

NAME: Law

CABINET & VANITY:  
TO BE DETERMINED

MODEL: Custom

TOILETS: Standard white or bone  
Master bath: White handicap  
Hall bath: White handicap  
Other:

TUBS:  
Steel Color:  
Master bath:  
Hall bath: white  
Other bath:  
Garden Tub:  
Jacuzzi:  
Tub & Shower Unit:

List the standard names  
Granite to be determined  
Meet w/ homeowner  
Cabinets 36 high vanities  
Meet owner – may stone and  
Add something to gable  
5 ½ base boards  
Homeowner to upgrade  
Hinges and door hardware

UPGRADES:

COUNTERTOP:  
Kitchen: granite  
Bath: to be determined  
Bath:

CARPET:  
Color: NO CARPET  
Allowance is \$18.00 per yard  
includes carpet, padding & installation  
Color change in rooms \$75 per room.  
Master #1  
Bedroom #2:  
Bedroom #3:  
Other:  
Other:

PAINT:  
Interior: White  
Semi gloss  
White trim  
Exterior walls: dorian gray 7017  
Sherwin Williams  
Exterior trim: white

VINYL:  
Kitchen:  
Master bath:  
Hall Bath  
Other:

ROOF:  
Shingles Color: Dual Black KO  
Metal Color: n/a  
Metal Style: n/a

BATHROOM TILE:  
Shower Master Bath: CT75 DT  
Shower Hall: Tub MP 12 DT  
Tub  
Other:  
Grout M/B: X #165 Delorean Gray  
Grout m/b:  
Grout Kitchen & Utility:  
Grout Other:  
Grout Other:  
Decos are an upgrade:

Allowance per sq. yd. \$3.50 per  
Sq. ft. includes tile, grout & installation

APPLIANCES:  
Standard GE or equivalent  
Colors: Black or White  
Upgrade to stainless steel S-owner to take credit  
Allowance \$850.00 includes d/w, range, hood fan

INTERIOR TRIM:  
Doors: standard

Door Type:  
Rear Door: Kitchen fully w/blinds  
Door: Rear - utility  
French Doors: y2 blinds

SIDING:  
Hardie Plank: Batzen  
Other: Board

SOFFIT:  
White

NOTES:  
Dormyer call owner door and hardware  
Tub/Pan for dogs utility supplied by owner  
If tile cut cost  
Owner to meet with painter – possible colors  
Home to supply fixture for pot filler  
Housecraft to run cold water line

Homeowner to meet electrician to locate phone & tv jacks any extra's  
X Flooring to be determined & 400.00 toward selection.

1. THIS RESIDENCE SHALL BE CONSTRUCTED  
IN ACCORD WITH THE REQUIREMENTS OF THE FLORIDA  
BUILDING CODE 2020 7TH EDITION
2. ALL CEILING SHEETROCK SHALL BE MIN 5/8"
- 3- ALL AREAS EXCEPT WHERE GFI RECEPTALS ARE REQUIRED  
RECEPTALS SHALL BE ARC FAULT
- 4- ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR
- 5- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR  
TO BEGINNING
- 6- SMOKE DETECTORS SHALL BE WIRED TO ALARM SIMULTANIOUS  
WITH BATTERY BACKUP.

DESIGN CRITERIA

ULTIMATE WIND SPEED: 130

NOMINAL WIND SPEED: 101

WIND EXPOSURE CATEGORY: B

RISK CATEGORY 11

INTERIOR PRESSURE COEFFICIENT OR Gcpi= +/- 0.18

ASSUMED DESIGN LOAD BEARING VALUE OF SOIL  
1,500 PSF

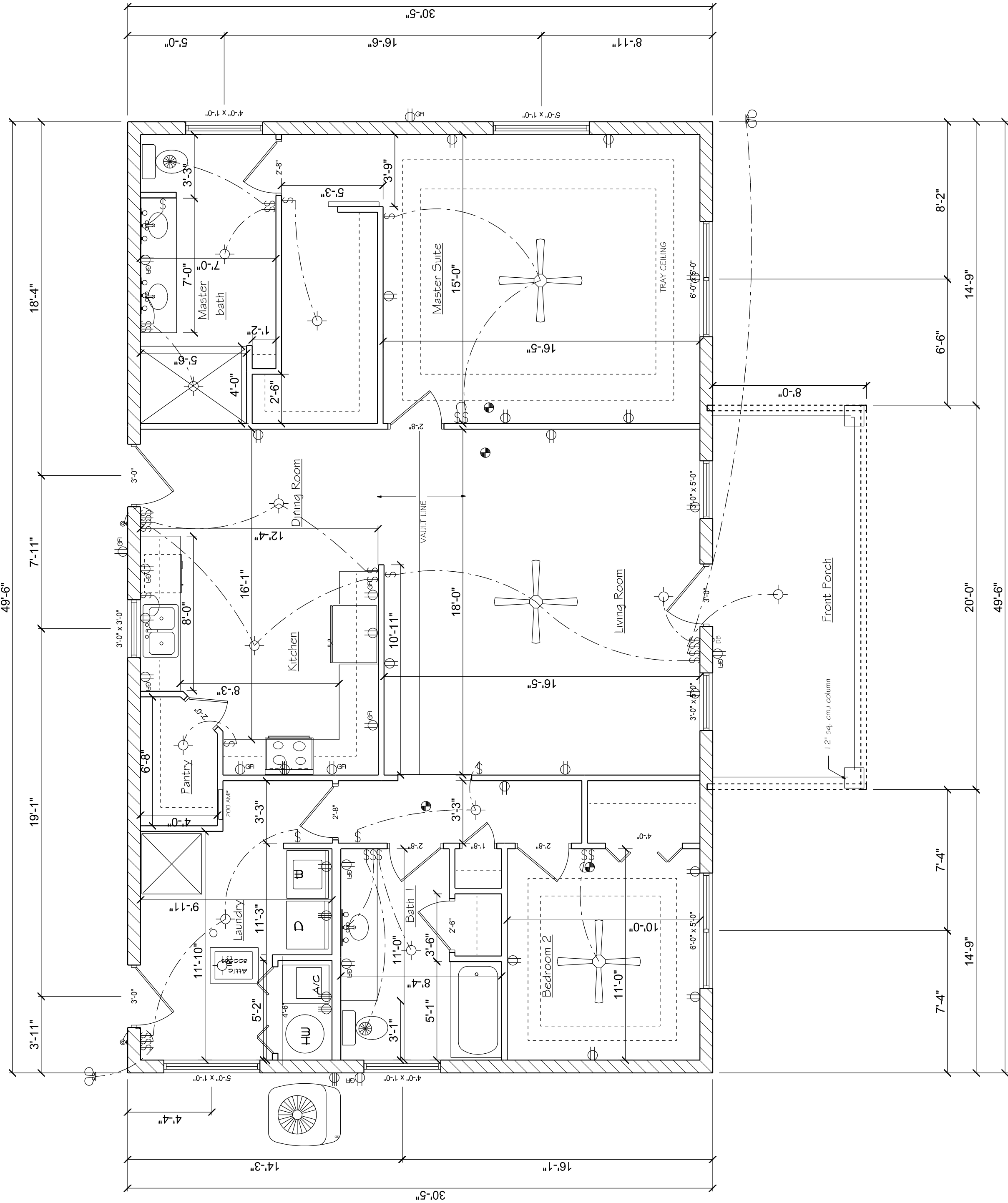
FLOOR LIVE LOAD 40 PSF

ROOF LIVE LOAD 20 PSF

SQUARE FOOTAGE	
LIVING AREA	1,503
FRONT PORCH	160
TOTAL	1663

Electrical symbols	
single pole switch	
dimmer switch	
3 way switch	
110 arc fault breaker	
220 OUTLET	
GFI outlet	
switched outlet	
sid overhead light	
recessed light	
light exhaust fan 60 cfm	
wall mount light fixture	
sid overhead light	
double flood light	
track bar light	
vanity bar light	
fluorescent light	
ceiling fan -light	
smoke/carbon monoxide detector	
phone outlet	
tv outlet	
THERMOSTAT	

UNDERGROUND POWER



FLOOR PLAN VIEW

William Johnson Drafting  
2905 NW 104th Ct  
Gainesville, FL 32606  
494-2041

LAV  
PARCEL RO 4572-001  
COLUMBIA CO, FL DS20-136

DATE: 3-25-21



PROFESSIONAL SERVICES BY  
DRISCOLL ENGINEERING, INC.  
PO BOX 357577  
GAINESVILLE, FL 32609  
PH (352)-331-1513  
CA 8690

PLANS AND SPECIFICATIONS

The plans and specifications presented herein are applicable only for the anticipated construction at the locations shown. If construction plans change, the Design Professional should be notified so the plans and specifications can be re-evaluated. The Design Professional should be given the opportunity to review final plans and specifications to see if the intent of the plans and specifications has been followed and/or if supplemental details and recommendations are needed. The Design Professional warrants that the plans and specifications contained herein, have been prepared in accordance with generally accepted professional engineering practice. No other warranties are implied or expressed.

CORPORATE PROTECTION

It is understood and agreed that the Design Professional's Basic Services under this Agreement do not include project observation or review of the Contractor's performance or any other construction phase services, and that such services will be provided by the Client. The Client assumes all responsibility for interpretation of the contractor Documents and for construction observation and supervision and waives any claims against the Design Professional that may be in any way connected thereto.

In addition, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any loss, claim or cost, including reasonable attorney's fees and costs of defense, arising or resulting from the performance of such services by other person or entities and from any and all claims arising from modifications, clarifications, interpretations, adjustments or changes made to Contract Documents to reflect changed field or other conditions, except for claims arising from the sole negligence or willful misconduct to the Design Professional.

OWNERSHIP OF INSTRUMENTS OF SERVICE

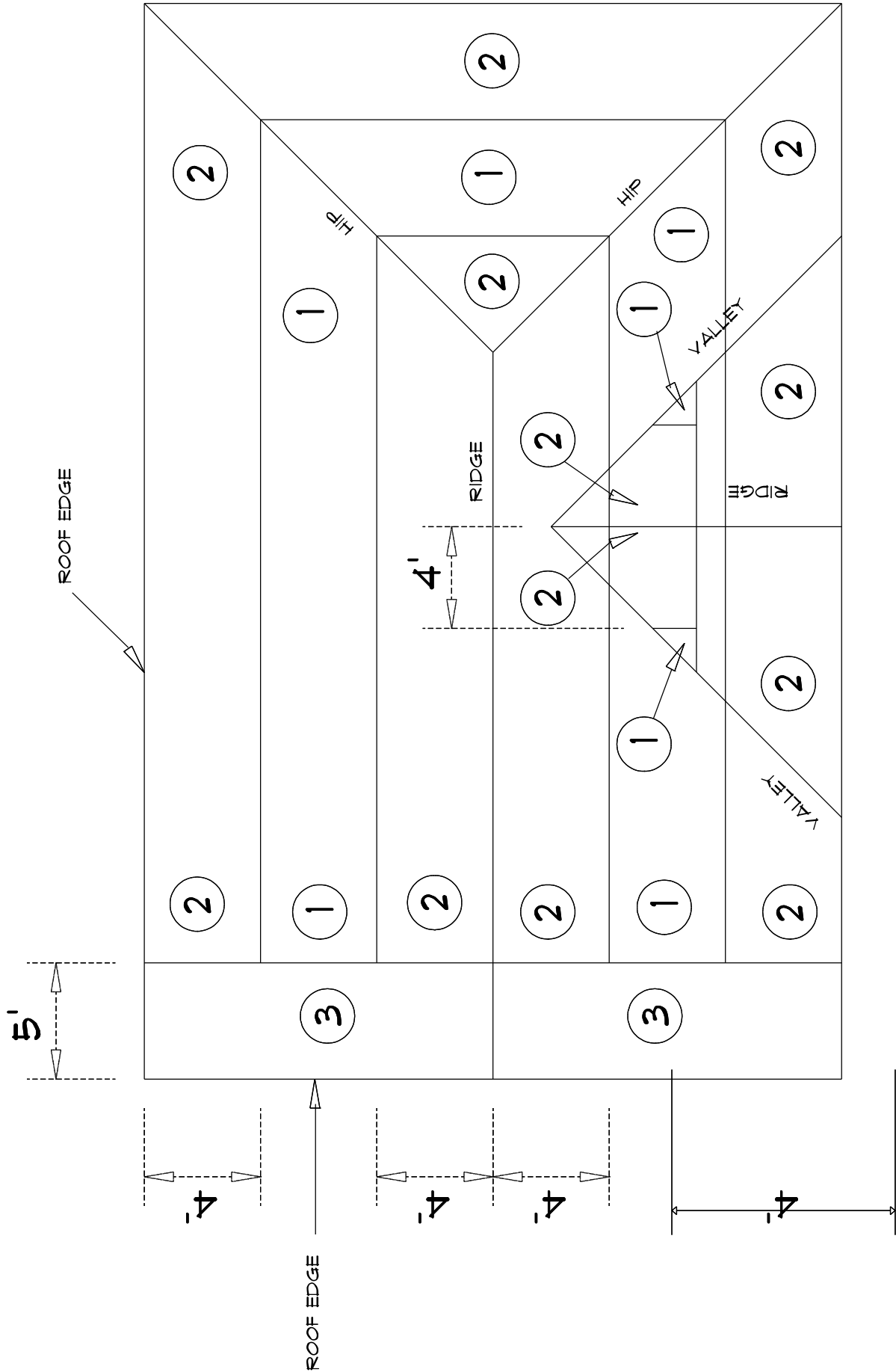
All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Design Professional as instruments of service shall remain the property of the Design Professional. The Design Professional shall retain all common law, statutory and other reserved rights, including the copyright thereto.

DEFECTS IN SERVICE

The Client shall promptly report to the Design Professional any defects or suspected defects in the Design Professional's work or services of which the Client becomes aware, so that the Design Professional may take measures to minimize the consequences of such a defect. The Client warrants that he or she will impose a similar notification requirement on all contractors in his or her Client/Contractor contract and shall require all subcontractors at any level to contain a like requirement. Failure by the Client, and the Client's contractors or subcontractors to notify the Design Professional, shall relieve the Design Professional of the costs of remedying the defects above the sum such remedy would have cost had prompt notification been given.

VERIFICATION OF EXISTING CONDITIONS

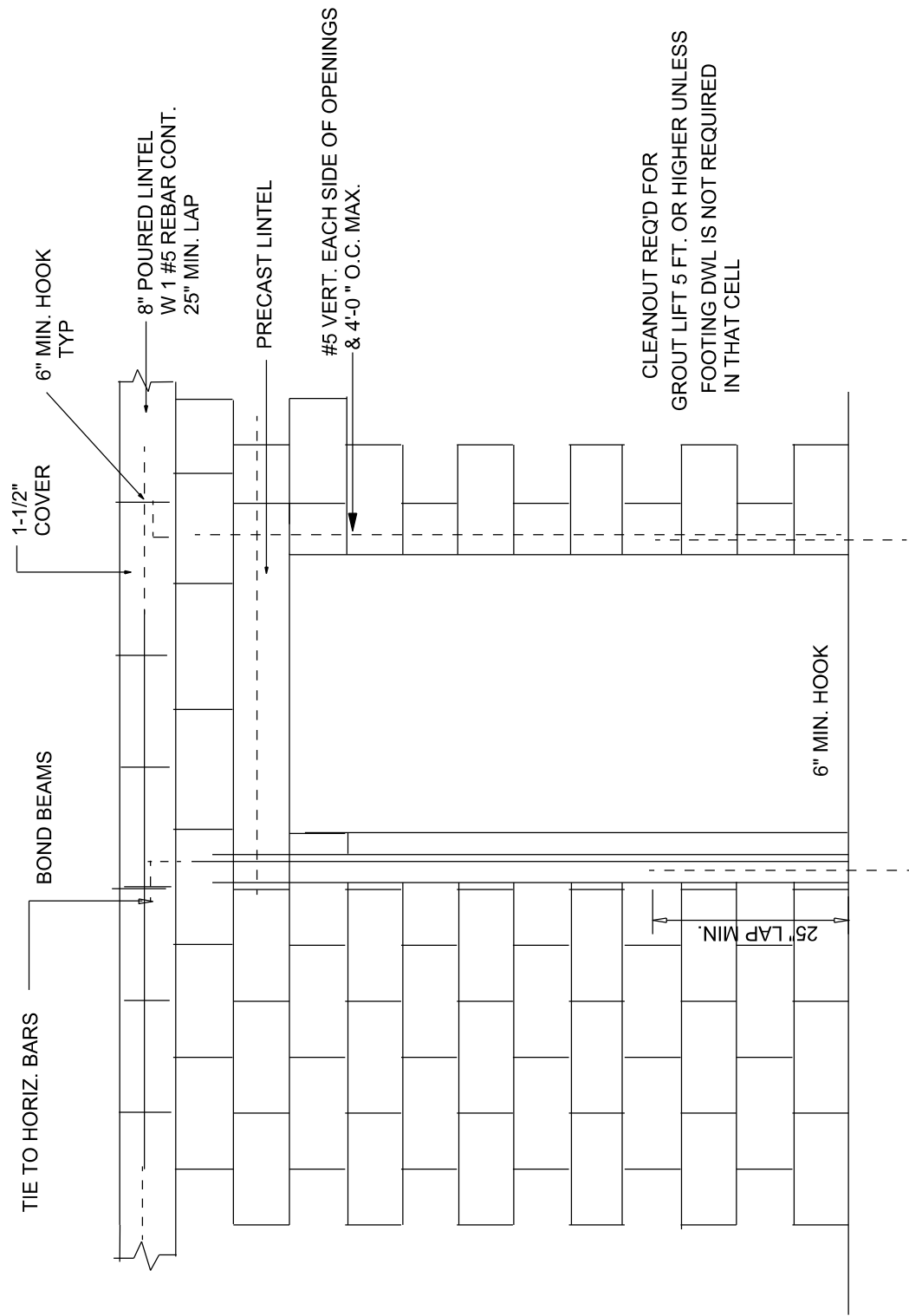
Inasmuch as the remodeling and/or rehabilitation of an existing building requires that certain assumptions be made regarding existing conditions, and because some of these assumptions may not be verifiable without expending additional sums of money or destroying otherwise adequate or serviceable portions of the building, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any claim, liability or cost (including reasonable attorney's fees and costs of defense) for injury or economic loss arising or allegedly arising out of the professional services provided under this Agreement, excepting only those damages, liabilities, or costs attributable to the sole negligence or willful misconduct of the Design Professional.



NOTES: ALL EDGES AT TRUSSES 6" O.C. ON THE EDGE AND INTERMEDIATE TRUSSES 12" O.C.  
1. ALL NAILS TO BE #8 RING SHANK NAILS MIN.

ROOF ATTACHMENT PLAN

(NTE)



CMU WALL OPENING REINFORCING

NTS

**Certification**  
I hereby certify that the accompanying wind load analysis for the New Residence as described above demonstrates compliance with the FBC 2020 7th Edition Section 1609, to the best of my knowledge.

- Project Wind load Information
1. Ultimate wind speed = 130 MPH
  2. Nominal wind speed = 101 MPH
  3. Risk Category = II
  4. Wind exposure for this design is Exposure B
  5. Interior Pressure Coefficient or Gcpi = +/- 0.18
  6. For design of MWFRS: see attached MECAWind Version 2.1.0.6 per ASCE 7-10
  7. Roof Design live load 20 psf.
  8. Floor Design load 40 psf.

**Drawings**  
See drawings for additional details. In case of conflict, the more restrictive requirements of the drawings or these calculations govern.

Roof Structure

1. Trusses: Pre-engineered wood trusses at 24" o.c. The Truss engineering for this project was provided bt Builders FirstSource job# 2623364 Signed & Sealed engineering shall be provided to Driscoll Engineering Inc for review before beginning construction.
2. Roof Sheathing: Sheathing to be or 7/16" Structural Sheathing min. to adequately resist exterior shear and uplift forces due to nailing. Panels to be facenailed w/ #8 ring shank (0.113 Dia.) @ 4" oc along edges and @ 8" oc along interior supports. Galv. metal edging to be nailed @ 4" oc.
3. Roofing : Asphalt Shingles shall be installed per mfg. specifications to meet 130 m.p.h. windloading & in accord with the Florida Building Code 2017.

Exterior Walls

- 1.Exterior Wall: 8" Concrete Masonry Units (ASTM C90 or C145, 1500 psi min) will adequately resist exterior shear forces. Mortar type M.
2. Bond Beam to be (1) 8" min. Masonry with (1) #5 reinforcement with grout continuous. Note bond beam to remain continuous without breaks or interruptions to maintain shear transfer capacity. Minimum splice lap of #5 rebar is 25" at all locations. Install plated steel bearing plate at truss/masonry bearing points. Vertical spacing of grouted reinforced cells w/ (1) #5 rebar is to be 4'-0" o.c. typical. Install a minimum of 1 each vertical #5 bar in each cell on either side of each corner and on each side of any openings. Minimum splice lap of #5 rebar is 25".

Foundations (sizes based on wind load requirements only :

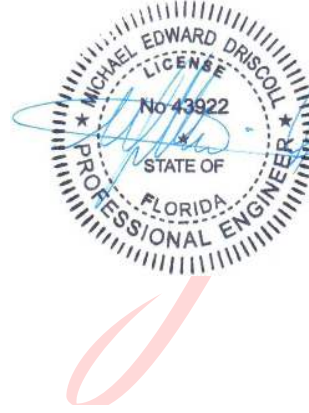
- Footing (1) 20" wide x 10" deep w/ 2 #5 bars cont. 25"min bar lap.  
Footing (2) 18" deep x 12" wide w/ 2 #5 bars cont.

CONNECTOR SCHEDULE FOR LOAD BEARING & SHEAR WALLS

TO CONNECT	TO	NO.	PRODUCT CODE	FASTENER	UPLIFT CAPACITY LBS
TRUSS	LINTEL	1	HETA 20	9- 10dX 1-1/2"	1810
GIRDER TRUSS	LINTEL	1	HETA 20	9- 10dX 1-1/2"	1810

CAST CRETE LINTEL SCHEDULE	
LENGTH	TYPE
3'-0" TO 7'-0"	8F80B
7'-0" TO 10'-0"	8F81B
CARPORT	8F161B

SHEAR WALLS QUANTITY \_\_\_\_\_  
TRANSVERSAL SHEARWALLS = 54'-0"  
LONGITUDINAL SHEARWALLS = 58'-0"



Digitally signed by  
Michael E. Driscoll PE  
Date: 2021.06.01 14:36:36 -04'00'

Sheet  
WL 1

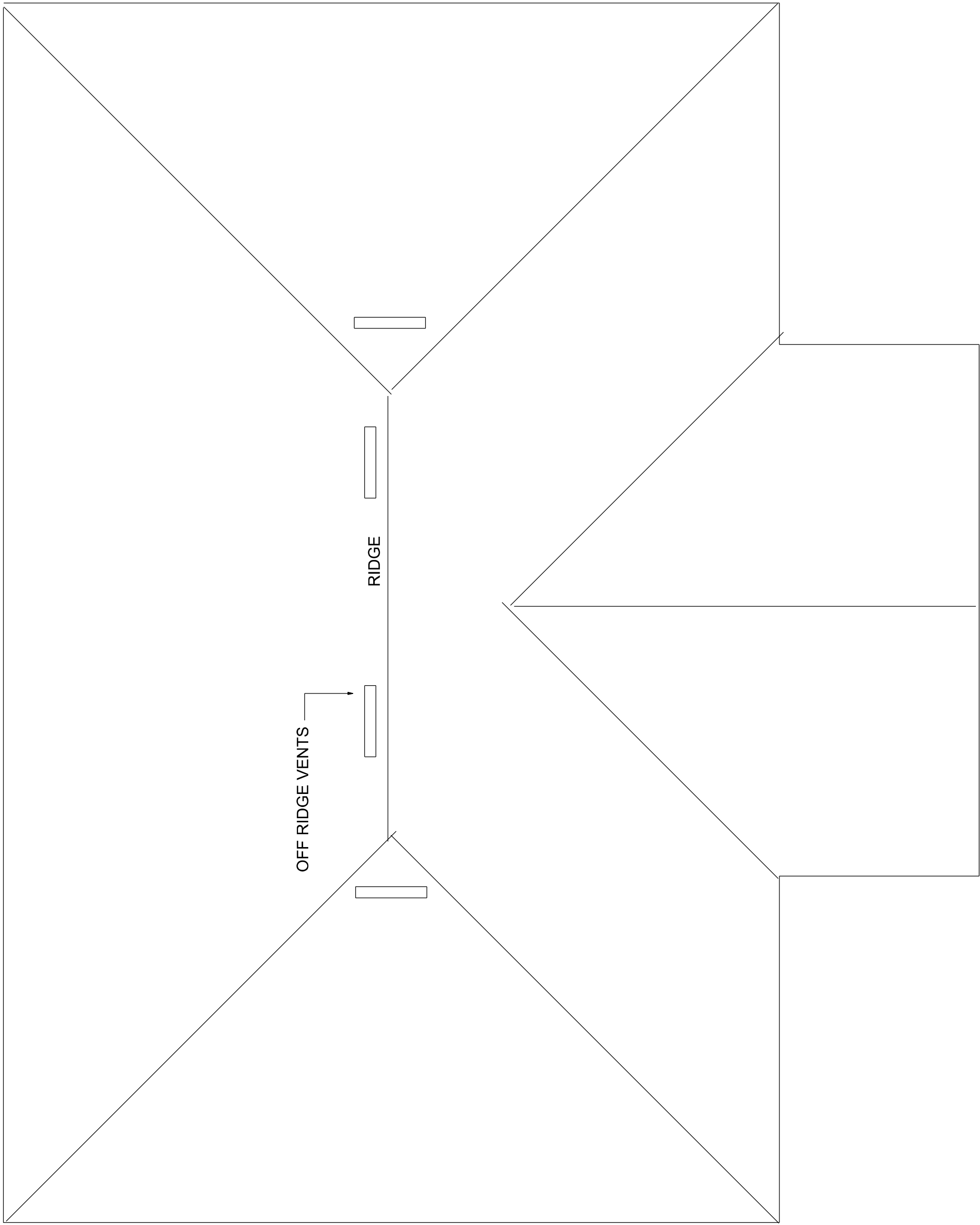
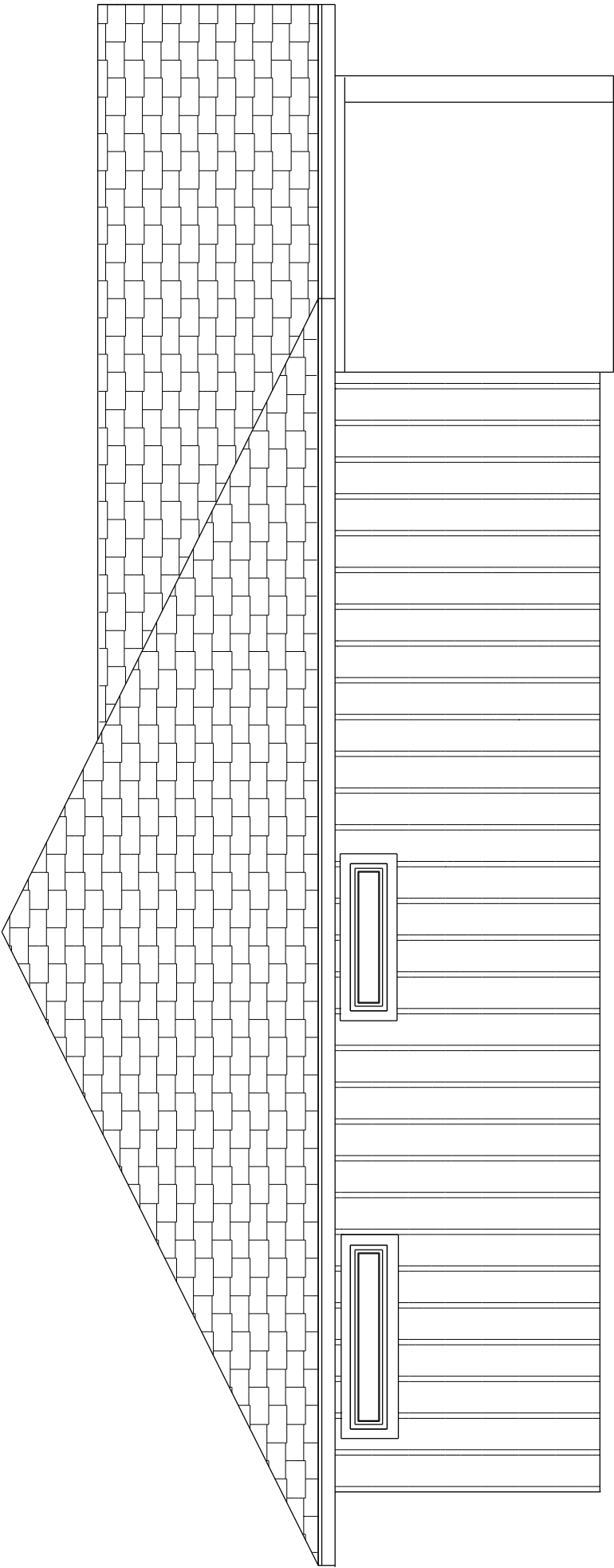
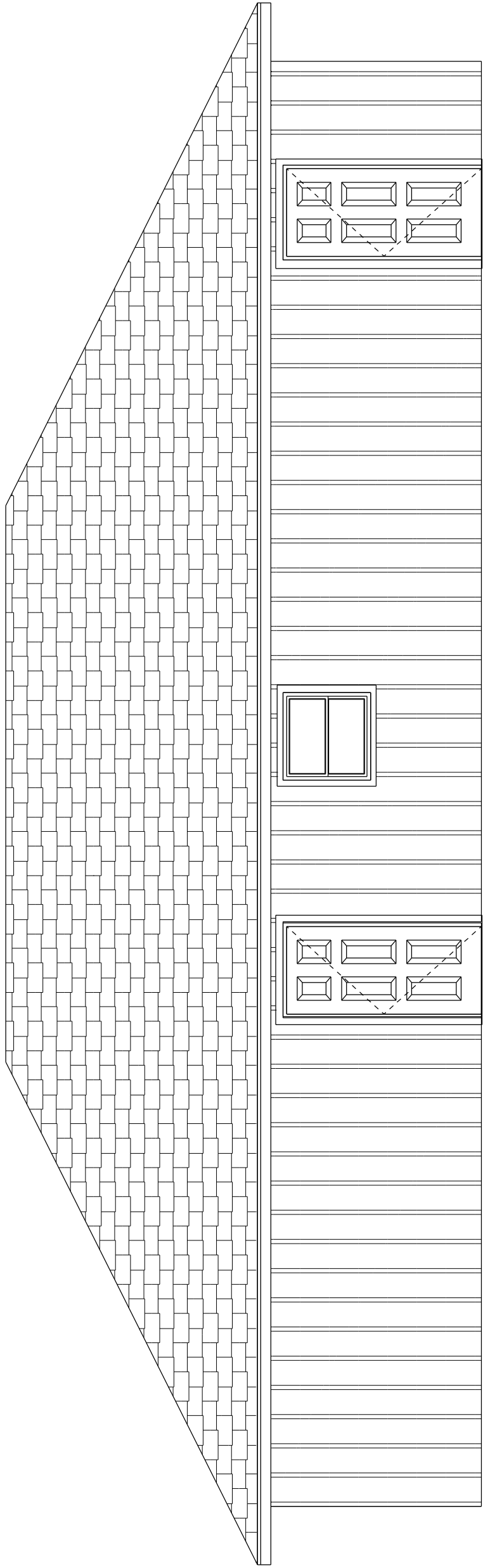
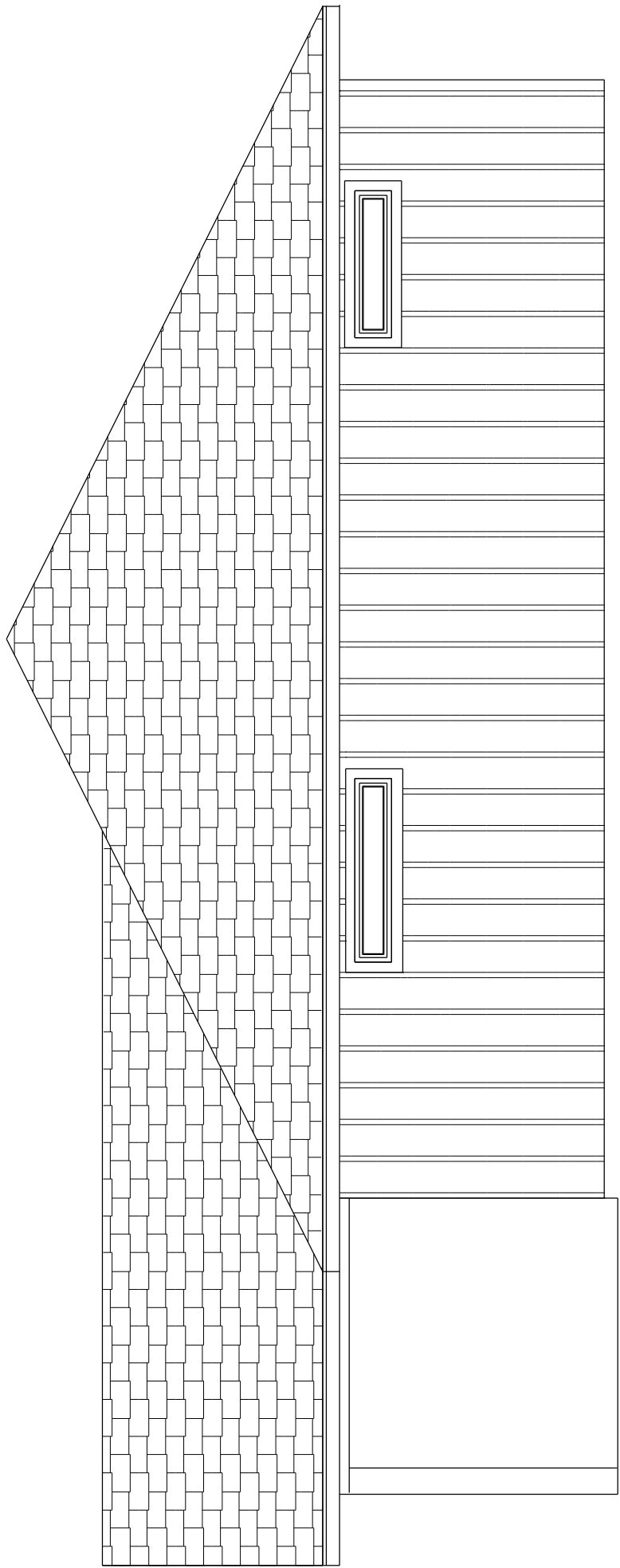
6-1-21

LAW

PARCEL RO 4572-001  
COLUMBIA CO, FL DS20-136

MICHAEL E DRISCOLL PE  
FL REG # 43922





## ROOF PLAN

VENTILATION	
SQ. FT. OF NEW CEILING	1663 / 300 = 5.54 SQ. FT.
NET FREE AREA / 2	= 2.77 SQ. FT. VENT SYSTEM REQUIRED
EQUALS	398 SQ. IN.
4 OFF RIDGE VENTS	= 420 SQ. IN.
TOTAL TO BE INSTALLED	420 SQ. IN.
SOFFIT VENT SYSTEM	2.77 SQ. FT.
DIVIDED BY	0.03226 S.F. PER SQ. FT. OF SOFFIT
EQUALS S.F. OF SOFFIT PANEL PER SYSTEM	86 SQ. FT.
DIVIDED BY	1.5 = 58 L.F. OF VENTED SOFFIT
BUILDING HAS	100+ OF SOFFIT AVAILABLE

