II

GENERAL NOTES:

• MINIMUM 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR U.N.O.

• ALL LOAD BEARING WALLS AND EXTERIOR OPENINGS TO HAVE (2) 2x10 HEADERS U.N.O.

• STANDARD FIRST FLOOR WINDOW HEADER HEIGHTS SHALL BE FRAMED DOWN 2'-2" FROM T.O.P., U.N.O.

• WINDOW HEADERS FOR WINDOWS LOCATED ABOVE KITCHEN SINK SHALL BE FRAMED DOWN 1'-5" FROM T.O.P., U.N.O.

• STANDARD SECOND FLOOR WINDOW HEADER HEIGHTS SHALL BE FRAMED DOWN 1'-2" FROM T.O.P., U.N.O.

• 7/16" O.S.B. AND HOUSEWRAP REQUIRED.

• DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION.

• ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR ROUGH OPENING STARTED MINIMUM OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED.

• NUMBER OF STAIR TREADS AND RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE.

• ALL SHELVES TO BE 12" DEEP U.N.O.

• HEIGHT OFF FLOOR TO BE:  
1. SINGLE 68"  
2. DOUBLE 42" AND 84"

• ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION.

• ALL TUBS / SHOWERS TO HAVE NAILERS AT FLANGE.

• INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM.

• PORCH, STOOP, & DECK HANDRAILS NOT INCLUDED W/ SLAB FOUNDATION.

• RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH FROM FINISHED GRADE.

• SCHLUTER DITRA UNCOUPLING AND WATER PROOFING MEMBRANE TO BE USED ON ALL TILE SHOWER INSTALLATIONS.

REVISION SCHEDULE

REV #	DESCRIPTION	DATE

AREAS:

FIRST FLOOR HEATED	FRONT PORCH	REAR PORCH	TOTAL UNDER ROOF
2,281 SF	2,281 SF	50 SF	120 SF
			170 SF
			2,451 SF

THE: 59-25-008

FOR: TJ PIZZAGALLI

FOUNDATION TYPE: MONOSLAB

OFFICE: GAINESVILLE

SOLD BY: L. HALLER

245 SW COLONY GLEN LAKE CITY, FL 32024

DRAWN BY: FABIO D.

CHECKED BY: X. CHECKER

PRINTED: 3/28/2025 1:13:26 PM

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SHEET # E-0

COVER SHEET

FRONT VIEW



James A Zaleski

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Date: 2025.04.28 09:09:14 -04'00'

REVIEWED BY JAMES ZALESKI P.E.  
2305 HAVEFRHILL RD  
TALLAHASSEE, FL 323132  
PH 850-766-7778



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ITEM DISCREPANCY

DESCRIPTION	MASTER	ADDED ON EDO	TOTAL MASTER+EDO	NEW LAYOUT	ITEM DISC.
KITCHEN BASE	180"	00"	180"	255"	+75"

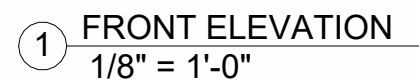
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

PRELIMINARY CONSTRUCTION PLANS

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PAPER SIZE: 11" x 17"

SCALE: 1/4" = 1'-0"



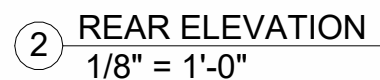
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UNLESS OTHERWISE NOTED ON ROOF OVERVIEW



## PRELIMINARY CONSTRUCTION PLANS

SCALE: 1/8" = 1'-0"

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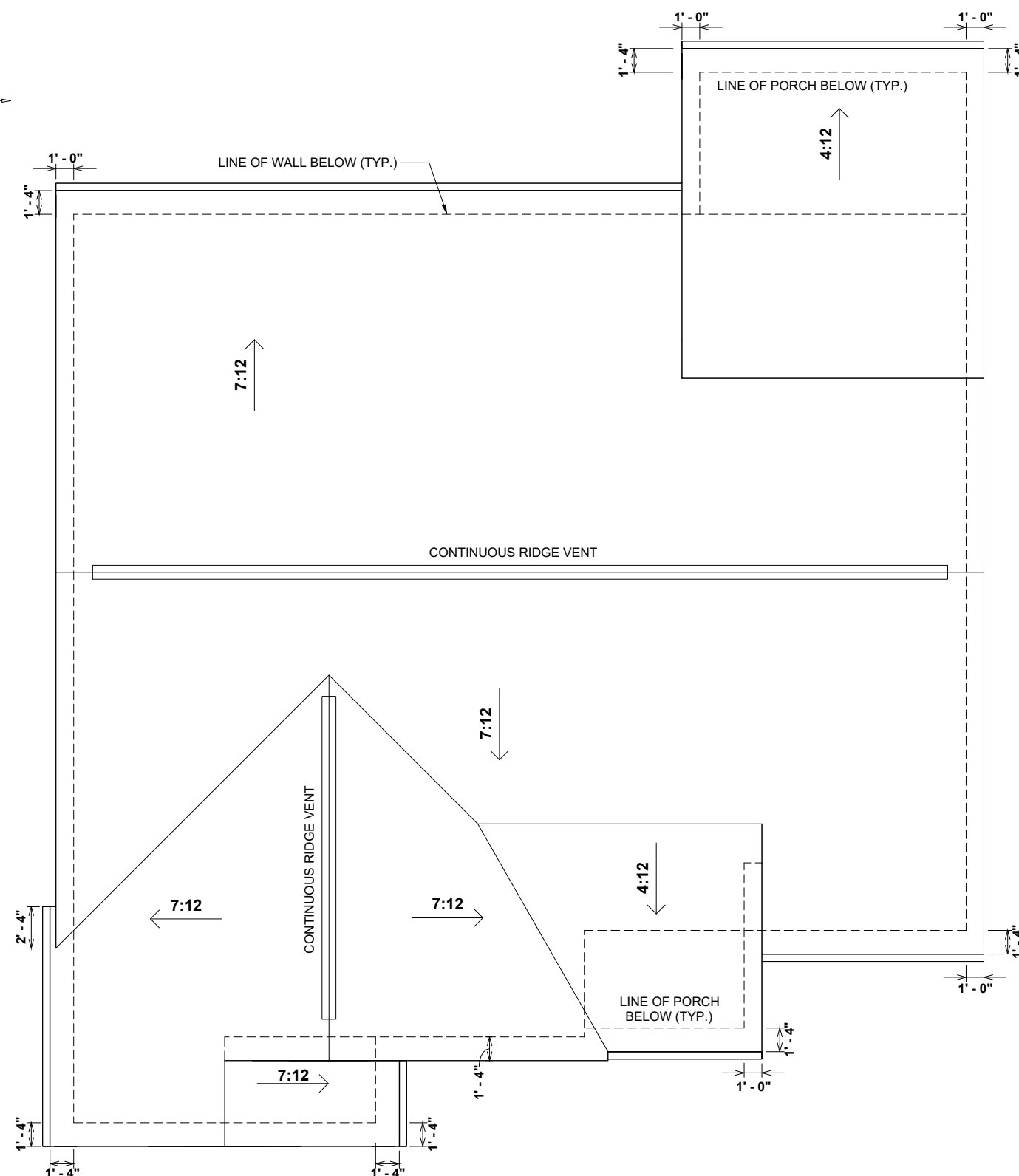
SHEET #	PROPERTY OF:		<b>E-2</b> © COPYRIGHT - 2025	DRAWN BY: FABIO D.	JOB # 59-25-008	THE: MURRAY	AREAS: FIRST FLOOR HEATED      2,281 SF 2,281 SF			REVISION SCHEDULE DESCRIPTION      DATE		
				CHECKED BY: X. CHECKER	2x4 EXTERIOR WALLS	FOR: TJ PIZZAGALLI	FRONT PORCH      50 SF REAR PORCH      120 SF	TOTAL UNDER ROOF      2,451 SF	DESCRIPTION      DATE			
PRINTED: 3/28/2025 1:13:30 PM				FOUNDATION TYPE: MONOSLAB	245 SW COLONY GLEN LAKE CITY, FL 32024							
OFFICE: GAINESVILLE				SOLD BY: L. HALLER								
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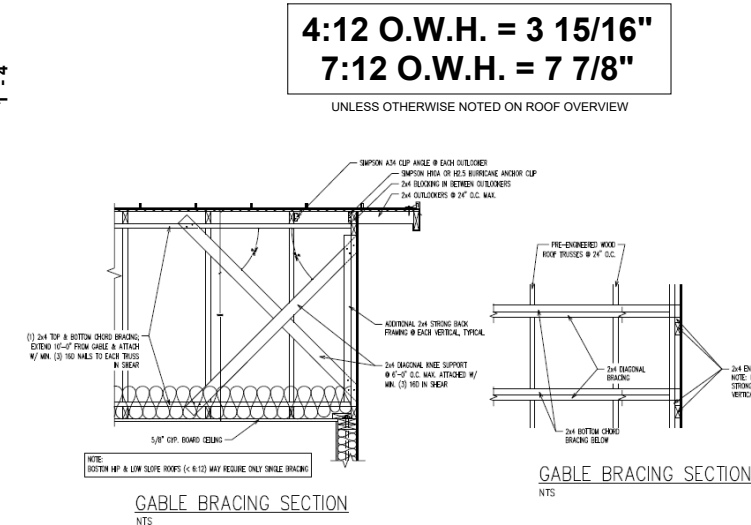
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**4" O.C FIRST ROW AT ALL EAVES**

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1 ROOF OVERVIEW  
1/8" = 1'-0"



1. ALL FLOOR TRUSSES AND /OR ROOF TRAVING IS TO BE DETERMINED BY THE TRUSS MANUFACTURER AND ROOF TRAVES SHALL BE SIGNED AND SEALED BY THE SAME. FRAMING LAYOUTS CONTAINED IN THESE DRAWINGS ARE TO BE CONSIDERED A PROPOSED SCHEMATIC REPRESENTATION ONLY AND FINAL MANUFACTURER DESIGN MAY VARY FROM THAT SHOWN. THE TRUSS MANUFACTURER'S CALCULATED SIZE AND SPACING OF PRE-ENGINEERED TRUSSES SHALL TAKE PRECEDENCE OVER WHAT HAS BEEN PROPOSED. THE OWNER AND / OR GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRAY, CATHEDRAL, AND OTHER DIMENSIONAL CEILING ASPECTS OF THIS PROJECT THAT MAY OR MAY NOT BE SHOWN ON PLANS PRIOR TO FABRICATION. IT IS RECOMMENDED THAT THE OWNER AND /OR GENERAL CONTRACTOR COORDINATE AND UNDERSTAND ALL ASPECTS OF THE SPECIFIED TRUSS PACKAGE LAYOUT BEFORE COMMENCING WITH INSTALLATION.
2. DESIGN OF WOOD FLOOR TRUSSES (IF APPLICABLE) & ROOF TRUSSES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. SUBMIT SHOP DRAWINGS, DESIGN LOAD DATA, AND SUPPORT REACTIONS SHALL BE SIGNED AND SEALED BY AN ENGINEER LICENSED IN THE PROJECT STATE AND SUBMITTED TO BUILDING DEPARTMENT FOR PERMITTING. ANY REVIEW OF SHOP DRAWINGS SHALL BE FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS WITH REGARD TO TRUSS CONFIGURATION ONLY.
3. ERECTION AND BRACING OF PREFABRICATED WOOD TRUSSES SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS OF THE TRUSS MANUFACTURER AND THE TRUSS PLATE INSTITUTE'S "BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS".
4. SECURE EACH COMMON ROOF TRUSS/RAFTER TO TOP PLATE WITH ONE OF THE FOLLOWING SCAMPSON ANCHOR CLIPS AT ALL BEARING POINTS:  
1/4" (PREFERRED), (2) 1/2", 1/2", OR 1/2".  
USE 100A (PREFERRED) H-T AT GROSS TRUSSES. PROVIDE A MINIMUM OF TWO STUDS UNDER GROSS TRUSS END BEARING.
5. TRUSS TO TRUSS CONNECTIONS SHALL BE VERIFIED & PROVIDED BY THE TRUSS DESIGNER.
6. CONTRACTOR TO PROVIDE ALL BLOCKING BETWEEN TRUSSES AND / OR RAFTER FRAMING.
7. CONTRACTOR TO REFER TO F.B.C. 2023 & WFCM 2018 FOR FRAMING REQUIREMENTS OF WOOD FRAMED WALL SYSTEMS.
8. TRUSS MANUFACTURER SHALL REFER TO ANY MEP DRAWINGS FOR OTHER ITEMS OR APPENDAGES THAT MAY EFFECT THE TRUSS LOADING. ANY SUCH ITEMS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER / ENGINEER OF RECORD.

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# PRELIMINARY CONSTRUCTION PLANS

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SCALE: 1/8" = 1'-0"

## ROOF OVERVIEW

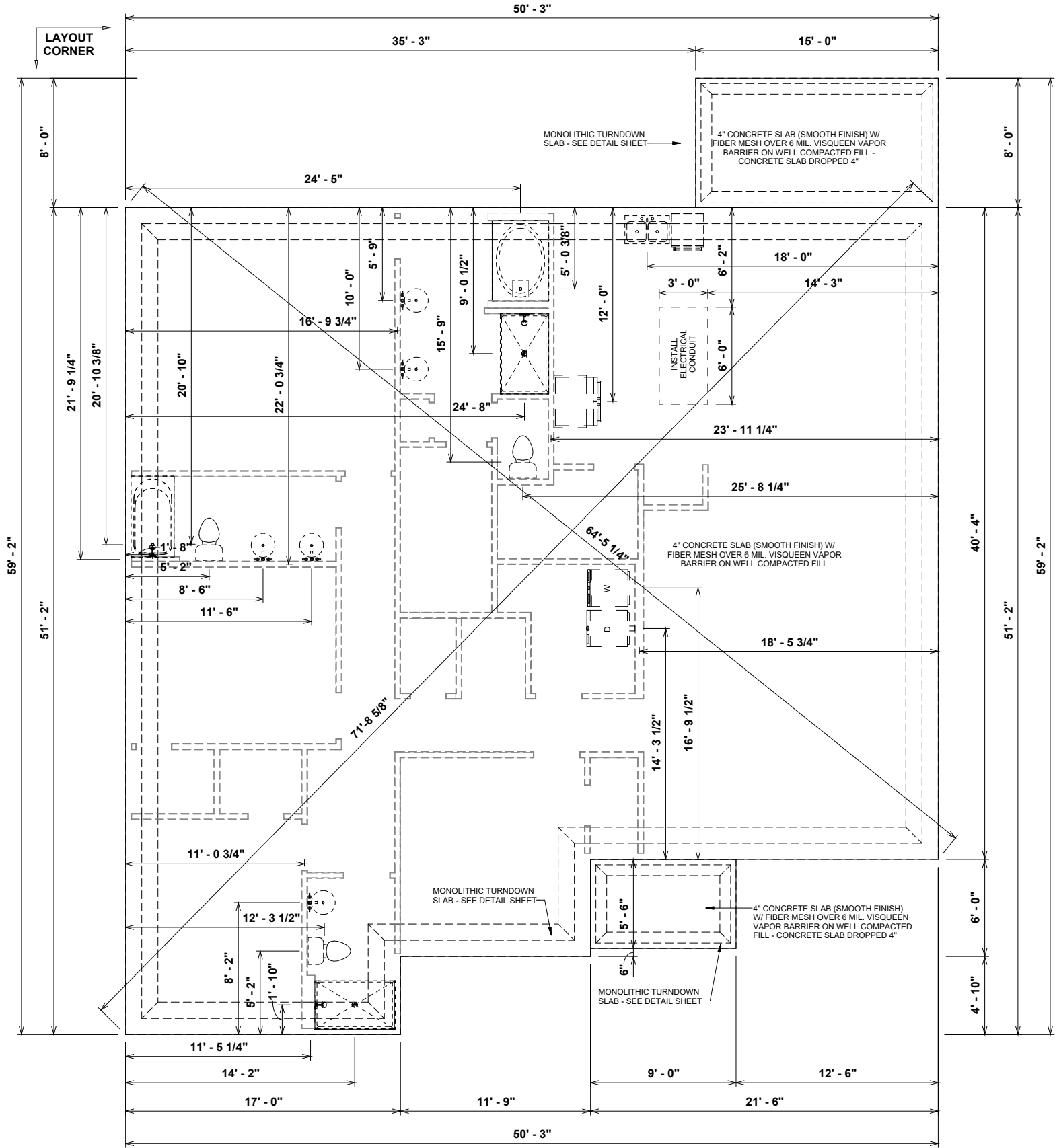
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James A  
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REVIEWED BY JAMES ZALESKI P.E.  
2305 HAVEFRHILL RD  
TALLAHASSEE, FL 323132  
PH 850-766-7778



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1 FOUNDATION PLAN  
1/8" = 1'-0"

NOTE:

PORCH, STOOP, & DECK HANDRAILS  
NOT INCLUDED W/ SLAB FOUNDATION

NOTE: RAILINGS ARE A FORCED OPTION  
WHEN PORCH IS OVER 30" HIGH

NOTE:  
• TURN OUT REBAR AT THE POWER METER FOR  
ELECTRICAL GROUNDING AS REQUIRED BY CODE

• WATER INLET AND SEWER OUTLET LOCATIONS TO  
BE FIELD LOCATED BY AHP

TERMITE PROTECTION

TERMITE PROTECTION SHALL BE PROVIDED BY  
REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED  
PESTICIDES, BAITING SYSTEMS, AND PESTICIDES  
APPLIED TO WOOD, OR OTHER APPROVED METHODS  
OF TERMITE PROTECTION LABELED FOR USE AS A  
PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.

FOUNDATION / CONCRETE NOTES:

- EXCAVATION AND SOIL BEARING:
  - SOIL BEARINGS PRESSURE BASED ON MINIMUM OF 2,000 P.S.F.
  - EXCAVATION FOR FOOTINGS TO BE TAKEN DOWN TO UNDISTURBED SOIL.
  - TOP SOIL AND ORGANIC MATERIAL TO BE REMOVED FROM WITHIN BUILDING AREA.
  - AREAS BELOW SLABS AND FOOTINGS TO BE COMPACTED 95% OF STANDARD PROCTOR, MAXIMUM DRY DENSITY TO A DEPTH OF 1'-0"
  - REMOVE ANY EXPANSIVE CLAYS ENCOUNTERED WITHIN BUILDING AREA.
  - FILL BELOW SLABS SAND CLAY, FREE FROM ORGANIC MATERIAL WITH NO MORE THAN 30% COMPACTABLE CLAY BY DRY WEIGHT.
- CONCRETE AND CEMENT FINISH WORK:
  - ALL CONCRETE, EXCEPT EXTERIOR SIDEWALKS SHALL BE 3,000 P.S.I. AT 28 DAYS; SIDEWALKS - 2,500 P.S.I. AT 28 DAYS.
  - RECOMMENDED CURING: KEEP WET FOR A PERIOD OF SEVEN DAYS MINIMUM.
  - REINFORCING SHALL BE PLACED IN ACCORDANCE WITH C.R.S.I., USE APPROVED CHAIRS TO SUPPORT REINFORCING. ALL LAPS MINIMUM OF 57 DIAMETERS. ALL CORNERS, FOOTINGS, AND TIE BEAMS TO HAVE CORNER BARS. ALL REINFORCING SHALL HAVE A MINIMUM OF 2" CONCRETE COVERAGE.
- ALL REINFORCING SHALL BE GRADE 60.
- ALL REINFORCING STEEL AND ACCESSORIES SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH THE LATEST EDITION OF A.C.I. MANUAL ("MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES").
- REINFORCING IN ALL CONCRETE TIE BEAMS AND FOOTINGS SHALL BE CONTINUOUS AROUND CORNERS WITH ADDITIONAL BARS (SIZE AND NUMBER TO MATCH REINFORCING). BEND 2'-0" EACH WAY AROUND CORNERS. WHERE WALL FOOTINGS STEP, REINFORCING SHALL BE CONTINUOUS IN STEP.
- ALL SOIL BENEATH NEW CONSTRUCTION TO BE TERMITE TREATED.
- MASONRY REINFORCED CELLS WITH 1 # 5 SHALL BE FROM BOTTOM OF STEEL IN FOOTING TO TOP OF STEEL IN BOND BEAM BLOCK IN ALL FULL HEIGHT WALLS AND TO TOP OF MASONRY IN PLATFORM FOUNDATION WALLS.
- VERIFY ANY REQUIRED UNDER SLAB CONDUIT FOR ISLAND, OUTDOOR LIGHTING, FLOOR OUTLETS, ETC. WITH ELECTRICAL PLANS & CONTRACTOR PRIOR TO COMPACTION. ALL ELECTRICAL WORK SHALL COMPLY WITH N.E.C. OR APPLICABLE LOCAL CODES.
- FIELD VERIFY ALL DRAIN LOCATIONS SHOWN WITH TUB /SHOWERS, SINKS, ETC, SPECIFIED BY CONTRACTOR PRIOR TO PLUMBING DRAIN PIPE ROUGH-IN. ALL PLUMBING WORK SHALL COMPLY WITH STANDARD PLUMBING CODE OR APPLICABLE LOCAL CODES.
- COORDINATE LOCATIONS OF ANY REQUIRED GRADE BEAM / THICKENED SLABS WITH ENGINEERED TRUSS DRAWING PACKAGE.


OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

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PAPER SIZE: 11" x 17"

SCALE: 1/8" = 1'-0"

SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	REVISION SCHEDULE					
F-1	 © COPYRIGHT - 2025	FABIO D.	59-25-008	MURRAY			2,281 SF	FIRST FLOOR HEATED	2,281 SF	DATE
		CHECKED BY:	2x4 EXTERIOR WALLS	FOR:			50 SF	FRONT PORCH	50 SF	
		X CHECKER					120 SF	REAR PORCH	120 SF	
		PRINTED:	FOUNDATION TYPE:				170 SF	TOTAL UNDER ROOF	170 SF	
		3/28/2025 1:13:32 PM	MONOSLAB	245 SW COLONY GLEN LAKE CITY, FL 32024			2,451 SF		2,451 SF	
FOUNDATION				OFFICE:	GAINESVILLE		SOLD BY:		L. HALLER	

James A Zaleski

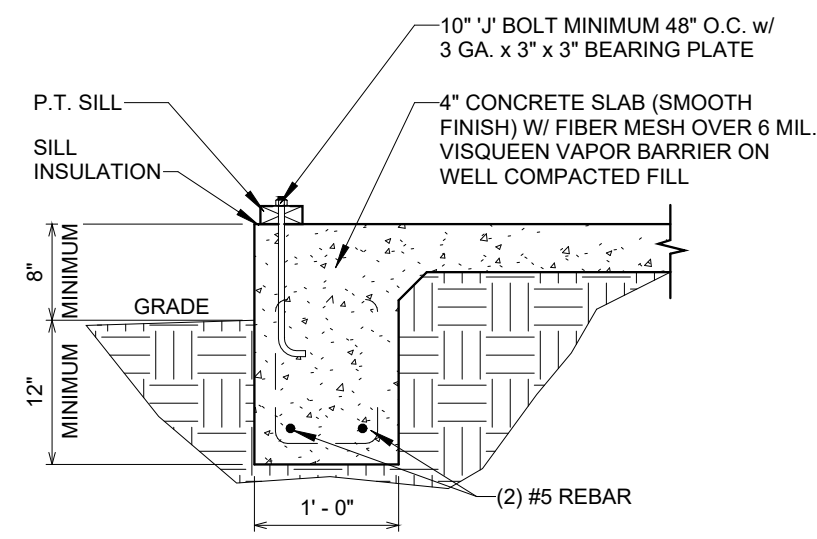
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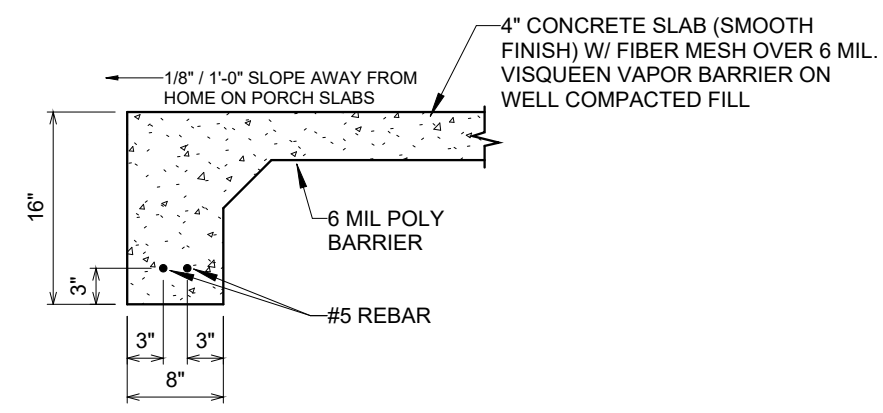
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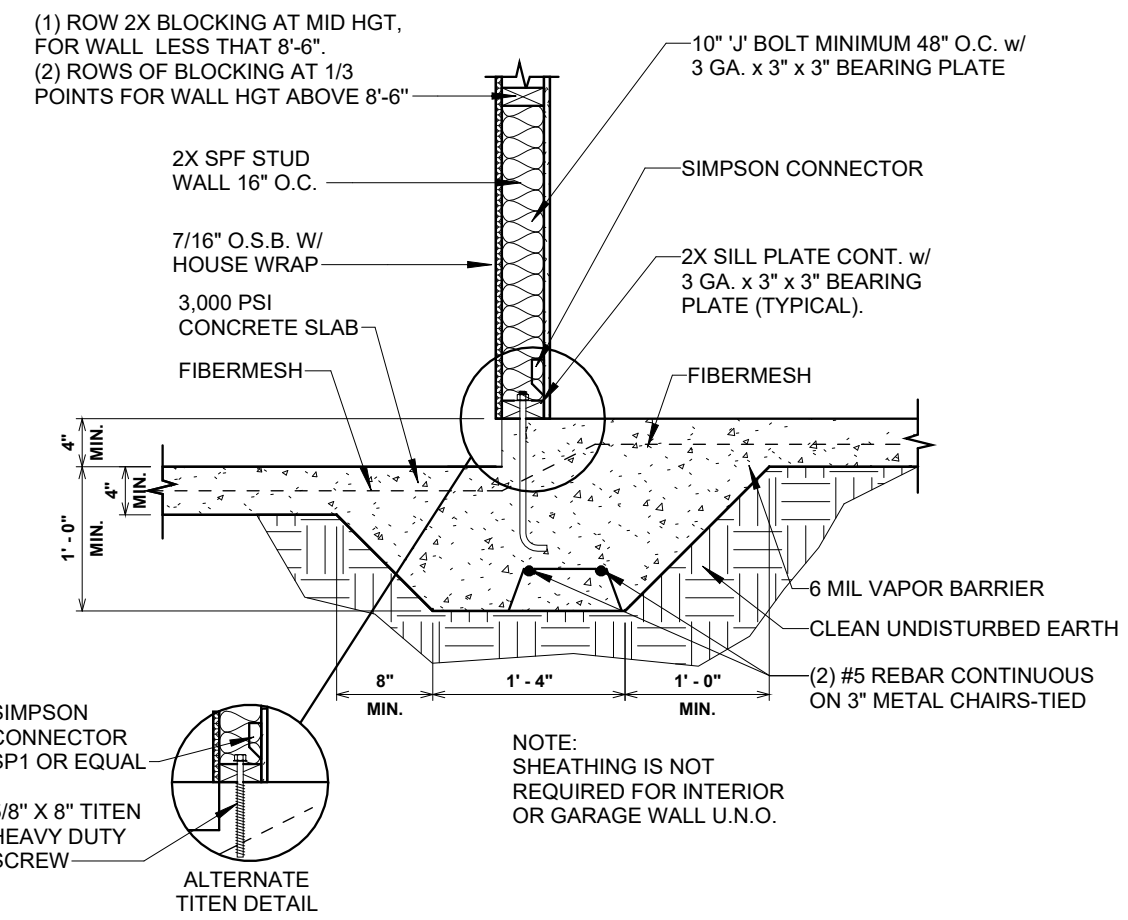
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1 1 STORY MONOSLAB DETAIL  
3/4" = 1'-0"



2 EDGE OF TURNED DOWN PATIO SLAB  
3/4" = 1'-0"



3 BEARING WALL AT STEP  
3/4" = 1'-0"

# PRELIMINARY CONSTRUCTION PLANS

REVISION SCHEDULE				AREAS:		THE:	JOB #	DRAWN BY:	CHECKED BY:	PRINTED:	PROPERTY OF:	SHEET #	SCALE:
REV #	DESCRIPTION	DATE		FIRST FLOOR HEATED	2,281 SF	MURRAY	59-25-008	FABIO D.	X CHECKER	3/28/2025 1:13:32 PM	AMERICA'S HOME PLACE		
	FRONT PORCH	2,281 SF				FOR:						F-1.1	3/4" = 1'-0"
	REAR PORCH	50 SF											
	TOTAL UNDER ROOF	120 SF											
		170 SF											
		2,451 SF										MONOSLAB FOUNDATION DETAILS	

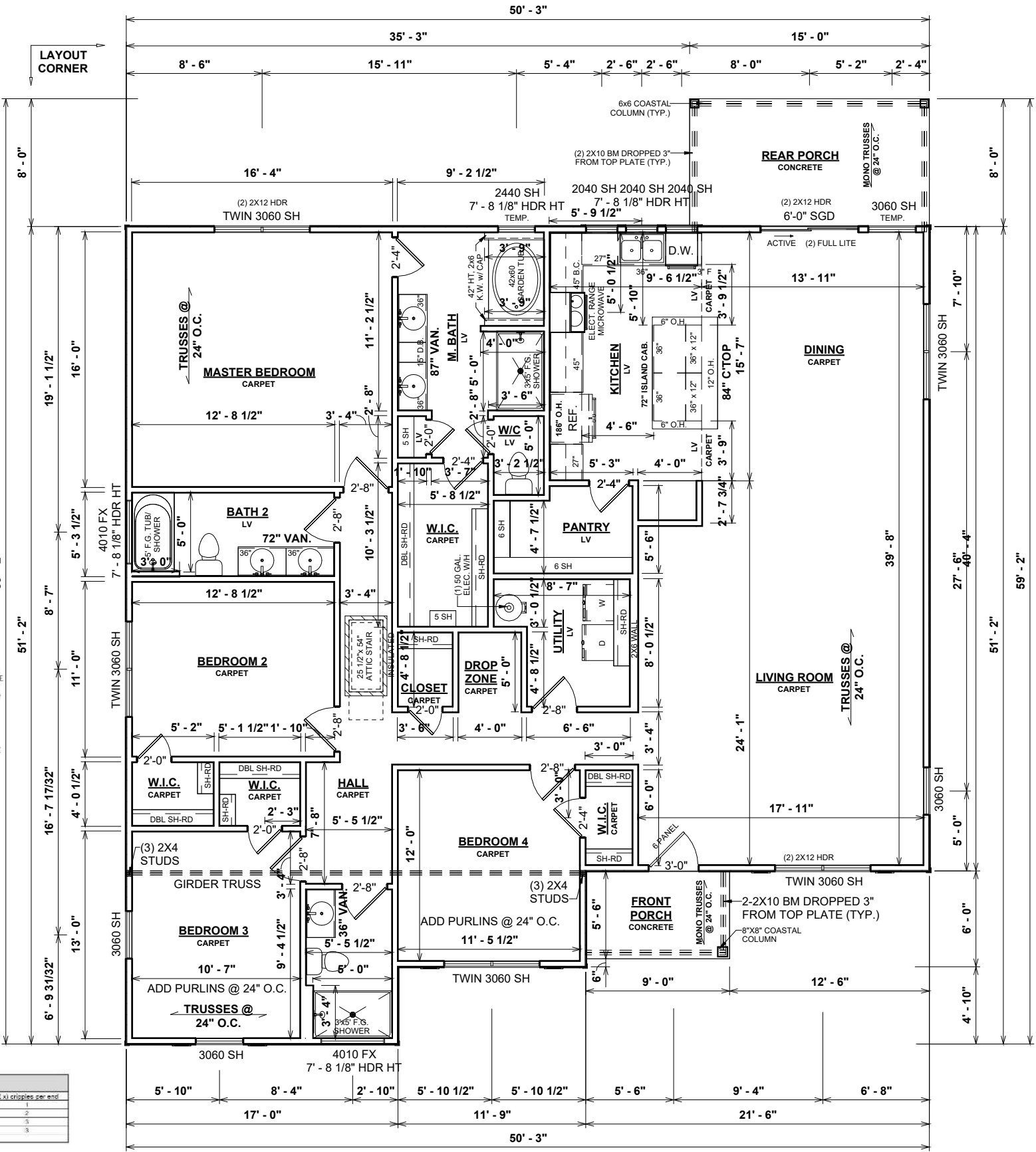


James  
A  
Zaleski

Digitally  
signed by  
James A  
Zaleski  
Date:  
2025.04.28  
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-04'00'

USE (3) 2x4 HEADERS WITH 2x6 WALLS AND (2) 2x4 HEADERS WITH 2x4 WALLS.  
VERIFY HEADER SIZE W/ OPENING FRAMING & HEADER SCHEDULE ON THIS SHEET.  
ASSEMBLE ALL HEADERS WITH 16D NAILS STAGGERED 6" O.C. W/ 2" EDGE DISTANCE.  
ATTACH ALL LVL BEAMS W/ SIMPSON SINGO 0230 SCREWS (OR EQUAL) STAGGERED  
W/ 1-1/2" MIN. EDGE DISTANCE.  
• (2) ROWS @ 24" O.C. < 10' LVL  
• (3) ROWS @ 24" O.C. > 10' LVL  
• 2 & 3 PLY - 3-1/2" LONG STAGGER INSTALLED FROM BOTH OUTER PILES  
• 4 PLY - 4" LONG STAGGER INSTALLED FROM BOTH OUTER PILES  
FOR WINDOWS PLACED WITHIN 3'-6" OF EXTERIOR CORNERS, WALL STUDS SHALL BE  
SPACED @ 16" O.C.

BEAM SPAN TABLE		
Span (FT.)	Header Size	(2 x) cripples per end
6' - 10"	2x6 @ 12" w/ 16" OSB Floor Plate	2
8' - 0"	2x6 @ 12" w/ 16" OSB Floor Plate	2
10' - 0"	2x6 @ 12" w/ 16" OSB Floor Plate	3
12' - 0"	2x6 @ 12" w/ 16" OSB Floor Plate	3
14' - 0"	2x6 @ 12" w/ 16" OSB Floor Plate	3



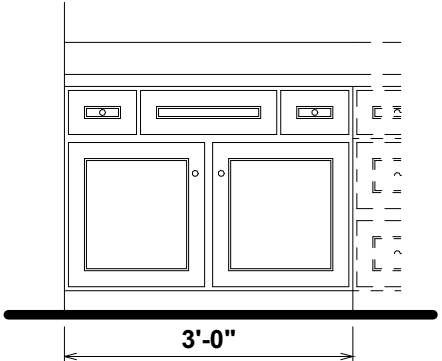
1 FIRST FLOOR PLAN  
1/8" = 1'-0"

GENERAL NOTES:

- MINIMUM 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR U.N.O.
- ALL LOAD BEARING WALLS AND EXTERIOR OPENINGS TO HAVE (2) 2x10 HEADERS U.N.O.
- STANDARD FIRST FLOOR WINDOW HEADER HEIGHTS SHALL BE FRAMED DOWN 2'-2" FROM T.O.P., U.N.O.
- WINDOW HEADERS FOR WINDOWS LOCATED ABOVE KITCHEN SINK SHALL BE FRAMED DOWN 1'-5" FROM T.O.P., U.N.O.
- STANDARD SECOND FLOOR WINDOW HEADER HEIGHTS SHALL BE FRAMED DOWN 1'-2" FROM T.O.P., U.N.O.
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED.
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION.
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR ROUGH OPENING STARTED MINIMUM OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED.
- NUMBER OF STAIR TREADS AND RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE.
- ALL SHELVES TO BE 12" DEEP U.N.O.
- HEIGHT OFF FLOOR TO BE:
  - 1. SINGLE 68"
  - 2. DOUBLE 42" AND 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION.
- ALL TUBS / SHOWERS TO HAVE NAILERS AT FLANGE.
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM.
- PORCH, STOOP, & DECK HANDRAILS NOT INCLUDED W/ SLAB FOUNDATION.
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH FROM FINISHED GRADE.
- SCHLUTER DITRA UNCOUPLING AND WATER PROOFING MEMBRANE TO BE USED ON ALL TILE SHOWER INSTALLATIONS.

TERMITE PROTECTION

TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.



2 891.1 36" VANITY ELEVATION  
1/2" = 1'-0"

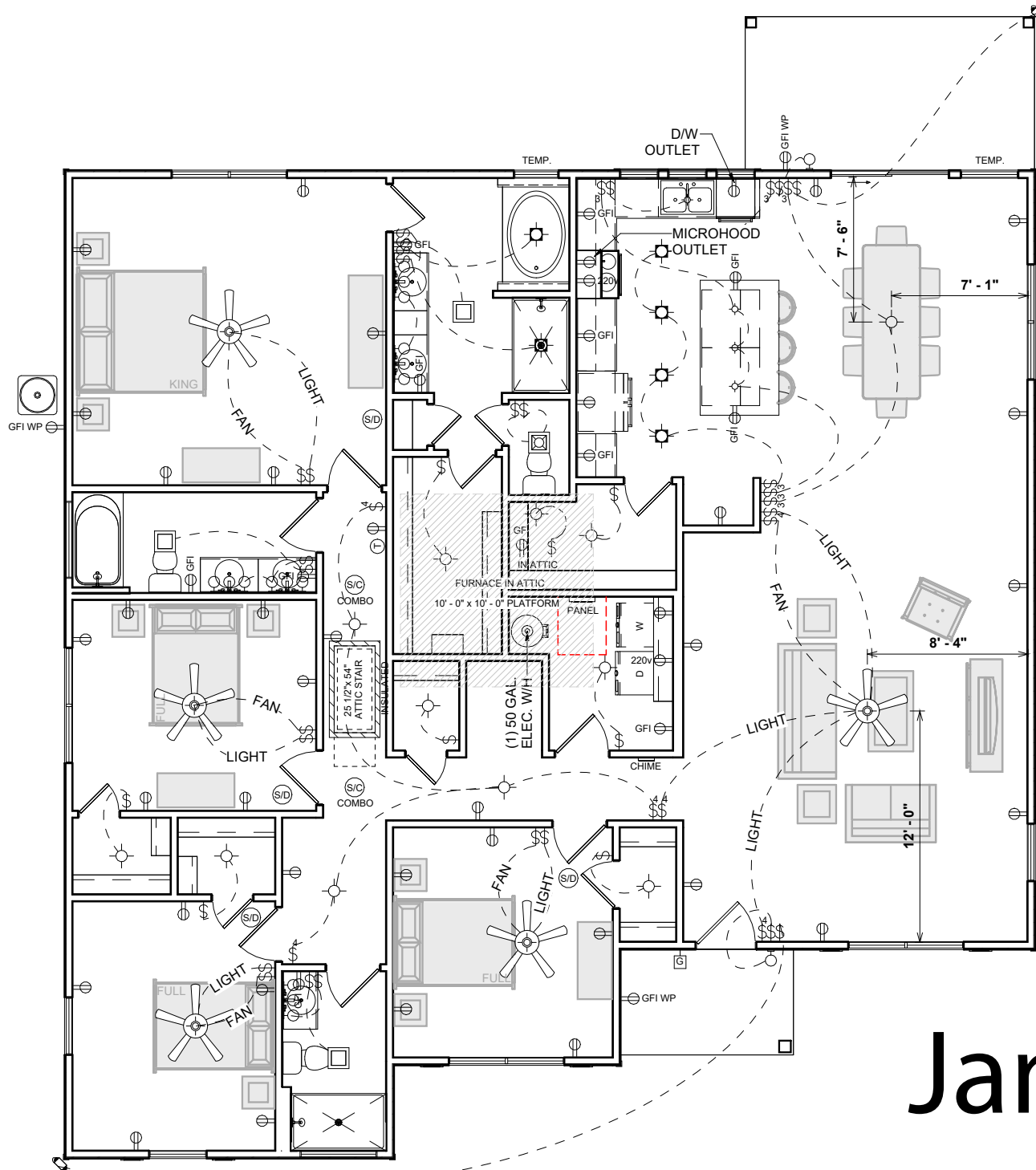
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TALLAHASSEE, FL 323152  
PH 850-796-7778



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PAPER SIZE: 11" x 17"

REVISION SCHEDULE	REV #	DESCRIPTION	DATE
AREAS:	FIRST FLOOR HEATED	2,281 SF	
	FRONT PORCH	50 SF	
	REAR PORCH	120 SF	
	TOTAL UNDER ROOF	170 SF	
		2,451 SF	
THE:	MURRAY		
FOR:	TJ PIZZAGALLI		
	245 SW COLONY GLEN LAKE CITY, FL 32024		
OFFICE:	GAINESVILLE		
JOB #	59-25-008		
DRAWN BY:	FABIO D.		
CHECKED BY:	X CHECKER		
PRINTED:	3/28/2025 1:13:33 PM		
FOUNDATION TYPE:	MONOSLAB		
PROPERTY OF:	AMERICA'S HOME PLACE		
SHEET #	F-2		
SCALE:	As indicated		
FIRST FLOOR PLAN			



ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER. ART. 210-12(b) 2023 NEC.
- CONFORM ELECTRICAL WIRING & COMPONENTS TO CURRENT NEC PROVISIONS OF 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE.
- OUTLET LOCATIONS ARE SHOWN FOR REPRESENTATION ONLY.
- ACTUAL OUTLET LOCATIONS MAY VARY PER LOCAL CODE.
- ALL SYMBOLS SHOWN ARE FOR VISUAL REPRESENTATION ONLY. ACTUAL SIZES AND STYLE MAY VARY.

HVAC NOTES:

- FURNACE NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE. IN ACCORDANCE WITH ALL APPLICABLE CODES
- BUILDER & HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS & RETURNS OR LINES
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE

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ELECTRICAL LEGEND	
LIGHT FIXTURES	
CEILING FAN	
CEILING MOUNT	
COACH / SCONCE	
EXHAUST FAN	
EXHAUST FAN W/ LIGHT	
EXTERIOR FLOOD	
FLUORESCENT - CEILING	
FLUORESCENT - WALL	
LED	
PENDANT	
RECESSED CAN	
RECESSED EYEBALL CAN	
UNDER / OVER CABINET LIGHT	
VANITY	
ELECTRICAL FIXTURES	
DOOR BELL BUTTON	
DOOR BELL CHIME	
GARAGE DOOR OPENER	
MEDIA	
OUTLET	
OUTLET - CEILING	
OUTLET - FLOOR	
OUTLET - GFI	
OUTLET - 220v	
SWITCH	
SMOKE & CARBON DETECTOR	
SMOKE DETECTOR	
THERMOSTAT	

James A  
Zaleski

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James A Zaleski  
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09:12:21 -04'00'

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

PRELIMINARY CONSTRUCTION PLANS

SHEET #	PROPERTY OF:	DRAWN BY:	JOB #	THE:	FOR:	REVISION SCHEDULE			
						AREAS:	REV #	DESCRIPTION	DATE
H-1		FABIO D.	59-25-008	MURRAY	TJ PIZZAGALLI	FIRST FLOOR HEATED	2,281 SF		
						FRONT PORCH	2,281 SF		
						REAR PORCH	50 SF		
						TOTAL UNDER ROOF	120 SF		
							170 SF		
FIRST FLOOR ELECTRICAL PLAN	© COPYRIGHT - 2025	PRINTED: 3/28/2025 1:13:34 PM	FOUNDATION TYPE: MONOSLAB	245 SW COLONY GLEN LAKE CITY, FL 32024	SOLD BY: L. HALLER				

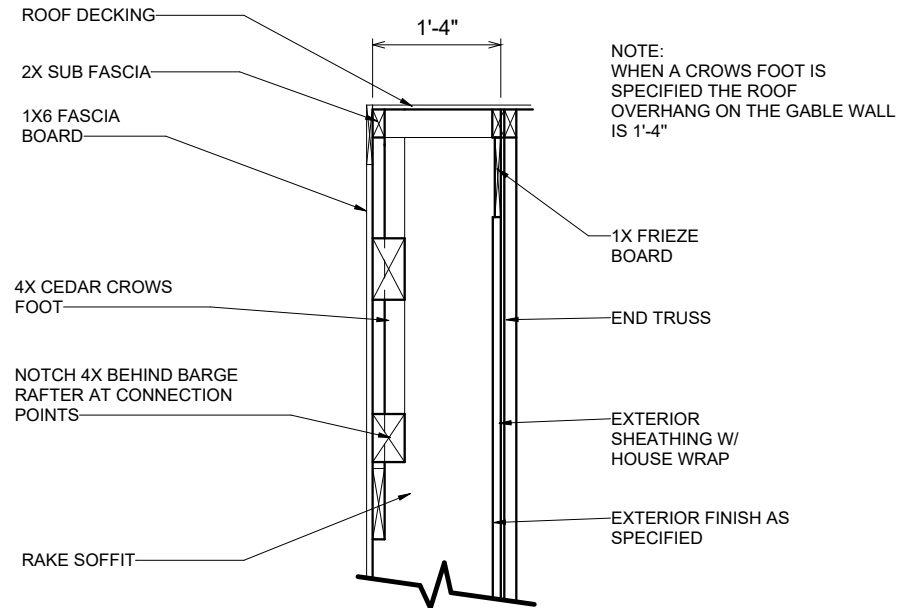


## DETAILS & SECTION

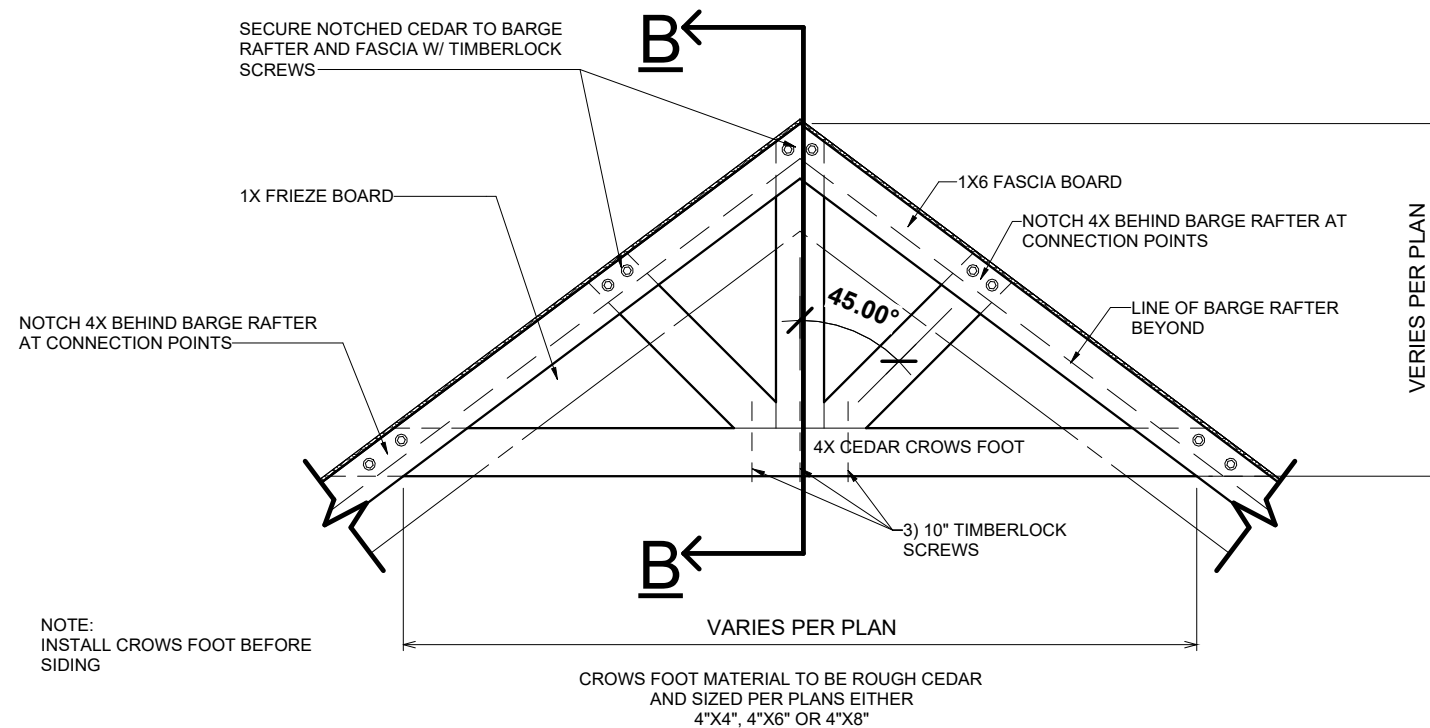
SHEET #		PROPERTY OF:		DRAWN BY:		JOB #		THE:		AREAS:		REVISION SCHEDULE	
S-1				FABIO D.		59-25-008		MURRAY		FIRST FLOOR HEATED		2,281 SF	DATE
				X. CHECKER		2x4 EXTERIOR WALLS		TJ PIZZAGALLI		FRONT PORCH		50 SF	
										REAR PORCH		120 SF	
				PRINTED:		FOUNDATION TYPE:		245 SW COLONY GLEN LAKE CITY, FL 32024		TOTAL UNDER ROOF		170 SF	
				3/28/2025 1:13:35 PM		MONOSLAB						2,451 SF	
SCALE: 3/4" = 1'-0"		© COPYRIGHT - 2025						OFFICE:					
DETAILS & SECTION								SOLD BY:					
								L. HALLER					

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Zaleski

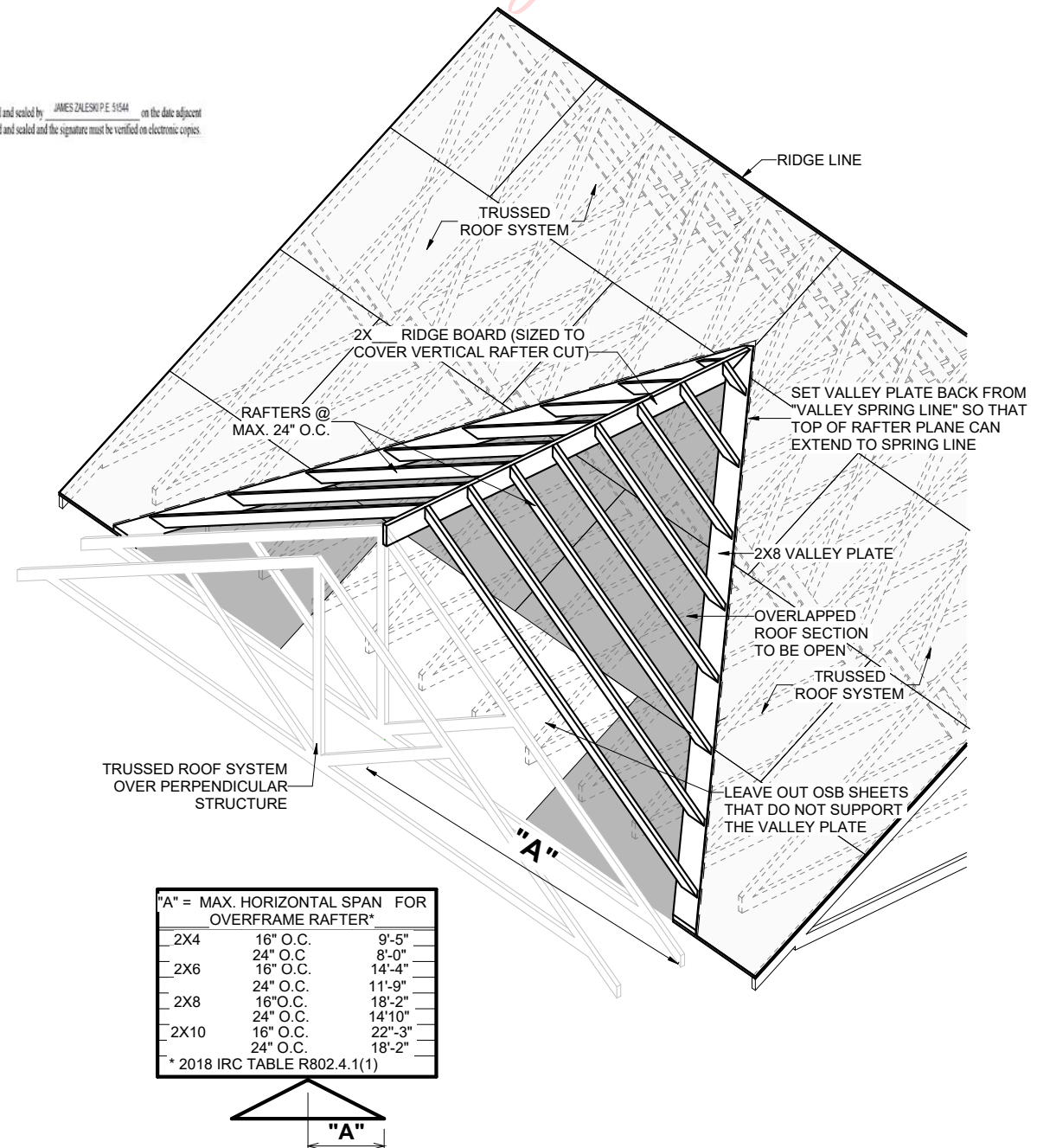
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A Zaleski  
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-04'00'



## SECTION B-B




② 485.2 CROWS FOOT DETAIL at FIBER CEMENT SIDING  
1/2" = 1'-0"



"A" = MAX. HORIZONTAL SPAN FOR OVERFRAME RAFTER*		
2X4	16" O.C.	9'-5"
	24" O.C.	8'-0"
2X6	16" O.C.	14'-4"
	24" O.C.	11'-9"
2X8	16" O.C.	18'-2"
	24" O.C.	14'-10"
2X10	16" O.C.	22'-3"
	24" O.C.	18'-2"

\* 2018 IRC TABLE R802.4.1(1)

1 ROOF OVERFRAMING DETAIL @ INTERSECTION  
1/4" = 1'-0"

SHEET #		PROPERTY OF:		DRAWN BY:		JOB #		THE:		AREAS:		REVISION SCHEDULE			
S-2				FABIO D.		59-25-008		MURRAY		FIRST FLOOR HEATED		2,281 SF	REV #	DESCRIPTION	DATE
				X. CHECKER		2x4 EXTERIOR WALLS		TJ PIZZAGALLI		FRONT PORCH		50 SF			
										REAR PORCH		120 SF			
				PRINTED:		FOUNDATION TYPE:		245 SW COLONY GLEN LAKE CITY, FL 32024		TOTAL UNDER ROOF		170 SF			
				3/28/2025 1:13:35 PM		MONOSLAB						2,451 SF			
SCALE: As indicated		© COPYRIGHT - 2025		OFFICE:		SOLD BY:									
DETAILS & SECTION				GAINESVILLE		L. HALLER									

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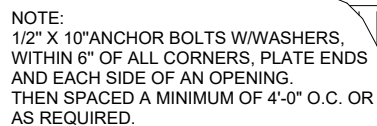
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SCALE: As indicated

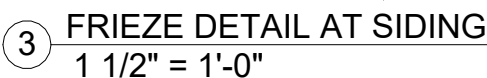
## DETAILS & SECTION

ROOF COVERING AS SPECIFIED DOUBLE LAYER OF SYNTHETIC  
UNDERLAYMENT WITH 7/16" OSB SHEATHING NAILED AND CLIPPED  
PRE ENGINEERED ROOF TRUSSES PER PRINT  
R-33 INSULATION IN FLAT AREAS  
R-30 INSULATION IN SLOPED AREAS

**UNDERLAYMENT MATERIALS TO COMPLY WITH  
ASTM D226, D4869 TYPE III OR TYPE IV SHALL  
BEAR A LABEL INDICATING COMPLIANCE TO  
THE STANDARD DESIGNATION.**



1



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James  
A  
Zaleski

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by James A  
Zaleski  
Date:  
2025.04.28  
09:13:43 -04'00'

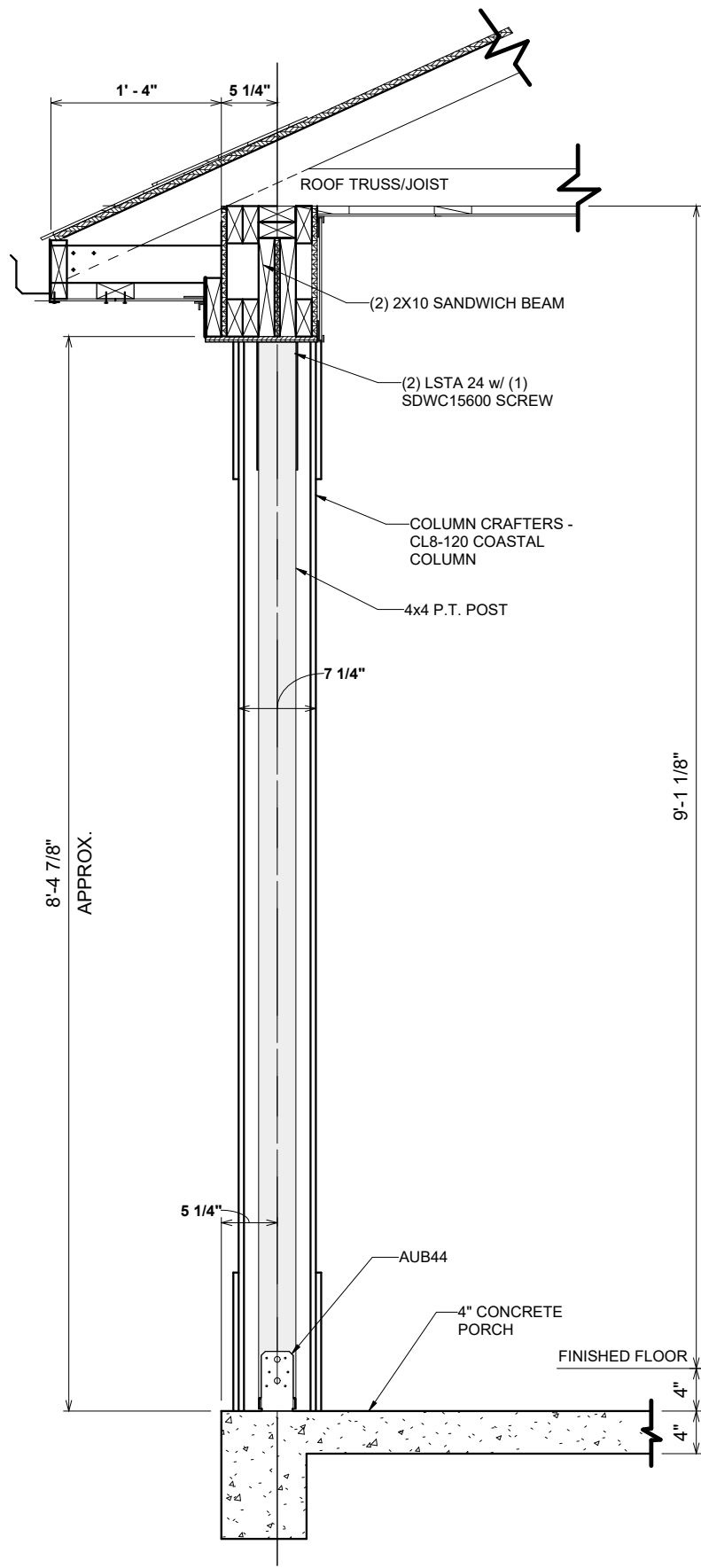


**MONOSLAB WALL SECTIONS -  
CONCRETE SIDING**

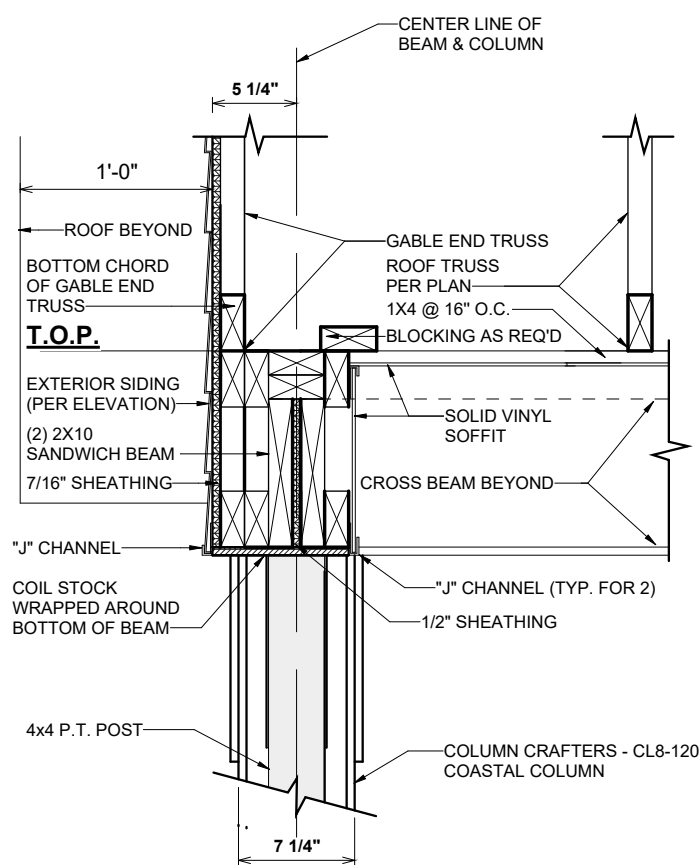
PAPER SIZE: 11" x 17"

SCALE: As indicated

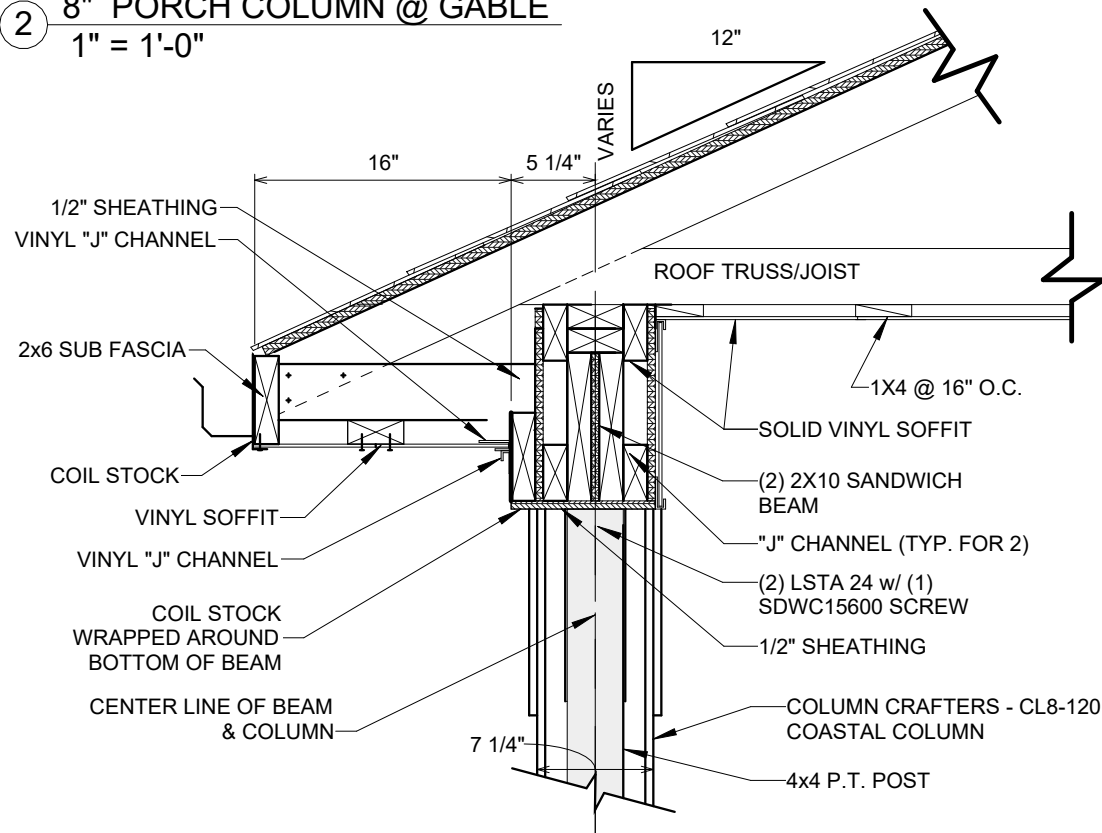




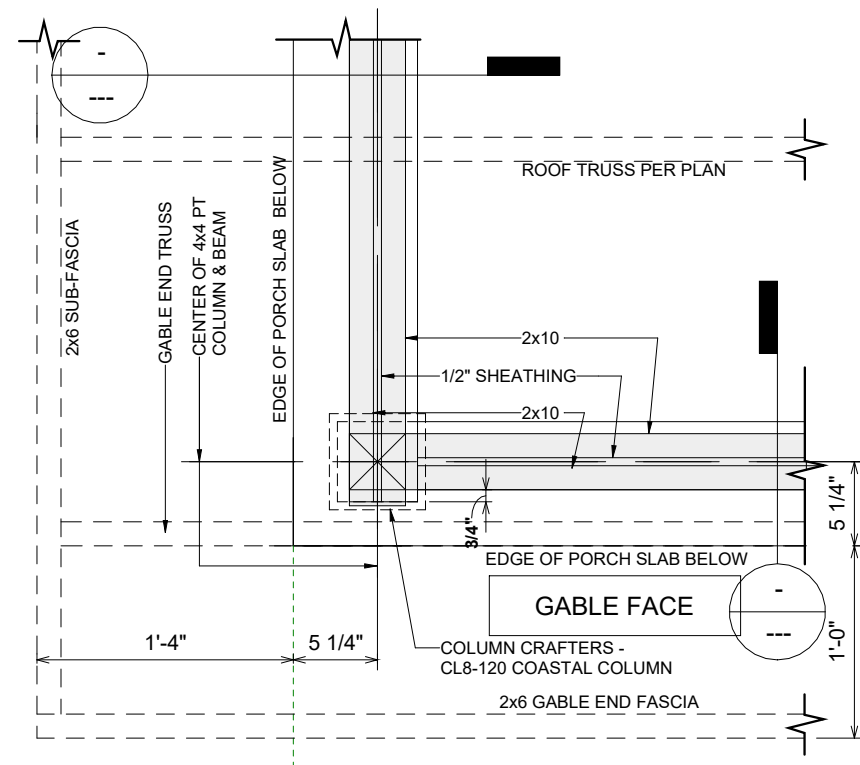
① 8" PORCH COLUMN ON SLAB-ELEV  
3/4" = 1'-0"



② 8" PORCH COLUMN @ GABLE  
1" = 1'-0"



③ 8" PORCH COLUMN-SOFFIT DETAIL  
1" = 1'-0"



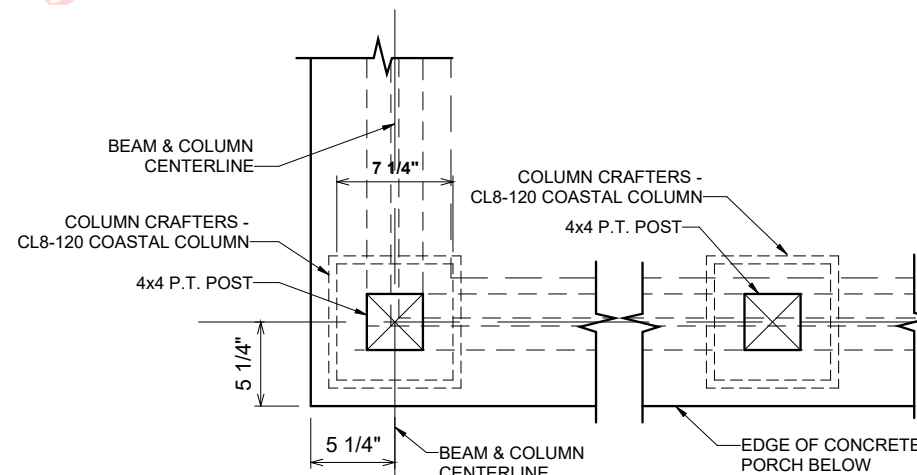
④ 8" PORCH COLUMN-FRAMING  
1" = 1'-0"

James A Zaleski  
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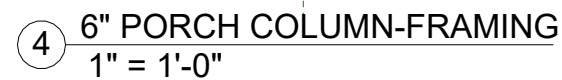


⑤ 8" PORCH COLUMN ON SLAB-PLAN  
1" = 1'-0"

P.T. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%

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S-4		 © COPYRIGHT - 2025	FABIO D.	59-25-008	MURRAY	FIRST FLOOR HEATED	2,281 SF						
			CHECKED BY:				FRONT PORCH	50 SF					
			X. CHECKER				REAR PORCH	120 SF					
			PRINTED:				TOTAL UNDER ROOF	2,451 SF					
			3/28/2025 1:13:36 PM										
8" COASTAL PORCH COLUMN DETAILS					OFFICE:	GAINESVILLE		SOLD BY:		L. HALLER			
						245 SW COLONY GLEN LAKE CITY, FL 32024							



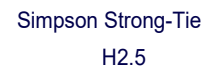
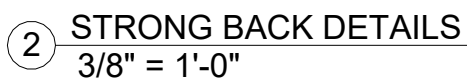
5 6" PORCH COLUMN ON SLAB-PLAN  
1" = 1'-0"

6" COASTAL PORCH COLUMN  
DETAILS



## TRUSS BRACING SUMMARY

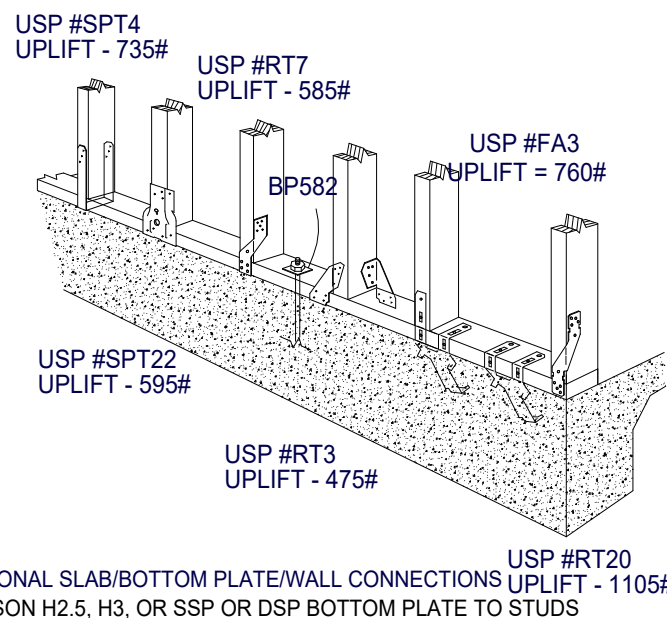
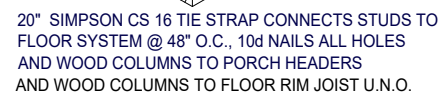




RAFTER WITH NO STUD BELOW  
WHEN H2 ARE NOT USED PROVIDE  
SIMPSON CS16 @ 48" O.C. STRAP OVER  
TOP PLATE AND MIN. 10" LAP ON STUDS U.N.O.

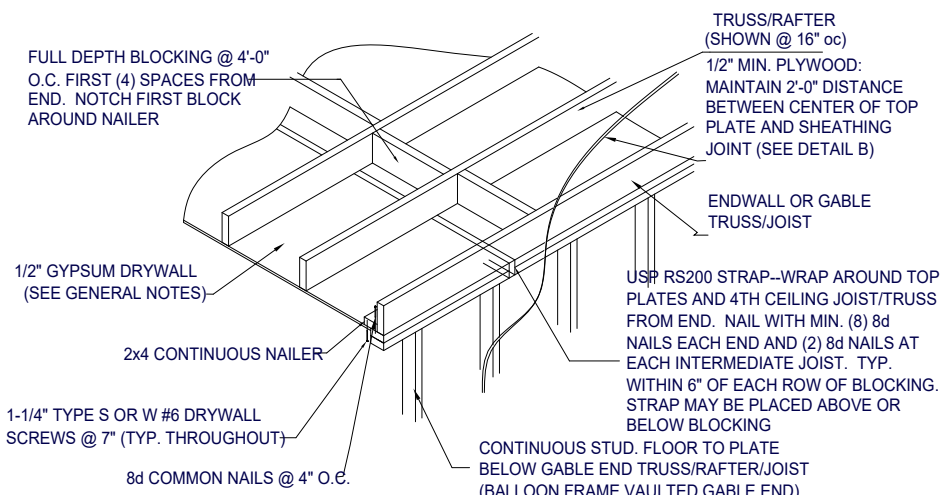


RAFTER ABOVE STUD  
 WHEN H2 ARE USED EVERY OTHER JOIST  
 SIMPSON CS16 STRAP OVER TOP PLATE  
 & MIN. 10" LAP ON STUDS ARE NOT REQUIRED U.N.O.



James A Zaleski

Digitally signed by  
James A Zaleski  
Date: 2025.04.28  
09:15:10 -04'00'



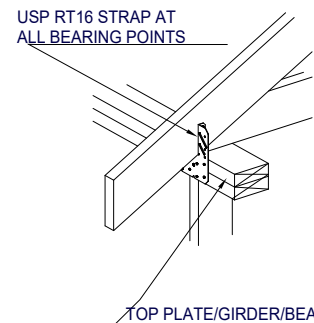
## ENDWALL CEILING CONNECTION

## RAFTER/TRUSS

USP RS200 ON EACH RAFTER PAIR, 12" MIN.  
END LENGTH ON EACH RAFTER, (11)  
8d FASTENERS REQ'D EACH END.

ALT: 1x6 COLLAR TIE EVERY OTHER RAFTER,  
MIN. (9) 8d NAILS EACH END.

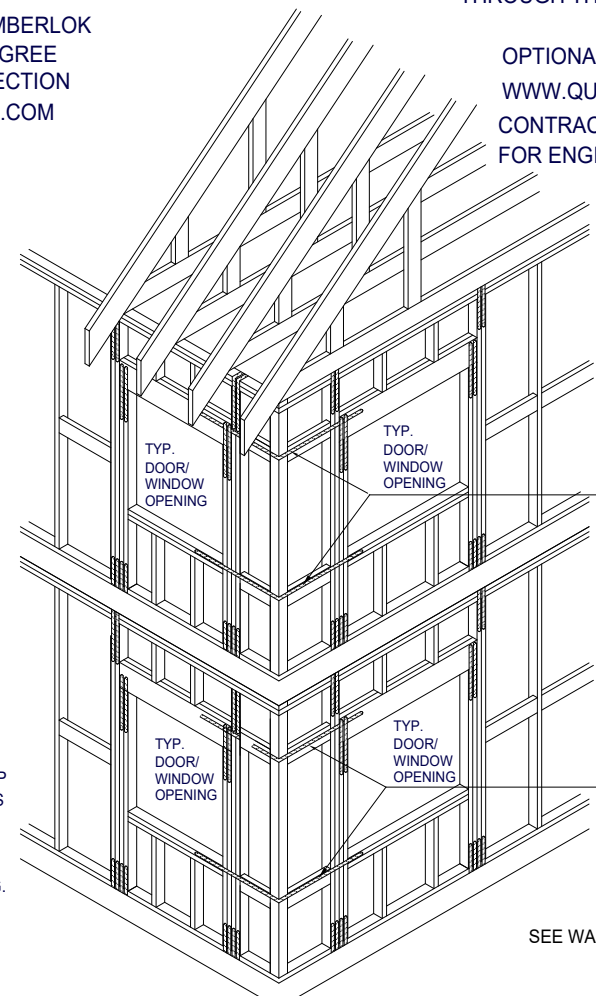
NOTE: DETAIL ABOVE NOT REQUIRED  
FOR CONTINUOUS TRUSSES.



RT16 MUST BE INSTALLED ON OUTSIDE OF STUD WALL. IF INSTALLED ON INSIDE OF WALL, STUDS ON EITHER SIDE OF RT16 MUST BE ANCHORED TO TOP PLATE USING RT7 STRAPS.

INTERIOR LOAD BEARING WALLS--  
STRAP TRUSSES/RAFTERS TO TOP PLATES  
WITH USP RT16. ANCHOR TOP PLATES TO  
STUDS WITH USP SPT24 STRAPS ON SAME  
SIDE AS RT16 STRAPS. CONNECT 2ND  
FLOOR WALL STUDS TO 1ST FLOOR WALL  
STUDS OR BEAMS USING USP RS200  
STRAPS @ 48" O.C. (MIN. 11 8d NAILS EACH  
END). ATTACH 1ST FLOOR STUDS TO  
SUPPORTING GIRDERS IN SIMILAR MANNER.  
ANCHOR FLOOR JOISTS TO DROPPED  
GIRDERS WITH USP RT 17. SEE DETAIL I  
FOR DROPPED GIRDER ANCHORING.

OPTIONAL RAFTER OR STUD/POST  
TO DBL PLATE/HEADER CONNECTION:  
6" FASTENMASTER TIMBERLOK  
INSTALLED AT 22.5 DEGREE  
MIN. 2.5" FROM CONNECTION  
[WWW.FASTENMASTER.COM](http://WWW.FASTENMASTER.COM)



STRAP OVERBUILT VALLEY  
SET) TRUSSES/RAFTERS OVER  
MAIN TRUSSES/RAFTERS WITH  
USP MTW12 OR MTW18

USP STRAP RS200 -- WRAP  
OVER TOP OF EVERY PIGGY  
BACK RAFTER/TRUSS AND FASTEN  
WITH (4) 8d COMMON NAILS  
AT EACH MEMBER

OPTIONAL RAFTER TIEDOWN IS:  
6" FASTENMASTER TIMBERLOK  
2"-3" IN TOP AND 3"-4" IN BOTTOM

MIN. (4) 8d COMMON NAILS  
ON EACH SIDE OF 2 MEMBER  
CONNECTION

RAFTER TO HIP CONNECTION:  
 SIMPSON LS50 OR  
 (2) 1/4"X3.5" WOOD SCREWS PLACED  
 AT 1/3 DEPTH POINTS AND PASS  
 THROUGH THE INSIDE CORNER OF CONNECTION

OPTIONAL TIEDOWN IS THE QUICK TIE SYSTEM  
WWW.QUICKTIEPRODUCTS.COM  
CONTRACTOR SHALL SUBMIT TIEDOWN PLAN  
FOR ENGINEER'S APPROVAL

REMOVED BY DATE 12/21/2011  
2105 HWY 290 RD  
TALLAHASSEE, FL 32310  
PH 904-756-7778



RECEIVED: 9 JULY 2004; This paper was directly accepted for publication: 10 SEPTEMBER 2004; in the final form: 10 SEPTEMBER 2004. This paper is part of a special issue entitled "The Role of the Atmosphere in the Earth System".

USP RS200 STRAP--OVERLAP  
TOP AND BOTTOM HEADER (USE  
BLOCKING BETWEEN STUDS WHERE  
HEADERS DON'T ALIGN) 12" MIN.  
EACH SIDE. TYP. WITH CORNER  
WALLS SHEATHED LESS THAN 3'-6"  
EITHER WAY AND ALL BAY WINDOWS.

SEE WALL SECTIONS FOR VERTICAL TIEDOWN


## HORIZONTAL STRAPPING DETAIL @ CORNERS

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PAPER SIZE: 11" x 17"

SHEET #		PROPERTY OF:		DRAWN BY:	JOB #	THE:	AREAS:				REVISION SCHEDULE			
S-7		 © COPYRIGHT - 2025		FABIO D.	59-25-008	MURRAY	FIRST FLOOR HEATED	2,281 SF	REV #	DESCRIPTION	DATE			
				CHECKED BY:	2x4 EXTERIOR WALLS	TJ PIZZAGALLI	FRONT PORCH	50 SF						
				X. CHECKER			REAR PORCH	120 SF						
				PRINTED:	FOUNDATION TYPE:	245 SW COLONY GLEN LAKE CITY, FL 32024	TOTAL UNDER ROOF	170 SF						
				3/28/2025 1:13:39 PM	MONOSLAB			2,451 SF						
FL- HOLD DOWN DETAILS						OFFICE:	GAINESVILLE		SOLD BY:		L. HALLER			