



ENGINEERING • INSPECTIONS
CERTIFICATIONS • TESTING

November 2, 2018

Palm Harbor Homes
605 South Frontage Road
Plant City, FL 33563




RE: Manufacturer: Palm Harbor Homes
S/N Size & Occupancy: 340TL30703AM, 30'-0" x 70'-0", SFD
HWC Plan #: 3R 2102-1148F

To Whom It May Concern:

This is to certify that the plans for the referenced manufactured building have been reviewed and approved as being in compliance with the 2017 Florida Codes and Standards, as noted on the approved drawings, subject to the following limitations:

1. Approval covers factory-built structure only. (Note: Any alterations to factory built structure on site voids state approval)
2. Items installed at the site are subject to review, approval, and inspection by the local authority having jurisdiction.
3. The Chapter 633 Plan Review and Inspection shall be conducted by the local fire safety inspector.
4. Signed and sealed plans shall be on file with HWC Engineering.
5. NOT approved for High Velocity Hurricane Zone (i.e. Broward and Dade Counties)

Sincerely,
HILBORN, WERNER, CARTER & ASSOCIATES, INC.

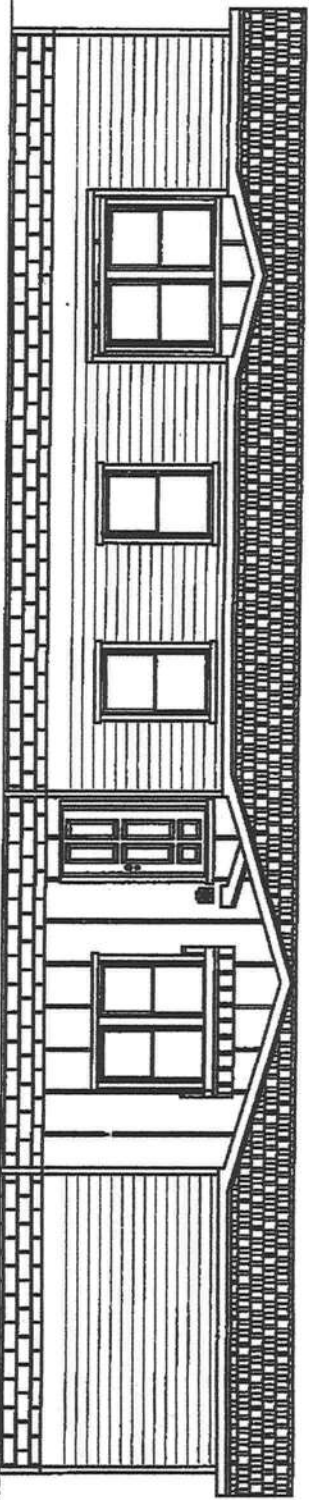

Plan Reviewer

HILBORN, WERNER, CARTER AND ASSOCIATES, INC.
1827 SOUTH MYRTLE AVENUE CLEARWATER, FLORIDA 33756
(727) 586-3343 / (727) 584-8151
FAX: (727) 586-3343 / (727) 585-2392 / (727) 587-0447
Manufacturer Office Inspection

Model #:340TL30703AM

Sales Name:PELICAN BAY

| DISCIPLINE DESIGNATOR | | | SHEET TYPE DESIGNATORS | | |
|-----------------------|--------------------|---|--------------------------|---|---------------------------------------|
| A | ARCHITECTURAL | D | OPERATIONS | 0 | GENERAL |
| B | GEOTECHNICAL | P | PLUMBING | 1 | PLANS |
| C | CIVIL | Q | EQUIPMENT | 2 | ELEVATIONS |
| D | PROCESS | R | RESOURCE | 3 | SECTIONS |
| E | ELECTRICAL | S | STRUCTURAL | 4 | LARGE-SCALE VIEWS |
| F | FIRE PROTECTION | T | TELECOMMUNICATIONS | 5 | DETAILS |
| G | GENERAL | U | USER DEFINED | 6 | SCHEDULES & DIAGRAMS |
| H | HAZARDOUS MATERIAL | V | SURVEY / MAPPING | 7 | USER DEFINED |
| I | INTERIORS | X | OTHER DISCIPLINES | 8 | USER DEFINED |
| L | LANDSCAPE | Z | CONTRACTOR / SHOP PRINTS | 9 | 3D REPRESENTATION |
| M | MECHANICAL | | | | ISOMETRICS, PERSPECTIVES, PHOTOGRAPHS |



Plan No. 3R-2102-1148F
Approved By SCOTT S. FRANCIS

Modular Building Plans Examiner
Florida License No. SGP-42

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| | | | |
|---|-------------------------------|----------------|---------------------------------|
| Sheet Title: TITLE SHEET | Sheet Number: G0.01 | Sheet 1 of 1 | Plan #: 3R-2102-1148F |
| Drawing Information | | | |
| Model Number: 340TL30683AM | | | |
| Sales Name: PELICAN BAY | | | |
| Series: TIMBERLAND | | | |
| Drawn by: GRS/BB | | Date: 01/21/17 | |
| Serial #: | | | |
| Customer: | | | |
| Bill Party: | | | |
| Hilborn, Werner, Carter and Associates (HWC) | | | |
| 1627 South Myrtle Ave | | | |
| Clearwater, FL 33756 | | | |
| Scale: | | | |
| LISTING AGENCY APPROVAL | | | |
| These plans comply with the Florida Building Code and all other applicable codes and are subject to the following conditions: | | | |
| COUNT. TYPE | YB | YB | YB |
| OCCUPANCY | R3 | R3 | R3 |
| ALLOWABLE NO. OF FLOORS | 1 | 1 | 1 |
| WIND VELOCITY (150 MPH SFC) | 0 | 0 | 0 |
| FIRE RATING OF EXT. WALLS | 0 | 0 | 0 |
| ALLOW. FLOOR LOAD | 36.2102-1148F | 36.2102-1148F | 36.2102-1148F |
| APPROVAL DATE | 11-2-18 | 11-2-18 | 11-2-18 |
| MANUFACTURER | BBH | BBH | BBH |
| HIGH VELOCITY HURRICANE ZONE | NO | NO | NO |
| MAR 28 1 | | | |

* Site specific engineered foundation plans
F1 + S-1

FLORIDA
STRUCTURAL LOAD LIMITATIONS:

1. FLOOR LIVE LOAD = 40 PSF
2. ROOF LIVE LOAD = 20 PSF
3. WIND LOAD: 160 mph (140 mph) WIND SPEED (3 sec gusts) (Refer to floor plan)
4. BUILDING IS RISK CATEGORY II.
5. WIND EXPOSURE CATEGORY "D".
6. GCFI = 0.18 INTERNAL PRESSURE COEFFICIENT (EXPOSED)
7. D.W.P. FOR C/C PSF
8. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.
9. FLOOD LOAD: THIS BUILDING MAY BE LOCATED IN A FLOOD HAZARD AREA PROVIDED NO MODULAR PORTION OF THE BUILDING IS LOCATED BELOW A BASE FLOOD ELEVATION.

NOTE:
NON-ELEVATED SET - 20'-0" MAX
ELEVATED SET - 30'-0" MAX

ASCE 7-10

| Design Wind Pressures for CAC (PSF) | | | |
|-------------------------------------|----------|----------|----------|
| Wind speed | Elevated | Elevated | Elevated |
| Zone 1 | -150 | -160 | -170 |
| Zone 2 | -135 | -145 | -155 |
| Zone 3 | -120 | -130 | -140 |
| Zone 4 | -105 | -115 | -125 |
| Zone 5 | -90 | -100 | -110 |
| Zone 6 | -75 | -85 | -95 |
| Zone 7 | -60 | -70 | -80 |
| Zone 8 | -45 | -55 | -65 |
| Zone 9 | -30 | -40 | -50 |
| Zone 10 | -15 | -25 | -35 |
| Zone 11 | 0 | 10 | 20 |
| Zone 12 | 15 | 25 | 35 |
| Zone 13 | 30 | 40 | 50 |
| Zone 14 | 45 | 55 | 65 |
| Zone 15 | 60 | 70 | 80 |
| Zone 16 | 75 | 85 | 95 |
| Zone 17 | 90 | 100 | 110 |
| Zone 18 | 105 | 115 | 125 |
| Zone 19 | 120 | 130 | 140 |
| Zone 20 | 135 | 145 | 155 |
| Zone 21 | 150 | 160 | 170 |
| Zone 22 | 165 | 175 | 185 |
| Zone 23 | 180 | 190 | 200 |
| Zone 24 | 195 | 205 | 215 |
| Zone 25 | 210 | 220 | 230 |
| Zone 26 | 225 | 235 | 245 |
| Zone 27 | 240 | 250 | 260 |
| Zone 28 | 255 | 265 | 275 |
| Zone 29 | 270 | 280 | 290 |
| Zone 30 | 285 | 295 | 305 |
| Zone 31 | 300 | 310 | 320 |
| Zone 32 | 315 | 325 | 335 |
| Zone 33 | 330 | 340 | 350 |
| Zone 34 | 345 | 355 | 365 |
| Zone 35 | 360 | 370 | 380 |
| Zone 36 | 375 | 385 | 395 |
| Zone 37 | 390 | 400 | 410 |
| Zone 38 | 405 | 415 | 425 |
| Zone 39 | 420 | 430 | 440 |
| Zone 40 | 435 | 445 | 455 |
| Zone 41 | 450 | 460 | 470 |
| Zone 42 | 465 | 475 | 485 |
| Zone 43 | 480 | 490 | 500 |
| Zone 44 | 495 | 505 | 515 |
| Zone 45 | 510 | 520 | 530 |
| Zone 46 | 525 | 535 | 545 |
| Zone 47 | 540 | 550 | 560 |
| Zone 48 | 555 | 565 | 575 |
| Zone 49 | 570 | 580 | 590 |
| Zone 50 | 585 | 595 | 605 |
| Zone 51 | 600 | 610 | 620 |
| Zone 52 | 615 | 625 | 635 |
| Zone 53 | 630 | 640 | 650 |
| Zone 54 | 645 | 655 | 665 |
| Zone 55 | 660 | 670 | 680 |
| Zone 56 | 675 | 685 | 695 |
| Zone 57 | 690 | 700 | 710 |
| Zone 58 | 705 | 715 | 725 |
| Zone 59 | 720 | 730 | 740 |
| Zone 60 | 735 | 745 | 755 |
| Zone 61 | 750 | 760 | 770 |
| Zone 62 | 765 | 775 | 785 |
| Zone 63 | 780 | 790 | 800 |
| Zone 64 | 795 | 805 | 815 |
| Zone 65 | 810 | 820 | 830 |
| Zone 66 | 825 | 835 | 845 |
| Zone 67 | 840 | 850 | 860 |
| Zone 68 | 855 | 865 | 875 |
| Zone 69 | 870 | 880 | 890 |
| Zone 70 | 885 | 895 | 905 |
| Zone 71 | 900 | 910 | 920 |
| Zone 72 | 915 | 925 | 935 |
| Zone 73 | 930 | 940 | 950 |
| Zone 74 | 945 | 955 | 965 |
| Zone 75 | 960 | 970 | 980 |
| Zone 76 | 975 | 985 | 995 |
| Zone 77 | 990 | 1000 | 1010 |
| Zone 78 | 1005 | 1015 | 1025 |
| Zone 79 | 1020 | 1030 | 1040 |
| Zone 80 | 1035 | 1045 | 1055 |
| Zone 81 | 1050 | 1060 | 1070 |
| Zone 82 | 1065 | 1075 | 1085 |
| Zone 83 | 1080 | 1090 | 1100 |
| Zone 84 | 1095 | 1105 | 1115 |
| Zone 85 | 1110 | 1120 | 1130 |
| Zone 86 | 1125 | 1135 | 1145 |
| Zone 87 | 1140 | 1150 | 1160 |
| Zone 88 | 1155 | 1165 | 1175 |
| Zone 89 | 1170 | 1180 | 1190 |
| Zone 90 | 1185 | 1195 | 1205 |
| Zone 91 | 1200 | 1210 | 1220 |
| Zone 92 | 1215 | 1225 | 1235 |
| Zone 93 | 1230 | 1240 | 1250 |
| Zone 94 | 1245 | 1255 | 1265 |
| Zone 95 | 1260 | 1270 | 1280 |
| Zone 96 | 1275 | 1285 | 1295 |
| Zone 97 | 1290 | 1300 | 1310 |
| Zone 98 | 1305 | 1315 | 1325 |
| Zone 99 | 1320 | 1330 | 1340 |
| Zone 100 | 1335 | 1345 | 1355 |

General Notes - FBC 6th Edition (2017) RESIDENTIAL

1. Designs per the Florida Building Code in effect at time of production.
 2. Reserved
 3. Reserved
 4. Occupancy is Residential (RD)
 5. Construction is Type V-B.
 6. Occupant load is based upon one person for each 200 sq. ft. of floor area.
 7. Floor Live Load = 40 psf.
 8. Roof Live Load = 20 psf.
 9. Wind speed - See details in this approved package for specifics.
 10. All materials covered by the Florida Building Commission chapter 61-020-3.006 rules shall have current Florida Product Approval.
 11. 75% of all permanently installed lighting fixtures shall have high efficacy lamps.
 12. Unless specifically noted on the approved plans and details, this building is NOT designed (nor intended) to be located in "High Velocity Hurricane Zones" (Dade and Broward Counties).
- It is the responsibility of the contractor and/or retailer to verify that each home is installed in the region for which it has been designed and constructed and that NO home is installed into "High Velocity Hurricane Zones" (Dade or Broward County). This modular building may be sited in "Regulatory Flood Plain Areas" and/or "V-Zone Areas" only when the foundation has been designed, engineered and constructed to comply with the Florida Building Code governing those specific zones, areas or regions. No part of the modular building may be placed below base flood elevation. Palm Harbor Homes and its third party approval agency(ies), along with the architect and/or the engineer of the building plans, shall not be held responsible or liable, if a contractor and/or retailer installs a home into a region for which it has not been designed and/or constructed. The contractor and/or retailer shall bear sole responsibility.
15. Data plots, state labels shall be located on the inside cover of or near the electrical panel.
 16. Rated seal gaskets are on file in the office of HNC, Inc.
 17. Plan review and inspection required by Chapter 633 F.S. to be handled by local fire inspector.
 18. This building is designed for a permanent foundation and is NOT intended to be moved once so installed.
 19. These plans may be mirrored or flipped about any axis without reapproval.

Mechanical Notes - FBC 6th Edition (2017) RESIDENTIAL

1. All supply air registers are adjustable, except where otherwise specified on the plans.
2. Whole house ventilation will be supplied based on FBC 630.4 & 630.7.3
3. Return vent fans shall provide 50 cfm minimum of ventilation.
4. Vent fans shall be ducted to the exterior of home.
5. Reserved
6. All duct and duct system components installed in the attic area with insulation are a minimum R-value of R-6.0 (based on simulated performance method of compliance).
7. All duct and duct system components installed on the exterior of the building (including the roof space below), shall have a minimum R-value of R-6.0. NOT: this building is located in a jurisdiction that has adopted the Uniform Mechanical Code, ASHRAE 90.1-2010, then all ducts and plenums shall be located in the roof space.

Attention Local Building Inspections Department:

The following items have not been completed by the manufacturer, have not been inspected by HNC and are not certified by the State of Florida, Department of Business and Professional Regulations Inspectors (label). Note: This list does not necessarily limit the items, work and/or materials that may be required for a complete installation. ALL SITE INSTALLED ITEMS ARE SUBJECT TO APPROVAL BY THE LOCAL JURISDICTION HAVING AUTHORITY. Code compliance for those site installed items shall be determined at the local level and are the responsibility of the licensed contractor installing the building and NOT Palm Harbor Homes.

Plumbing Systems - FBC 6th Edition (2017) RESIDENTIAL

1. All systems shall be constructed with the materials listed in FBC, Residential - Plumbing with materials listed in chapters 25 through 33.
2. DWV systems may be ABS OR PVC piping.
3. Tub access provided under home, unless otherwise noted.
4. Building drain and clean-outs, when designed and site installed by others, are subject to local jurisdiction approval.
5. Water heater shall have a safety pan with 3/4 inch minimum drain to the exterior.
6. Water heater 1 & P relief valve to drain to exterior.
7. Thermal Expansion device, if required by water heater installation instructions, and if NOT shown on the approved plumbing plan, shall be designed and installed on-site, by others and is subject to local approval.
8. All plumbing fixtures to have separate shut-off valves.
9. Shutoff valve to be installed within three feet of the fresh water inlet to the home (site installed, by others).
10. Water supply pipes installed in a wall exposed to the exterior shall be located on the heated side of the wall insulation. Water lines located in unconditioned spaces to be insulated with minimum R-6.5 insulation.
11. Water supply lines shall be PEX, polybutylene, CPVC or copper.
12. All supply crossover piping to be connected on-site by others.
13. Shower stalls shall be covered with a non-slip material to a height of 70 inches above finished floor (may be on-site).
14. Showers shall be controlled by an approved mixing valve with a maximum outlet temperature of 120° F (49° C).
15. All on-site plumbing shall be installed by a licensed plumbing contractor. ALL on-site plumbing is subject to inspection and approval by the local authority having jurisdiction.
16. Water hammer arrestors are required when flow velocity will cause water hammer.
17. Provide heat traps if required per FLOIDA ENERGY CODE 403.5.5

Site Installed Items:

- (This list contains examples and shall not be considered all inclusive)
1. The complete foundation and tie-down systems.
 2. Ramps, stairs and general access to the building.
 3. Building drains, clean-outs and hookups to the plumbing system.
 4. Any portable fire extinguisher(s) that may be required.
 5. Electrical service hookup (including feeders) to the building.
 6. The main electrical panel and sub-feeders (multi-section units).
 7. Structural and aesthetic interconnections between modules (multi-section units).
 8. Exterior siding and/or roofing may be installed in the factory or left off to be installed on-site, by others.
 9. Exterior wall finish and soffit materials.
 10. Window protection, storm shutters.
 11. Bottom of floor wind protection (when required).
 12. Crossover duct and connections (HMAC) if multi section only.
 13. HVAC disconnect.
 14. Freepipe chimney.
 15. Gable roof framing, chimney.
 16. HVAC equipment.
 17. Combustion Gas Venting, Combustion Air Intake.
 18. A.A.V. (Air Admittance Valve)
 19. Optional detector is designed and installed on site by others.
 20. Blower door test and whole house ventilation (if required).
- Some of these items may be installed in the factory at the discretion of plant management. If the items are installed and inspected at the production facility, then local approval is not required.
- Site module interconnections
- See NON-INDEXED attached pages:
1. For floor module the structural interconnections see attached page: M.01
 2. For roof module the structural interconnections see attached page: M.02
 3. For roof truss module the structural interconnections see attached page: M.03
 4. For 2-story module interconnections see attached page: M.05 (if applicable)

CODE SUMMARY

STATE: FLORIDA

RESIDENTIAL:

FBC 6th Edition (2017)
RESIDENTIAL

FIRE PREVENTION:
2017 FPPC
6th Edition FL FIRE
PREVENTION

ELECTRICAL:
2014 N.E.C.

MECHANICAL:
FBC 6th Edition (2017)
RESIDENTIAL

FUEL:
FBC 6th Edition (2017)
RESIDENTIAL

PLUMBING:
FBC 6th Edition (2017)
RESIDENTIAL

ENERGY:
FBC 6th Edition (2017)
RESIDENTIAL

ACCESSIBILITY:
FBC 6th Edition (2017)
ACCESSIBILITY

Approximate Square Footage of Building:
(see table on A0.02)

Florida product approvals
are on file with third
party.

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| | | | |
|--|-------------------------------|--------------------------------|---------------------------------|
| Sheet Title: CODE SHEET | Sheet Number: A0.01 | Sheet: 1 of 1 | Plan #: 3R-2102-1148F |
| Drawing Information | | | |
| Model Number: 340TL30883AM | | | |
| Sales Name: PELICAN BAY | | | |
| Series: TIMBERLAND | | | |
| Drawn by: GRS/BB | | | |
| Date: 01/21/17 | | | |
| Serial #: 1 | | | |
| P.E. William H. Robt. Roberts 607 South Alexander Street Suite 201 Plant City, Florida 33563 Plant Information | | | |
| Palm Harbor Homes, Inc. 605 S. Frontage Road Plant City, Florida 33566 | | | |
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General Notes:

- 1. The building may be constructed in an exact mirror image about its axis without any re-approval of the plans (building may be "flipped" side to side and/or front to rear).
- 2. Optional horizon windows may be added at any location without re-approval. The energy calculations shall be revised to include the added horizon windows
- 3. Minimum corridor width is 36".
- 4. All glazing within a 24 inch arc of doors, whose bottom edge is less than 60 inches above the floor, and all glazing in doors shall be tempered or acrylic plastic sheet.
- 5. Shearwalls are designed either worst case or plan specific. When designed to worst case, shearwalls are designed with sidewalls @ 108" height and 6-12 roof pitch. When shearwalls are designed plan specific, see floorplan (typically page A1.01) for sidewall and roof pitch limitations.
- 6. Please refer to the code sheet of this package for additional notes and requirements. See shear wall notes and shearwall tables for shear wall construction requirements.
- 7. Exterior walls are no more than 9'-0" max unless otherwise noted.
- 8. When roof construction is cathedral ceilings, attic access shown on the plans are not required when the dimension between chord members is less than 30".
- 9. When designing your own foundation, add 2" to overall width shown on floor plan per module to accommodate growth from sheathing and strapping.
- 10. Sidewalls are 4" or 6" up to 150 mph (Ult). Sidewalls are 6" for winds above 150 mph (Ult).
- 6. Nationwide homes is a division of Palm Harbor Homes. Any construction in this unit not included in this package must be done in accordance with the Palm Harbor Homes of Florida Manual.
- 7. Unless otherwise indicated on truss design, trusses spaced per chart:

| Wind | Wind (mph) | | TRUSS SPACING | |
|---------|------------|---------|---------------|----------|
| | EXP. C | EXP. D | END ZONE | INT ZONE |
| 120 MPH | 155 MPH | 141 MPH | 24" O.C. | 24" O.C. |
| 130 MPH | 168 MPH | 153 MPH | 16" O.C. | 24" O.C. |
| 140 MPH | 181 MPH | 165 MPH | 16" O.C. | 16" O.C. |
| 150 MPH | 194 MPH | 177 MPH | 12" O.C. | 16" O.C. |
| 175 MPH | 226 MPH | 208 MPH | 12" O.C. | 16" O.C. |



See Page S0.01 for Shear Wall Notes.
See Shearwall Tables on other page in this package.
Indicates Shear Wall Locations.

NOTE: WINDOWS & DOORS MUST BE RATED FOR APPLICABLE WIND PRESSURES PER CHARTS ON CODE SHEET (Typically A0.01)

Kirco / CWS Window Chart

| Size | Square Foot Light | Square Foot Vent |
|------------|-------------------|------------------|
| 20x22 TRAP | 2.5 | 0 |
| 24x36 | 4.3 | 2.15 |
| 24x60 | 7.69 | 3.84 |
| 24x12 | 2.070 | 0.00 |
| 36x60 | 12.20 | 6.14 |
| 36x12 | 2.17 | 0.00 |
| 30x60 | 9.95 | 5.03 |
| 30x36 | 5.55 | 2.76 |
| 30x12 | 1.75 | 0.00 |
| 14x36 | 2.48 | 1.30 |
| 18x40 | 3.54 | 1.86 |
| 30x42 | 6.55 | 0.00 |
| 64x12 | 4.90 | 5.20 |
| 46x12 | 3.28 | 0.00 |
| 48x12 | 3.40 | 0.00 |
| 48x72 | 22.36 | 0.00 |
| 46x36 | 8.96 | 4.21 |
| 54x40 | 12.42 | 6.80 |

Door Chart

| Size | Square Foot Light | Square Foot Vent |
|---------------------|-------------------|------------------|
| 36x80 Atrium | 9.00 | 0.00 |
| 36x80 Door | 4.90 | 0.00 |
| 72x80 S.G.D. | 32.18 | 16.33 |
| 76x80 Dbl French | 8.12 | 0.00 |
| 36x80 Single French | 4.00 | 0.00 |

Building Square Footage Table

| SQUARE FOOTAGE BREAKDOWN FOR PROJECT | | |
|--------------------------------------|----------------|-----------------|
| DESCRIPTION | AREA (Sq. Ft.) | PERIMETER (Ft.) |
| SQUARE FEET A.C. | 2022.50 SF | 198 |
| Total Project | 2022.50 SF | 198 |

Sheet Title: CONSTRUCTION NOTES

Sheet Number: A0.02

Sheet: 1 of 1

Plan #: 3R-2102-1148F

Customer: Hillborn, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave Clearwater, FL 33756

Model Number: 340TL30683AM

Sales Name: PELICAN BAY

Series: TIMBERLAND

Drawn by: GRS/BB

Date: 01/21/17

Serial #: 1

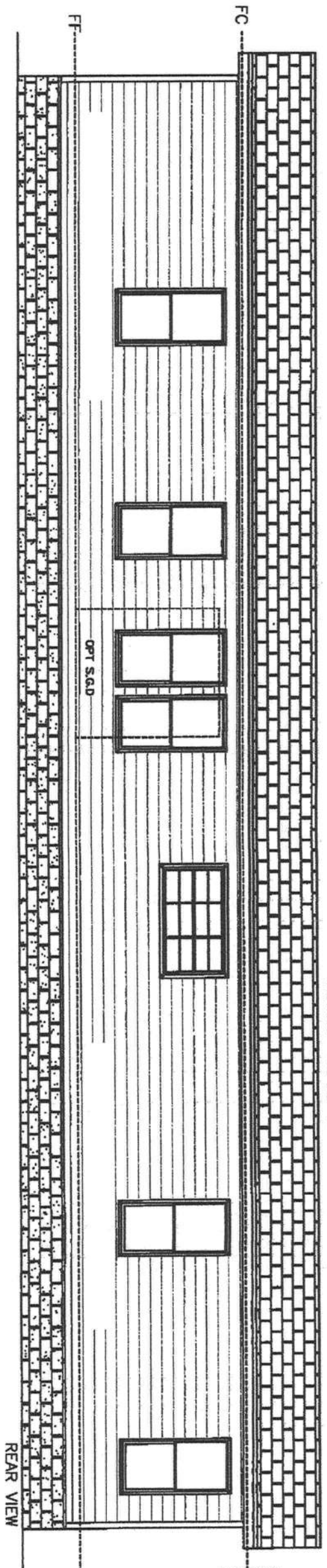
Plant Number: 605

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Walter H. "Rob" Roberts, P.E. 607 South Alexander Street Suite #201 Plant City, Florida 33563 Lic # 427712

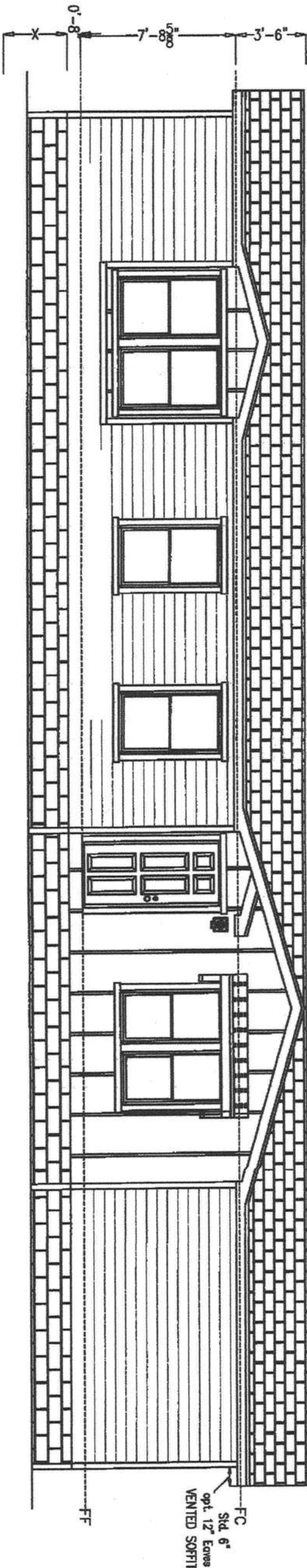
Palm Harbor Homes, Inc. 605 S. Frontage Road Plant City, Florida 33566

VENTED RIDGE TYP.



VENTED RIDGE TYP.

FF = FINISHED FLOOR
FC = FINISHED CEILING
UC = UNIT INTERCONNECTION



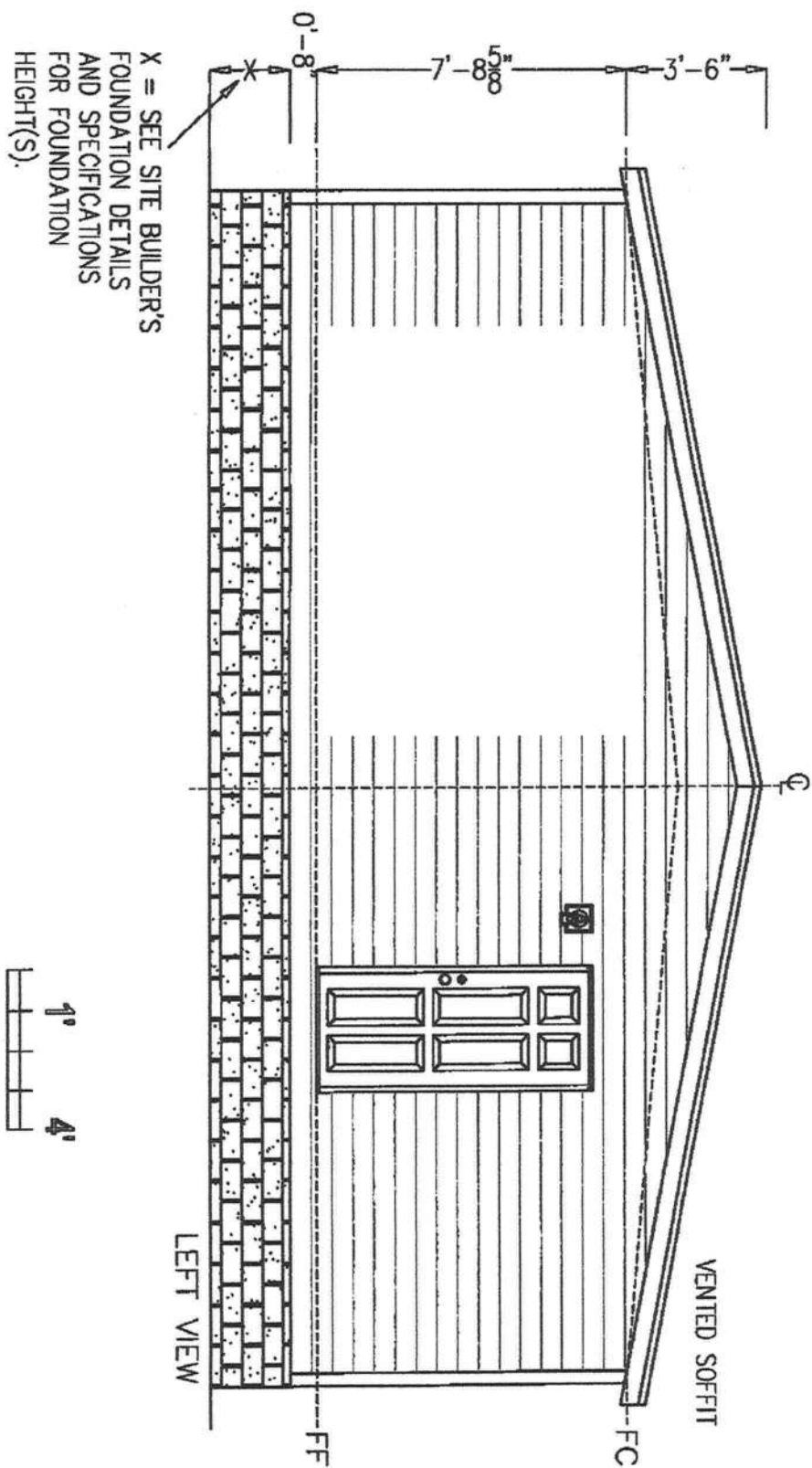
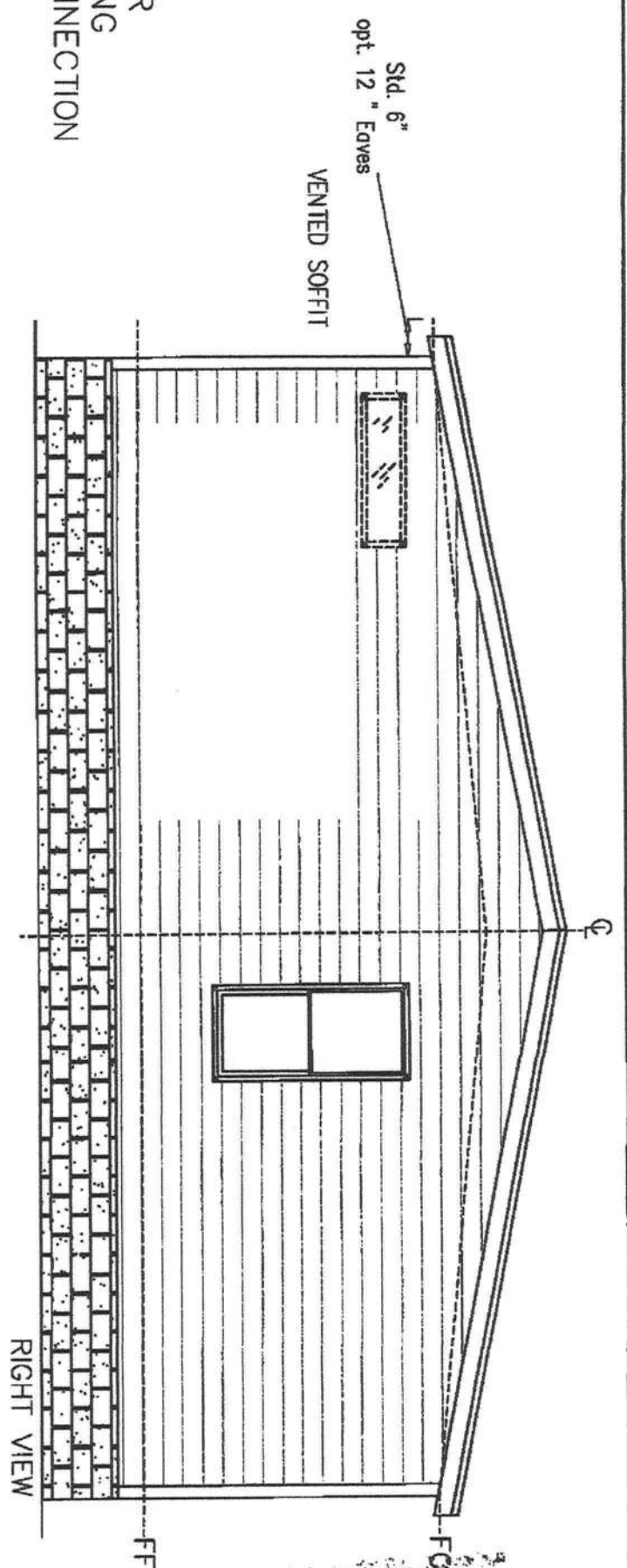
X = SEE SITE BUILDER'S FOUNDATION DETAILS AND SPECIFICATIONS FOR FOUNDATION HEIGHT(S).

- Notes:
1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of $\frac{1}{2}$ sq OR $\frac{1}{2}$ sq, see Florida Energy (calculations).
 2. Roof overhang (eave) sizes may vary. Roof overhangs are typically a nominal 12" eave or approximately 11 1/4" wide.
 3. Bath exhaust fans (ventilated air) shall exhaust directly to the exterior of the home and shall not exhaust into the roof and/or other concealed cavity or area.
 4. The elevations shown above are typical and may vary due to optional and/or custom features or specific customer requests.
 5. Siding may be approved vinyl or cementitious and either vertical or horizontal per manufacturer's instructions.
 6. Steps and handrails are installed onsite by others or at the factory at the factory's discretion.
 7. If window sills are greater than 72" from grade and less than 24" above finish floor, builder is responsible for providing and installing window guards.
 8. Exterior doors are fiberglass unless otherwise noted on the plans.
 9. When shingles are installed, they are fiberglass, wind resistance: D3161 "Class F" - resistance to fire: "CLASS A".
 10. Windows are Low-E, insulated.

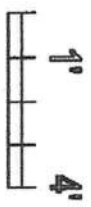


| | | | | | | | |
|---|--|---|--|--|--|---|--|
| Sheet Title: FRONT & REAR ELEVATION | | Sheet Number: A2.01 | | Sheet: 1 of 1 | | Plan #: 3R-2102-1148F | |
| Customer: Hillborn, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave Clearwater, FL 33756 | | Drawing Information: Model Number: 340TL30683AM Sales Name: PELICAN BAY Series: TIMBERLAND Drawn by: GRS/BB01/21/17 Date: | | Designer: William H. "Rob" Roberts, P.E. 607 South Alexander Street Suite #201 Plant City, Florida 33563 Lic. # 127749 Plant City, FL | | Plant Number: 69 Copyright 2017 Palm Harbor Homes, Inc. 605 S. Frontage Road Plant City, Florida 33566 All Rights Reserved | |
| LISTING AGENCY APPROVAL: These plans comply with the Florida Building Code and are subject to the Florida Building Code and subject to the following conditions: 1. The building shall be constructed in accordance with the Florida Building Code. 2. The building shall be constructed in accordance with the Florida Building Code. 3. The building shall be constructed in accordance with the Florida Building Code. 4. The building shall be constructed in accordance with the Florida Building Code. 5. The building shall be constructed in accordance with the Florida Building Code. 6. The building shall be constructed in accordance with the Florida Building Code. 7. The building shall be constructed in accordance with the Florida Building Code. 8. The building shall be constructed in accordance with the Florida Building Code. 9. The building shall be constructed in accordance with the Florida Building Code. 10. The building shall be constructed in accordance with the Florida Building Code. | | | | | | | |

FF = FINISHED FLOOR
 FC = FINISHED CEILING
 UC = UNIT INTERCONNECTION



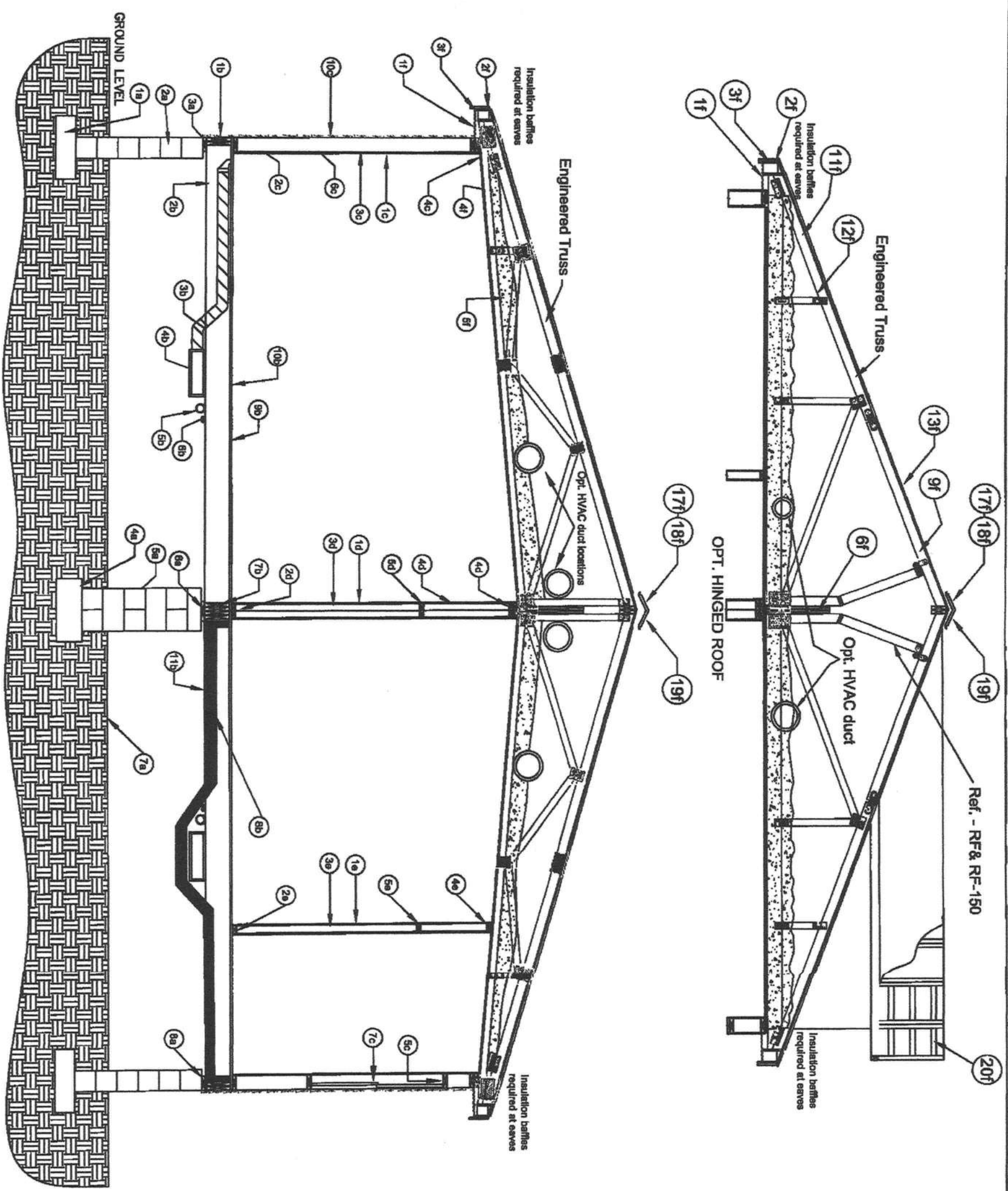
X = SEE SITE BUILDER'S
 FOUNDATION DETAILS
 AND SPECIFICATIONS
 FOR FOUNDATION
 HEIGHT(S).



Notes:

1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of $\frac{1}{500}$ OR $\frac{1}{300}$, see Florida Energy Calculations.
2. Roof overhang (eave) sizes may vary. Roof overhangs are typically a nominal 12" eave or approximately 11 1/4" wide.
3. Bath exhaust fans (ventilated air) shall exhaust directly to the exterior of the home and shall not exhaust into the roof and/or other concealed cavity or area.
4. The elevations shown above are typical and may vary due to optional and/or custom features or specific customer requests.
5. Siding may be approved vinyl or cementitious and either vertical or horizontal per manufacturer's instructions. Steps and handrails are installed onsite by others or at the factory at the factory's discretion.
6. If window sills are greater than 72" from grade and less than 24" above finish floor, builder is responsible for providing and installing window guards.
8. Exterior doors are fiberglass unless otherwise noted on the plans.
9. When shingles are installed, they are fiberglass, wind resistance: D3161 "Class F" - resistance to fire: "CLASS A".
10. Windows are Low-E, insulated.

| | | | | | | | |
|--|--|-------------------------------|--|--|--|---------------------------------|--|
| Sheet Title: RIGHT & LEFT ELEVATIONS | | Sheet Number: A2.02 | | Sheet: 1 of 1 | | Plan #: 3R-2102-1148F | |
| Customer: Hilborn, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave Clearwater, FL 33756 | | | | Drawing Information: Model Number: 340TL30683AM Sales Name: PELICAN BAY Series: TIMBERLAND Drawn by: GRS/BB Date: 01/21/17 Serial #: | | | |
| State: FLORIDA LISTING AGENCY APPROVAL These plans comply with the Florida Manufactured Building Act of 1975 Construction Code and adhere to the following details: COAST TYPE: _____ OCCUPANCY: _____ ALLOWABLE NO. OF FLOORS: _____ WIND VELOCITY (RELATIVE TO SEA): _____ FIRE RATING OF EXT. WALLS: _____ ALLOW. FLOOR LOAD: _____ APPROVAL DATE: 11-2-18 MANUFACTURER: _____ HIGH VELOCITY WINDZONE: NO | | | | Plant Information: William H. "Rob" Roberts, P.E. 807 South Alexander Street Suite #201 Plant City, Florida 33563 Lic #42742 Plant Information Palm Harbor Homes, Inc. 605 S. Frontage Road Plant City, Florida 33566 Copyright 2017 Palm Harbor Homes, Inc. All Rights Reserved | | | |



ALL FOUNDATION SPECIFICATIONS ARE TYPICAL AND DESIGNED AND CONSTRUCTED ON SITE BY OTHERS

| | | | | | | | |
|--|--|-------------------------------|--|---|--|------------------------------|--|
| Sheet Title: TYP. CROSS SECTION | | Sheet Number: A3.01 | | Sheet 1 of 1 | | Plan #: 3R-2102-1148F | |
| Drawing Information Model Number: 340TL30683AM Sales Name: PELICAN BAY Series: TIMBERLAND Drawn by: GRS/BB Date: 01/21/17 Serial #: | | | | | | | |
| Customer: Hillborn, Werner Carter and Associates (W/C) 1627 South Myrtle Ave Clearwater, FL 33756 | | | | Plant Information William H. "Rob" Roberts, P.E. 607 South Alexander Street Suite #201 Plant City, Florida 33563 Plant Information | | | |
| Listing Agency Approval These plans comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria: CONSTRUCTION TYPE: WB OCCUPANCY: R3 ALLOWABLE NO. OF FLOORS: 1 WIND VELOCITY (150 LBS/FT ² SEC): 110 FIRE RATING OF EXT. WALLS: 0 PLUMBING: 382105.1148F ALLOW. FLOOR LOAD: 40 APPROVAL DATE: 11-2-17 MANUFACTURER: PH HIGH VELOCITY WINDZONE: NO | | | | Plant Number: 69 © Copyright 2017 Palm Harbor Homes, Inc. All Rights Reserved | | | |

Typical Foundation System

Note: Foundation systems referenced in these cross sections are typical and for demonstrative purposes. Although this foundation system can be submitted for local approval, actual foundation systems are typically designed by others.

- 1a Side wall footer
Masonry Stem Wall See FD-Ranch Section A-A
Alternate All Weather Wood Foundation - Section A1-A1
Poured concrete Perimeter Stem Wall See FD-Ranch Section A2-A2
Masonry Perimeter Stem Wall See FD-Ranch Section A3-A3
Foundation wall
- 2a Masonry Stem Wall See FD-Ranch Section A-A
Alternate All Weather Wood Foundation - Section A1-A1
Poured concrete Perimeter Stem Wall See FD-Ranch Section A2-A2
Masonry Perimeter Stem Wall See FD-Ranch Section A3-A3
Foundation wall
- 3a Single, min. 2x6 pressure treated sill plate
Mating Line Footer
Masonry Stem Wall See FD-Ranch Section B-B
Poured concrete Perimeter Stem Wall See FD-Ranch Section B2-B2
Masonry Perimeter Stem Wall See FD-Ranch Section B3-B3
Mating line pier support
- 4a Masonry Stem Wall See FD-Ranch Section B-B
Poured concrete Perimeter Stem Wall See FD-Ranch Section B2-B2
Masonry Perimeter Stem Wall See FD-Ranch Section B3-B3
Mating line pier support
- 5a Masonry Stem Wall See FD-Ranch Section B-B
Poured concrete Perimeter Stem Wall See FD-Ranch Section B2-B2
Masonry Perimeter Stem Wall See FD-Ranch Section B3-B3
Minimum 2x6x12 SYP pressure treated sill plate or cap
Minimum 6 mil Polyethylene Vapor Retarder
Termite Shield along perimeter, by others
- 6a Minimum 2x6x12 SYP pressure treated sill plate or cap
Minimum 6 mil Polyethylene Vapor Retarder
Termite Shield along perimeter, by others
- 7a Minimum 2x6x12 SYP pressure treated sill plate or cap
Minimum 6 mil Polyethylene Vapor Retarder
Termite Shield along perimeter, by others
- 8a Minimum 2x6x12 SYP pressure treated sill plate or cap
Minimum 6 mil Polyethylene Vapor Retarder
Termite Shield along perimeter, by others
- 1b Single perimeter joist or optional double.
Floor joist
- 2b 2x8 #2 SPF at 16" o.c. Typical 164" max. floor width.
2x10 #2 SPF at 24" o.c. Typical 164" max. floor width.
2x10 #2 SPF at 16" o.c. Typical 186" max. floor width.
Insulated Flex duct. See layout for sizing.
Insulated Fiberglass duct. See layout for sizing.
ABS Drain Line Sized per code. See layout for sizing.
PEX Water supply lines. See layout for sizing.
Double perimeter joists
Floor Insulation. May be batt or blown.
Per approved Calculations or prescriptive requirements.
Floor decking 19/32 (joists 16" o.c. or 24" o.c.) Slurc-Floor or equivalent with full glue coverage (AFG-01)
- 9b Floor decking 19/32 (joists 16" o.c. or 24" o.c.) Slurc-Floor or equivalent with full glue coverage (AFG-01)
- 10b Floor covering - carpet or tile
- 11b Bottom board
- 12b Stairs.

Exterior Wall

- 1c 1/2" gypsum -
Vinyl covered gypsum.
- 2c Min. 2x4 Bottom plate
Opt 2x6 bottom plate
- 3c Min. 2x4 Wall stud
Opt 2x6 wall stud
- 4c Min. 2x4 Double top plate
Opt 2x6 Single or Double top plate
- 5c Window or door header
- 6c Insulation
Per approved Calculations or prescriptive requirements.
- 7c Window or door.
- 8c Minimum 3/8" rated sheathing up to 150mph, PW or OSB, Minimum 7/8" rated 24/16" sheathing PW or OSB at speeds greater than 150mph.
Approved exterior siding material.
Weather-resistant sheathing paper is not required if the exterior siding material is list on table R703.4, unless the manufacture requires it.
Vapor retarders not required in all thermal regions, see applicable tables.
Vapor retarders, when required, may be handle as:
Vinyl cover gypsum
Kraft Back insulation
Sprayed on vapor barrier with 1 perm rating.
- 10c Mating Wall
1/2" gypsum - Finished on site:
Drywall.
Vinyl covered gypsum.
Min. 2x3 Bottom plate
Min. 2x3 Wall stud
Min. 2x3 Double top plate
Window or door header
- 1d Mating Wall
1/2" gypsum - Finished on site:
Drywall.
Vinyl covered gypsum.
Min. 2x3 Bottom plate
Min. 2x3 Wall stud
Min. 2x3 Double top plate
Window or door header
- 1e 1/2" gypsum - Finished on site:
Drywall.
Vinyl covered gypsum.
Min. 2x3 Bottom plate
Min. 2x3 Wall stud
Min. 2x3 top plate
Window or door header.
- 2e Vinyl covered gypsum.
Min. 2x3 Bottom plate
- 3e Min. 2x3 Wall stud
- 4e Min. 2x3 top plate
- 5e Window or door header.

Roof System

- 1f Soft
- 2f Facia
- 3f Minimum 1x6 sub-fascia.
- 4f 1/2 high strength gypsum with spray on vapor barrier
- 5f Engineered Trusses @ 16" or 24" o.c.
Min pitch = 2/12. Max. Pitch = 6.1/12.
- 6f Ridge beam
3 Layer Beam
4 Layer Beam
Open Beam
L.V. or L.S.L.
- 7f Hinged Knee Wall
Hinged Knee wall connection
Hinged top chord
Vent Soffit
7/8" OSB roof sheathing
Underlayment - installed per FBCR 2017 - section R905
Roof Covering - For plans with wind speeds greater than 150 mph, roofing material is are installed on site by others.
- 14f 2x cap brace
Ced framing rail
Ced frame
Ridge framing
Upper Roof Vent Handle as:
Ridge cap (as shown)
- 15f 2x cap brace
Ced framing rail
Ced frame
Ridge framing
Upper Roof Vent Handle as:
Ridge cap (as shown)
- 16f 2x cap brace
Ced framing rail
Ced frame
Ridge framing
Upper Roof Vent Handle as:
Ridge cap (as shown)
- 17f 2x cap brace
Ced framing rail
Ced frame
Ridge framing
Upper Roof Vent Handle as:
Ridge cap (as shown)
- 18f 2x cap brace
Ced framing rail
Ced frame
Ridge framing
Upper Roof Vent Handle as:
Ridge cap (as shown)
- 19f RESERVED
20f RESERVED
21f Truss rim rail
22f Insulation Per approved Calculations or prescriptive requirements.

| | | | | | | | |
|--|--|----------------------------|--|---------------------------|--|---------------------------|--|
| Sheet Title: TYP. CROSS SECTION NOTES | | Sheet Number: A3.02 | | Sheet: 1 of 1 | | Plan #: 3R-2102-1148F | |
| MAINT 251 | | DATE: 11-2-13 | | BY: [Signature] | | CHECKED: [Signature] | |
| LISTING AGENCY APPROVAL | | DATE: 11-2-13 | | BY: [Signature] | | CHECKED: [Signature] | |
| Hilborn, Werner, Carter and Associates (HWC) | | 1627 South Myrtle Ave | | Clearwater, FL 33756 | | Customer: [Signature] | |
| Drawing Information | | Model Number: 340TL30683AM | | Sales Name: PELICAN BAY | | Series: TIMBERLAND | |
| Drawn by: GRS/BB | | Date: 01/21/17 | | Serial #: [Blank] | | Customer: [Blank] | |
| William H. "Rob" Roberts, P.E. | | 607 South Alexander Street | | Suite #201 | | Plant City, Florida 33563 | |
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GENERAL ELECTRICAL NOTES:

1. Exterior receptacles outlets shall be weather resistant, gfi protected and installed with covers approved for outdoor installation.
2. Cross over connection between modules is accomplished by using 'amp' wire connectors, supplied by connector manufacturer.
3. All electrical components must be u.l. approved and installed per listing and manufacturer's installation instructions.
4. Smoke alarms are interconnected for simultaneous activation with battery backup. All smoke alarms are equipped with a "push button" feature.
5. All 125 volt, single phase, 15 and 20 ampere receptacles serving countertop surfaces in kitchen area to have ground-fault circuit interrupter protection for personnel, and arc-fault protection.
6. All wiring is in-cable unless otherwise noted.
7. All bath exhaust fans must exhaust directly to the exterior.
8. Additional outlets and lights may be added (in addition to those shown on the approved details) without re-approval.
9. All general purpose outlets are required to be on arc-fault circuits, except bathrooms, exterior receptacles, and Jacuzzi.
10. Boxes used at fixtures in the ceiling must be rated for a minimum of 50 pounds. When lights are installed on the wall, the box must be listed for that purpose and list its weight capacity, if less than 50 pounds.
11. Egress path must be maintained to the panel box.
12. Tamper resistant receptacles must be installed in kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, sunrooms, bedrooms, recreation rooms, or similar rooms, or areas of a dwelling unit.
13. Exterior receptacles are required at every balcony, deck, or porch regardless of where it is on the building. The receptacle is not required if the balcony, deck, or porch is less than 20 s.f..
14. All circuits and equipment shall be installed and grounded in accordance with the appropriate articles of the National Electrical Code (NEC) that is adopted by the State of Florida, at the time of construction of the building.
15. When light fixtures are installed in closets, they shall be surface mounted or recessed. Incandescent fixtures shall have completely enclosed lamps. Surface mounted incandescent fixtures shall have a minimum clearance of 12 inches and all other fixtures shall have a minimum clearance of 6 inches from any 'storage area'.
16. When water heaters are installed, they shall be provided with readily accessible disconnects adjacent to the water heaters served. The branch circuit switch DR circuit breaker shall be permitted to be as the disconnecting means only where the switch DR circuit breaker is within sight of the water heater DR is capable of being locked in the open position. When water heaters are not installed at the factory, the means of disconnect shall be designed and installed on-site, by others.
17. HVAC shall be provided with readily accessible disconnects (installed on-site, by others) adjacent to the equipment being served. A unit switch with a marked 'OFF' position that is part of the HVAC equipment and disconnects ALL ungrounded conductors shall be permitted to be as the disconnecting means where other disconnecting means are also provided by a readily accessible circuit breaker.
18. When the main electrical service panel is not installed at the factory, the main electrical panel and feeders are to be designed by others, site installed and subject to local jurisdiction approval.
19. All circuits crossing over module marriage (lines), shall be site connected with approved accessible junction boxes DR cable connectors.
20. All receptacles installed in wet locations (exterior) shall have a weather proof (wp), the integrity of which is not effected when an attachment plug cap is inserted or removed.
21. Ceiling fans shall be 80 inches minimum, from the bottom of the blades to the finished floor.
22. All electrical components shall be U.L. Listed and installed in accordance with that listing.
23. Receptacles intended to service bathroom lavatories shall not be located more than 36" away from sold lavatory.
24. Breakers and wire sizing may be changed if optional or custom appliances or devices are installed in the building, ALL breakers and wiring shall be sized in accordance with applicable sections of the N.E.C.
25. Switches, receptacles, and other fixtures or devices may be relocated from the locations shown on the approved details due to construction restraints. ALL locations shall comply with applicable sections of the N.E.C.
26. All 3-way switches are to be wired using 14-3 wire unless otherwise noted on plan.
27. Communication ports are typically not shown on approved plans but are required to be installed per NEC 800.156. At management's discretion, they may either be installed in the factory or on site by others. When installed on site, the location and installation are the responsibility of the builder.
28. 75% of all permanently installed lighting fixtures shall have high efficacy lamps.

| GENERAL LIGHTING | MAIN PANEL BOX | SWITCH | 3-WAY SWITCH | EXHAUST-CEILING FAN | UNDER CABINET LIGHT |
|----------------------------------|--|---------------------------|-------------------------|---------------------------------|---|
| SMALL APPLIANCE | WALL MOUNTED FIXTURE | PHONE | CABLE PREP | HEAT TAPE RECEPT | UNDER CHARGING STATION / 120 V. OUTLET |
| GFI PROTECTED | CEILING MOUNTED FIXTURE | RECESSED | RECESSED FLUORESCENT | RECESSED LIGHT | LIGHTED EXHAUST FAN |
| 220V APPLIANCE | RECESSED CAN LIGHT | RECESSED | FLUORESCENT | CEILING FAN OR CEILING FAN PREP | CEILING FAN/LIGHT OR CEILING FAN/LIGHT PREP |
| SMOKE ALARM | PENDANT LIGHT | RECESSED | FLUORESCENT | CEILING FAN OR CEILING FAN PREP | CEILING FAN/LIGHT OR CEILING FAN/LIGHT PREP |
| CARBON MONOXIDE / SMOKE DETECTOR | LED LIGHT CEILING MOUNTED FIXTURE | RECESSED | FLUORESCENT | CEILING FAN OR CEILING FAN PREP | CEILING FAN/LIGHT OR CEILING FAN/LIGHT PREP |
| | SURFACE LIGHT RATED FOR WET AREA | DOOR CHIME BOX (WIRELESS) | 24" SURFACE FLUORESCENT | | WHOLE HOUSE FAN FLOOD LIGHT PREP |
| | FACTORY WIRED CABLE, PHONE, NETWORK, 15/20 AMP RECEPTACLE. | | | | |

MAIN BREAKER

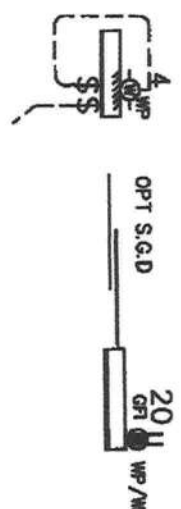
Notes:
1. (G/A) = GFI AND ARC FAULT
2. (A/F) = Arc Fault

| AMP. WIRE SIZE | DESCRIPTION | CIR. NO. | PANEL SPACE | CIR. NO. | DESCRIPTION | AMP. WIRE SIZE |
|-----------------|---------------------------|----------|-------------|----------|-------------------|----------------|
| PER MFG | WATER HEATER (1500W/240V) | 1 | * | 2 | RANGE OR OVEN | PER MFG |
| 20 12-2* | APPLIANCE | 3(G/A) | * | 4(A/F) | GEN. LIGHTING | 15 14-2* |
| 20 12-2* | APPLIANCE | 5(G/A) | * | 6(A/F) | GEN. LIGHTING | 15 14-2* |
| 20 12-2* | APPLIANCE | 7(A/F) | * | 8(A/F) | GEN. LIGHTING | 15 14-2* |
| 20 12-2* | APPLIANCE (SPARE) | 9(A/F) | * | 10(A/F) | GEN. LIGHTING | 15 14-2* |
| 15 14-2* | OPT. D.W. | 11(G/A) | * | 12 | BATH G.F.I. | 20 12-2* |
| 20 12-2* | LAUNDRY | 13(G/A) | * | 14 | ELECTRIC HEAT-A/C | PER MFG |
| 30 10-3* | CLOTHES DRYER | 15 | * | 16 | COOK-TOP | PER MFG |
| 15 14-2* | OPT. DISPOSAL | 17(A/F) | * | 18 | SMOKE ALARMS | 15 14-2* |
| 20 12-2* | OPT. FREEZER | 19(G/A) | * | 20 | EXTERIOR GFI | 20 12-2* |
| 15 14-2* | OPT. JACUZZI G.F.I. | 21 | * | 22 | SPARE | 15 14-2* |
| 20 12-2* | OPT. MICROWAVE | 23(A/F) | * | 24(A/F) | SPARE | 15 14-2* |
| PER MFG PER MFG | PT CONDENSER | 25 | * | 26(A/F) | SPARE | 15 14-2* |
| 20 12-2* | OPTIONAL ELEVATOR | 27 | * | | | |

SERIAL NUMBER: NA
MODEL NUMBER: SEE TITLE BLOCK

| GENERAL LOADS | VA | KVA |
|--|----------------|--------|
| TOTAL UNIT A.C. SQUARE FEET | 2,023 | 6.069 |
| NO. OF 20-AMP APPLIANCE OUTLET CIRCUITS | 3 | 4.500 |
| LAUNDRY CIRCUIT | 1 | 1.500 |
| SUBTOTAL | 12,089 | 12.089 |
| NAME PLATERATINGS | | |
| RANGE | 1 | 8,000 |
| WATER HEATER | 1 | 5,500 |
| DISH WASHER | 1 | 1,400 |
| CLOTHES DRYER | 1 | 5,000 |
| GARBAGE DISPOSAL | 1 | 1,500 |
| COOK TOP | 0 | 0 |
| WALL OVEN | 0 | 0 |
| MICROWAVE | 1 | 1,500 |
| OPT FREEZER | 0 | 0 |
| JACUZZI | 0 | 0 |
| ELEVATOR | 0 | 0 |
| WARMING DRAWER | 0 | 0 |
| STEAM GENERATOR | 0 | 0 |
| RESERVED | 0 | 0 |
| SUBTOTAL | 24,400 | 24.4 |
| TOTAL GENERAL & NAME PLATE | | |
| FIRST 10 KVA AT 100% | 10,000 | 10.0 |
| REMAINING 40% | 10,588 | 10.6 |
| Worst Case HVAC AT 100% (ASSUMED) | 15,800 | 15.8 |
| NOTE: LOCAL SITE ELECTRICAL CONTRACTOR TO VERIFY ADEQUACY OF HVAC ELECTRICAL LOAD IN PANEL CALCULATIONS. | | |
| TOTAL PANEL BOX LOAD | 36,388 | 36.4 |
| MINIMUM PANEL BOX AMPERAGESIZE | 36,388 / 240 = | 152 |
| SIZE AMP PANEL BOX INSTALLED | 120/240 V, 1φ | 200 |
| MIN. NO. OF GENERAL LIGHTING CIRCUITS | | 4 |

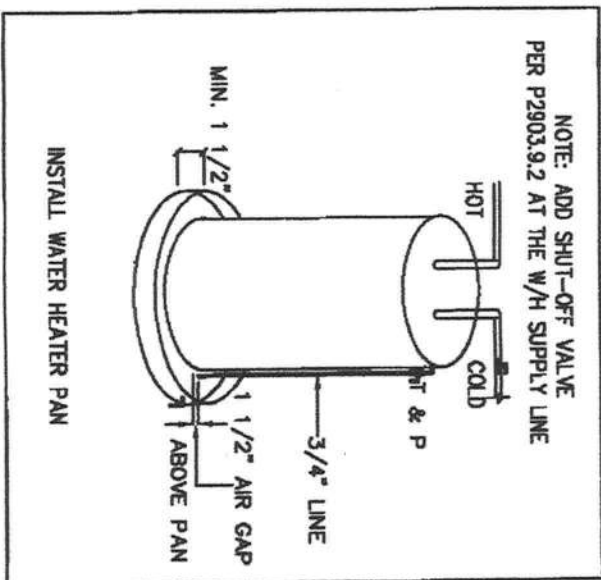
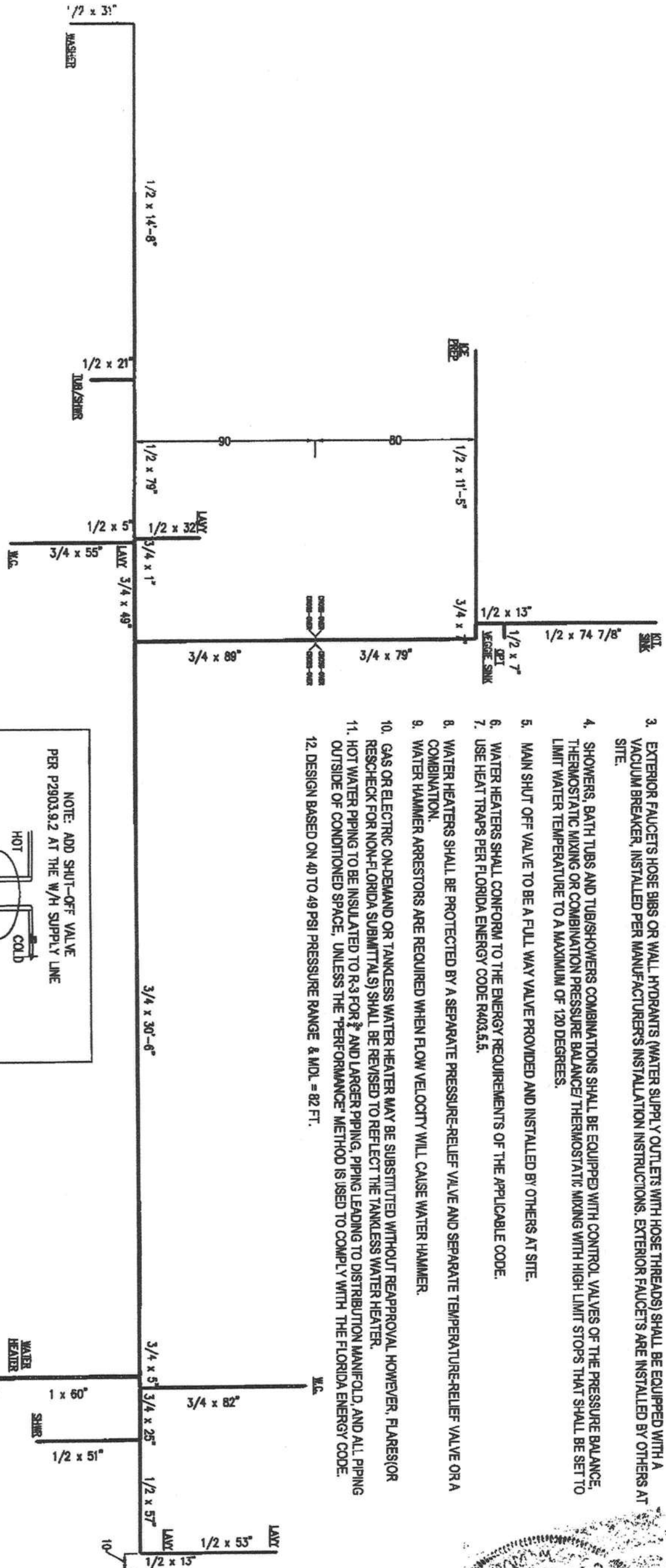
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|---|---|---|--|--|
| Sheet Title: ELECTRICAL NOTES Sheet Number: E0.01 Sheet: 1 of 1 Plan #: 3R-2102-1148F | Drawing Information Model Number: 340TL30683AM Sales Name: PELICAN BAY Series: TIMBERLAND Drawn by: GRS/BB Date: 01/21/17 Serial #: 1 | Customer: 3rd Party Hillborn, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave Clearwater, FL 33756 | Listing Agency Approval License No. 95302218P State: FL Issue Date: 11/2/16 Expiration Date: 11/2/18 Licensee Name: GRS/BB Licensee Title: PELICAN BAY | Plant Number: 6055 Plant Name: Palmar Homes, Inc. 605 S. Frontage Road Plant City, Florida 33566 © Copyright 2017 Palmar Homes, Inc. All Rights Reserved |
|---|---|---|--|--|



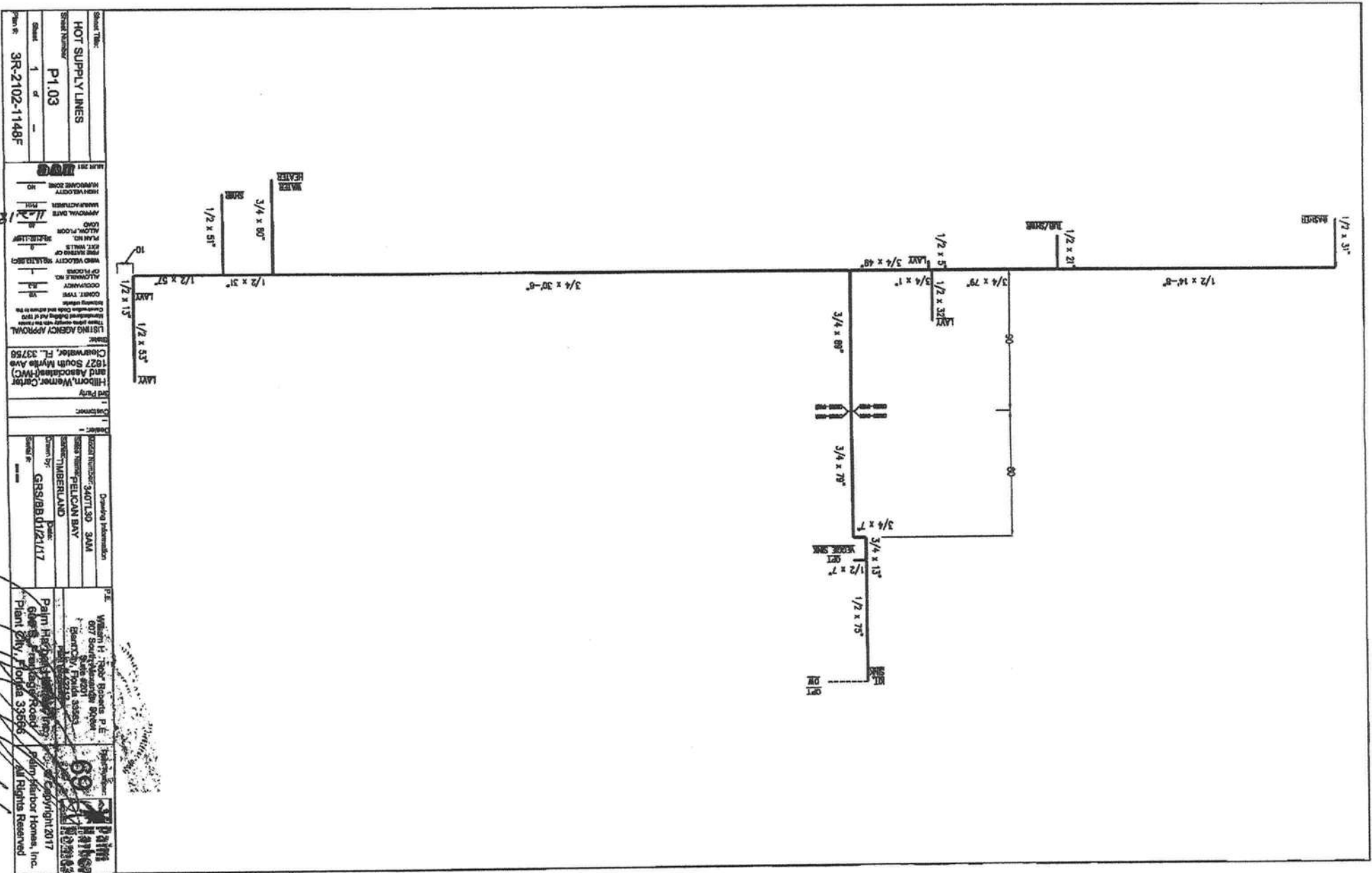
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NOTES:

1. WATER SUPPLY PIPING SHALL BE TYPE "L" COPPER, CPVC, CROSS LINKED POLYETHYLENE OR OTHER MATERIALS APPROVED FOR USAGE PER STATE AND LOCAL CODE.
2. INTERCONNECTION OF SUPPLY PIPING BELOW FLOOR AND BETWEEN UNITS TO BE COMPLETED ON SITE BY OTHERS TO STATE AND LOCAL CODE.
3. EXTERIOR FAUCETS HOSE BIBS OR WALL HYDRANTS (WATER SUPPLY OUTLETS WITH HOSE THREADS) SHALL BE EQUIPPED WITH A VACUUM BREAKER, INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. EXTERIOR FAUCETS ARE INSTALLED BY OTHERS AT SITE.
4. SHOWERS, BATH TUBS AND TUB/SHOWERS COMBINATIONS SHALL BE EQUIPPED WITH CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC MIXING OR COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING WITH HIGH LIMIT STOPS THAT SHALL BE SET TO LIMIT WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES.
5. MAIN SHUT OFF VALVE TO BE A FULL WAY VALVE PROVIDED AND INSTALLED BY OTHERS AT SITE.
6. WATER HEATERS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE APPLICABLE CODE.
7. USE HEAT TRAPS PER FLORIDA ENERGY CODE R403.5.5.
8. WATER HEATERS SHALL BE PROTECTED BY A SEPARATE PRESSURE-RELIEF VALVE AND SEPARATE TEMPERATURE-RELIEF VALVE OR A COMBINATION.
9. WATER HAMMER ARRESTORS ARE REQUIRED WHEN FLOW VELOCITY WILL CAUSE WATER HAMMER.
10. GAS OR ELECTRIC ON-DEMAND OR TANKLESS WATER HEATER MAY BE SUBSTITUTED WITHOUT REAPPROVAL, HOWEVER, FLARES(OR RESCHECK FOR NON-FLORIDA SUBMITTALS) SHALL BE REVISED TO REFLECT THE TANKLESS WATER HEATER.
11. HOT WATER PIPING TO BE INSULATED TO R-3 FOR 3" AND LARGER PIPING, PIPING LEADING TO DISTRIBUTION MANIFOLD, AND ALL PIPING OUTSIDE OF CONDITIONED SPACE, UNLESS THE "PERFORMANCE" METHOD IS USED TO COMPLY WITH THE FLORIDA ENERGY CODE.
12. DESIGN BASED ON 40 TO 49 PSI PRESSURE RANGE & MDL = 82 FT.



| | | | | | | | |
|--|--|---|--|--|--|--|--|
| Sheet Title: COLD SUPPLY LINES | | Sheet Number: P1.02 | | Sheet 1 of 1 | | Plan #: 3R-2102-1148F | |
| Customer: Hilborn, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave Clearwater, FL 33756 | | Drawing Information: Model Number: 340TL30683AM Sales Name: PELICAN BAY Series: TIMBERLAND Drawn by: GRS/BB Date: 01/21/17 Serial #: | | Plant Information: William H. "Rob" Roberts, P.E. 607 South Alexander St. Suite #201 Plant City, Florida 33563 Phone: 407-427-1212 | | Plant Number: 69 | |
| Listing Agency Approval: These plans comply with the Florida Manufactured Building Act of 1978. Construction Code and sections to the listing table. | | CONSTR. TYPE: 1B OCCUPANCY: R-3 ALLOWABLE NO. OF FLOORS: 1 WIND VELOCITY (16.1 MILES PER HOUR): 115 ALLOW. FLOOR LOAD: 35 PSF APPROVAL DATE: 11-2-12 MANUFACTURER: FBR | | Plant Information: Palm Harbor Homes, Inc. 605 S. Frontage Road Plant City, Florida 33566 | | © Copyright 2017 Palm Harbor Homes, Inc. All Rights Reserved | |



| | |
|---|---|
| Sheet Title: HOT SUPPLY LINES | |
| Sheet Number: P1.03 | |
| Sheet: | 1 of 1 |
| Project: SR-2102-1148F | |
| Drawing Information | |
| Drawn by: GRS/BB/12/117 | Checked by: GRS/BB/12/117 |
| Project Information | |
| Location: 1027 South Mays Ave | City: Clearwater, FL 33758 |
| Client: Hilborn, Werner, Carter and Associates (HWC) | Client Address: 1027 South Mays Ave |
| Notes: These drawings were prepared by the undersigned in accordance with the Florida Mechanical Code and subject to the Florida Mechanical Code and subject to the Florida Mechanical Code. | |
| Professional Engineer Seal: 687 | |
| Professional Engineer Name: William F. "Tom" Bowers, P.E. | |
| Professional Engineer Address: 607 South Mays Ave, Suite 200, Clearwater, FL 33758 | |
| Professional Engineer License Number: 12000 | |
| Professional Engineer State: FL | |
| Professional Engineer Date: 12/31/15 | |
| Professional Engineer Signature: <i>[Signature]</i> | |
| Professional Engineer Title: Professional Engineer | |
| Professional Engineer Firm: William F. Bowers, P.E. | |
| Professional Engineer Firm Address: 607 South Mays Ave, Suite 200, Clearwater, FL 33758 | |
| Professional Engineer Firm Phone: (813) 335-1111 | |
| Professional Engineer Firm Fax: (813) 335-1112 | |
| Professional Engineer Firm Email: info@wfbowers.com | |
| Professional Engineer Firm Website: www.wfbowers.com | |
| Professional Engineer Firm License Number: 12000 | |
| Professional Engineer Firm State: FL | |
| Professional Engineer Firm Date: 12/31/15 | |
| Professional Engineer Firm Signature: <i>[Signature]</i> | |
| Professional Engineer Firm Title: Professional Engineer | |
| Professional Engineer Firm Address: 607 South Mays Ave, Suite 200, Clearwater, FL 33758 | |
| Professional Engineer Firm Phone: (813) 335-1111 | |
| Professional Engineer Firm Fax: (813) 335-1112 | |
| Professional Engineer Firm Email: info@wfbowers.com | |
| Professional Engineer Firm Website: www.wfbowers.com | |

10/31/15

Shear Wall Table Notes:

Numbers shown in table column headings (1) through (9) for one story, (1) through (11) for 2 story, correspond with note numbers. Refer to floor plans for shear wall locations corresponding to alpha-numeric designation in 1st column of table.

1. Design Shear Values are based on the WFCM - 2001 Edition. All values for DSV and fastening is based on S-P-F lumber, unless otherwise specified.
 2. Indicates whether sheathing is required one side only with interior covering, or required both sides of wall with interior covering over sheathing.
 3. Nails may either be 6d Common (0.131x1 5/8) or 8d Common (0.131x1 3/4). 8d nails yield better DSV's.
 4. Edge / Field spacing Edge fastening is into each framing member. When sheathing overlap onto rim joist is not used and 2/12 shearwall sheathing fastening is required, it also requires double top and bottom plates.
 5. Number and minimum length of each shear wall section within each end wall.
 6. Indicates number of framing members required each end of each shear section. Minimum framing as indicated in table header.
 7. Indicates the number of rows of nails spaced @ 2' o.c., through the sheathing overlap onto the floor framing.
 8. Alternatively, screws may be used at x/y, where x=number of rows and y=number of screws per foot for each row. Connection is through the bottom plate into floor joists with minimum 2-1/2" penetration. When double plates are required per Note (6), make sure to increase fastener length.
 9. Top plate to rafter or ceiling joist is the spacing (inches o/c) with #8 screws or 0.131" diameter nails with 1-3/8" minimum penetration into receiving member.
 10. For 2 story only: The 2x, factory installed bearing plate at each end at the very top of the lower story must be fastened to the ceiling framing with #10 x 3" screws spaced (inches on center) per table. Factory installed Note: column 10 is not displayed for one story or cape applications.
 11. For 2 stories, on-site connection is required between the upper and lower story using #10x3" screws (toed), installed through the upper story end joist into the lower story, factory installed 2x bearing plate of the lower story, spaced per column 11.
- Special Note: With hinged roof, the truss above the end wall (shear wall) must be sheathed after erection. In the case of a porch, the truss above the end wall at the main roof to porch transition, must be sheathed for a minimum of 48" length, anywhere along the truss and fastened to truss chords with 8d common nails spaced per column "Porch Truss". Sheathing in spaces between the chords greater than 24" must be stiffened with a 2x3 vertical member, fastened to sheathing with the same nails at 2' o.c.

See Shearwall tables on other pages in this package.

Shear Wall General Notes:

1. LSAB1 and 2 represent longitudinal shear sections for unit with A and B end shearwalls. SC11 and 2 represent longitudinal shear sections for unit with C and D end shearwalls, respectively. The table notes above (except (6)) apply.
2. How to read Roof Diaphragm Connection Table: Check "1d Fastg" column. If "N/A" is displayed, no special fastening required in End Zone. Use the required spacing column for at least the distance tabulated in the first non-zero column, then the spacing in that column is required to the distance in the next column to the right and so forth or the Req'd Spacing can be used throughout. If double fastening is required for any of the shear wall conditions (A,B,C or D), the fastening must be maintained to the first truss at or beyond the distance shown in the first column (A) of the single fastener spacing table, for the respective shear wall, or, when that column is zero, to the first non-zero distance of any of the other columns (B to E) to a distance of any of the other tabulated fastening requirements (Columns B to E).
3. When Roof Diaphragm construction requires special fastening within the end zone(s), the fastening displayed is doubled, i.e. 2 fasteners @ each location. Example: 1d @ 6/6 means 2 fasteners each at 6" o.c. field and 2 each at 6" o.c. perimeter. The fastening is required within distance from the roof end as displayed (ft) or next truss. "N/A" means the end zone fastening is the same as normal.
4. If the wind speed determined for the seismic zone is higher than the speed from the wind map for the home site, it need only be applied to construction requirements for shearwall, diaphragms and shearwall anchorage / foundation designs. It must also be applied to connections for wall to floor and wall to roof. All other construction is to be according to the actual wind speed for the site.

| | | | | | | | |
|---|--|--------------------------------------|--|--|--|--|--|
| Sheet Title: SHEARWALL NOTES | | Sheet Number: S0.01 | | Sheet: 1 of 1 | | Plan #: 3R-2102-1148F | |
| Listing Agency Approval: This project has been reviewed and approved by the Florida Department of Building & Safety (FDBS) for compliance with the Florida Building Code and related to the following details: CONECT. TYPE: NA OCCUPANCY: NA ALLOWABLE NO. OF FLOORS: 1 WIND VELOCITY (RELATIVE TO): NA FREE RATES OF SET: NA PLUMB. FLOOR: NA LOAD: NA APPROVAL DATE: 7/25/17 MANUFACTURER: PHI HSB VELOCITY: NA HURRICANE ZONE: NO | | | | | | | |
| Drawing Information: Model Number: 340TL30683AM Sales Name: PELICAN BAY Series: TIMBERLAND Drawn by: GRS/BB Date: 01/21/17 Serial #: 1 | | | | Customer: 3rd Party Hilborn, Warner, Carter and Associates (HWC) 1627 South Myrtle Ave Clearwater, FL 33756 | | | |
| Plant Information: William H. "Rob" Roberts, P.E. 607 South Alexander Street Suite #201 Plant City, Florida 33568 P.O. # 427212 Plant Information: | | | | Plant Number: 69 © Copyright 2017 Palm Harbor Homes, Inc. All Rights Reserved | | | |
| Palm Harbor Homes, Inc. 605 S. Frontage Road Plant City, Florida 33568 | | | | | | | |

[illegible]

| Truss Spacing: 16' | | | | | | | | | | | | |
|---|-------------|--------------|-------------------------------|-----------|--------|------|-------|-------|-------|-------|-------|-------|
| Minimum Roof Diaphragm Connections using 6d DCL | | | | | | | | | | | | |
| Diaphragm Connections | | | | ABCE 7-10 | | | | | | | | |
| S Shear Wall | Ddi Framing | Roof Spacing | Spacing with Single Fasteners | | | | | | | | | |
| | | | 7d/16 | 10d/16 | 10d/12 | 8d/8 | 8d/12 | 6d/12 | 6d/10 | 5d/12 | 5d/10 | 4d/12 |
| A1 | W/A | 3/3 | 3/3 | 4/4 | 3/12 | 5/8 | 5/12 | | | | | |
| B | W/A | 3/3 | 3/3 | 5 | 12 | 13 | 13 | 18 | | | | |
| C | W/A | 3/3 | 3/3 | 5 | 8 | 12 | 13 | 18 | | | | |
| D | W/A | 3/3 | 3/3 | 6 | 12 | 13 | 13 | 18 | | | | |

| Shear Wall Requirements | | | | | | | | | | | |
|---|---------------|-------------------------|-----------|-------------|---------|----------------|-------------------------------|------------------------------------|---------------------------------------|------------------------|------------|
| 180 mph (Design Wind Speed is Ultimate (N/A)) per ASCE 7-10 | | | | | | | | | | | |
| See Figure 26-14 (Occupancy Category II) for Site Location | | | | | | | | | | | |
| Engineering Station: N/A mph | | | | | | | | | | | |
| Slope Wind HT:108 | | | | | | | | | | | |
| Exposed | | | | | | | | | | | |
| Roof Pitch: 6/12 | | | | | | | | | | | |
| Max Elev: 120' | | | | | | | | | | | |
| Min ELEV: 25 FT. | | | | | | | | | | | |
| 16" O.C.-TYP | | | | | | | | | | | |
| Framing: 2x6 | | | | | | | | | | | |
| A & B | | | | | | | | | | | |
| Shear Wall | Min. R.F. (1) | Standard Sections # (2) | Nails (3) | Spacing (4) | SW/ (5) | End Stud # (6) | Rein. of Nails in Overlap (7) | # of Straps at SW End of Stud (7a) | #11 Reinforcement Screws Each Row (8) | Top Plate to Truss (9) | Punch (10) |
| B1 | 7/8" | 1 | B6 | 2/12 | 78 | 2 | 5 | N/A | or 2x6 | 2 | N/A |
| B1 | 3/8" | 1 | B6 | 6/12 | 174 | 1 | 1 | N/A | or 1/2" | 4 x 8 | N/A |
| L5A81 | 8/5" | 1 | B6 | 4/12 | 91 | N/A | 3 | N/A | or 1/2" | 3 x 16 | N/A |
| C1 | 5/8" | 1 | B6 | 4/12 | 120 | 2 | 2 | N/A | or 1/4" | 3 | N/A |
| D1 | 7/8" | 1 | B6 | 2/12 | 82 | 2 | 5 | N/A | or 1/7" | 2 x 8 | N/A |
| L5C01 | 7/8" | 1 | B6 | 3/12 | 63 | N/A | 6 | N/A | or 1/5" | 2 x 8 | N/A |

| Truss Spacing: 16" | | | | | | | | | |
|---|------------|--------------|---------------------------|---------|---------|---------|---------------------------|--|--|
| Minimum Roof Diaphragm Connectors using 6d1 BOX | | | | | | | | | |
| ASCE 7-10 | | | | | | | | | |
| Diaphragm Connections | | | | | | | | | |
| Shear Wall | Dd1 Panels | Reqd Spacing | D2x4x12 Double End Plates | | | | D2x4x12 Double End Plates | | |
| | | | D2x4x12 | D2x4x12 | D2x4x12 | D2x4x12 | | | |
| A | Dd1 @4/12 | 8ea Dd1 cut | 3 | 9 | 15 | 16 | 20 | | |
| B | Dd1 @4/12 | 8ea Dd1 cut | 3 | 9 | 15 | 18 | 20 | | |
| C | Dd1 @4/12 | 8ea Dd1 cut | 3 | 9 | 15 | 18 | 20 | | |
| D | Dd1 @4/12 | 8ea Dd1 cut | 3 | 9 | 15 | 16 | 20 | | |

| Shower Wall Requirements | | | | | | | | | |
|---|---------------|-----------------------|-------------------|----------------|----------------|---------------------------------|--|--------------------|-------------------------------|
| 150 mph Design Wind Speed in Ultimate (Wd) per ASCE 7-10 See Figure 26.5-1a (Occupancy Category II) for SRA Location Equivalent Seismic WNA mph SRA Wind 117.10 ft/s | | | | | | | | | |
| Exposure D | | | | | | | | | |
| 2 nd Floor | | | | | | | | | |
| 2 nd O.C.-TYP Framing | | | | | | | | | |
| A & B | WNA, Plaf (1) | Strengthened Shores # | Nails Spacing (4) | SW Section (5) | End Stud # (6) | Ratio of Nails to Overlap # (7) | 1 st or 2 nd Floor at SW End Stud (7a) | #10 Epoxy Rows (8) | Top Plates to Pouch Ties (10) |
| Shower Wall | WNA, Plaf (1) | Shores # | Nails Spacing (4) | SW Section (5) | End Stud # (6) | Ratio of Nails to Overlap # (7) | 1 st or 2 nd Floor at SW End Stud (7a) | #10 Epoxy Rows (8) | Top Plates to Pouch Ties (10) |
| A1 | 632 | 1 | Bd | 48 | 78 | 2 | 1 | N/A | 3 |
| B1 | 239 | 1 | Bd | 60 | 174 | 1 | 4 | N/A | 6/80 |
| B1 | 239 | 1 | Bd | 60 | 91 | N/A | 2 | N/A | 4/50 |
| LSW1 | 358 | 1 | Bd | 80 | 120 | 1 | 2 | N/A | 4/12 |
| C1 | 346 | 1 | Bd | 80 | 82 | 2 | 3 | N/A | 3/18 |
| D1 | 509 | 1 | Bd | 4/9 | 82 | 2 | 3 | N/A | 3/14 |
| LSO1 | 488 | 1 | Bd | 4/9 | 83 | N/A | 4 | N/A | 3/14 |

| Midspan Steel Diaphragm Connections with Red Box | | | | | | | | | |
|--|-----------|----------------|-----------------------------|-------|-------|-------|-------|-------|-------|
| ASCE 7-10 | | | | | | | | | |
| Tension Spacing: 34" | | | | | | | | | |
| Minimum Steel Diaphragm Connections with Red Box | | | | | | | | | |
| Diaphragm Connections | | | Spacing with/less Fasteners | | | | | | |
| 2 Sheet Wall | DM Fastig | Fastig Spacing | D10x1 | D20x1 | D10x1 | D10x1 | D10x1 | D10x1 | D10x1 |
| A | DM 6248 | same DM 6248 | 3/3 | 3/6 | 3/12 | 4/12 | 6/12 | | |
| B | DM 6203 | same DM 6203 | 3 | 9 | 12 | 15 | 19 | | |
| C | DM 6248 | same DM 6248 | 3 | 9 | 12 | 15 | 19 | | |
| D | DM 6248 | same DM 6248 | 3 | 9 | 12 | 15 | 19 | | |

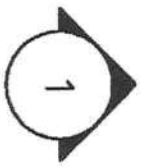
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| COLUMBUS RANCH STORY | | | | | | | | | | APR 2010 | |
|--|---|---|---|-----|-----|---|-----|--------|-----|----------|--|
| SECTION: WND SPEED: 18 MPH ALTITUDE: WIND SPEED: 500 MPH | | | | | | | | | | APR 2010 | |
| NO. STAYS: 17 | | | | | | | | | | APR 2010 | |
| NO. STAYS: 17 | | | | | | | | | | APR 2010 | |
| 1 | 3 | 1 | 5 | 105 | 243 | N | 180 | 17°-3' | 201 | | |
| 2 | 3 | 1 | 5 | 105 | 243 | N | 180 | 17°-3' | 201 | | |
| 3 | 3 | 1 | 5 | 105 | 243 | N | 180 | 17°-3' | 201 | | |
| 4 | 3 | 1 | 5 | 105 | 243 | N | 180 | 17°-3' | 201 | | |

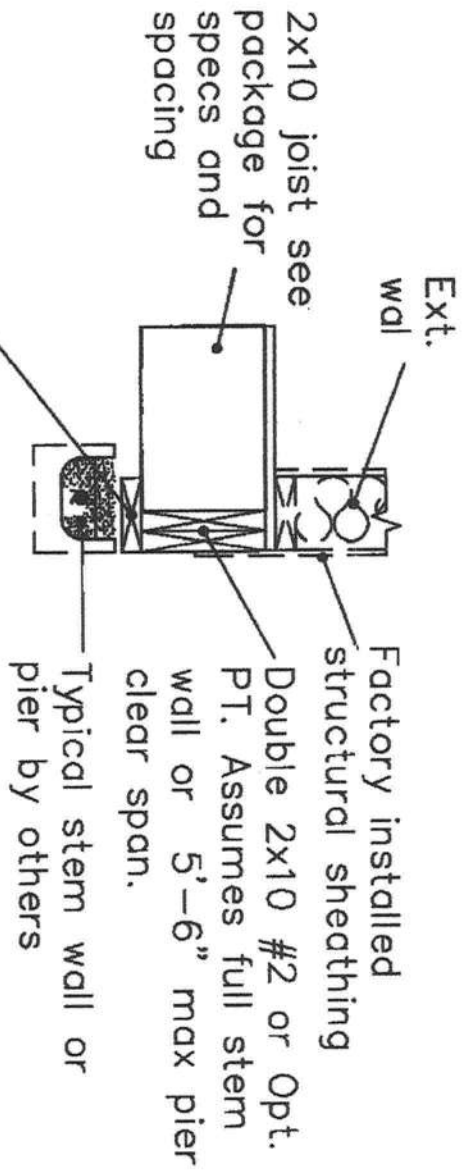
| △ COLUMNS RANCH STORY | | | | | | | | | | AGE 2-10 DOWNSIDE |
|---------------------------|---|---|---|-----|-----|-----|-------|------|------|----------------------|
| NO. 28 06 STUD PLUCK SPIN | | | | | | | | | | AGE 2-10 DOWNSIDE |
| NO. 28 06 STUD PLUCK SPIN | | | | | | | | | | AGE 2-10 DOWNSIDE |
| 1 | 3 | 1 | 5 | 105 | 245 | 180 | 17-5° | 2011 | 1000 | |
| 2 | 3 | 1 | 5 | 105 | 245 | 180 | 17-5° | 2011 | 1000 | |
| 3 | 3 | 1 | 5 | 105 | 245 | 180 | 17-5° | 2011 | 1000 | |
| 4 | 3 | 1 | 5 | 105 | 245 | 180 | 17-5° | 2011 | 1000 | |

| | 26 GA | STUD | FLOOR | SPAL | LDA |
|-----|-------|------------|-------|------|-------|
| NO. | STRIP | TIMBERLATH | SIDE | WTH | |
| 1 | 3 | 1 | 5 | 105 | 285 A |
| 2 | 3 | 1 | 5 | 105 | 285 B |
| 3 | 3 | 1 | 5 | 105 | 285 C |
| 4 | 3 | 1 | 5 | 105 | 285 D |

| | | | | | | | | |
|---|-------------------------------|-----------------|---------------------------------|---|--|---|---|--|
| Sheet Title: COLUMN & SHEARWALL TABLE | Sheet Number: S0.02 | Sheet 1 of - | Plan #: 3R-2102-1148F | LISTING AGENCY APPROVAL These prints comply with the Florida Mechanical Building Code (FMBC) Construction Codes and adhere to the following criteria: CONCT. TYPE _____ VIB. OCCUPANCY _____ E-3 ALLOWABLE NO. OF FLOORS _____ 1 WIND VELOCITY @ 16.1m (TSFC) _____ PER RATING OR EXT WALLS _____ PLAN NO. _____ SFD12-1148F ALLOW. FLOOR LOAD _____ 40 APPROVAL DATE _____ SIGNATURE _____ HEAD VELOCITY HURRICANE ZONE _____ NO | Customer: Hillborn Warner, Carter and Associates (HWC) 1627 South Myrtle Ave Clearwater, FL 33756 | Drawing Information Model Number: 340TL30683AM Sales Name: PELICAN BAY Series: TIMBERLAND Drawn by: GRS/BBJ Date: 01/21/17 Serial #: --- | P.E. William H "Rob" Roberts, P.E. 607 South Alexander Street Suite #201 Plant City, Florida 33563 Plant Information: Palm Harbor Homes, Inc. 605 S. Frontage Road Plant City, Florida 33566 | Plant Number: 69 © Copyright 2017 Palm Harbor Homes, Inc. All Rights Reserved |
|---|-------------------------------|-----------------|---------------------------------|---|--|---|---|--|



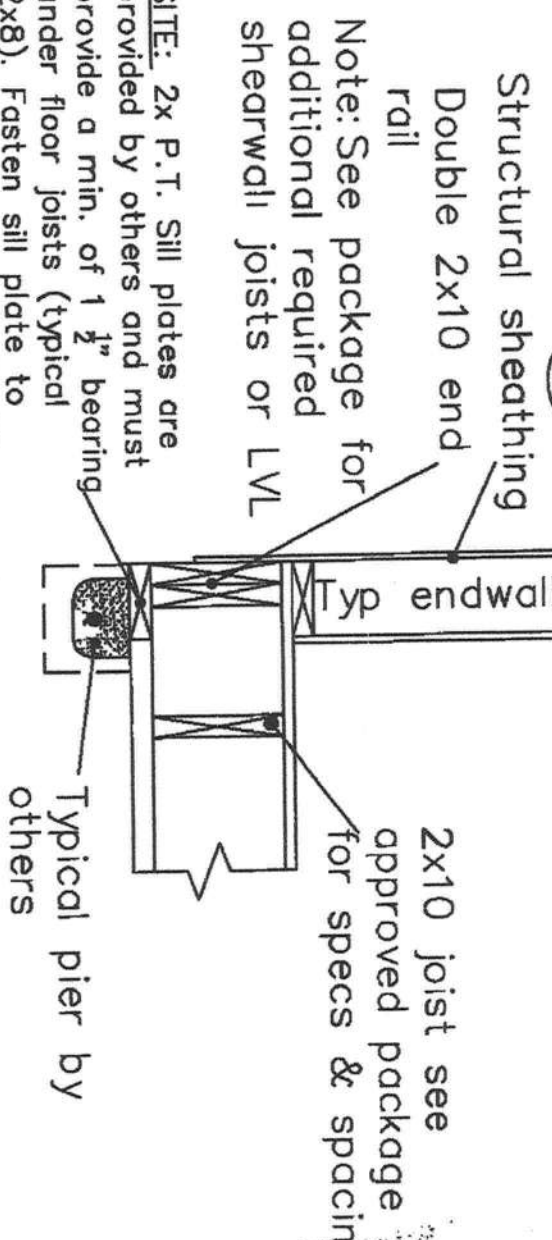
SIDEWALL WITH 2X10 FLOOR JOISTS



SITE: 2x P.T. Sill plates are provided by others and must provide a min. of 1 1/2" bearing under floor joists (typical 2x8). Fasten sill plate to perimeter rail with 0.131x3" nails 8" O.C. or #8 x 3 1/2" screws @ 10" O.C. endwalls & 16" O.C. sidewalls. Use corrosion resistant fasteners with treated lumber.



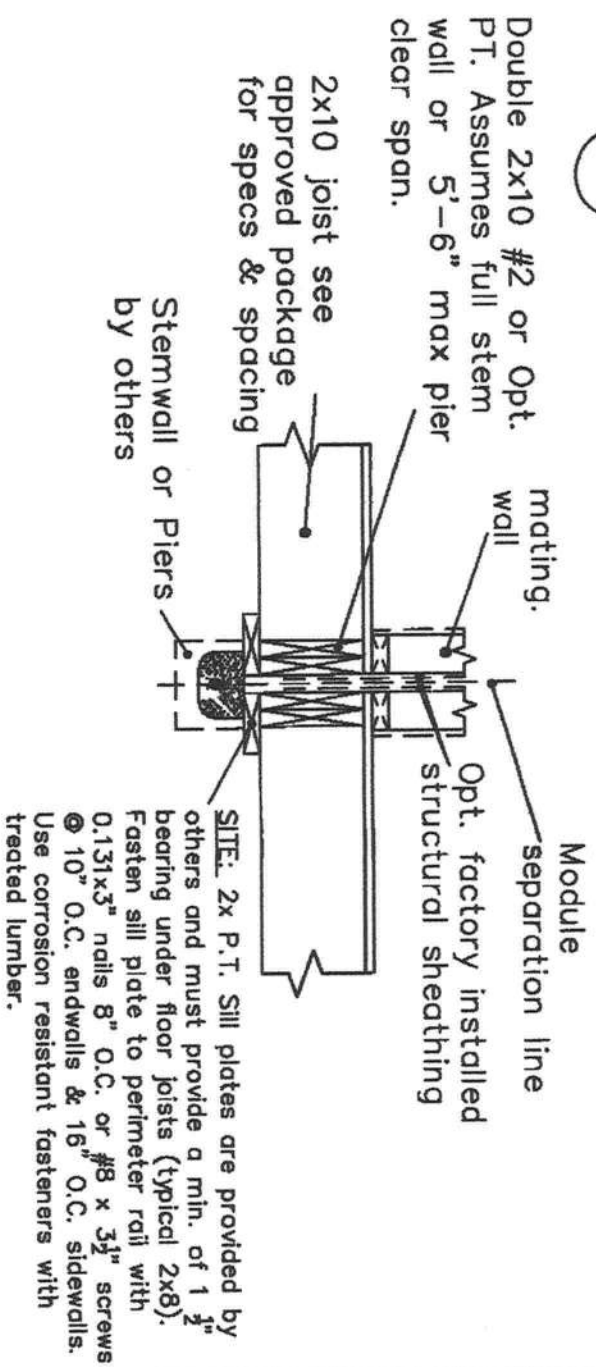
SECTION AT ENDWALL



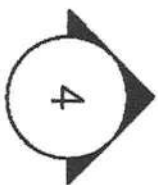
SITE: 2x P.T. Sill plates are provided by others and must provide a min. of 1 1/2" bearing under floor joists (typical 2x8). Fasten sill plate to perimeter rail with 0.131x3" nails 8" or #8 x 3 1/2" screws @ 10" O.C. endwalls & 16" O.C. sidewalls. Use corrosion resistant fasteners with treated lumber.



MATING LINE 2X10 FLOOR

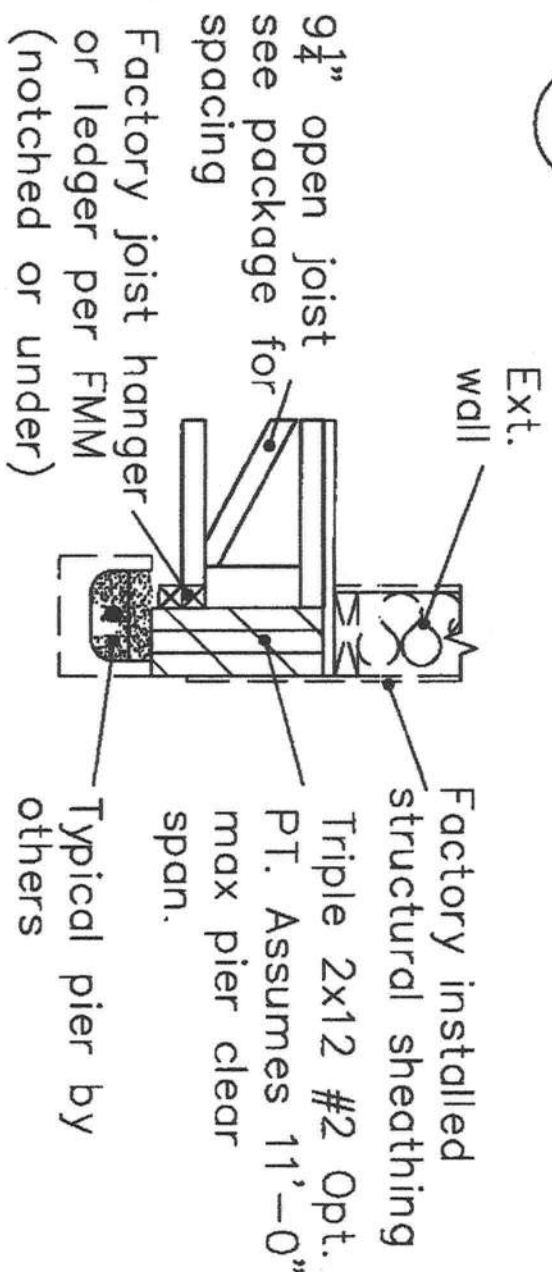


| | | | | | | | |
|--|--|--|--|---|--|--|--|
| Sheet Title: FLOOR FRAMING DETAILS STD 1 | | Sheet Number: S5.01 | | Sheet 1 of 1 | | Plan #: 3R-2102-1148F | |
| Customer: Hilborn, Werner, Carter and Associates (HWC) 1627 South Myrtle Ave Clearwater, FL 33756 | | Drawing Information: Model Number: 340TL30683AM Sales Name: PELICAN BAY Series: TIMBERLAND Drawn by: GRS/BB Date: 01/21/17 | | Manufacturer: Pelican Harbor Homes, Inc. 605 S. Frontage Road Plant City, Florida 33566 | | Copyright: © Copyright 2017 Pelican Harbor Homes, Inc. All Rights Reserved | |
| LISTING AGENCY APPROVAL: These plans comply with the Florida Building Code and are subject to the following conditions: CONSTR. TYPE: _____ OCCUPANCY: _____ ALLOWABLE NO. OF FLOORS: _____ WIND VELOCITY (160 MPH 150% SEC): _____ FIRE RATING OF EXT. WALLS: _____ ALLOW. FLOOR LOAD: _____ APPROVAL DATE: 11-2-18 MANUFACTURER: _____ HIGH VELOCITY WINDBONE ZONE: _____ | | | | | | | |

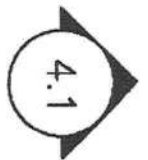


SIDEWALL OPT STILT SET

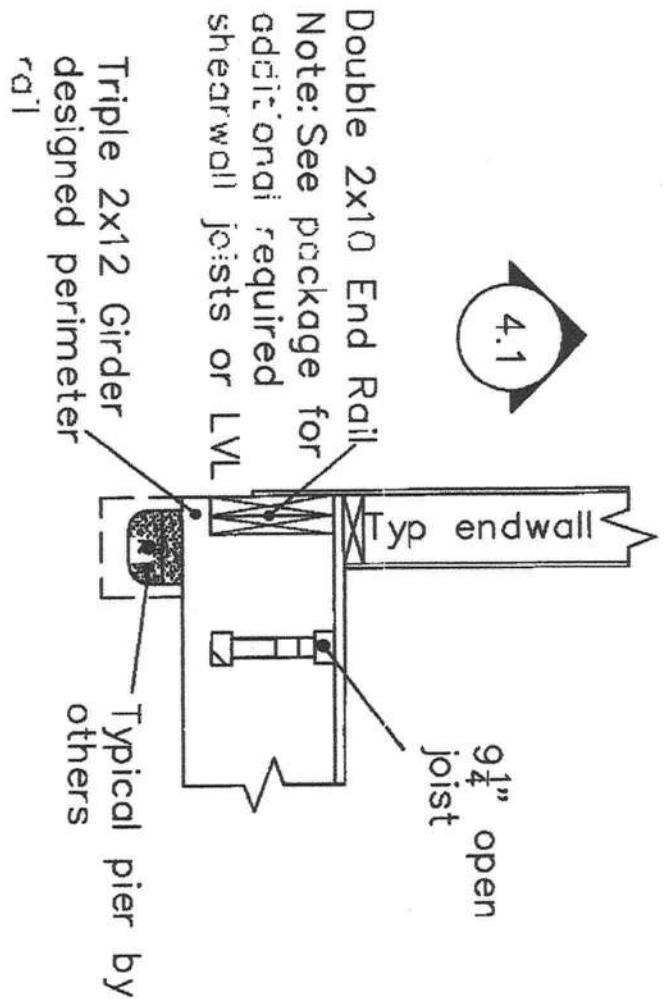
WITH 9 1/4" OJ



Note to contractor: Opt. Stilt package comes with Triple PT rails from the factory.



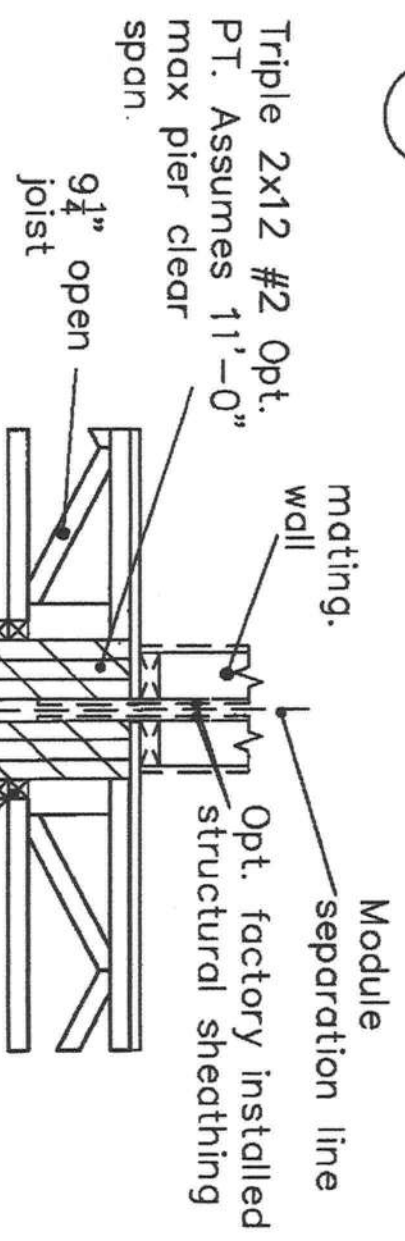
SECTION AT ENDWALL



Note to contractor: Opt. Stilt package comes with Triple PT rails from the factory. In that case, building separation from pier is not necessary.



MATING LINE OPT STILT SET WITH 9 1/4" OJ



Note to contractor: Opt. Stilt package comes with Triple PT rails from the factory.

| | | | |
|---|-------------------------|--|--|
| Drawing Information | | P.E. William H. Bobb, P.E. 605 South Alexander Street, Suite #201 Plant City, Florida 33663 License # 42712 | |
| Model Number: 340TL30683AM | Sales Name: PELICAN BAY | Palm Harbor Homes, Inc. 605 S. Frontage Road Plant City, Florida 33666 | |
| Series: TIMBERLAND | Drawn by: GRS/BB | Date: 01/21/17 | Copyright 2017 Palm Harbor Homes, Inc. All Rights Reserved |
| Customer: Hilborn, Warner, Carter and Associates (HWC) 1627 South Myrtle Ave Clearwater, FL 33756 | State: FL | LISTING AGENCY APPROVAL These prints comply with the Florida Manufactured Building Act of 1979. Construction Code and refers to the following details: OCCUPANCY: R-3 ALLOWABLE NO. OF FLOORS: 1 WIND VELOCITY (150 MPH 3 SEC): 150 PSI RATING OF EXT. WALLS: 0 ALLOW. FLOOR LOAD: 30 PSF MANUFACTURER: PHL APPROVAL DATE: 11-27-16 HIGH VELOCITY HURRICANE ZONE: NO | |
| Sheet Title: FLOOR FRAMING DETAILS STILT 1 | | Sheet Number: S5.01.2 | |
| Sheet: 1 of 1 | | Plan #: 3R-2102-1148F | |

PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 533.8452 and Florida Administrative Code 61 G20-3.006, this document provides the information and the product approval number(s) on the building components listed below

Manufacturer: Palm Harbor Homes of Florida - Plant City
Plant Number: 09

| ACTIVE | CATEGORY | MANUFACTURER | DPH | PRODUCT DESCRIPTIONS | DP+ | DP- | IMPACT | HVHZ | FPA |
|--------|------------------------|---------------------------|-----|---|----------|----------|--------|-------|----------|
| Active | Swinging Ext. Door | Dunbarton | 0 | SIX PANEL FIBERGLASS IS OR OS | 65 | 70 | No | No | 15362.4 |
| Active | Swinging Ext. Door | Dunbarton | 0 | DOUBLE SIDE LITE | 56 | 56 | No | No | 15362.6 |
| Active | Swinging Ext. Door | Dunbarton | 0 | DOUBLE 15 LITE PATIO DOOR | 45 | 50 | No | No | 15362.8 |
| Active | Swinging Ext. Door | Therma-Tru | 0 | INSWINGING/OUT SWINGING 6 PANEL FIBERGLASS IMPACT (CLASSIC CRAFT, SMOOTH STAR & FIBERGLASSIC) | 100 | 100 | Yes | Yes | 14986.2 |
| Active | Swinging Ext. Door | Kinro | 0 | 9750 SERIES IMPACT RESISTANT | 66 | 66 | Yes | No | 993.3 |
| Active | Windows - SH | Kinro | 0 | 9750 SERIES NON-IMPACT | 50 | 66 | No | No | 993.2 |
| Active | Swinging Ext. Door | Schenco | 0 | 9000 SERIES IMPACT VINYL | 100 | 100 | Yes | CHECK | 8163.1 |
| Active | Sliding Glass door Ext | Athum | 0 | 72280 332/2352 IMPACT MODEL SGD | 60 | 60 | Yes | No | 11646.3 |
| Active | Sliding Glass door Ext | Athum | 0 | 72280 352/2352 MODEL SGD | 60 | 60 | No | No | 11646.4 |
| Active | Sliding | StyleCrest | 0 | HARBOR CREST SLIDING D3 | NA | 175 | No | No | 12231.6 |
| Active | Sliding | Handle | 0 | 4X VERTICAL 5/16 PANELS | NA | *** | No | No | 13223.1 |
| Active | Sliding | Handle | 0 | 6.25 EXP. X 12" | NA | 130.2 | Yes | Yes | 13192.1 |
| Active | Underlayment | Tamco | 0 | ASPHALT UNDERLAYMENT | NA | NA | No | No | 12328.6 |
| Active | Wood Connector | Simpson | 0 | LSTA STRAPS | NA | NA | No | CHECK | 10862.4 |
| Active | Wood Connector | Simpson | 0 | MSTA STRAPS | NA | NA | No | CHECK | 10862.7 |
| Active | Wood Connector | Simpson | 0 | MSTA STRAPS | NA | NA | No | CHECK | 10862.7 |
| Active | Engineered Lumber | Universal Forest Products | 0 | OPEN JOIST 2000 | NA | NA | No | NA | 5823.1 |
| Active | Windows - SH | Custom Window Systems | 0 | 8100 SERIES VINYL SINGLE HUNG (IMPACT) 36X62 MAX SIZE | 67.5 | 75 | Yes | Yes | 5823.4 |
| Active | Windows - SH | Custom Window Systems | 0 | 8100 SERIES "HEAVY DUTY" IMPACT 48X72 MAX SIZE | 100 | 100 | Yes | Yes | 12231.6 |
| Active | Sliding | StyleCrest | 0 | INSULIDE D6 (FOUR SEASONS) | 79.9/163 | 79.9/163 | NA | No | 1763.1 |
| Active | Metal Roofing | Advanced Aluminum | 0 | METAL ROOF | 67 | 67 | Yes | No | 5891.2 |
| Active | Swinging Ext. Door | Therma-Tru | 0 | 6 PANEL EXTERIOR DOOR SWINGING SMOOTHSTAR | 67.5 | 67.5 | Yes | Yes | 10272.1 |
| Active | Sliding Glass door Ext | Custom Window Systems | 0 | SGD 8920/8950 0XXX 6', 8' OR 9' UP TO 192" | 70 | 70 | Yes | Yes | 14850.1 |
| Active | Ext. Double French | Custom Window Systems | 0 | 8750 SERIES SD FRENCH (PATIO) DOUBLE FRENCH DOOR XX | 70 | 106.75 | Yes | Yes | 11175 |
| Active | Metal Roofing | SEWCO | 0 | STANDING SEAM 5/16" RIM 16" PANEL GALV OR STEEL | 65 | 70 | Yes | No | 15213.1 |
| Active | Swinging Ext. Door | PLASPRO | 0 | INSWINGING SWINGING 6 PANEL FIBERGLASS IMPACT | 64 | 64 | Yes | No | 15213.1 |
| Active | Swinging Ext. Door | PLASPRO | 0 | OUTSWINGING SWINGING 6 PANEL FIBERGLASS IMPACT | NA | NA | NA | Yes | 7006.4 |
| Active | Shingles | IKO | 0 | IKO MARATHON 25 SHINGLES | NA | NA | NA | Yes | 6267-R14 |
| Active | Shingles | GAF | 0 | GAF COBRA RIDGEVENT | NA | NA | NA | Yes | 6267-R14 |

| | | | | | | | |
|---|--|--|--|--|--|--|--|
| Sheet Title: FLORIDA PRODUCT APPROVALS Sheet Number: 1 of 1 Plan #: 3R-2102-1148F | | Drawing Information Model Number: 340TL30683AM Sales Name: PELICAN BAY Series: TIMBERLAND Drawn by: GRS/BB Date: 01/21/17 Serial #: 1 | | P.E. William H. Roberts, P.E. 602 S. South Alexander Street Suite #202 Plant City, Florida 33563 Tel: 813.427.1212 Fax: 813.427.1213 | | Palm Harbor Homes © Copyright 2017 Palm Harbor Homes, Inc. All Rights Reserved | |
|---|--|--|--|--|--|--|--|

NOTES:

- 1) CRAWL SPACE ACCESS OPENING MUST BE 24" WIDE X 18" HIGH OR AS MANDATED BY LOCAL CODES. ACCESS MAY BE LOCATED ANYWHERE EXCEPT UNDER DOORS, PORCHES AND SHEAR WALLS.
- 2) CRAWL SPACE VENTILATION OPENINGS REQUIRED WITHIN 36" OF EACH CORNER OR AS MANDATED BY LOCAL CODE.
- 3) UNLESS OTHERWISE SPECIFIED, FOOTERS ALONG CENTERLINE ARE 24x24x8 MIN.
- 4) MINIMUM CONCRETE COMPRESSIVE STRENGTH (f_c') IS 3000 PSI AFTER 28 DAYS.
- 5) MINIMUM CLEARANCE IN CRAWL SPACE IS 18" BETWEEN GROUND AND WOOD FRAMING.
- 6) FOUNDATION WALLS ARE POURED CONCRETE OR FULLY MORTARED CONCRETE BLOCK (CMU).
- 7) DESIGN BASED ON 20 PSF ROOF LIVE LOAD & 40 PSF FLOOR LIVE LOAD.
- 8) LOCAL SITE CONDITIONS WHICH VARY SUBSTANTIALLY FROM ASSUMPTIONS NOTED ON THIS DRAWING, MAY AT THE DISCRETION OF THE LOCAL BUILDING OFFICIAL, REQUIRE A FOUNDATION DESIGNED BY A PROFESSIONAL ENGINEER WHO IS FAMILIAR WITH THE SPECIFIC SITE CONDITIONS.
- 9) CONCRETE CURING TIME: IN ACCORDANCE WITH ACI-308, MAINTAIN CURING MEASURES BEFORE CONSTRUCTION ON CONCRETE FOUNDATION COMPONENTS BEGINS, UNTIL A MINIMUM OF 70% OF THE SPECIFIED 28-DAY COMPRESSIVE STRENGTH HAS BEEN ACHIEVED. THE RECOMMENDED TIME TO ATTAIN THIS LEVEL OF STRENGTH IS 7 DAYS FOR ASTM C150 TYPE 1 MIXTURES AND 10 DAYS FOR TYPE II MIXTURES. "IN SERVICE" LOADING (FULL DESIGN LIVE & DEAD LOADS) MAY NOT BE APPLIED UNTIL THE 28 DAY DURATION HAS ELAPSED FOR ACHIEVING FULL STRENGTH
- 10) STANDARD FASTENING OF HOUSE TO FOUNDATION - TOENAIL PERIMETER JOIST TO SILL PLATE WITH 16d NAILS PER CHARTS ON PAGESSO.05 & SO.06
- 11) NOTE: ACCESSSES UNDER PORCHES ARE NOT IN PLACE OF BUT IN ADDITION TO MAIN ACCESS

NOTE TO CONTRACTORS: WIDTH OF FOUNDATION PLANS MAY NOT MATCH FLOOR PLAN DIMENSIONS. (TYPICALLY PAGE A1.01) FOUNDATION PLANS HAVE BEEN DESIGNED TO BE (1") WIDER PER MODULE THAN FLOOR PLANS, TO ACCOMMODATE FLOOR PLAN GROWTH DUE TO CENTERLINE STRAPPING, AND EXTERIOR SHEATHINGS. THIS APPLIES ONLY TO DOUBLE WIDE SECTIONS AND THE OUTER SECTIONS OF TRIPLE WIDES ONLY. DOES NOT APPLY TO CENTER SECTION OF TRIPLE WIDES.

NOTE TO CONTRACTORS: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LENGTH, WIDTH, AND OTHER STANDARD OR OPTIONAL FEATURES SUCH AS BAYS, OFFSETS, PORCHES, ETC., AGAINST THE FACTORY SERIALIZED PRINT. CONTACT YOUR FACTORY REPRESENTATIVE FOR A SERIALIZED COPY OF YOUR PROJECT.

INDICATES THE SHEARWALL LOCATIONS. SEE SHEAR WALL SUMMARY FOR ANCHORAGE AND FOUNDATION REQUIREMENTS AT SHEAR WALL LOCATIONS SHOWN.

| | | | | | | | |
|---|--|--|--|---|--|--|--|
| Sheet Title: FOUNDATION NOTES | | Drawing Information Model Number: 340TL30683AM Sales Name: PELICAN BAY Series: TIMBERLAND Drawn by: GRS/BB Date: 01/21/17 Serial #: -- | | P.E. William H. "Rob" Roberts, P.E. 807 South Alexander Street Suite #201 Plant City, Florida 33563 Lic. # 42212 Plant Information | | Plant Number: 69 © Copyright 2017 Palm Harbor Homes, Inc. All Rights Reserved | |
| Sheet Number F2 | | Customer: | | Palm Harbor Homes, Inc. 605 S. Frontage Road Plant City, Florida 33566 | | Palm Harbor Homes | |
| Sheet 1 of -- | | Plan #: 3R-2102-1148F | | | | | |

Foundation Shear Wall General Notes:

1. Connection requirements shown in Columns A through H apply to shear walls in end walls only.
2. Side wall connections are shown above the header of each table.
Rim to Sill Plate: Toe-nail the floor rim along the side walls to the sill plate with 0.131x3" nails at spacing shown in the appropriate table.

Anchor spacing along Side Walls: Anchorage at the foundation walls along each side wall consists of securing the pressure treated sill plate (S. Pine or better) to the foundation wall with $\frac{1}{2}$ " diameter Simpson or equal Wedge-All anchor bolts with 2 $\frac{1}{4}$ " minimum embedment spaced as indicated in the appropriate table header.

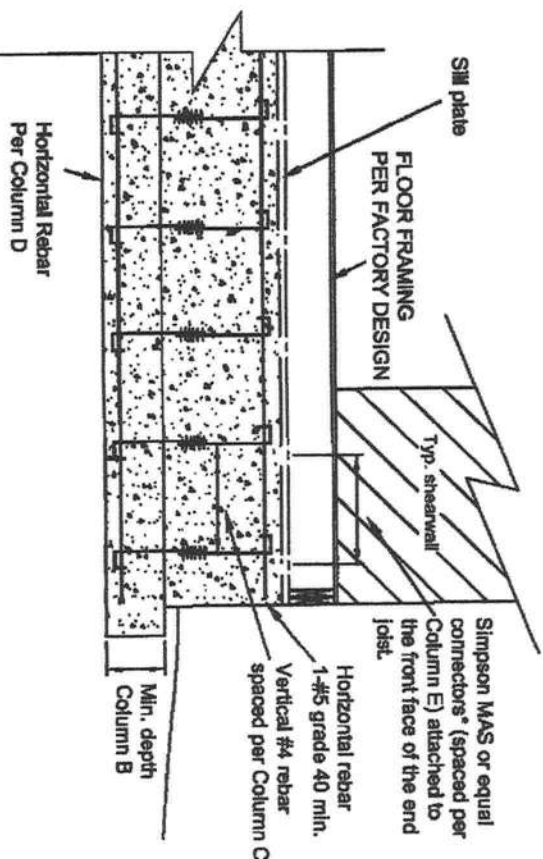
3. Use stainless steel fasteners with stainless steel connectors for all steel in contact with pressure treated lumber, or use hot-dipped galvanized fasteners (ASTM A153) with galvanized connectors (ASTM A653).

Foundation Shear Wall Table Notes:

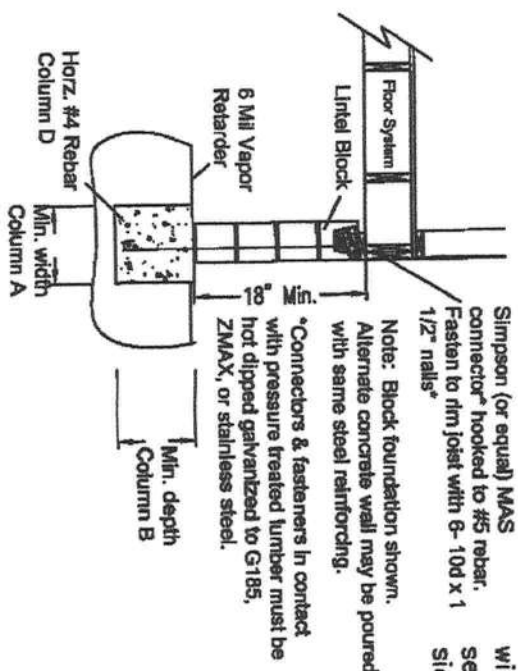
Letters in the table column headings (A through H) correspond with notes below. Refer to the typical foundation print for shear wall locations corresponding to alpha-numeric designations shown in first table column.

- A. Minimum footer width for the full width of the unit end wall the shear section(s) is/are in. See column D for the number of horizontal bars required in this footer. See details below.
- B. Minimum footer depth for the full width of the unit end wall the shear section(s) is/are in.
- C. Required spacing and size of the vertical rebar continuous from the lintel horizontal bar to the footing horizontal rebar. See details below.
- D. Required number and size of the horizontal rebar in the footing to be placed on chairs per code. Rebar is continuous (lapped) for the full length of footer. See details below.
- E. Required spacing of anchors from end joist of the module to the lintel horizontal rebar in the case of Simpson MAS connectors. When MAS or equal connectors are NOT used and another connector is not specified in this column, the connection must be designed by a local registered engineer. See details below.
- F. This column applies only when a Simpson MAS or equal connector is not used. In this case, a 4" sheathing strip is fastened with 0.099 x 1 $\frac{1}{2}$ " nails into the sill plate and the end joist, at the maximum spacing indicated in column F.
- G. Moment shown is in ft-lbs and is provided for a designer's use in case this foundation design is not practical or desired and an alternate foundation design is to be engineered. For elevated (still) sets this moment must be used to determine the required anchorage and foundation design.

Shear wall to Foundation



CMU or Poured Concrete Detail Under Shearwalls



Note: Footer width and thickness as shown in Columns A & B, are required only under the respective end shear wall, and extends the full width of the end wall, regardless of the shear segment(s) location or combined length(s). For side wall footer dimensions refer to other details.

See Foundation
Tables on other pages
in this package.

| | |
|--------------|-----------------------|
| Sheet Title: | FOUNDATION SHEAR WALL |
| Sheet Number | F4 |
| Sheet | 1 of - |
| Plan #: | 3R-2102-1148F |

| | |
|---------------------|--------------|
| Drawing Information | |
| Model Number: | 340TL30683AM |
| Sales Name: | PELICAN BAY |
| Series: | TIMBERLAND |
| Drawn by: | GRS/BB |
| Date: | 01/21/17 |
| Serial #: | |

| | |
|-------------------------|---|
| P.E. | William H. "Rob" Roberts, P.E. 607 South Alexander Street Suite #201 Plant City, Florida 33566 Phone: 422-2222 Plant Information |
| Palm Harbor Homes, Inc. | 605 S. Frontage Road Plant City, Florida 33566 |

| | |
|---------------------|-------------------------|
| Plant Number | 69 |
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150 MPH Vult ELEVATED

| SIDE WALLS (except when elevated) | | | | ASCE 7-10 | |
|--|---------------------|----------------------------|------------------------|-----------|--|
| Location | Minimum Footer Size | Number of Horizontal Rebar | Vertical Rebar Spacing | | |
| 6 FT. End Zone = | N/A | N/A | N/A | | |
| Interior Zone = | N/A | N/A | N/A | | |
| Rim to Sill Plate: 8.53 inches etc. Anchor Spacing Along Side Wall: 47.34 inches etc. | | | | | |

| | | | | | | |
|---|-----------------------|-------------------------------------|-----------------------------|----------------------------|----------------------------------|--------------------------------|
| Exposed | | SHEAR WALLS | | Side Wall HT(in.):108 | | |
| Wind Zone:150 | | Max Elev(in.):120 | | Framing:2x6 | | |
| Elevated Sill Foundation - Designed by Others | | | | | | |
| A | B | C | D | E | F | G |
| Min. Footer Width(in) | Min. Footer Depth(in) | #4 Vertical Rebar Spacing (in o.c.) | No. of #4 Horizontal Rebars | Simpson MMS Conn (in o.c.) | Sheathing Strip to Sill and Rail | Moment at Bottom of Unit Floor |
| A | N/A | N/A | N/A | N/A | N/A | 35346 |
| B | N/A | N/A | N/A | N/A | N/A | 35346 |
| C | N/A | N/A | N/A | N/A | N/A | 35346 |
| D | N/A | N/A | N/A | N/A | N/A | 35346 |

170 MPH Vult ELEVATED

| SIDE WALLS (except when elevated) | | | | ASCE 7-10 | |
|--|---------------------|----------------------------|------------------------|-----------|--|
| Location | Minimum Footer Size | Number of Horizontal Rebar | Vertical Rebar Spacing | | |
| 6 Ft. End Zone = | N/A | N/A | N/A | | |
| Interior Zone = | N/A | N/A | N/A | | |
| Rim to Sill Plate: 8.54 inches etc. Anchor Spacing Along Side Wall: 38.55 inches etc. | | | | | |

| Exposed | | SHEAR WALLS | | Side Wall HT (in.): 108 | | |
|---|------------------------|-------------------------------------|-----------------------------|----------------------------|----------------------------------|--------------------------------|
| Wind Zone: 170 | | Max. Elev.: 1120 | | Framing: 206 | | |
| Elevated Sill Foundation - Designed by Others | | | | | | |
| A | B | C | D | E | F | G |
| Mfr. Footer Width (in) | Mfr. Footer Depth (in) | #4 Vertical Rebar Spacing (in o.c.) | No. of #4 Horizontal Rebars | Simpson MMS Conn (in o.c.) | Sheathing Strip to Sill and Rail | Moment at Bottom of Unit Floor |
| A | N/A | N/A | N/A | N/A | N/A | 45400 |
| B | N/A | N/A | N/A | N/A | N/A | 45400 |
| C | N/A | N/A | N/A | N/A | N/A | 45400 |
| D | N/A | N/A | N/A | N/A | N/A | 45400 |

180 MPH Vult ELEVATED

| SIDE WALLS (except when elevated) | | | | ASCE 7-10 | |
|--|---------------------|--|----------------------------|------------------------|--|
| Location | Minimum Footer Size | | Number of Horizontal Rebar | Vertical Rebar Spacing | |
| 6 FT. End Zone = | N/A | | N/A | N/A | |
| Interior Zone = | N/A | | N/A | N/A | |
| Rim to Sill Plate: 5.82 inches etc. Anchor Spacing Along Side Wall: 32.59 inches etc. | | | | | |

| | | | | | | |
|-----------------------|-----------------------|---|-----------------------------|-------------------------------|----------------------------------|--------------------------------|
| Exposed D | | SHEAR WALLS | | Side Wall HTip, j:108 | | |
| Wind Zones:160 | | Elevated Silt Foundation - Designed by Others | | Max Elev(in.):120 Framing:2d6 | | |
| A | B | C | D | E | F | G |
| Min. Footer Width(in) | Min. Footer Depth(in) | #4 Vertical Rebar Spacing (in o.c.) | No. of #4 Horizontal Rebars | Simpson MMS Conn (in o.c.) | Sheathing Strip to Sill and Rail | Moment at Bottom of Unit Floor |
| N/A | N/A | N/A | N/A | N/A | N/A | 50899 |
| N/A | N/A | N/A | N/A | N/A | N/A | 50899 |
| N/A | N/A | N/A | N/A | N/A | N/A | 50899 |
| N/A | N/A | N/A | N/A | N/A | N/A | 50899 |

150 MPH Vult NON ELEV

| SIDE WALLS (except when elevated) | | | | ASCE 7-10 | |
|--|---------------------|----------------------------|------------------------|-----------|--|
| Location | Minimum Footer Size | Number of Horizontal Rebar | Vertical Rebar Spacing | | |
| 6 FT. End Zone = | 12 Wide x 15 Deep | 2 | 18.8 inches o/c | | |
| Interior Zone = | 12 Wide x 11.9 Deep | 2 | 25.5 inches o/c | | |
| Rim to Sill Plate: 8.88 inches o/c. Anchor Spacing Along Side Wall: 49.18 inches o/c. | | | | | |

| Exposed | | SHEAR WALLS | | Side Wall HT(in.),108 | | |
|----------------------|-----------------------|-------------------------------------|----------------------------|------------------------------|----------------------------------|--------------------------------|
| Wind Zone:150 | | Max Elev(in),48 | | Framing:265 | | |
| A | B | C | D | E | F | G |
| Shear Wall Width(in) | Min. Footer Depth(in) | #4 Vertical Rebar Spacing (in o.c.) | No of #4 Horizontal Rebars | Shearspan MMS Conn (in o.c.) | Sheathing Strip to Sill and Rail | Moment at Bottom of Unit Floor |
| A | 16 | 72 | 2 | 41 | N/A | 34029 |
| B | 16 | 72 | 2 | 41 | N/A | 34029 |
| C | 16 | 72 | 2 | 41 | N/A | 34029 |
| D | 16 | 72 | 2 | 41 | N/A | 34029 |

170 MPH Vult NON ELEV

| SIDE WALLS (except when elevated) | | | | ASCE 7-10 | |
|--|---------------------|----------------------------|------------------------|-----------|--|
| Location | Minimum Footer Size | Number of Horizontal Rebar | Vertical Rebar Spacing | | |
| 6 FT. End Zone = | 12 Wide x 20.3 Deep | 3 | 34.4 inches etc | | |
| Interior Zone = | 12 Wide x 11.9 Deep | 2 | 50.3 inches etc | | |
| Rim to Sill Plate: 13.88 inches etc. Anchor Spacing Along Side Wall: 72 inches etc. | | | | | |

| Exposure D | | SHEAR WALLS | | Side Wall HTR, P&B | | | |
|------------------------|------------------------|-------------------------------------|-----------------------------|----------------------------|----------------------------------|--------------------------------|-------|
| Wind Zone: T70 | | Max Elev (ft): 238 | | Framing: 2x6 | | | |
| A | B | C | D | E | F | G | |
| Min. Footer Width (in) | Min. Footer Depth (in) | #4 Vertical Rebar Spacing (in o.c.) | No. of #4 Horizontal Rebars | Simpson MMS Conn (in o.c.) | Sheathing Strip to Sill and Rail | Moment at Bottom of Unit Floor | |
| A | 16 | 8 | 72 | 1 | 65 | N/A | 10476 |
| B | 18 | 8 | 72 | 1 | 65 | N/A | 10476 |
| C | 18 | 8 | 72 | 1 | 65 | N/A | 10476 |
| D | 16 | 8 | 72 | 1 | 65 | N/A | 10476 |

180 MPH Vult NON ELEV

| SIDE WALLS (except when elevated) | | | | ASCE 7-10 | |
|---|---------------------|----------------------------|------------------------|-----------|--|
| Location | Minimum Footer Size | Number of Horizontal Rebar | Vertical Rebar Spacing | | |
| 6 FT. End Zone = | 12 Wide x 27.3 Deep | 4 | 12.5 inches o/c | | |
| Interior Zone = | 12 Wide x 17.3 Deep | 3 | 17.7 inches o/c | | |
| Rim to Sill Plate: 6.15 inches etc. Anchor Spacing Along Side Walls: 34.15 inches etc. | | | | | |

| Exposed | | SHEAR WALLS | | Side Wall HT(in.):108 | | | |
|-----------------------|-----------------------|-------------------------------------|----------------------------|----------------------------|----------------------------------|--------------------------------|-------|
| Wind Zone:180 | | Max Elev(in.):48 | | Framing:2x6 | | | |
| A | B | C | D | E | F | G | |
| Min. Footer Width(in) | Min. Footer Depth(in) | #4 Vertical Rebar Spacing (in o.c.) | No of #4 Horizontal Rebars | Simpson MMS Conn (in o.c.) | Sheathing Strip to Sill and Rail | Moment at Bottom of Unit Floor | |
| A | 16 | 18 | 72 | 3 | 28 | N/A | 48002 |
| B | 16 | 18 | 72 | 3 | 28 | N/A | 48002 |
| C | 16 | 18 | 72 | 3 | 28 | N/A | 48002 |
| D | 16 | 18 | 72 | 3 | 28 | N/A | 48002 |

Sheet Title: FOUNDATION SHEAR WALL

Sheet Number: F5

Sheet: 1 of 1

Plan #: 3R-2102-1148F

Drawing Information

Model Number: 340TL30683AM

Sales Name: PELICAN BAY

Series: TIMBERLAND

Drawn by: GRS/BB

Date: 01/21/17

Serial #: 11

P.E. William H. "Bob" Roberts, P.E.

607 South Alexander Street, Suite #201

Plant City, Florida 33563

Phone: 813-977-1122

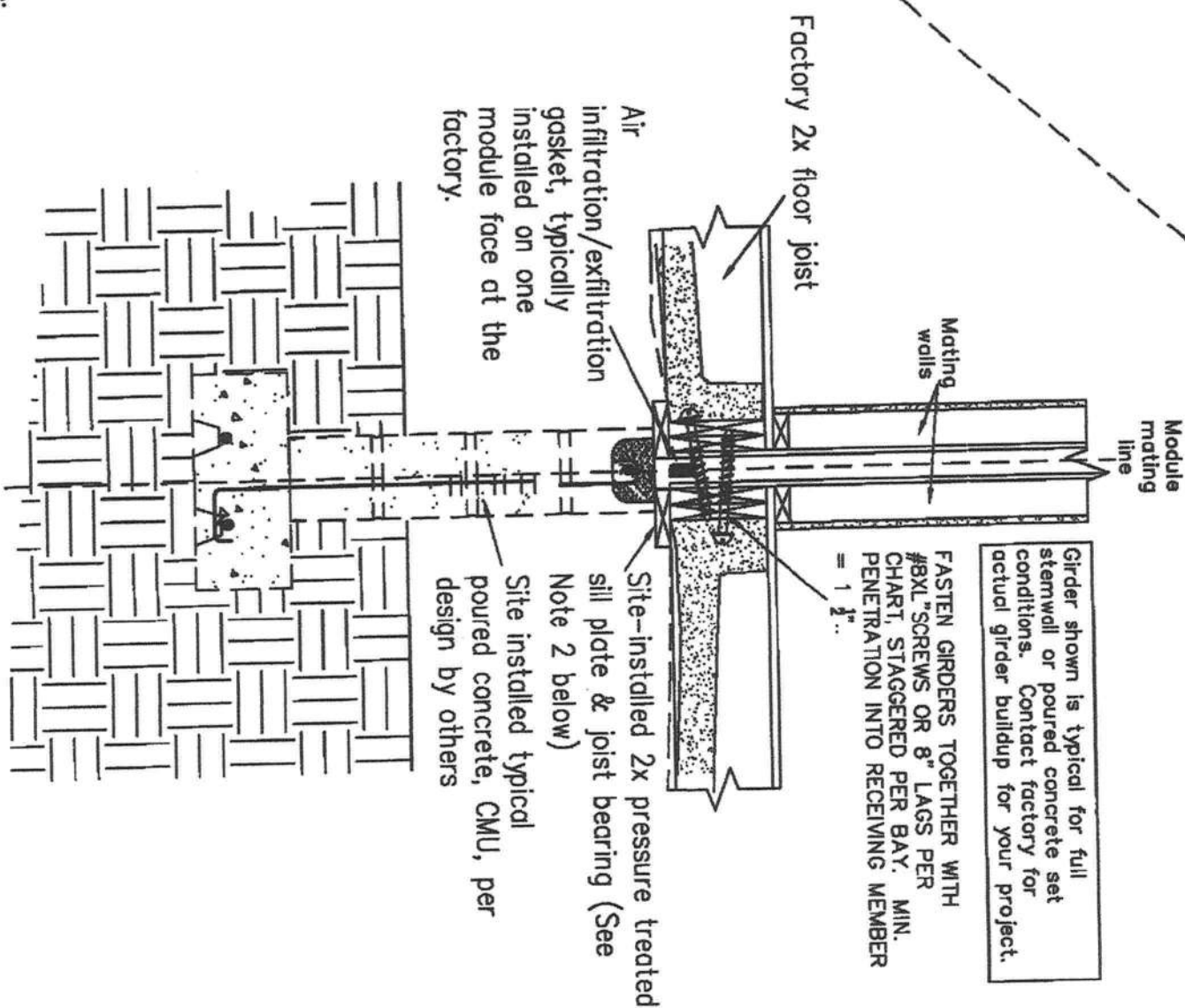
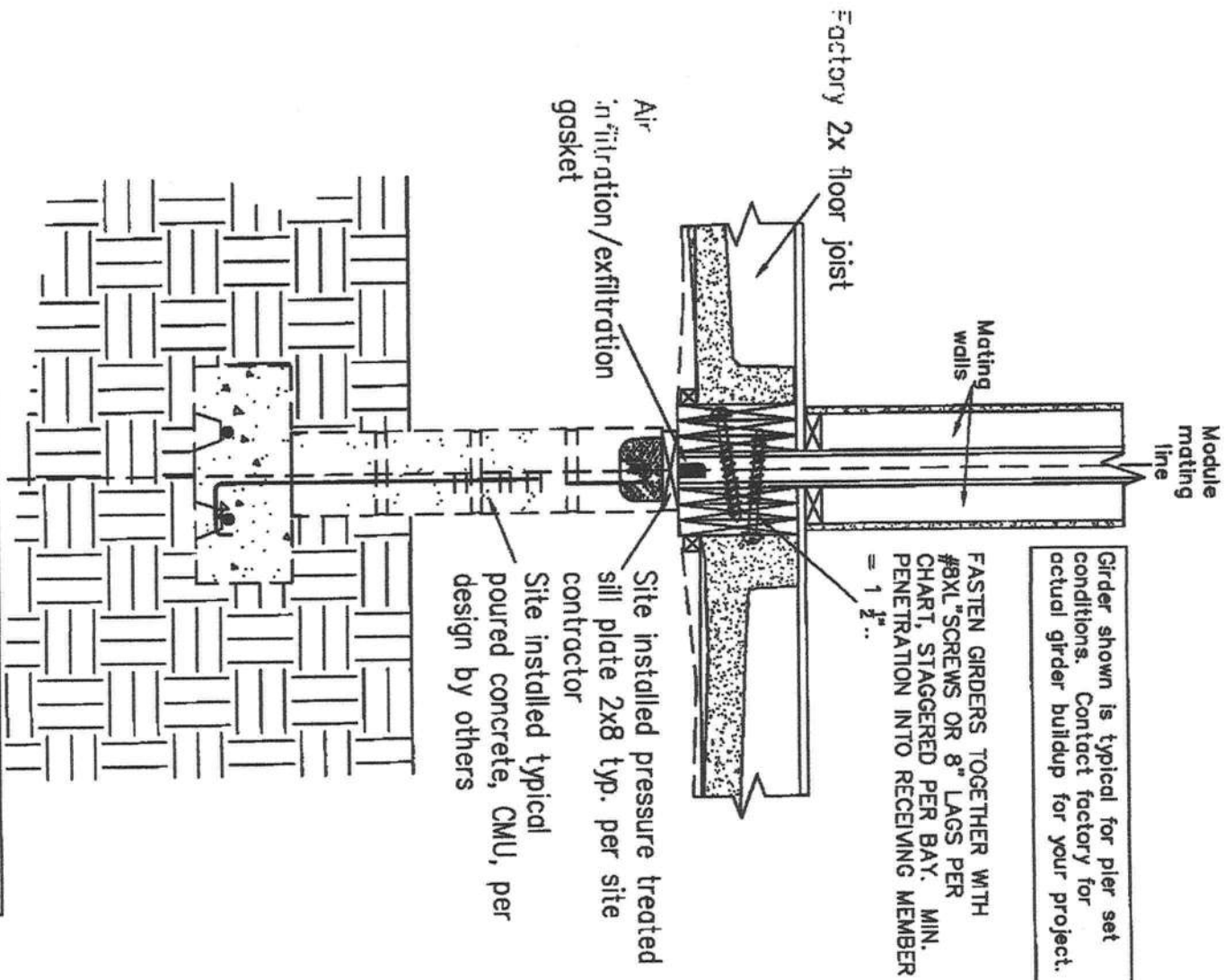
Palmer Harbor Homes, Inc.

605 S. Frontage Road

Plant City, Florida 33566

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| MPH Vult Exp. D | Module Interconnection @ Floor Girders | | | |
|-----------------|--|-----------------------|------------------------|------------------------|
| | #8 Screws inches O.C. | 3/8" Lags inches O.C. | Up to 164" floor width | Up to 184" floor width |
| 150 | 7 | 5 | 5 | 3 1/2 |
| 160 | 6 3/8 | 4 3/8 | 5 3/4 | 3 7/8 |
| 170 | 5 5/8 | 3 7/8 | 3 7/8 | 2 5/8 |
| 180 | 5 | 3 1/2 | 3 3/8 | 2 3/8 |
| 208 | 3 5/8 | 2 1/2 | 2 5/8 | 1 7/8 |



Notes:

1. Installation contractor shall take care to prevent air infiltration/exfiltration. If the factory installed gasket is damaged or segments missing, it shall be repaired, replaced, or the use of other methods of envelope closure shall be used, i.e., expanding foam, caulking, durable tape or sheathing, or a combination of these methods.
2. 2x sill plate (min. 2x6 PT or wider) must provide a min. of 1 1/2" for floor joist bearing. Face nail sill plate to perimeter wall with 0.131x3" nails 8" o.c. Must use corrosion resistant fasteners with pressure treated lumber.

| | |
|---------------|---------------|
| Sheet Title: | IM-FLOOR |
| Sheet Number: | IM.01 |
| Sheet 1 of 1 | |
| Plan #: | 3R-2102-1148F |

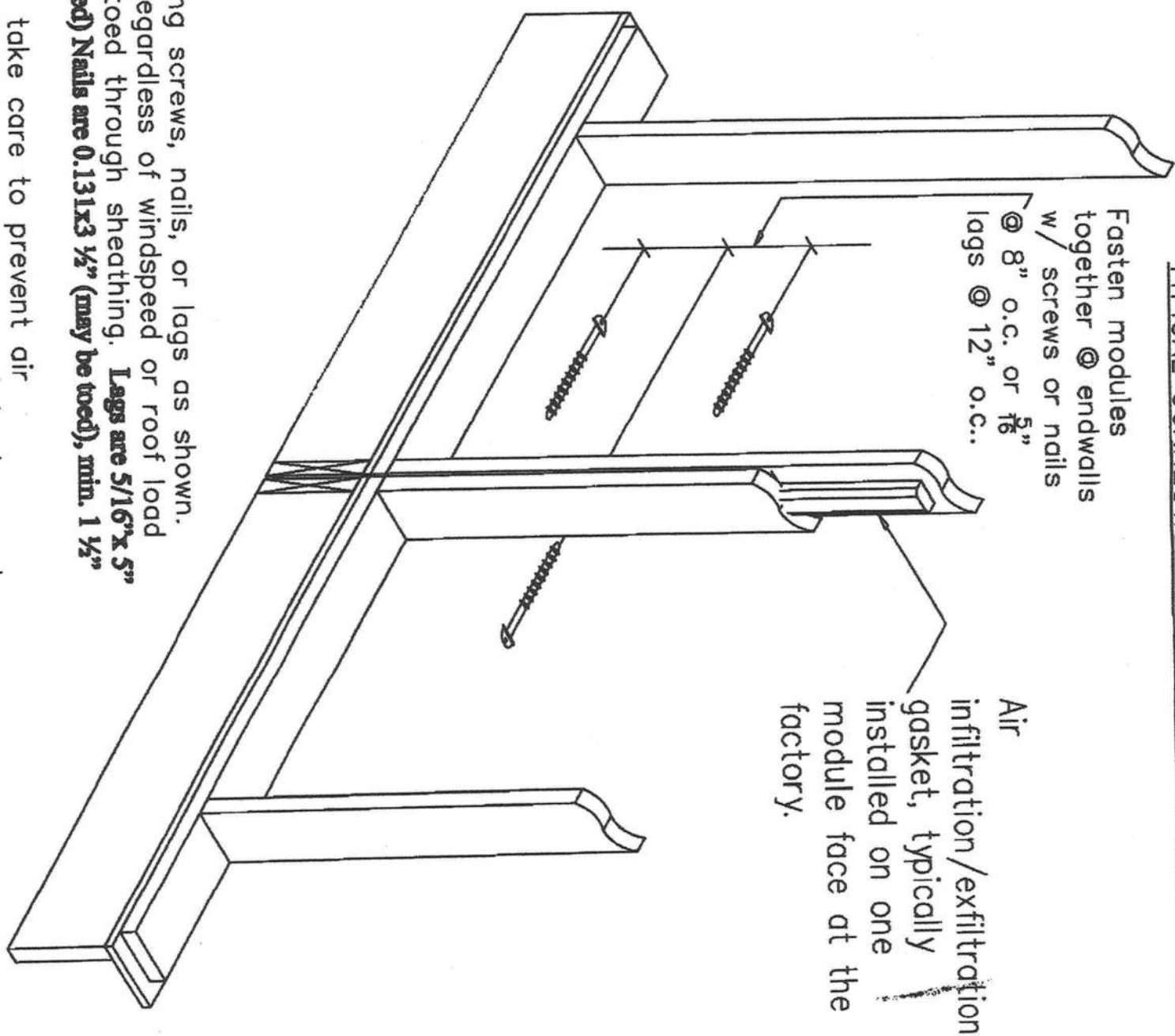


| | |
|---------------------|-----------------|
| Drawing Information | |
| Model Number: | 340TL30683AM |
| Sales Name: | PELICAN BAY |
| Series: | TIMBERLAND |
| Drawn by: | GRS/BB 01/21/17 |
| Serial #: | |

| | |
|---|---|
| P.E. | William H. Roberts, P.E. 607 South Alexander Street Suite #201 Plant City, Florida 33563 Tel: 813-437-1112 Plant Information |
| Palm Harbor Homes, Inc. 605 S. Franchise Road Plant City, Florida 33566 | |

| | |
|----|--|
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|----|--|

TYPICAL CONNECTION OF MODULES AT ENDWALLS



Notes:

1. Endwalls are connected using screws, nails, or lags as shown. This connection is typical regardless of windspeed or roof load design. Fasteners may be toed through sheathing. Lags are 5/16"x5" long. Screws are #8x4" (May be toed) Nails are 0.131x3 1/2" (may be toed), min. 1 1/2" penetration into receiving member.
2. Installation contractor shall take care to prevent air infiltration/exfiltration. If the factory installed gasket is damaged or segments missing, it shall be repaired, replaced, or the use of other methods of envelope closure shall be used, i.e., expanding foam, caulking, durable tape or sheathing, or a combination of these methods.
3. Endwall/mating wall configurations on some models prevent the interconnection of the modules on some plans. on those plans, the endwalls are designed to be "stand alone" walls and no



| | |
|--------------|---------------|
| Sheet Title: | IM-ENDWALL |
| Sheet Number | IM.02 |
| Sheet | 1 of - |
| Plan #: | 3R-2102-1148F |

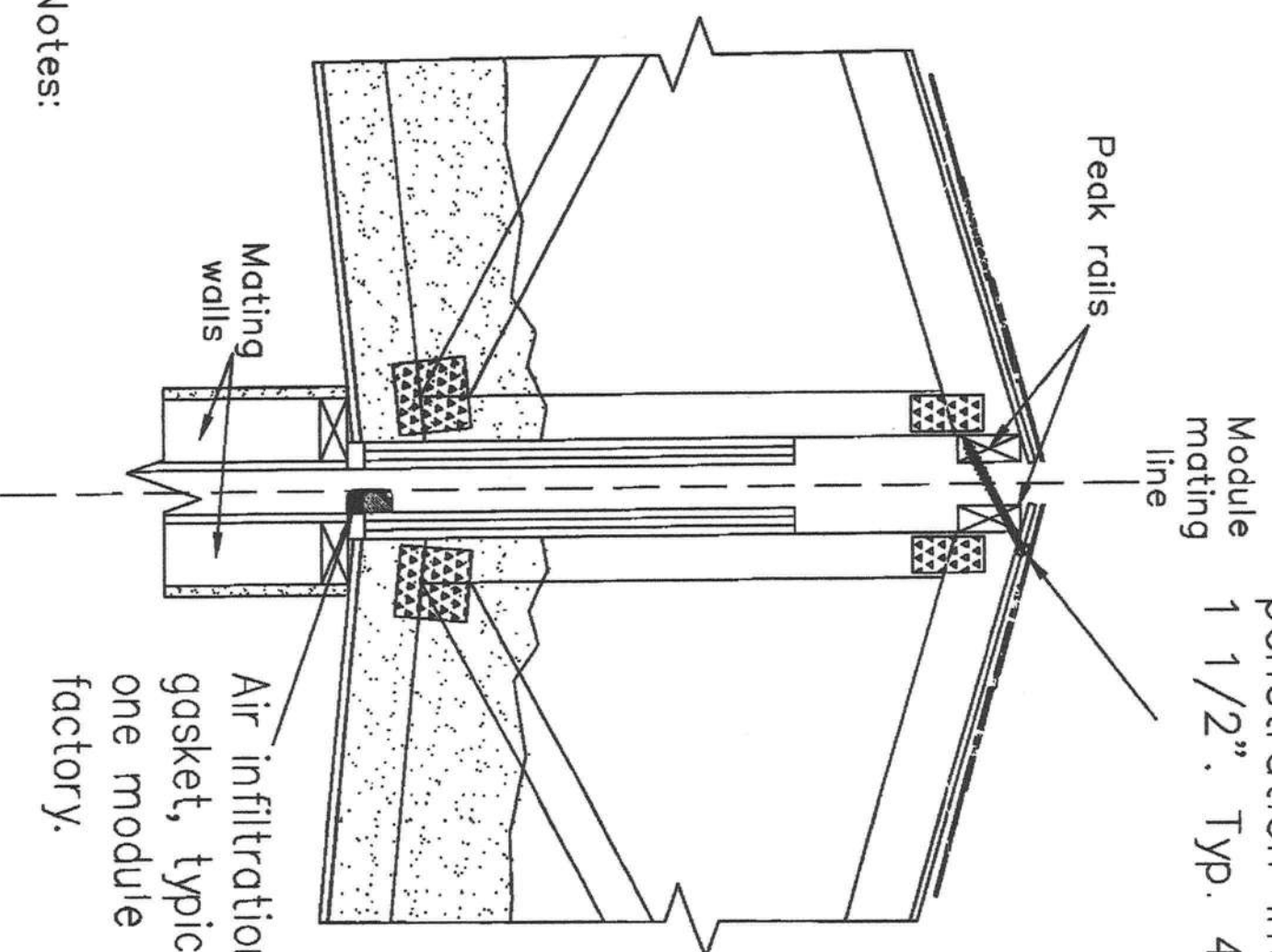
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|---------------------|--------------|
| Drawing Information | |
| Model Number: | 340TL30683AM |
| Sales Name: | PELICAN BAY |
| Series: | TIMBERLAND |
| Drawn by: | GRS/BB |
| Date: | 01/21/17 |
| Serial #: | |

| | |
|--|---|
| P.E. | William H. Robt. Peberio P.E. 607 South Alexander Street Suite #201 Plant City, Florida 33563 Phone 407-427-4142 Plant Information |
| Palm Harbor Homes, Inc. 605 S. Frontage Road Plant City, Florida 33566 | |

| | |
|--|----|
| Sheet Number: | 69 |
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Fixed Roof Module Interconnection

Fasten mating line peak rails together with #10xL" screws (L= min. penetration into receiving member of 1 1/2". Typ. 4 1/2" screw)



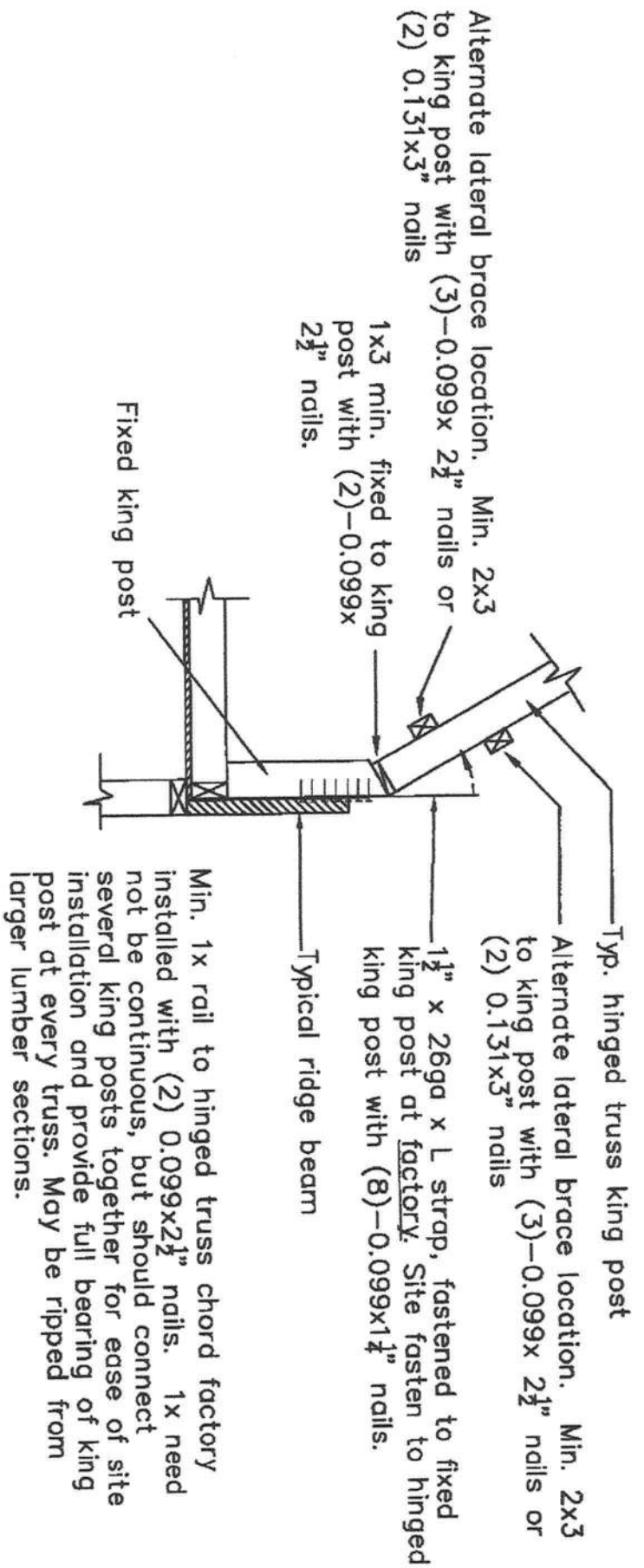
| Module Interconnection @ Roof Peak | | | |
|------------------------------------|-----------------------------|---|---|
| #10 Screws inches O.C. | | | |
| MPH Vult Exp. D | Sheathing to Rail (factory) | Site Screw Spacing Rail to Rail End Zone (3') | Site Screw Spacing Rail to Rail Int. Zone |
| 150 | 2 3/4 | 5 3/4 | 9 |
| 160 | 2 3/8 | 5 | 7 3/4 |
| 170 | 2 1/8 | 4 3/8 | 7 |
| 180 | 1 7/8 | 3 7/8 | 6 1/4 |
| 208 | 1 3/8 | 2 7/8 | 4 5/8 |

Notes:

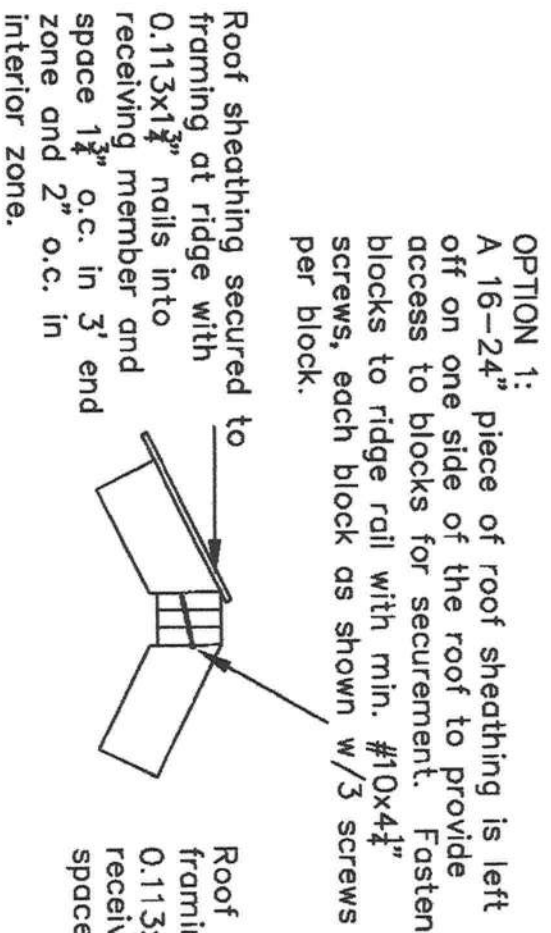
1. installation contractor shall take care to prevent air infiltration/exfiltration. If the factory installed gasket is damaged or segments missing, it shall be repaired, replaced, or the use of other methods of envelope closure shall be used, i.e., expanding foam, caulking, durable tape or sheathing, or a combination of these methods.

| | | | | | | |
|--------------------------------------|--|--|---|--|---|--|
| Sheet Title: IM-FIXED PEAK | | | Drawing Information Model Number: 340TL30683AM Sales Name: PELICAN BAY Series: TIMBERLAND Drawn by: GRS/BB Date: 01/21/17 Serial #: | | P.E. William H. "Rob" Roberts, P.E. 607 South Alexander Street Suite #201 Plant City, Florida 33563 Phone: 407-427-1111 | Plant Number: 69 Copyright 2017 Palm Harbor Homes, Inc. 605 S. Frontage Road Plant City, Florida 33566 |
| Sheet Number IM.03 | | | | | | |
| Sheet 1 of 1 | | | | | | |
| Plan #: 3R-2102-1148F | | | | | | |

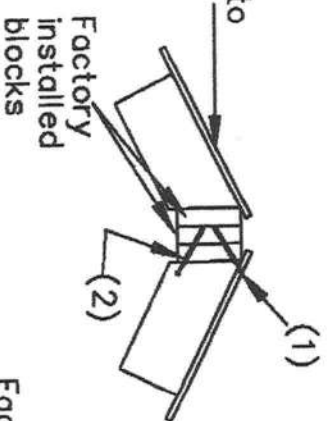
Hinged Roof Module connections



Hinged Roof peak Module connections



Roof sheathing secured to framing at ridge with 0.113x1 3/4" nails into receiving member and space 1 3/4" o.c. in 3' end zone and 2" o.c. in interior zone.



Roof sheathing secured to framing at ridge with 0.113x1 3/4" nails into receiving member and spaced per chart.

Once fastening is complete, install underlayment, shingles, and vented ridge material (not shown)

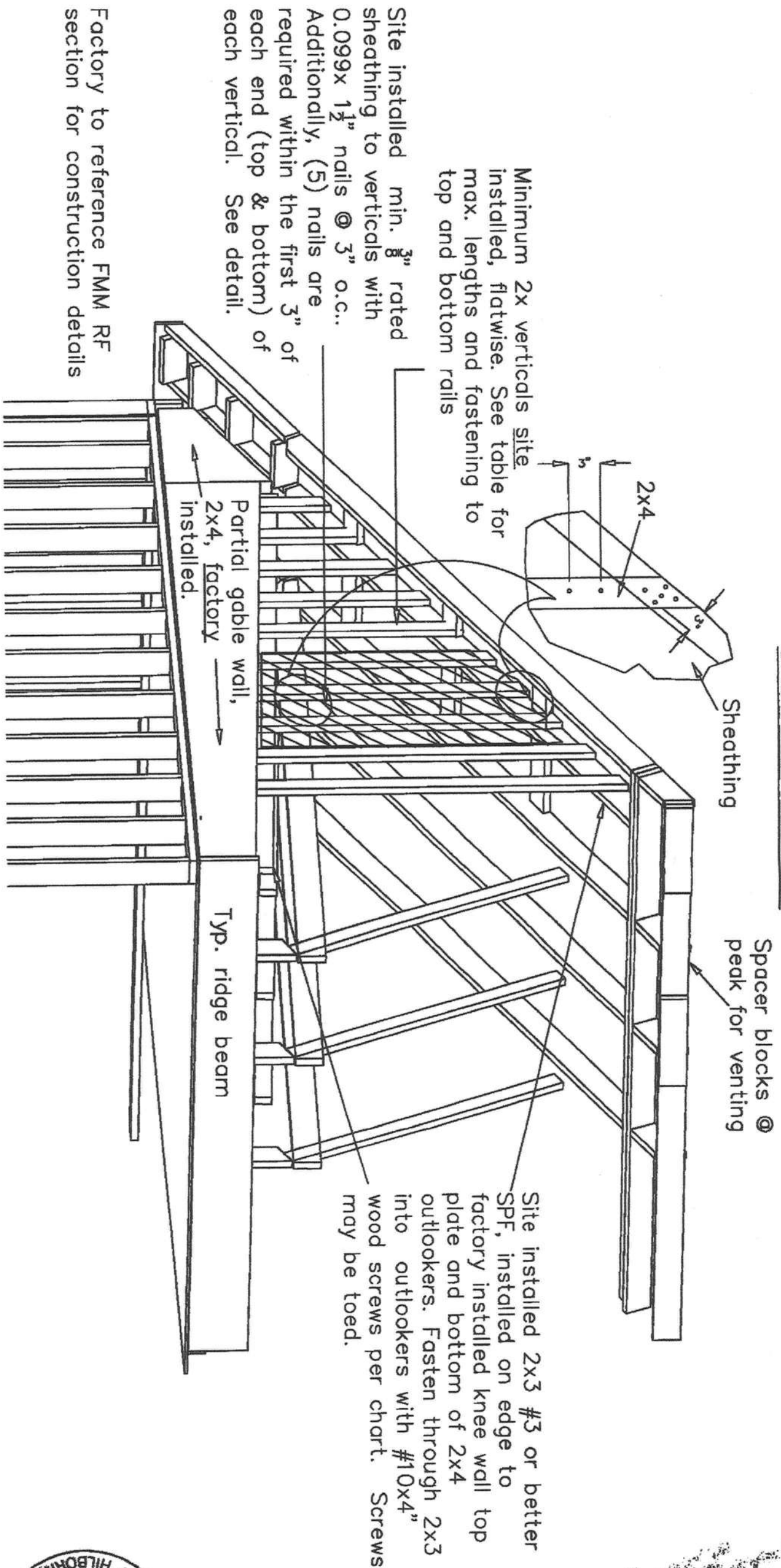
Factory to reference FMM RF-1.2 for construction details



| | |
|--------------|---------------------|
| Sheet Title: | IM-HINGED PEAK KING |
| Sheet Number | IM.04 |
| Sheet | 1 of 1 |
| Plan #: | 3R-2102-1148F |

| | | | |
|----------------------------|----------------|--|-------------------------|
| Drawing Information | P.E. | William H. "Rob" Roberts, P.E. | Plant Number |
| Model Number: 340TL30683AM | | 607 South Alexander Street, Suite #201 | 69 |
| Sales Name: PELICAN BAY | | Plant City, Florida 33853 | Harbor |
| Series: TIMBERLAND | | Plant Information | |
| Drawn by: GRS/BB | Date: 01/21/17 | Palm Harbor Homes, Inc. | © Copyright 2017 |
| Serial #: | | 605 S. Frontage Road | Palm Harbor Homes, Inc. |
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GABLE CLOSE UP



Factory to reference FMM RF section for construction details

| | |
|-----------------------|--------|
| Sheet Title: | |
| IM-HINGED GABLE 1 | |
| Sheet Number | |
| IM.05 | |
| Sheet | 1 of - |
| Plan #: 3R-2102-1148F | |



| | | | |
|----------------------------|--|--------------------------------|--|
| Drawing Information | | P.E. | |
| Model Number: 340TL30683AM | | William H. "Bob" Roberts, P.E. | |
| Sales Name: PELICAN BAY | | 607 South Alexander Street | |
| Series: TIMBERLAND | | Suite #204 | |
| Drawn by: GRS/BB | | Plant City, Florida 33563 | |
| Date: 01/21/17 | | Plant Information | |
| Serial #: | | Palm Harbor Homes, Inc. | |
| | | 605 S. Frontage Road | |
| | | Plant City, Florida 33566 | |
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| | | All Rights Reserved | |

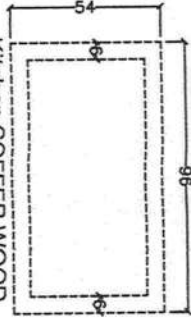
7616
G.C. L.C. - Buxton
 12-10-20, - CRS

- Special Instructions**
- Truss#
 - 3/12 Roof Pitch
 - R 38-19-22
 - In Ceiling Return Air
 - LO-E INSULATED GLASS
 - OSB Sheathing
 - Wind Load-160 MPH vult
 - Off Frame
 - 1/2" Roof Decking Metal Roof
 - 3/4" Plywood Floor Decking
 - CHECK CONFORM FOR ALL
 - ORDER SPECIFIC ITEMS



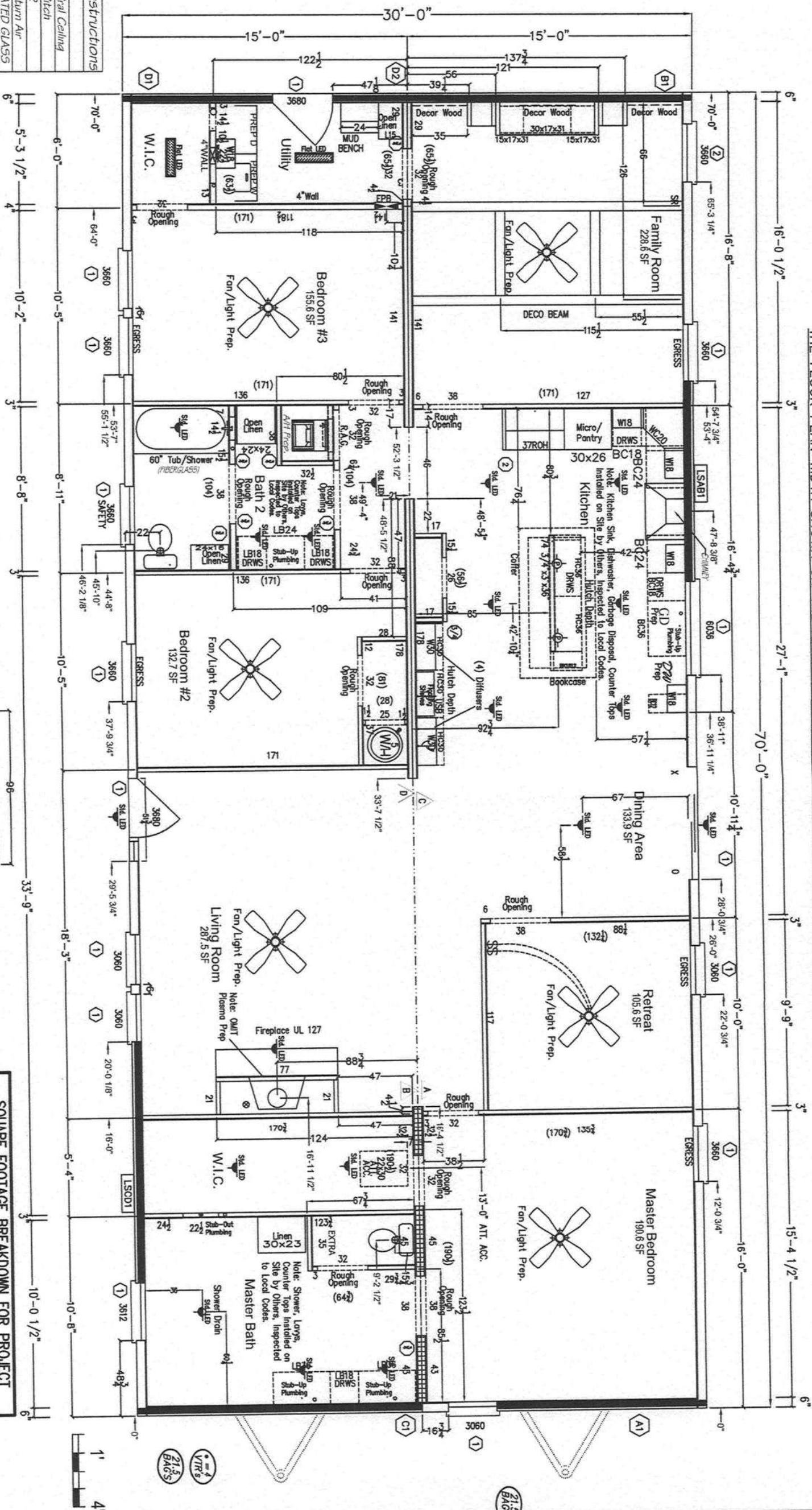
This Home is Specially Designed For:
The Buxton Family

- ① (150) min. dp -45.8
- ② (180) min. dp -66
- ③ (150) min. dp -56.5
- ④ (180) min. dp -81.3



- WALLS WITH LUNN INSTALLED
- WALLS W/ OSB INSTALLED
- WALLS W/ OSB INSTALLED

| SQUARE FOOTAGE BREAKDOWN FOR PROJECT | | | |
|--------------------------------------|----------------|-----------------|--|
| DESCRIPTION | AREA (Sq. Ft.) | PERIMETER (ft.) | |
| SQUARE FEET A.C. | 2100.00 SF | 200 | |
| SQUARE FEET A.C. | 2100.00 SF | 200 | |
| SQUARE FEET A.C. | 4200.00 SF | 400 | |



- (DYN) NOTE TO CONTRACTORS:
- WHEN PLANNING THE FOUNDATION LAYOUT, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LENGTH, WIDTH, AND OTHER STANDARD OR OPTIONAL FEATURES SUCH AS BAYS, OFFSETS, PORCHES, ETC., AGAINST THE FACTORY-AUTHORIZED DOCUMENTS OR A SERIALIZED PRINT. CONTACT YOUR FACTORY REPRESENTATIVE FOR MORE INFORMATION.
 - WHEN PLANNING THE FOUNDATION LAYOUT, THE FOUNDATION WALL'S OUTSIDE TO OUTSIDE DIMENSION SHOULD BE 1" WIDER THAN THE FLOOR PLAN WIDTH SHOWN ON THE FLOOR PLAN PAGE TO ACCOMMODATE MATERIALS GROWTH.

| | | | |
|--|--|--|--|
| Sheet Title: FLOORPLAN H Sheet Number: P Sheet: 1 of - Plan #: 3R-2102-1148F | Drawing Information Model Number: 340TL30683AM Sales Name: PELICAN BAY Series: TIMBERLAND Drawn by: GRS Date: 12-10-20 Serial #: - | P.E. William H. "Rob" Roberts, P.E. 607 South Alexander Street Suite #201 Plant City, Florida 33563 Lic #427412 Plant Information Palm Harbor Homes, Inc. 605 S. Frontage Road Plant City, Florida 33566 | Plant Number: 69 © Copyright 2017 Palm Harbor Homes, Inc. All Rights Reserved |
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