

December 29, 2023

Mr. Thomas Campbell
Florida Department of Business and Professional Regulation
Codes & Standards Office
2601 Blair Stone Road, Building C
Tallahassee, FL 32399-0772

RE: Manufacturer: Premier Portable
Agency Plan Number: Deluxe Utility Shed 23

Dear Mr. Campbell,

Architectural Testing Inc., an Intertek company ("Intertek-ATI"), part of Intertek¹ Building Science Solutions, in accordance with the requirements of the Florida Department of Business and Professional Regulations, the above-referenced documents have been reviewed for compliance with:

2023 Florida Building Code, 8th Edition with Latest Supplements
2020 National Electrical Code (NFPA-70-20)

This approval covers the factory-built structure only. Any alterations to the factory-built structure on site would avoid approval. This plan is subject to the following:

- This plan is Not Approved for High-Velocity Hurricane Zone (i.e., Broward and Miami/Dade Counties)
- Signed and sealed plans are on file with Intertek-ATI
- Chapter 633 Plan Review and Inspection shall be conducted by the local fire and safety inspector
- Items installed on-site are subject to review and approval by the local authority having jurisdiction.
- This review includes products for compliance with 553.8425 or FAC Chapter 61G20-3

If you have any questions or require our assistance, please do not hesitate to contact us.

Respectfully submitted,

Ryan Knowles

Ryan Knowles
Senior Manager
Building Science Solutions

^[1] Intertek is a brand name representing the Intertek Group plc legal entities, including but not limited to, Intertek Testing Services NA Inc., Professional Service Industries, Inc. ("INTERTEK-PSI"), Architectural Testing Inc. ("INTERTEK-ATI"), and MT Group Inc. ("INTERTEK-MT").
www.intertek.com/building



DELUXE UTILITY SHED PLANS

STATE OF FLORIDA (1 7 0 M P H) W I N D S

GENERAL NOTES:

- DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE, BUILDING (F.B.C.).
- ALL MATERIALS AND LABOR SHALL BE IN ACCORDANCE WITH THE ABOVE CODE AND ALL OTHER APPLICABLE LOCAL CODES AT THE TIME OF MANUFACTURE.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE FOUNDATION PLAN IS A SEPARATE SET OF PLANS FOR APPROVAL BY LOCAL MUNICIPALITIES.
- EXTERIOR DIMENSIONS CAN VARY BETWEEN LIMITS SHOWN $\pm 2"-0"$ o/c BUT MEMBER SPACING SHALL NOT EXCEED LIMITS AS INDICATED.
- ALL THE FOLLOWING LUMBER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA USE CATEGORY UC4B (GROUND CONTACT, HEAVY DUTY) SKIDS.
- ALL THE FOLLOWING LUMBER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA USE CATEGORY UC3B (EXTERIOR ABOVE GROUND, UNCOATED OR POOR WATER RUNOFF), FLOORS JOISTS, PLYWOOD FLOOR DECKING, AND EXTERIOR RATED WOOD STRUCTURAL PANEL SIDING.
- LP PROSTRUCT SUB-FLOORING $1\frac{1}{2}"$ MAY BE USED IN LIEU OF PRESSURE TREATED PLYWOOD FLOORING.
- P.T. PLYWOOD FLOORING NOT REQUIRED WHERE THE BOTTOM OF THE FLOORING IS OVER 18" ABOVE GROUND SECTION 2304.12.1.1 FBC 2023.
- ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED (G185) OR STAINLESS STEEL.
- ALL WINDOWS WITHIN 24" OF DOORS, AND ALL GLASS IN DOORS SHALL BE SAFETY, TEMPERED, OR ACRYLIC PLASTIC SHEET.
- FOR ROOFS WITH ASPHALT SHINGLES AND A SLOPE BETWEEN 2 TO 12 AND 4 TO 12 SHALL HAVE A DOUBLE UNDERLAYMENT APPLICATION AS REQUIRED IN ACCORDANCE WITH SECTION 1507.2.2 OF THE 2023 F.B.C.
- UNDERLAYMENT SHALL CONFORM WITH SECTION 1507.2.3 (ASPHALT SHINGLES) AND 1507.4.5.1 (METAL ROOF PANEL) OF THE 2023 F.B.C.
- ASPHALT SHINGLES SHALL CONFORM WITH SECTION 1507.2.5 OF THE 2023 F.B.C. ATTACHMENT OF ASPHALT SHINGLES SHALL CONFORM WITH 1507.2.7 OF THE 2023 F.B.C.
- FASTENERS FOR ASPHALT SHINGLES SHALL CONFORM TO SECTION 1507.2.6 OF THE 2023 F.B.C.
- TIE-DOWNS SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE CODES.
- BUILDINGS NOT DESIGNED FOR HHZ REQUIREMENTS AS SET FORTH IN THE 2023 F.B.C.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY AND PLACEMENT OF LAWN STORAGE UNIT TO INSURE THE INTEGRITY OF THE BUILDING AND ITS COMPONENT PARTS.
- NO FIELD REVISIONS TO ANY STRUCTURAL COMPONENT OR DEVIATION FROM THESE DRAWINGS SHALL BE MADE.
- THE OWNER AND THE CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL LIABILITY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING LEGAL FEES ARISING OUT OF OR RESULTING FROM ERROR OR OMISSIONS IN THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.
- SECTIONS AND DETAILS ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY AT ALL SIMILAR LOCATIONS, UNLESS OTHER SECTIONS AND DETAILS ARE SPECIALLY REFERENCED.
- REFER TO SUPPLIED FASTENING SCHEDULE FOR FASTENING BASE ON CONNECTION AND LOCATION OF MEMBERS AS PER 2023 FLORIDA BUILDING CODE TABLE 2304.10.1 UNLESS NOTED OTHERWISE.
- BUILDINGS HAVE BEEN DESIGNED FOR LP SMARTSIDE PREVISION PANEL SIDING, LP SMARTSIDE PRECISION LAP SIDING SHALL NOT BE USED.
- FASTENERS IN LP SMARTSIDE PRECISION PANEL SIDING MUST NOT BE INSTALLED IN PANEL SIDING GROOVES IN THE FIELD OF THE PANEL SIDING OR WHEN THE PANEL SIDING GROOVES OCCUR AT CUT EDGES OF THE PANEL SIDING..
- REFER TO THE ICC-ES EVALUATION REPORT ESR-1301 FOR ADDITIONAL DATA AND SPECIFICATIONS OF LP SMARTSIDE PRECISION PANEL SIDING. FLORIDA PRODUCT APPROVAL 9190.5 & 9190.6
- MAX OPENING WIDTHS MUST COMPLY WITH DESIGN RATIOS AS PER ANSI/AWC-2015 CHAPTER 35. BUILDING HAVE DESIGNED TO HAVE ONLY OPENINGS WITH MAX WIDTHS EQUAL TO THOSE IN THE ENDWALL SHEAR WALL CHART.
- AS PER SECTION 553.73(10)(h), FLORIDA STATUTES, STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WIND-BORNE-DEBRIS-IMPACT STANDARDS OF THE FLORIDA BUILDING CODE. IN ADDITION, SUCH BUILDINGS THAT ARE 400 SQUARE FEET OR LESS AND THAT ARE INTENDED FOR USE IN CONJUNCTION WITH ONE-AND-TWO FAMILY RESIDENCES ARE NOT SUBJECT TO THE DOOR HEIGHT AND WIDTH REQUIREMENTS OF THE FLORIDA BUILDING CODE. SEE FBC 1010.1.1 EXCEPTION (10).
- BUILDING HAVE BEEN DESIGNED TO HAVE ANCHORS DIRECTLY ATTACHED TO ALL FOUR CORNERS OR THE BUILDING TO RESIST TENSION FORCES FROM LATERAL WIND LOADS, THIS DESIGN CONSIDERATION MUST BE MADE BY INSTALLER WHEN ATTACHING ANCHORING SYSTEM TO BUILDING.
- UNLESS NOTED OTHERWISE, ATTACH ALL MANUFACTURED PRODUCTS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- SHEDS THAT HAVE A FLOOR AREA OF 720 SQUARE FEET OR MORE ARE REQUIRED TO HAVE IMPACT RESISTANT WINDOWS & DOORS PER FLORIDA CODE 1609.1.2 "PROTECTION OF OPENINGS". GLAZED OPENINGS IN BUILDING SHALL BE IMPACT RESISTANT OR PROTECTED WITH AN IMPACT-RESISTANT COVERING.

NOTE:

THIS BUILDING IS STRUCTURALLY ABLE TO MEET HABITABLE SPACE. TO MAKE HABITABLE SPACE, AN ENGINEER OR ARCHITECT MUST DESIGN SYSTEMS TO MEET THE FLORIDA BUILDING CODE.

HABITABLE SPACE:

A SPACE IN A BUILDING FOR LIVING, SLEEPING, EATING OR COOKING; BATHROOMS, TOILET ROOMS, CLOSETS, HALLS, SCREEN ENCLOSURES, SUNROOM CATEGORIES UJIII AND IV AS DEFINED IN SECTION 2002.6; STORAGE OR UTILITY SPACES AND SIMILAR AREAS ARE NOT CONSIDERED HABITABLE SPACES.

SITE INSTALLED ITEMS:

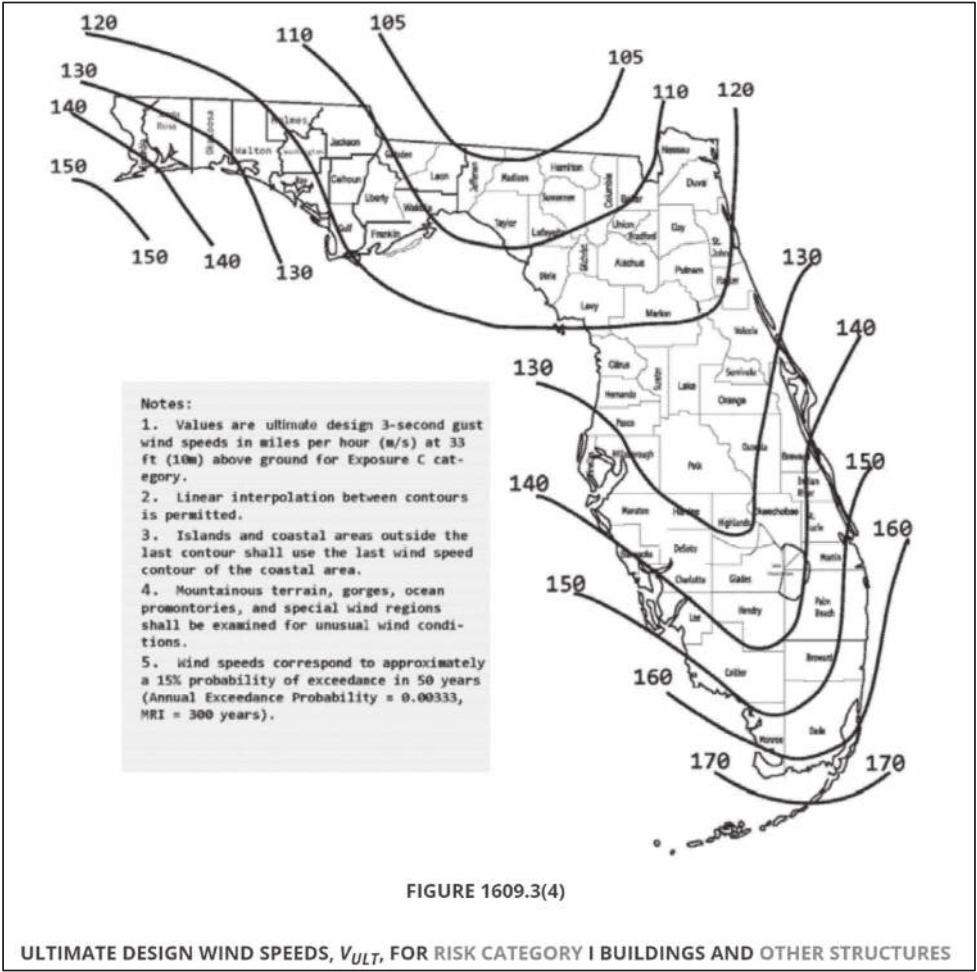
NOTE THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTIONAL APPROVAL.

- THE COMPLETE FOUNDATION SUPPORT AND TIE-DOWN SYSTEM.
- RAMPS, STAIRS, AND GENERAL ACCESS TO THE BUILDING IF NECESSARY.
- GUTTERS AND DOWNSPOUTS ON ALL BUILDINGS WITH EAVES OF LESS THAN 6 INCHES HORIZONTAL PROJECTION EXCEPT FOR GABLE END RAKES.
- BUILDING IS EQUAL OR LESS THAN 720 SQ. FOOT.

SHED MANUFACTURER SHALL HAVE A LIST OF ALL REQUIRED PRODUCTS THAT NEED FLORIDA STATE APPROVAL AVAILABLE FOR 3RD PARTY INSPECTOR AND REVIEW BY E.O.R. FOR COMPLIANCE WITH WIND LOADS



WIND CHART



DESIGN CRITERIA:

- WIND VELOCITY 170 MPH.
- DESIGN CRITERIA (RISK CATEGORY) I
- WIND EXPOSURE C
- INT. PRESSURE COEFFICIENT ± 0.18
- ENCLOSURE CLASSIFICATION ENCLOSED
- BASED ON HEIGHT 15 FEET
- OVERHANG NO
- FLOOR DESIGN LIVE LOAD 125 PSF
FLOOR DESIGN DEAD LOAD 4 PSF
- ROOF DESIGN LIVE LOAD 30 PSF
ROOF DESIGN DEAD LOAD 7 PSF
GABLE END LATERAL LOAD 30 PSF
- WALL DESIGN DEAD LOAD 3 PSF
- CONSTRUCTION TYPE VB
- BUILDING OCCUPANCY = RESIDENTIAL STORAGE SHED
- FIRE RATING EXT. WALLS 0
- ALLOWABLE NUMBER OF FLOORS 1
- THE CONTRACTOR / MANUFACTURER MUST COMPLY WITH THE FOLLOWING CODES AND ALL OF THEIR AMENDMENTS / SUPPLEMENTS.

FLORIDA CODE SUMMARY

2023 FLORIDA BUILDING CODE
ADOPTS w/ AMENDMENTS IBC 2021
2020 NATIONAL ELECTRICAL CODE

SHEET LIST

SHEET NUMBER	SHEET TITLE
C-1	COVER SHEET
C-2	FASTENING SCHEDULE / WIND LOADING
A-1	FRAMING PLANS & DETAILS
A-2	DETAILS / SHEARWALL CHART
A-3	TYPICAL DETAILS
A-4	PORCH DETAILS
A-5	BATHROOM PLANS
A-6	BATHROOM ELEVATIONS
A-7	TRUSS DETAILS

AREA FOR APPROVAL STAMPS



Don Van Gerve
Professional Engineer
No. 81517
12/22/23
STATE OF FLORIDA
Professional Engineer

MONTEZUMA SHOP
241 HAMILTON ROAD
MONTEZUMA, GA 31063

PROJECT:

DELUXE UTILITY SHED

COVER SHEET & GENERAL NOTES

DON VAN GERVE, P.E.
SPECIALTY STRUCTURAL ENGINEER



ALTERNATE DESIGN SOLUTIONS
STRUCTURAL, ENGINEERING DESIGN & CONSTRUCTION SERVICES
PHONE: 215.355.4884
WWW.ALTERNATEDESIGNSOLUTIONS.COM

ENGINEERING SERVICES PROVIDED FOR:

PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
WWW.PREMIERBUILDINGS.US

REVISION	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			

DATE: 11.13.23
PROJECT NO.: 20205
DRAWING BY: JH
CHK BY: DVG
DWG NO.: C-1



FASTENING SCHEDULE (2304.10.1 FBC)		
CONNECTION	FASTENING	LOCATION
1. JOIST TO SILL OR GIRDER	3 – 8d COMMON (2½"x0.131") 3 – 3"x0.131" NAILS 3 – 3" 14 GAGE STAPLES	TOE–NAIL
2. BRIDGING TO JOIST	2 – 8d COMMON (2½"x0.131") 2 – 3"x0.131" NAILS 2 – 3" 14 GAGE STAPLES	TOE–NAIL EACH END
3. SOLE PLATE TO JOIST OR BLOCKING	16d (3½"x0.135") @ 16" o/c 3"x0.131" NAILS @ 8" o/c 3" 14 GAGE STAPLES @ 12" o/c	TYPICAL FACE NAIL
4. SOLE PLATE TO JOIST OR BLOCKING @ BRACED WALL PANEL	3 – 16d (3½"x0.135") @ 16" o/c 4 – 3"x0.131" NAILS @ 16" o/c 4 – 3" 14 GAGE STAPLES @ 16" o/c	BRACED WALL PANELS
5. TOP PLATE TO STUD	2 – 16d (3½"x0.162") 3 – 3"x0.131" NAILS 3 – 3" 14 GAGE STAPLES	END NAIL
6. STUD TO SOLE PLATE	4 – 8d COMMON (2½"x0.131") 4 – 3"x0.131" NAILS 3 – 3" 14 GAGE STAPLES 2 – 16d COMMON (3½"x0.162") 3 – 3"x0.131" NAILS 3 – 3" 14 GAGE STAPLES	TOE–NAIL END NAIL
7. DOUBLE STUDS	16d (3½"x0.135") @ 24" o/c 3"x0.131" NAILS @ 8" o/c 3" 14 GAGE STAPLES @ 8" o/c	FACE NAIL
8. DOUBLE TOP PLATES	16d (3½"x0.135") @ 16" o/c 3"x0.131" NAILS @ 12" o/c 3" 14 GAGE STAPLES @ 12" o/c 8 – 16d COMMON (3½"x0.162") 12 – 3"x0.131" NAILS 12 – 3" 14 GAGE STAPLES	TYPICAL FACE NAIL LAP SPLICE
9. BLOCKING BETWEEN JOISTS OR TRUSSES TO TOP PLATE	3 – 8d COMMON (2½"x0.131") 3 – 3"x0.131" NAILS 3 – 3" 14 GAGE STAPLES	TOE–NAIL
10. TOP PLATES, LAPS AND INTERSECTIONS	2 – 16d (3½"x0.162") 3 – 3"x0.131" NAILS 3 – 3" 14 GAGE STAPLES	FACE NAIL
11. CONTINUOUS HEADER (2) PIECES	8 – 16d COMMON (3½"x0.162")	16" o/c ALONG EDGE
12. CONTINUOUS HEADER TO STUD	4 – 8d COMMON (2½"x0.131")	TOE–NAIL
13. BUILT–UP CORNER STUDS	16d (3½"x0.135") @ 24" o/c 3"x0.131" NAILS @ 16" o/c 3" 14 GAGE STAPLES @ 16" o/c	@ 24" o/c @ 16" o/c @ 16" o/c
14. DOUBLE TOP PLATES	20d (4"x0.192") @ 32" o/c 3"x0.131" NAILS @ 24" o/c 3" 14 GAGE STAPLES @ 24" o/c 2 – 20d COMMON (4"x0.192") 3 – 3"x0.131" NAILS 3 – 3" 14 GAGE STAPLES	FACE NAIL @ TOP & BOTTOM STAGGERED ON OPP. SIDES FACE NAIL @ ENDS AND AT EACH SPLICE
15. JOIST TO BAND JOIST	3 – 16d COMMON (3½"x0.162") 4 – 3"x0.131" NAILS 4 – 3" 14 GAGE STAPLES	FACE NAIL
16. WOOD STRUCTURAL PANELS AND PARTICLE BOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING) SINGLE FLOOR (COMBINATION SUBFLOOR–UNDERLAYMENT TO FRAMING)	½" AND LESS 6d ^J 2½"x0.113" NAIL ^I 1¾" 16 GAGE ^M 8d ^d OR 2½"x0.113" NAIL ^N 2" 16 GAGE ^N 8d ^c 10d ^d OR 8d ^b ⅞" TO 1" 1⅛" TO 1¼"	
SINGLE FLOOR (COMBINATION SUBFLOOR–UNDERLAYMENT TO FRAMING)	¾" AND LESS ⅞" TO 1" 1⅛" TO 1¼" ¾" OR LESS ⅞"	6d ^b 8d ^b 10d ^d OR 8d ^b 6d ^d 8d ^d
17. 29ga. STEEL SIDING (TO FRAMING)		NAILS @ 6" o/c IN FIELD AND 3" o/c ALONG ALL PANEL EDGES.
18. FIBERBOARD SHEATHING ⁹	½" 2⅝"	NO. 11 GAGE ROOFING NAIL ^h 6d COMMON NAIL (2"x0.113") NO 16 GAGE STAPLE ⁱ NO. 11 GAGE ROOFING NAIL ^h 8d COMMON NAIL (2½"x0.131") NO 16 GAGE STAPLE ⁱ

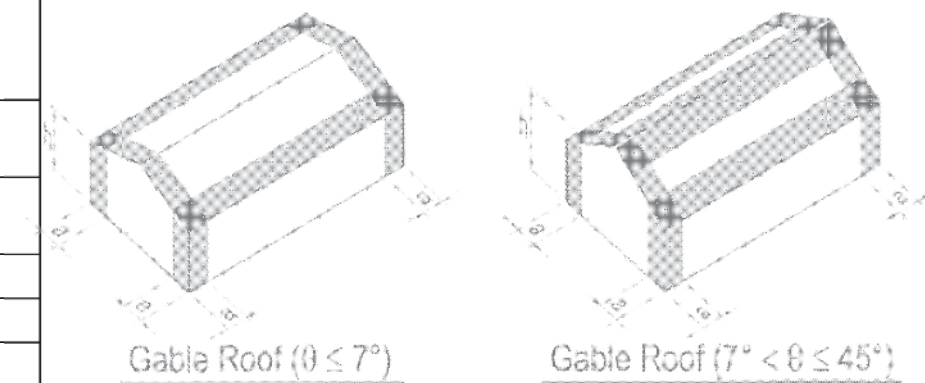
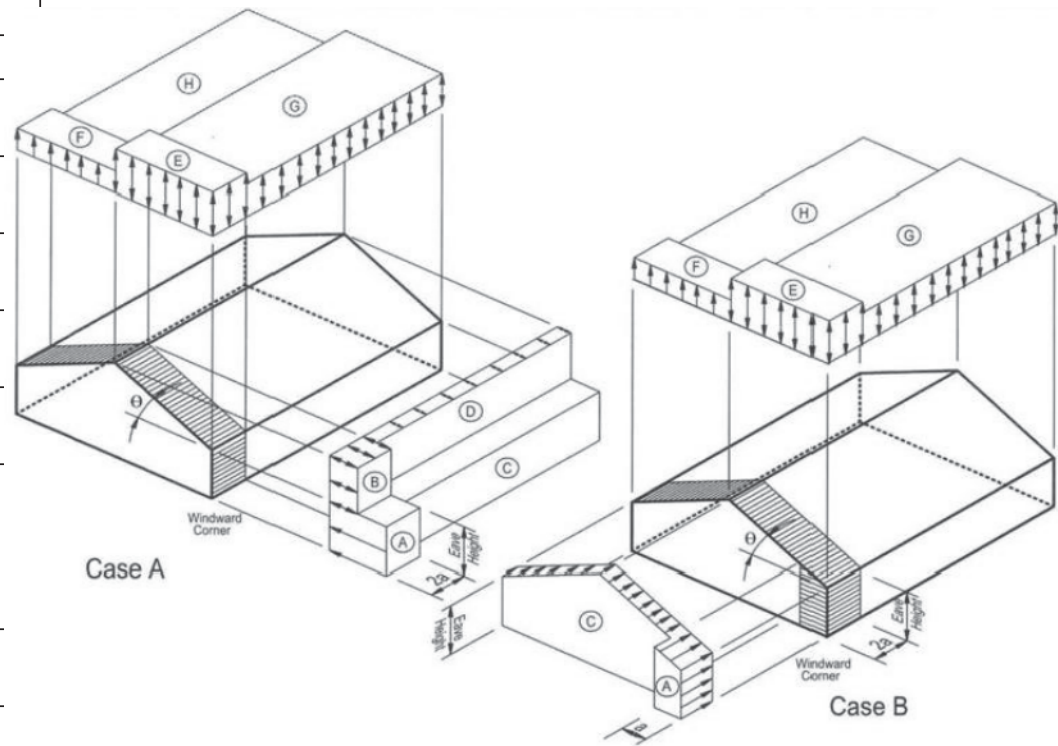
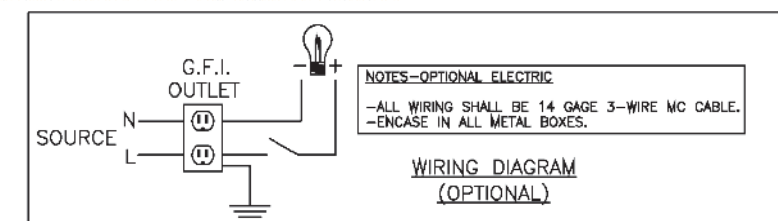
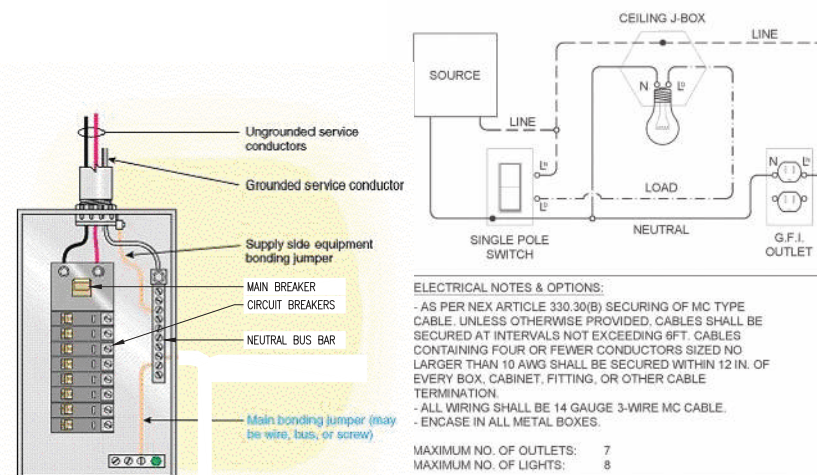



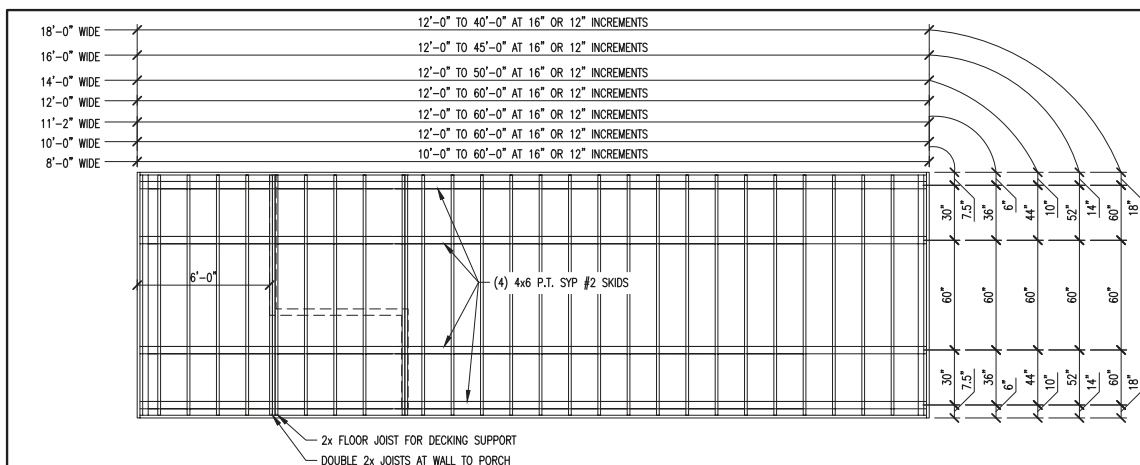


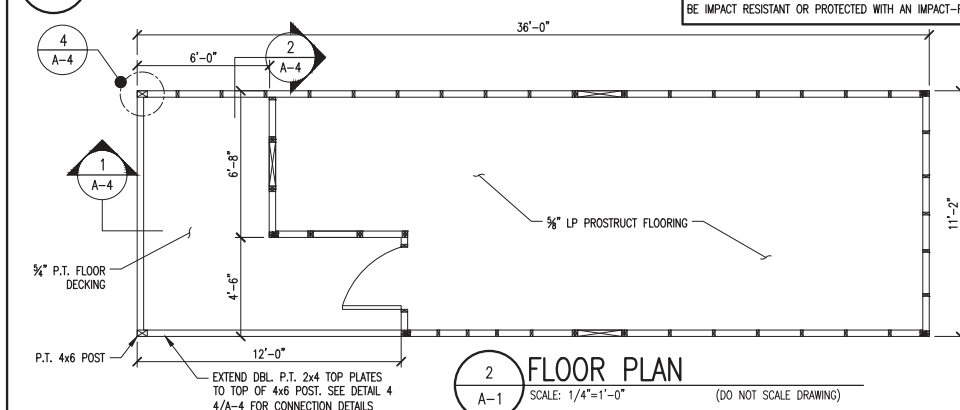
FIGURE 1609.6.2.2
COMPONENT AND CLADDING PRESSURE



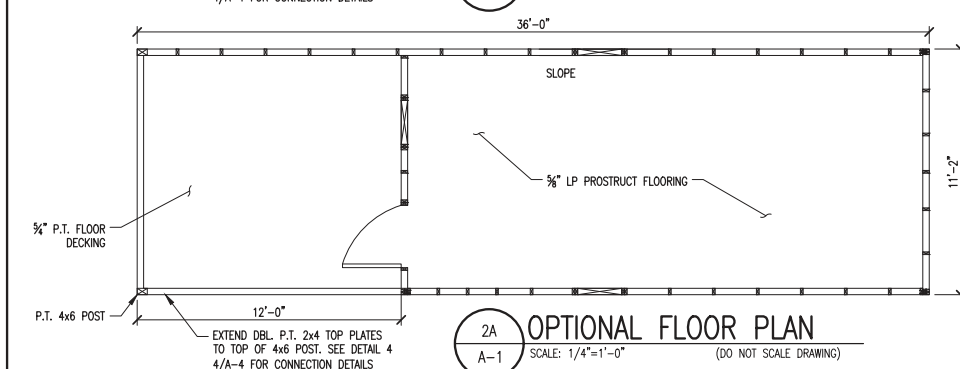
AREA FOR APPROVAL STAMPS			
 <small>Intertek ATI (Architectural Testing)</small> <i>This document meets or exceeds the Requirements of the State of Florida Manufactured Building Rules & Regulations 2022 FBC with the Latest Supplements</i> Control Type: VB Occupancy: R Allowed Floors: 1 Fire Rating Ext. Walls: 0 hrs. Wind Velocity: 170 mph Panel & Closure U-Value: 0.07 Floor Load: 125 psf Approval Date: 2023-12-29 <u>Ryan Kowalski</u> <small>Ryan Kowalski</small>			
MONTEZUMA SHOP 241 HAMILTON ROAD MONTEZUMA, GA 31063			
<i>PROJECT:</i> <div style="text-align: center; padding-top: 20px;">DELUXE UTILITY SHED</div>			
FASTENING SCHEDULE / WIND LOADING			
DON VAN GERVE, P.E. SPECIALTY STRUCTURAL ENGINEER			
 <div style="display: inline-block; vertical-align: middle; text-align: left; margin-left: 20px;">ALTERNATE DESIGN SOLUTIONS <small>STRUCTURAL, ENGINEERING DESIGN & CONSTRUCTION SERVICES</small> PHONE: 215.355.4884 WWW.ALTERNATEDESIGNSOLUTIONS.COM</div>			
ENGINEERING SERVICES PROVIDED FOR: PREMIER PORTABLE BUILDINGS 317 EAST STATE LINE ROAD SOUTH FULTON, TN 38257 WWW.PREMIERBUILDINGS.US			
REVISION	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			
DATE: 11.13.23			
PROJECT NO.: 17164			
DRAWING BY: JH			
CHK BY: DVG			
DWG NO.: C-2			
2 of 7			



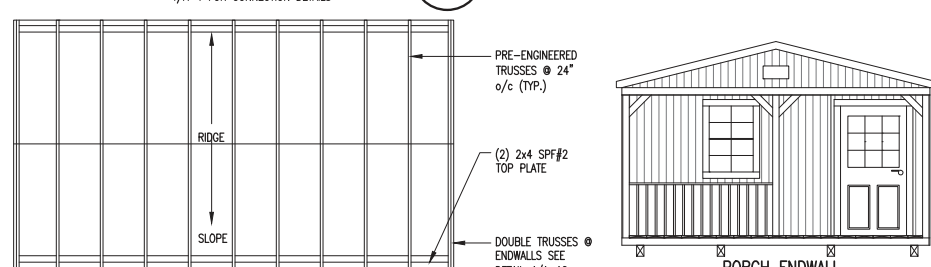
1 8'-0", 11'-2", 12'-0", 14'-0" & 16'-0", 18'-0" WIDE FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0" (DO NOT SCALE DRAWING)



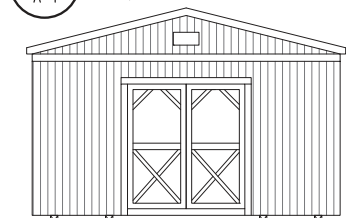
2 FLOOR PLAN
SCALE: 1/4"=1'-0" (DO NOT SCALE DRAWING)



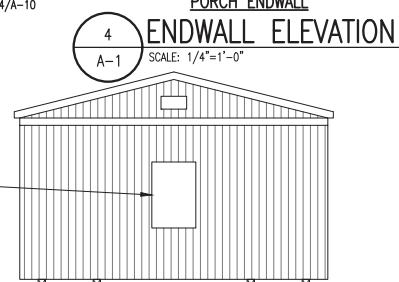
2A OPTIONAL FLOOR PLAN
SCALE: 1/4"=1'-0" (DO NOT SCALE DRAWING)



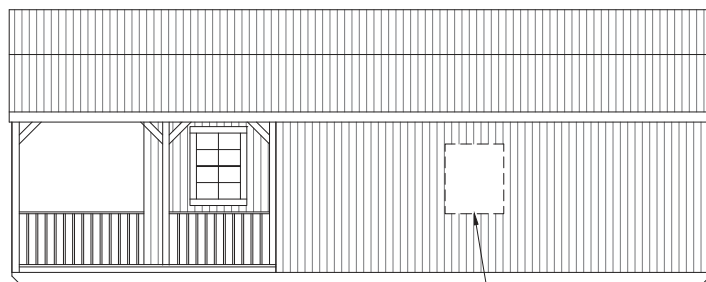
3 ROOF FRAMING PLAN
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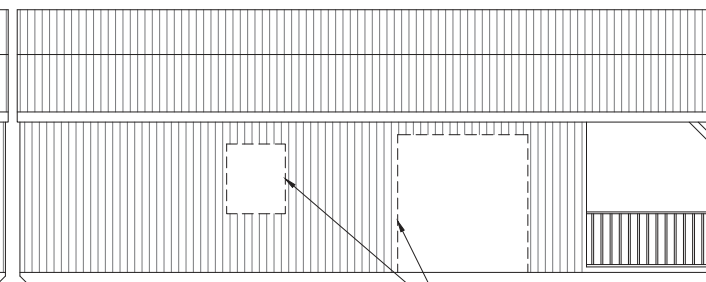
5 FULL ENDWALL w/ OPTIONAL DOOR ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



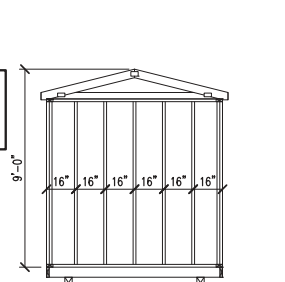
6 ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



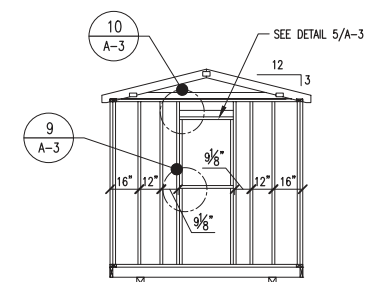
7 SIDEWALL ELEVATION
SCALE: 1/4"=1'-0"



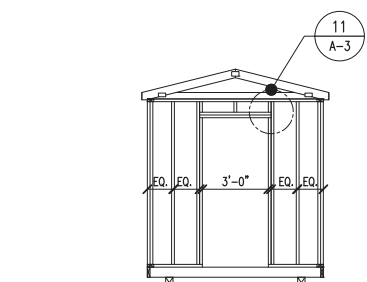
8 SIDEWALL ELEVATION
SCALE: 1/4"=1'-0"



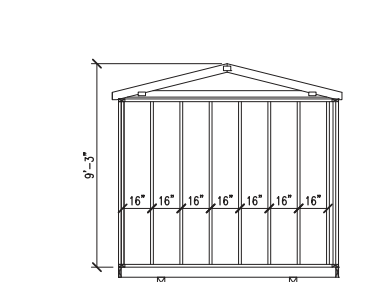
9 8'-0" WIDE ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



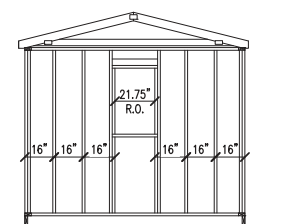
10 8'-0" WIDE w/ WINDOW ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



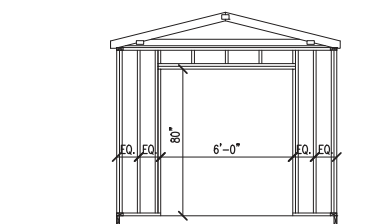
11 8'-0" WIDE w/ DOOR ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



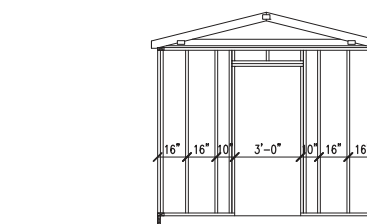
12 10'-0" WIDE ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



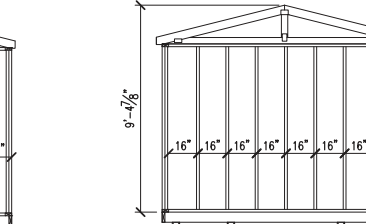
13 10'-0" WIDE w/ WINDOW ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



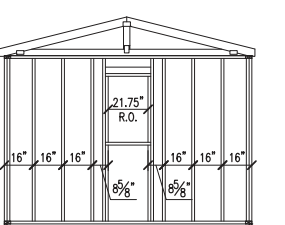
14 10'-0" WIDE w/ DOOR ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



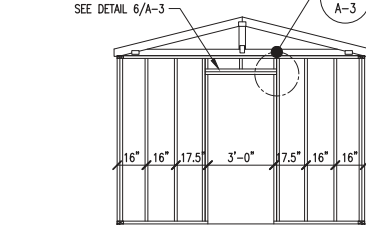
15 10'-0" WIDE w/ DOOR ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



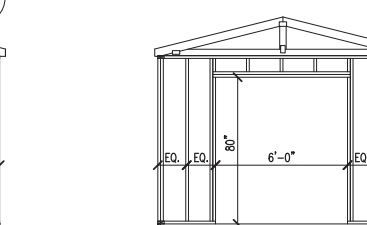
16 11'-2" WIDE ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



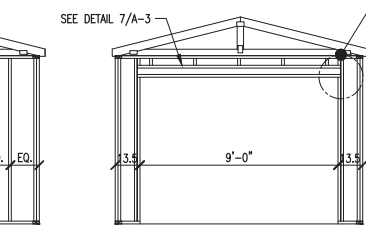
17 11'-2" WIDE w/ WINDOW ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



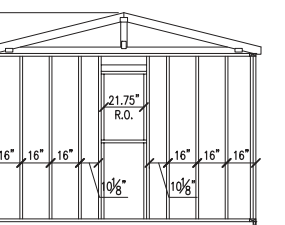
18 11'-2" WIDE w/ DOOR ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



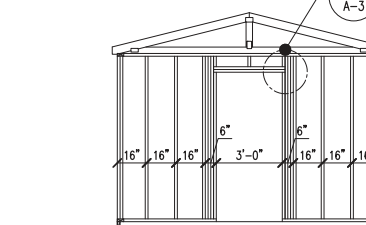
19 11'-2" WIDE w/ DOOR ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



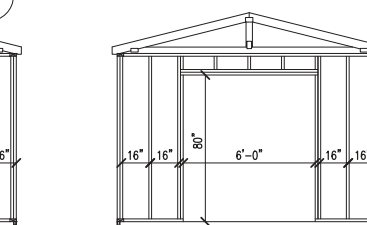
20 11'-2" WIDE w/ DOOR ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



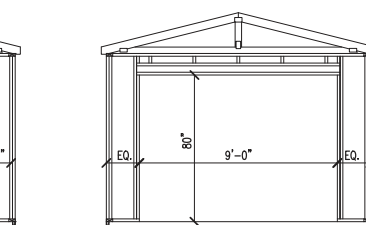
21 12'-0" WIDE w/ WINDOW ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



22 12'-0" WIDE w/ DOOR ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



23 12'-0" WIDE w/ DOOR ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



24 12'-0" WIDE w/ DOOR ENDWALL ELEVATION
SCALE: 1/4"=1'-0"

AREA FOR APPROVAL STAMPS

INSPECTED BY (Architectural Testing)
This document meets or exceeds the
Requirements of the State of Florida
Manufactured Building Rules & Regulations
2022 CBC with the Latest Supplements
Consult: Type: 1B
Occupancy: 1B
Allowed Floor: 1
Fire Rating: 1hr, Walls: 0 hr,
Wind Velocity: 170 mph
Plan: 8, Section: 100, 12
Floor Load: 125 psf
Approval Date: 2023-12-29
Ryan Kowalski

MONTEZUMA SHOP
241 HAMILTON ROAD
MONTEZUMA, GA 31063

PROJECT:
DELUXE UTILITY SHED

FLOOR DECK FRAMING PLANS & DETAILS

DON VAN GERVE, P.E.
SPECIALTY STRUCTURAL ENGINEER

ADS ALTERNATE DESIGN SOLUTIONS
STRUCTURAL ENGINEERING DESIGN & CONSTRUCTION SERVICES
PHONE: 215.355.4884
WWW.ALTERNATEDESIGNSOLUTIONS.COM

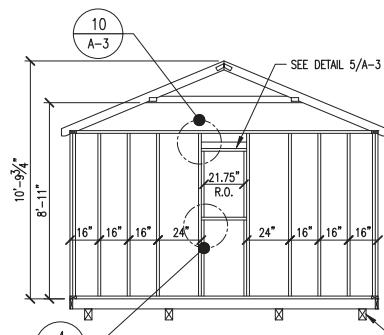
ENGINEERING SERVICES PROVIDED FOR:
PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
WWW.PREMIERBUILDINGS.US

REVISION	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			

DATE: 11.13.23
PROJECT NO.: 20205
DRAWING BY: JH
CHK BY: DVG
DWG NO.:

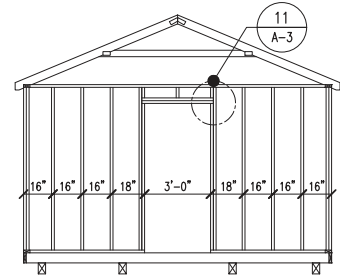
A-1





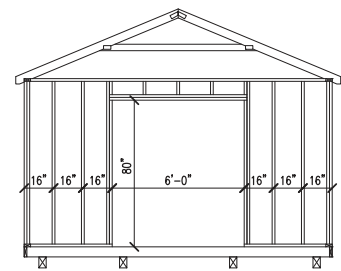
14'-0" WIDE w/ WINDOW
ENDWALL ELEVATION

SCALE: 1/4"=1'-0"



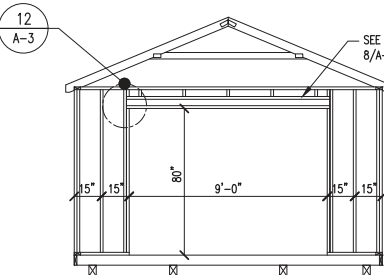
14'-0" WIDE w/ DOOR
ENDWALL ELEVATION

SCALE: 1/4"=1'-0"



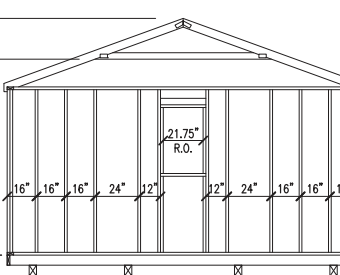
14'-0" WIDE w/ DOOR
ENDWALL ELEVATION

SCALE: 1/4"=1'-0"



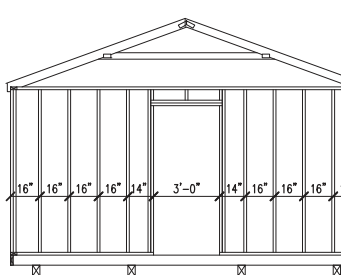
14'-0" WIDE w/ DOOR
ENDWALL ELEVATION

SCALE: 1/4"=1'-0"



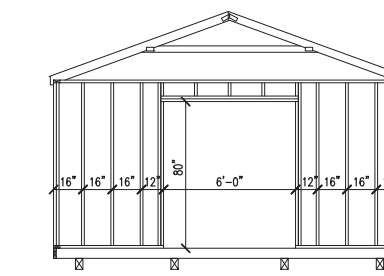
16'-0" WIDE w/ WINDOW
ENDWALL ELEVATION

SCALE: 1/4"=1'-0"



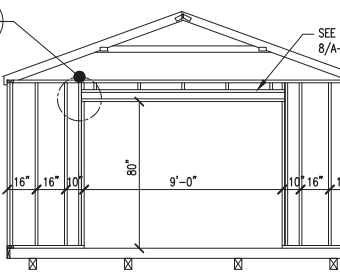
16'-0" WIDE w/ DOOR
ENDWALL ELEVATION

SCALE: 1/4"=1'-0"



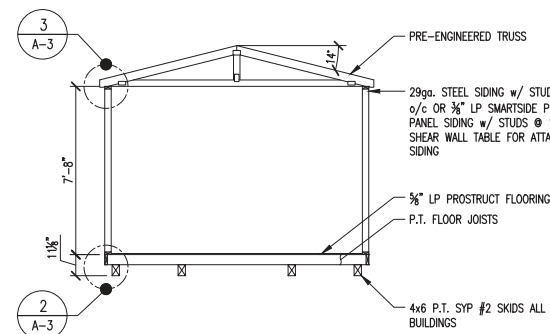
16'-0" WIDE w/ DOOR
ENDWALL ELEVATION

SCALE: 1/4"=1'-0"



16'-0" WIDE w/ DOOR
ENDWALL ELEVATION

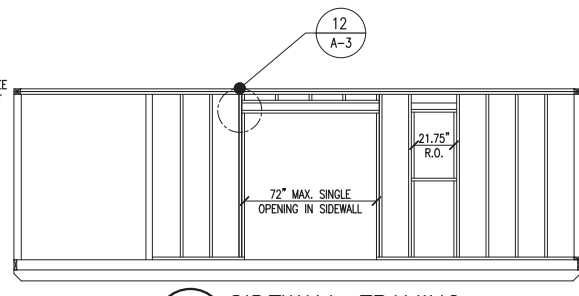
SCALE: 1/4"=1'-0"



SECTION

SCALE: 1/4"=1'-0"

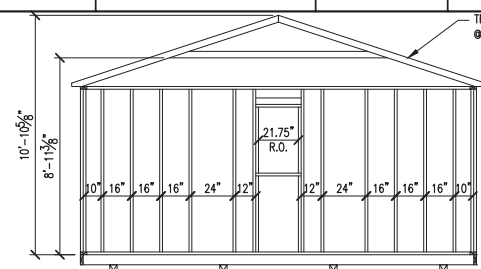
- NOTES:
- SEE NOTES ON SHEETS A-1 & A-2 FOR ANY INFORMATION NOT SHOWN.
 - SEE FASTENING SCHEDULE FOR ALL FASTENING NOT NOTED ON THIS SHEET.



SIDEWALL FRAMING

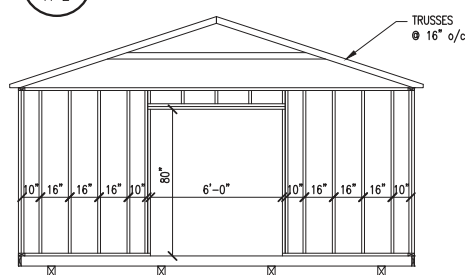
SCALE: 1/4"=1'-0"

- NOTES:
- MAX. OPENING MAY BE INCREASED TO 9'-0" WITH HEADER 8/A-11 PROVIDED THE BUILDING LENGTH IS OVER 16' IN LENGTH AND THE CRITERIA IN NOTE NUMBER 3 OF THE SHEARWALL CHART IS MET.



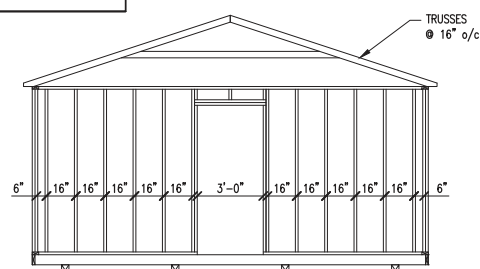
18'-0" WIDE w/ WINDOW
ENDWALL ELEVATION

SCALE: 1/4"=1'-0"



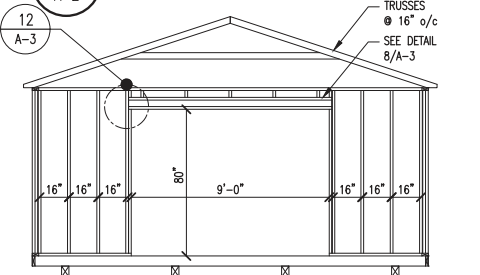
18'-0" WIDE w/ DOOR
ENDWALL ELEVATION

SCALE: 1/4"=1'-0"



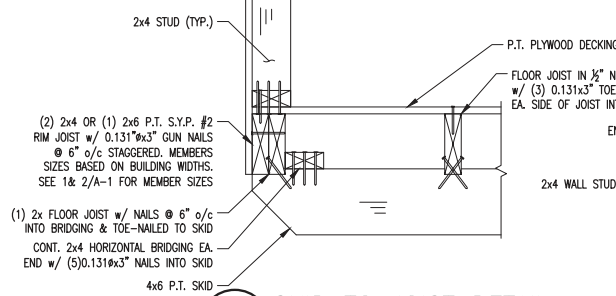
18'-0" WIDE w/ DOOR
ENDWALL ELEVATION

SCALE: 1/4"=1'-0"



18'-0" WIDE w/ DOOR
ENDWALL ELEVATION

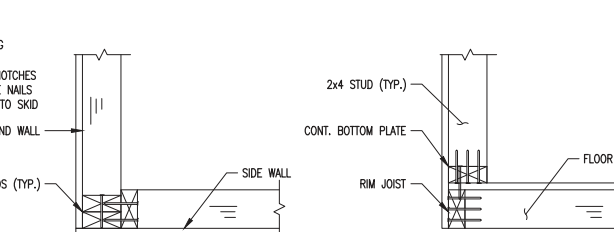
SCALE: 1/4"=1'-0"



SKID TO JOIST DETAIL

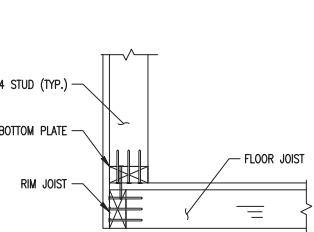
SCALE: 1'-1/2"=1'-0"

- NOTES:
- SEE NOTES ON SHEETS A-1 & A-2 FOR ANY INFORMATION NOT SHOWN HERE.
 - SEE FASTENING SCHEDULE FOR ALL FASTENING NOT NOTED ON THIS SHEET.



CORNER CONNECTION DETAIL

SCALE: 1'-1/2"=1'-0"



WALL TO RIM JOIST

SCALE: 1'-1/2"=1'-0"

BUILDING WIDTH	OPENING WIDTHS IN ENDWALL	MAX. LENGTH OF BUILDING		
		19 3/32" T1-11 ¹	3/8" LP SMARTSIDE PANEL ²	ALUMINUM OVER 1/8" OSB ⁴
8'-0"	3'-0" MAX.	24'-0"	20'-0"	24'-0"
10'-0"	3'-0" MAX. 6'-0"	30'-0"	30'-0" 16'-0"	30'-0"
11'-2"	3'-0" MAX. 6'-0" 9'-0"	32'-0" 20'-0"	32'-0" 22'-0" 8'-0"	32'-0" 18'-0"
12'-0"	3'-0" MAX. 6'-0" 9'-0"	36'-0" 28'-0"	36'-0" 12'-0" 24'-0"	36'-0" 24'-0"
14'-0"	3'-0" MAX. 6'-0" 9'-0"	40'-0"	40'-0" 34'-0" 20'-0"	40'-0"
16'-0"	6'-0" MAX. 9'-0"	40'-0"	40'-0" 30'-0"	40'-0"

- 19 3/32" T1-11 SHALL BE FASTENED USING 8d COMMON OR DEFORMED NAILS @ 6" o/c IN FIELD AND 3" o/c ALONG ALL PANEL EDGES.
- 3/8" LP SMARTSIDE PANEL SHALL BE FASTENED USING 8d COMMON OR DEFORMED NAILS @ 6" o/c IN FIELD AND 3" o/c ALONG ALL PANEL EDGES.
- LIMITATIONS ON THE TOTAL OPENING DIMENSIONS SHALL BE BASED ON THE SHEAR WALL HEIGHT TO WIDTH RATION OF 3.5:1 AND SHALL NOT EXCEED (2/3) OF TOTAL LENGTH OF BUILDING. NAILING IN SIDEWALL USE 8d NAILS COMMON OR DEFORMED AT 6" EVERYWHERE WHEN TOTAL OPENING WIDTHS IN SIDE WALL ARE LESS THAN (2/3) OF TOTAL LENGTH OF BUILDING.
- 29ga. STEEL SIDING OVER 1/8" OSB FASTENED USING 8d COMMON OR DEFORMED NAILS @ 6" o/c IN FIELD AND 3" o/c ALONG ALL PANEL EDGES.

AREA FOR APPROVAL STAMPS



MONTEZUMA SHOP
241 HAMILTON ROAD
MONTEZUMA, GA 31063

PROJECT:
DELUXE UTILITY SHED

SECTIONS & DETAILS

DON VAN GERVE, P.E.
SPECIALTY STRUCTURAL ENGINEER



ENGINEERING SERVICES PROVIDED FOR:
PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
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REVISION	DESCRIPTION	DATE	BY
1			
2			
3			
4			

DATE: 11.13.23
PROJECT NO.: 20205
DRAWING BY: JH
CHK BY: DVG
DWG NO.:

A-2





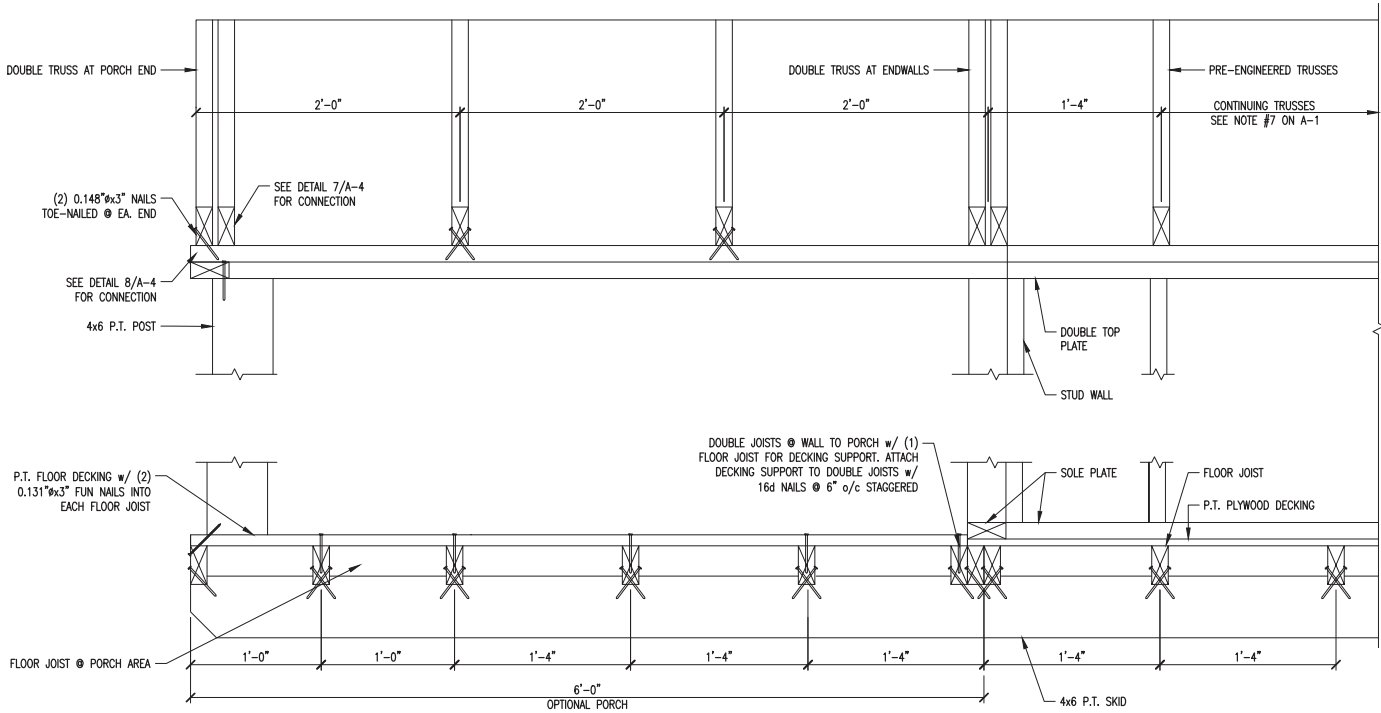
MONTEZUMA SHOP
241 HAMILTON ROAD
MONTEZUMA, GA 31063

TYPICAL DETAILS 9

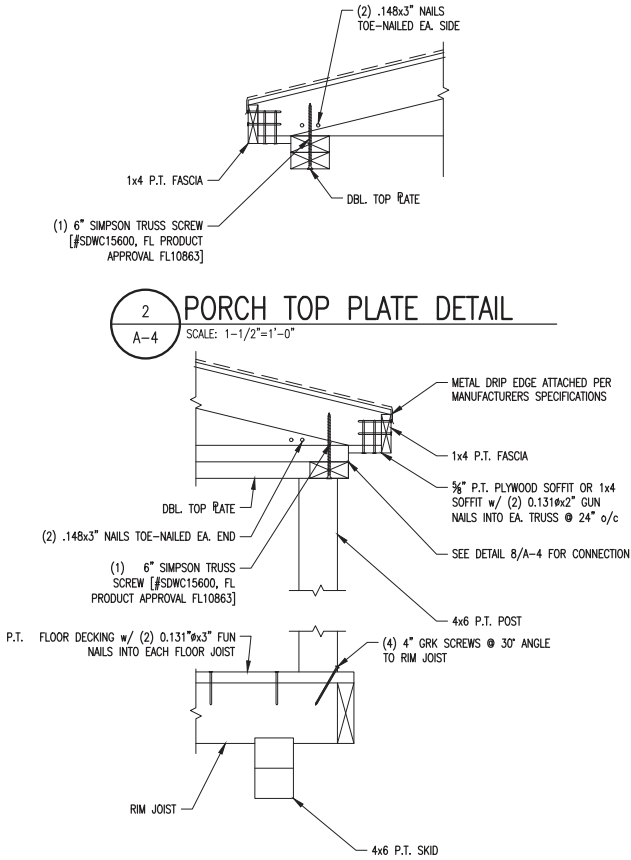
 **ALTERNATE DESIGN SOLUTIONS**
STRUCTURAL ENGINEERING DESIGN & CONSTRUCTION SERVICES
PHONE: 215.355.4684
WWW.ALTERNATEDESIGNSOLUTIONS.COM

REVISION	DESCRIPTION	DATE	BY
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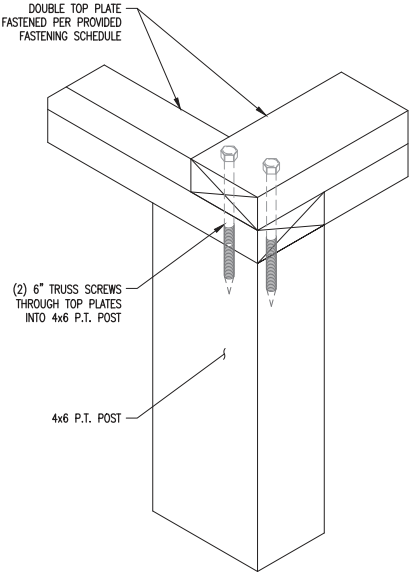
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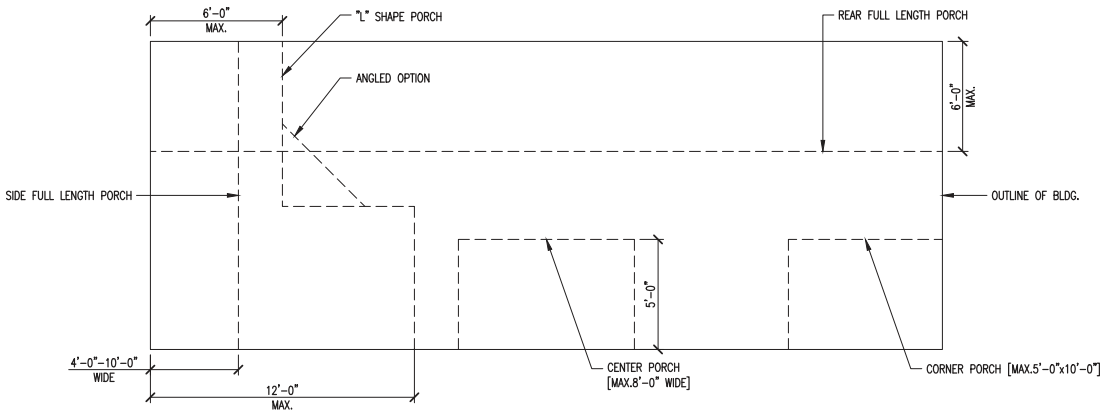
1
A-4
PORCH SECTION DETAIL
SCALE: 1-1/2"=1'-0"



2
A-4
PORCH TOP PLATE DETAIL
SCALE: 1-1/2"=1'-0"



4
A-4
PORCH POST TO TOP PLATE DETAIL
SCALE: N.T.S.



5
A-4
BUILDING PORCH OPTIONS
SCALE: 1/4"=1'-0" (DO NOT SCALE DRAWING)

AREA FOR APPROVAL STAMPS



MONTEZUMA SHOP
241 HAMILTON ROAD
MONTEZUMA, GA 31063

PROJECT:
DELUXE UTILITY SHED

PORCH SECTIONS & DETAILS

DON VAN GERVE, P.E.
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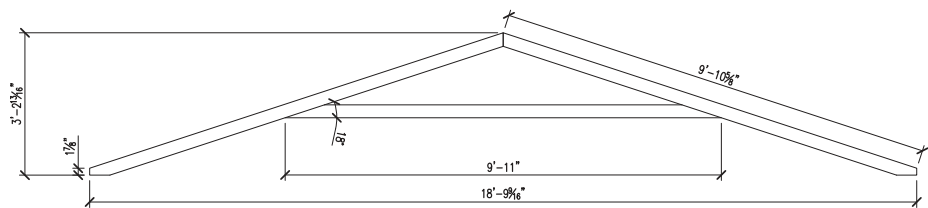
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SOUTH FULTON, TN 38257
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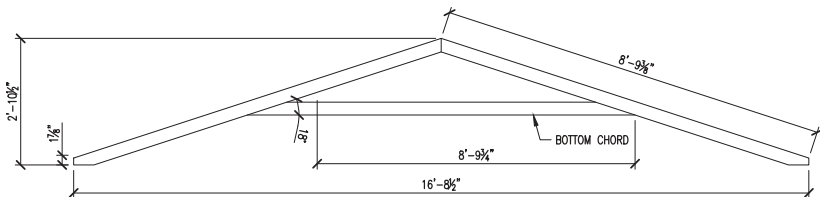
DATE: 11.13.23
PROJECT NO.: 20205
DRAWING BY: JH
CHK BY: DVG
DWG NO.:

A-4

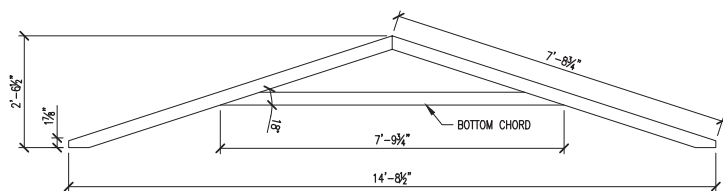




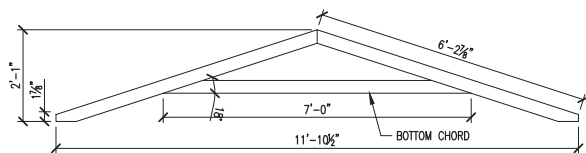
18' UTILITY TRUSS



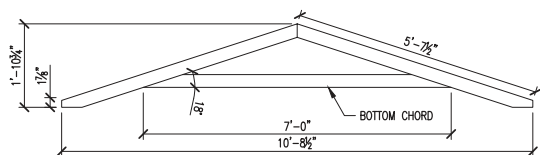
16' UTILITY TRUSS



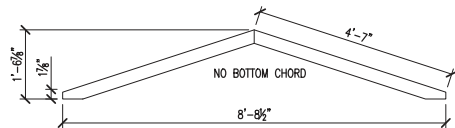
14' UTILITY TRUSS



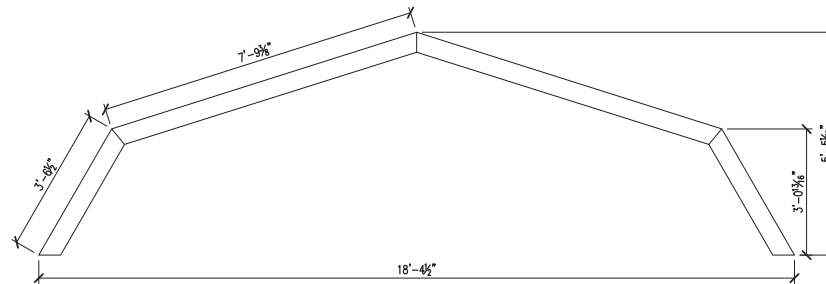
12' UTILITY TRUSS



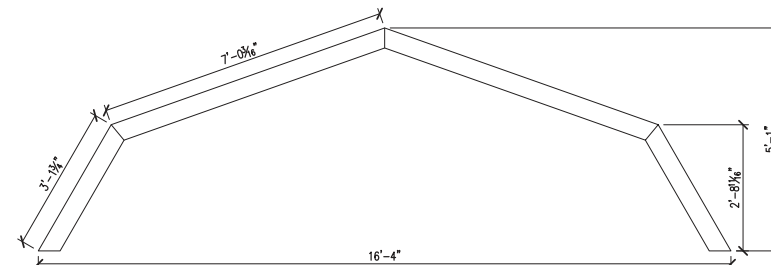
10' UTILITY TRUSS



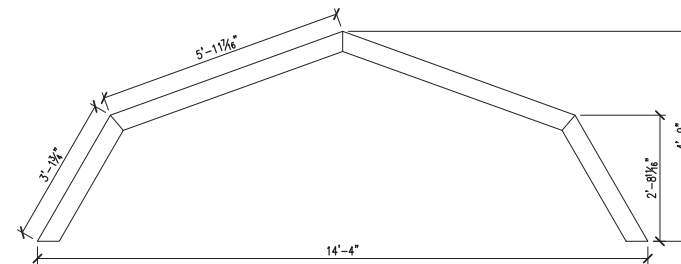
8' UTILITY TRUSS



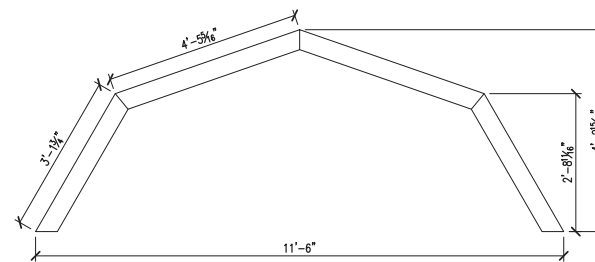
18' LOFTED TRUSS



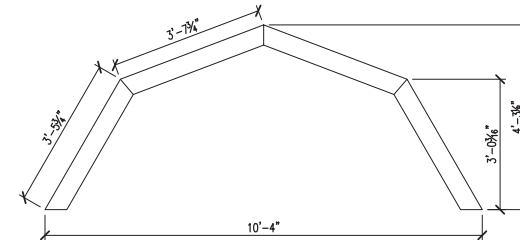
16' LOFTED TRUSS



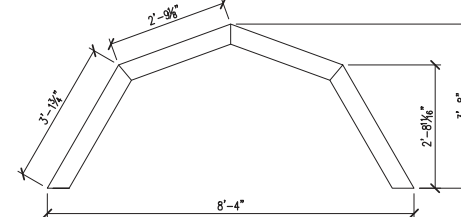
14' LOFTED TRUSS



12' LOFTED TRUSS



10' LOFTED TRUSS



8' LOFTED TRUSS

TRUSS DESIGN: LRFD max Wind ASCE 7-16
figure 28.5-1 61.7 psf uplift (180 mph wind);

Utility: Lmax=5.25 ft. 2x4@24"; w=123.4 plf
M=wL^2/8x12=5102in-lb; S=3.06in^3; fb=1667 psi
Fb(LRFD)=3000psi - this value to be met by lumber.

Lofted: Lmax=7.76ft; 18' truss @ 16" o/c; w=82plf;
M=7412in-k; fb=2422psi < 3000 psi LRFD.

Wall Calcs: 5/8" LP nailed 6 edges 10 interior, 2x4x7ft @ 16" o/c;
Pressure=.85(.57 exp B)(.00256)(180^2)=40psf.

add 18% interior gust factor = 48 psf (LRFD).
i=18.74in^4 per 16"; S=6.03 in^3.

convert to ASD with 0.6 factor:
M=(48)(1.33)(.6)(7^2)/8(12in/ft)=2815in-lbs;
fb=467psi<1000psi OK

AREA FOR APPROVAL STAMPS


This document meets or exceeds the
Requirements of the State of Florida
Manufactured Building Rules & Regulations
2022 CBC with the Latest Supplements
Const. Type: UB
Occupancy: R
Allowed Floors: 1
Fire Rating Req. Walls: 0 hrs.
Wind Velocity: 170 mph
Plan # Details: 129
Floor Load: 125 psf
Approval Date: 2023-12-29
Ryan Kowales
Ryan Kowales

MONTEZUMA SHOP
241 HAMILTON ROAD
MONTEZUMA, GA 31063

PROJECT:
DELUXE UTILITY SHED

BATHROOM PLANS

DON VAN GERVE, P.E.
SPECIALTY STRUCTURAL ENGINEER

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A-5

