

RENDERING FOR ILLUSTRATION PURPOSES ONLY



Provide at least one full bathroom with 29" clear opening doors for accessibility per FBC R320.
Stair winder per FBC R311.7.5.2.1.



Review for Code Compliance
Universal Engineering Science

Lawrence Parnell
Examiner-License No.

PX2707

11/18/2021

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QUALITY FAMILY HOMES, LLC
DESIGN | BUILD | LIVE

Quality Family Homes, LLC
P.O. Box 1617
Thomasville, GA 31799

FL-CGC1530164

OUR SALES BROCHURES AND OTHER ADVERTISING LITERATURE ARE INTENDED TO GENERALLY REFLECT AND DEPICT THE STYLES AND QUALITY OF HOMES WE BUILD THROUGHOUT A PORTION OF THE UNITED STATES. OUR SALES MODELS ARE DESIGNED AND BUILT TO GENERALLY CONFORM WITH A VARIETY OF LOCAL CUSTOMS, PRACTICES, AND BUILDING CODES PREVALENT OR IN EFFECT IN THE IMMEDIATE AREA SURROUNDING THE LOCATION OF THOSE MODELS. THIS SET OF PLANS IS AN ACTUAL PART OF OUR CONTRACT WITH YOU AND, AS SUCH, IS INTENDED TO TAKE PRIORITY OVER ANYTHING IN CONFLICT WITH IT CONTAINED IN OUR ADVERTISING LITERATURE, OUR SALES MODELS AND EVEN OUR ORAL SALES PRESENTATION. NO CHANGE, MODIFICATION, OR REVISION OF THESE PRINTED PLANS SHALL BE BINDING ON THE PARTIES UNLESS SET FORTH ON THESE PLANS OR OTHERWISE REDUCED TO WRITING AND EXECUTED BY SAID PARTIES. PLEASE REVIEW THESE PLANS ALONG WITH "EXHIBIT B" OF YOUR CONTRACT CAREFULLY AND MAKE CERTAIN BEFORE YOU SIGN THEM THAT THEY ACCURATELY REPRESENT THE HOME YOU ARE PURCHASING. ADDITIONALLY, THE BUILDER HEREBY RESERVES THE RIGHT TO SUBSTITUTE MATERIALS OF EQUIVALENT QUALITY AND/OR TECHNIQUES OF ASSEMBLY AND/OR CONSTRUCTION METHODS FROM THAT CONTAINED IN THESE PLANS OR SPECIFIED IN EXHIBIT "B" WHERE NECESSARY TO ACCOMMODATE DIFFERENCES IN LOCAL CODES, GEOGRAPHIC CUSTOMS, OPTION SELECTION AND AVAILABILITY OF MATERIALS. ALL MATERIALS (LUMBER, OR OTHER BUILDING SUPPLIES) DELIVERED TO JOBSITE WHICH ARE IN EXCESS OF THOSE REQUIRED TO CONSTRUCT THE HOUSE AS AGREED REMAIN THE PROPERTY OF THE BUILDER.

DESIGNED EXCLUSIVELY FOR:

LEO & ROBBIE BROOKS

XXX SR 47

LAKE CITY, FL 32025

CUSTOMER SIGNATURE

CUSTOMER SIGNATURE

DESIGN CRITERIA

ALL DRAWINGS, DETAILS, AND SPECIFICATIONS ARE DESIGNED IN ACCORDANCE w/ FLORIDA BUILDING CODE (FBC) 7th EDITION (2020) ACI-318,ACI-ASCE 530. ALL CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE STATE, & LOCAL BUILDING CODES

DRAWING SCHEDULE

T1	TITLE PAGE	S2	ROOF PLAN
A1	ELEVATIONS	S3	TYPICAL DETAILS
A2	FLOOR PLAN	S4	SECTION DETAILS
E1	ELECTRICAL PLAN		RESERVED
P1	PLUMBING PLAN		RESERVED
S1	FOUNDATION PLAN		RESERVED

DRAWING DATA

PLAN NAME: THE MADISON	SQUARE FOOTAGE		
DATE DRAWN: 11/15/2021	FIRST FLOOR:	2325 sq ft	FRONT PORCH: 102 sq ft
DRAWN BY: JLB	SECOND FLOOR:	N/A	REAR PORCH: 398 sq ft
	BONUS RM:	245 sq ft	GARAGE: 580 sq ft
	FINISHED BASEMENT:	N/A	OTHER: N/A
ARCHITECTURAL DESIGNER SIGNATURE	TOTAL H/C:	2370 sq ft	TOTAL U/R: 3650 sq ft



229-224-0410

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JANIS
Engineering Group

COA 9604

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FAX: 850-201-6736

EMAIL: OFFICE@JANISENG.COM



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Gainesville, FL 32601

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Spinnenw
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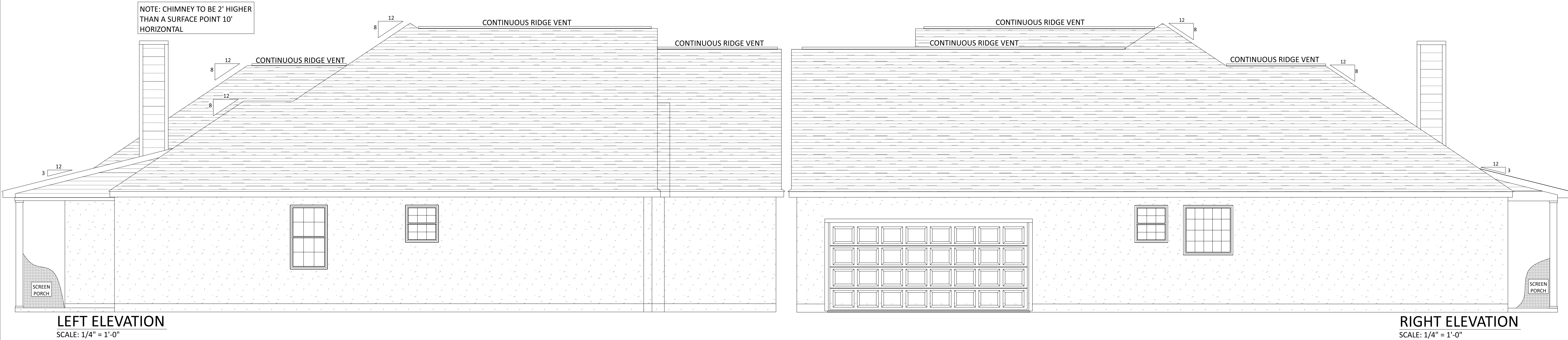
T1

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NOTE: WINDOWS AND DOORS SHOWN ARE SYMBOLIC. CONFIRM TYPE WITH BUILDER AND/OR HOMEOWNER.



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

RIGHT ELEVATION
SCALE: 1/4" = 1'-0"




REAR ELEVATION
SCALE: 1/4" = 1'-0"

BUILDER TO COORDINATE THESE PLANS w/ WIND ANALYSIS, AND TRUSS PLANS PRIOR TO CONSTRUCTION.

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 Review for Code Compliance
Universal Engineering Science
Lauren Powell
Examiner-License No. PX2707 11/18/2021

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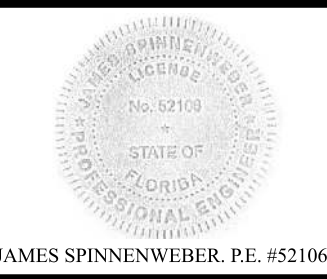
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LAKE CITY, FL 32025

SQ FOOTAGE

1ST FLOOR:	2325
2ND FLOOR:	N/A
BONUS RM:	245
TOTAL H/C:	2570
FRONT PORCH	102
REAR PORCH	398
GARAGE:	580
OTHER:	N/A
TOTAL U/R:	3650



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BEDROOM WINDOWS MUST HAVE A CLEAR OPENING (MIN. 20" WIDE, 24" HIGH AND 5.0 SQ/FT OF CLEAR OPENING @ GROUND FLOOR AND 5.7 SQ/FT ABOVE GROUND FLOOR.) WITH MINIMUM SILL HEIGHT NOT MORE THAN 44" ABOVE FLOOR. WINDOWS SIZES ARE NOMINAL SIZES. CONFIRM AND VERIFY SIZE, TYPE, ETC. WITH BUILDER AND/OR HOMEOWNER.

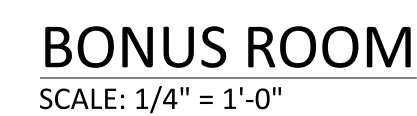


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FLOOR PLAN

SCALE: 1/4" = 1'-0"



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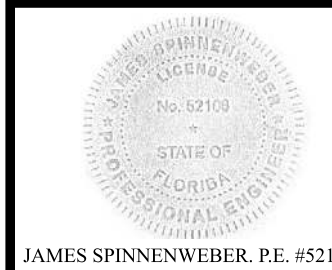
CUSTOMER SIGNATURE _____

SQ FOOTAGE	
1ST FLOOR:	232
2ND FLOOR:	N/A
BONUS RM:	24
TOTAL H/C:	257

FRONT PORCH	10
REAR PORCH	39
GARAGE:	58
OTHER:	N/A
TOTAL U/R:	365

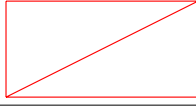

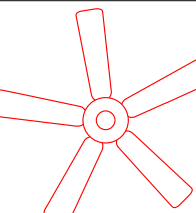

















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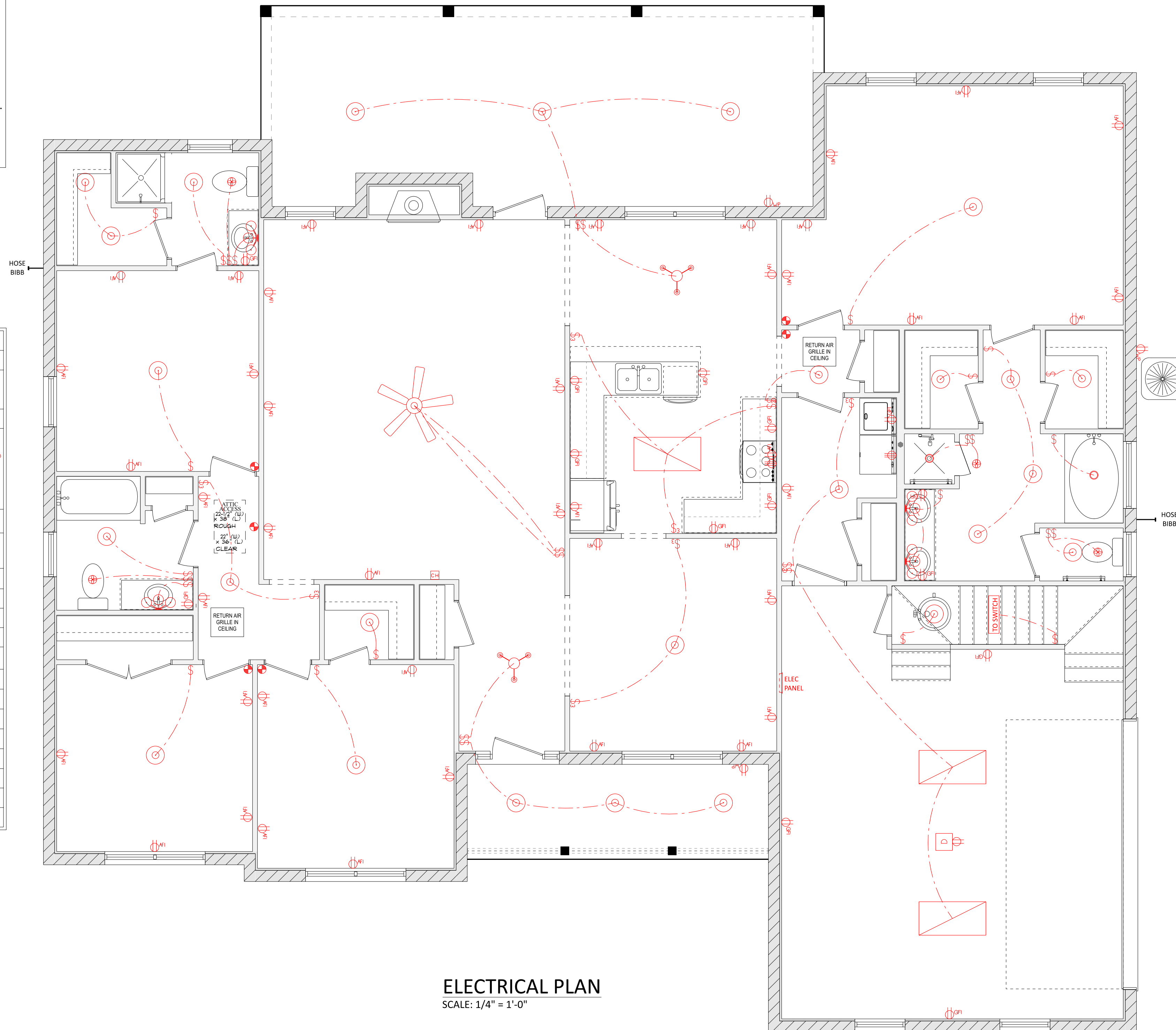


A2

2. 100 AMP ELECTRICAL SERVICE LOCATION TO BE DETERMINED.
3. ALL WORKMANSHIP, INSTALLATION, AND MATERIALS SHALL COMPLY WITH THE N.E.C. AND LOCAL APPLICABLE CODES.
4. BUILDER SHALL VERIFY SERVICE LOCATION AND METER WITH THE LOCAL UTILITY.
5. ALL CONDUCTORS SHALL BE COPPER AND/OR ALUMINUM.
6. BUILDER SHALL PROVIDE A TYPE WRITTEN DIRECTORY OF CIRCUITS IN THE PANEL.
7. MECHANICAL CONTRACTOR SHALL PROVIDE THE ELECTRICAL CONTRACTOR WITH THE MANUFACTURERS RECOMMENDED WIRE SIZE AND BREAKER SIZE FOR THE AC MECHANICAL EQUIPMENT PRIOR TO ANY MECHANICAL OR ELECTRICAL INSTALLATION.
8. ALL ELECTRICAL FIXTURES TO BE INSTALLED PER MANUFACTURERS INSTALLATION REQUIREMENTS AND LOCAL APPLICABLE CODE.
9. ALL RECEPTACLES TO BE TAMPER RESISTANT.
10. CLOSET LIGHTS SHALL NOT BE CLOSER TO ASSUMED 12" SHELF THAN 12" FOR INCANDESCENT, AND 6" FOR FLOURESCENT.
11. ALL INTERIOR AND EXTERIOR LIGHTING MEETS OR EXCEEDS THE MIN. 75% HIGH-EFFICACY LIGHTING.
12. ALL ELECTRICAL FIXTURES SHOWN ARE SYMBOLIC. CONFIRM WITH BUILDER AND/OR HOMEOWNER FOR TYPE.

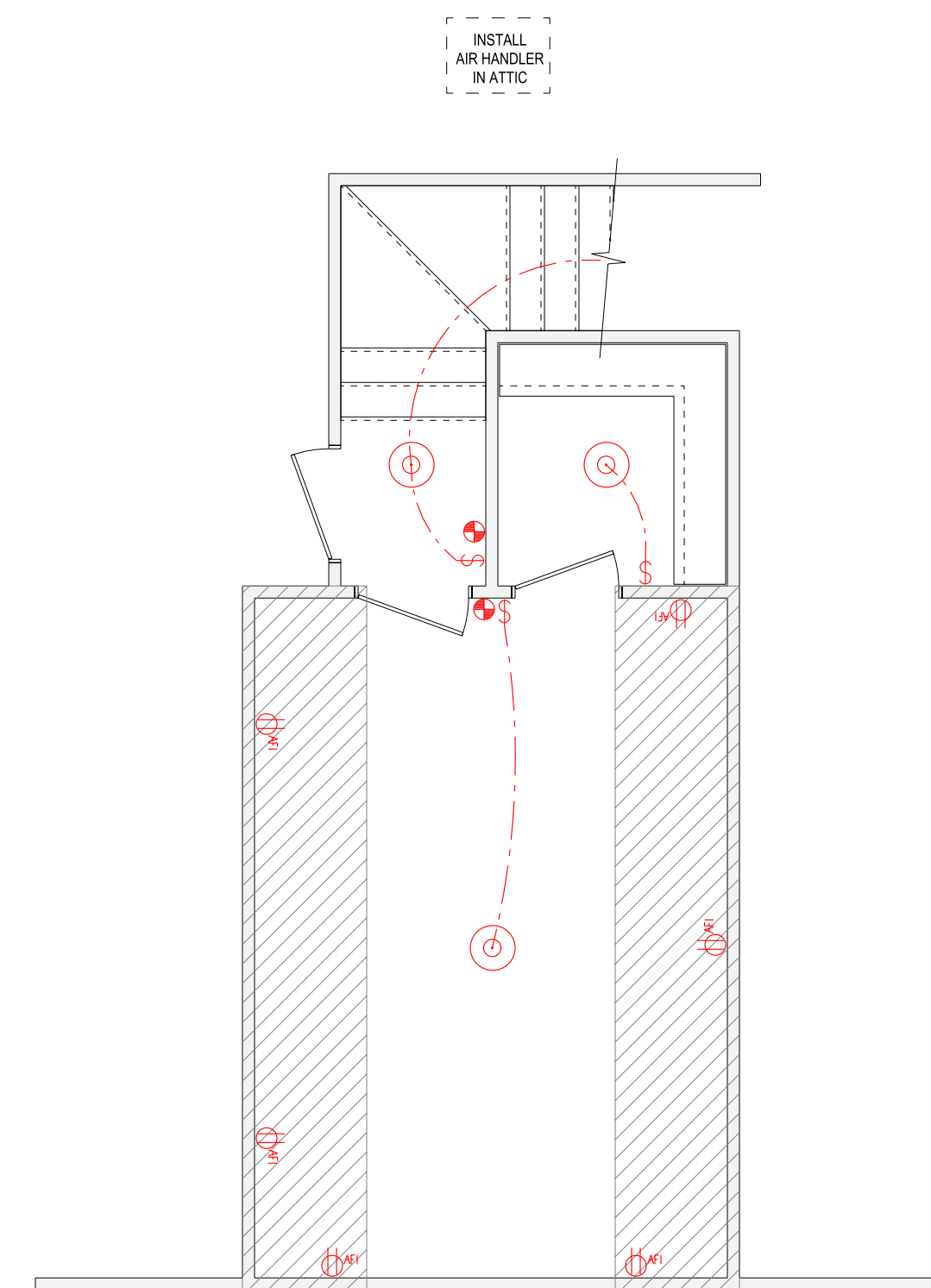
ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
LED LIGHT 2 X 4	3	
CAN LIGHT	2	
CEILING FAN	1	
CEILING LIGHT	26	
NOOK-FOYER LIGHT	2	
VANITY WALL LIGHT	4	
ELECTRICAL PANEL	1	
CHIME	1	
FAN	4	
GARAGE DOOR OPENER	1	
OUTLET	1	
OUTLET 220V	2	
OUTLET AH	44	
OUTLET GFH	14	
OUTLET WP	3	
SMOKE-CO DETECTOR	6	
SWITCH	31	
SWITCH 3 WAY	9	

ALL CONSTRUCTION SHALL MEET OR EXCEED ALL
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ELECTRICAL PLAN

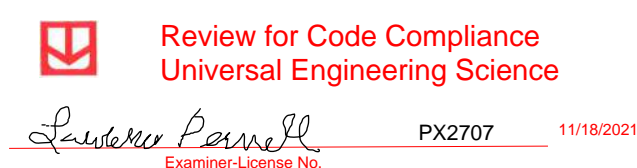
SCALE: 1/4" = 1'-0"



BONUS ROOM ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

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Gainesville, FL 32601

Designed Exclusively for:

LEO & ROBBIE BROOKS
XXXX SR 47
LAKE CITY, FL 32025

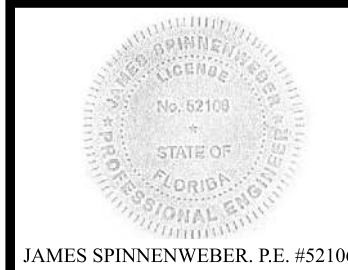
CUSTOMER SIGNATURE

SQ FOOTAGE

1ST FLOOR:	2325
2ND FLOOR:	N/A
BONUS RM:	245
TOTAL H/C:	2570
FRONT PORCH	102
REAR PORCH	398
GARAGE:	580
OTHER:	N/A
TOTAL U/R:	3650

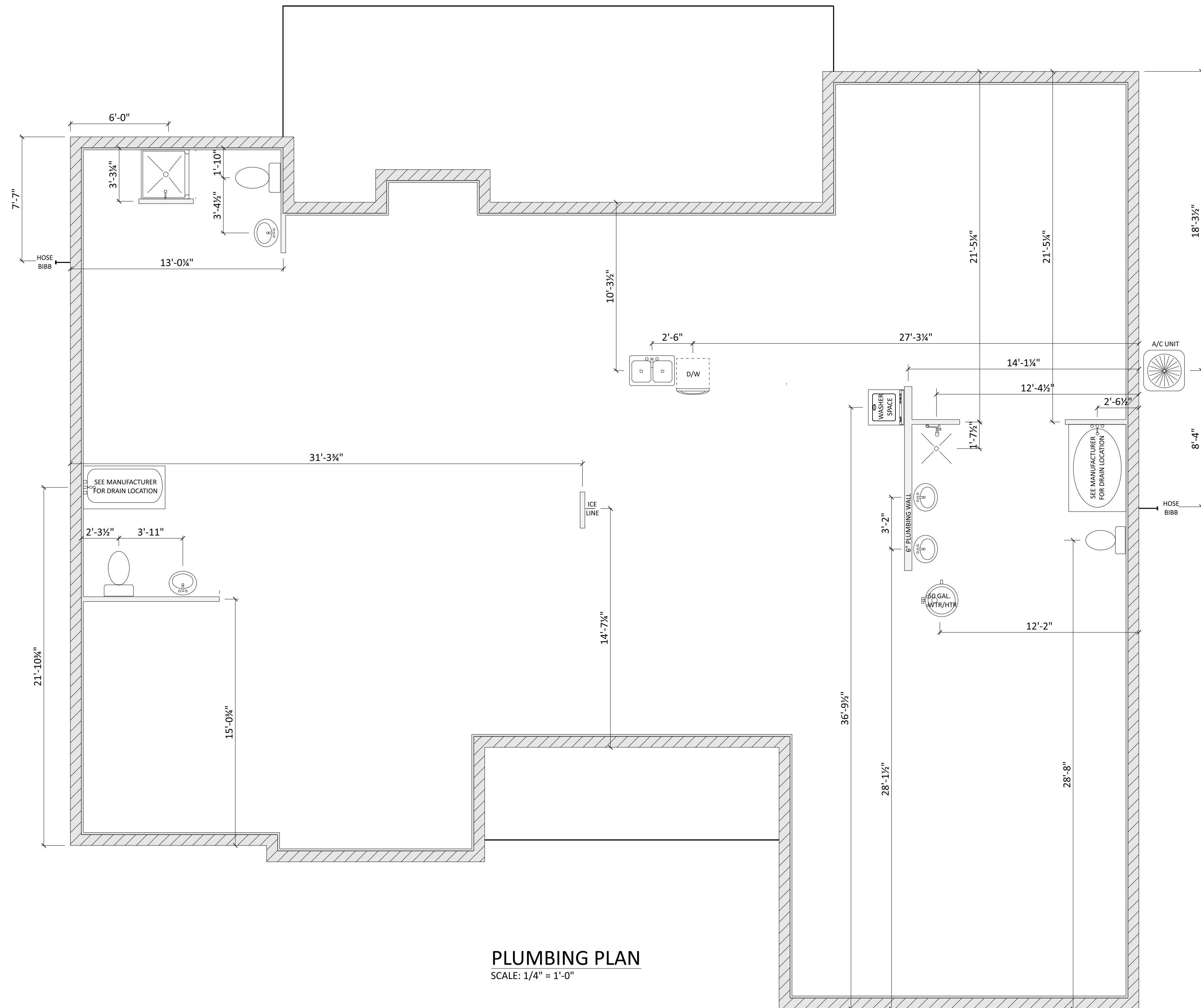


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E1

1. ALL WORK MUST BE DONE IN ACCORDANCE WITH INTERNATIONAL PLUMBING AND/OR FLORIDA BUILDING CODE AND LOCAL REGULATIONS.
2. PROVIDE P.V.C. REFRIGERANT LINES AS REQUIRED. COORDINATE WITH THE MECHANICAL CONTRACTOR.
3. PROVIDE 2" MINIMUM CONDENSATION LINES FOR AIR HANDLER UNIT(S). COORDINATE WITH THE MECHANICAL CONTRACTOR.
4. PROVIDE DRAIN TO WATER HEATER(S).
5. PROVIDE HOSE BIBS AS SHOWN.
6. SLOPE ALL DRAIN LINES PER LOCAL CODE.
7. ALL P.V.C. LINES SHALL BE SCHEDULE - 40 P.V.C.
8. UTILITY STUBOUT LOCATIONS TO BE DETERMINED.
9. VERIFY ALL PLUMBING FIXTURE LOCATIONS w/ FLOOR PLAN AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
10. ALL PLUMBING FIXTURES SHOWN ARE SYMBOLIC. CONFIRM TYPE w/BUILDER AND/OR HOMEOWNER.



PLUMBING PLAN

SCALE: 1/4" = 1'-0"

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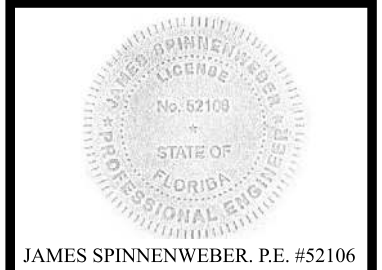


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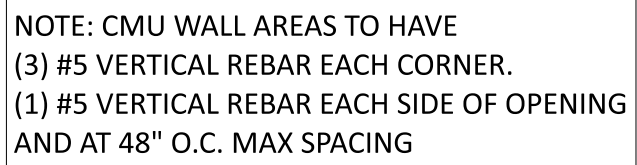
P1

1. APPLICABLE CODES: FLORIDA BUILDING CODE 7th EDITION (2020). ACI-318, ACI-ASCE 530
2. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY CYLINDER COMPRESSIVE STRENGTH (f'c) OF 3000 PSI.
3. REINFORCING BARS: ASTM A-615, GRADE 60
4. WELDED WIRE FABRIC: ASTM A-185.
WELDED WIRE FABRIC SHALL BE SUPPORTED AND CAST IN PLACE
SO THAT THE WIRE REMAINS IN THE MIDDLE ONE-THIRD OF THE SLAB.
5. MASONRY JOINT REINFORCEMENT: ASTM A-82, 9 GAUGE
6. BLOCK: ASTM C-90, TYPE N
7. MORTAR: ASTM C-270, TYPE M
8. GROUT: ASTM C-476, (3000 PSI MIN.)
9. REINFORCING BAR SPLICES SHALL BE LAPPED 26" MINIMUM AND TIED SECURELY. DO NOT WELD. WELDED WIRE FABRIC SHALL BE LAPPED 12" MINIMUM.
10. REINFORCING BARS SHALL RUN CONTINUOUS AROUND CORNERS AND INTERSECTIONS.
11. THE MINIMUM PROTECTIVE CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS:

SITE PREPARATION

- NOTE: SEE TYPICAL DETAILS PG S3

NOTE: SEE TYPICAL WALL SECTION DETAIL PG S3



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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



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CUSTOMER SIGNATURE

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S1

ATTIC VENTILATION NOTES

1. THE NET FREE VENTILATION AREA FOR THE ATTIC SPACE SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE TO BE VENTILATED W/ 50% OF THE REQUIRED VENTILATION AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED, AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS.

2. EXTERIOR OPENING INTO THE ATTIC SPACE SHALL BE COVERED W/ CORROSIVE RESISTANT WIRE CLOTH OR SIMILIAR MATERIAL. THE OPENINGS IN THE SCREENING SHALL BE A MINIMUM OF 1/8" AND SHALL NOT EXCEED 1/4".

3. ATTIC SPACE AREA = 2300 SQ FT
NET VENTILATION AREA REQUIRED = 15.33 SQ FT

GENERAL ROOF NOTES

1. 12" TYPICAL OVERHANG UNLESS OTHERWISE NOTED.

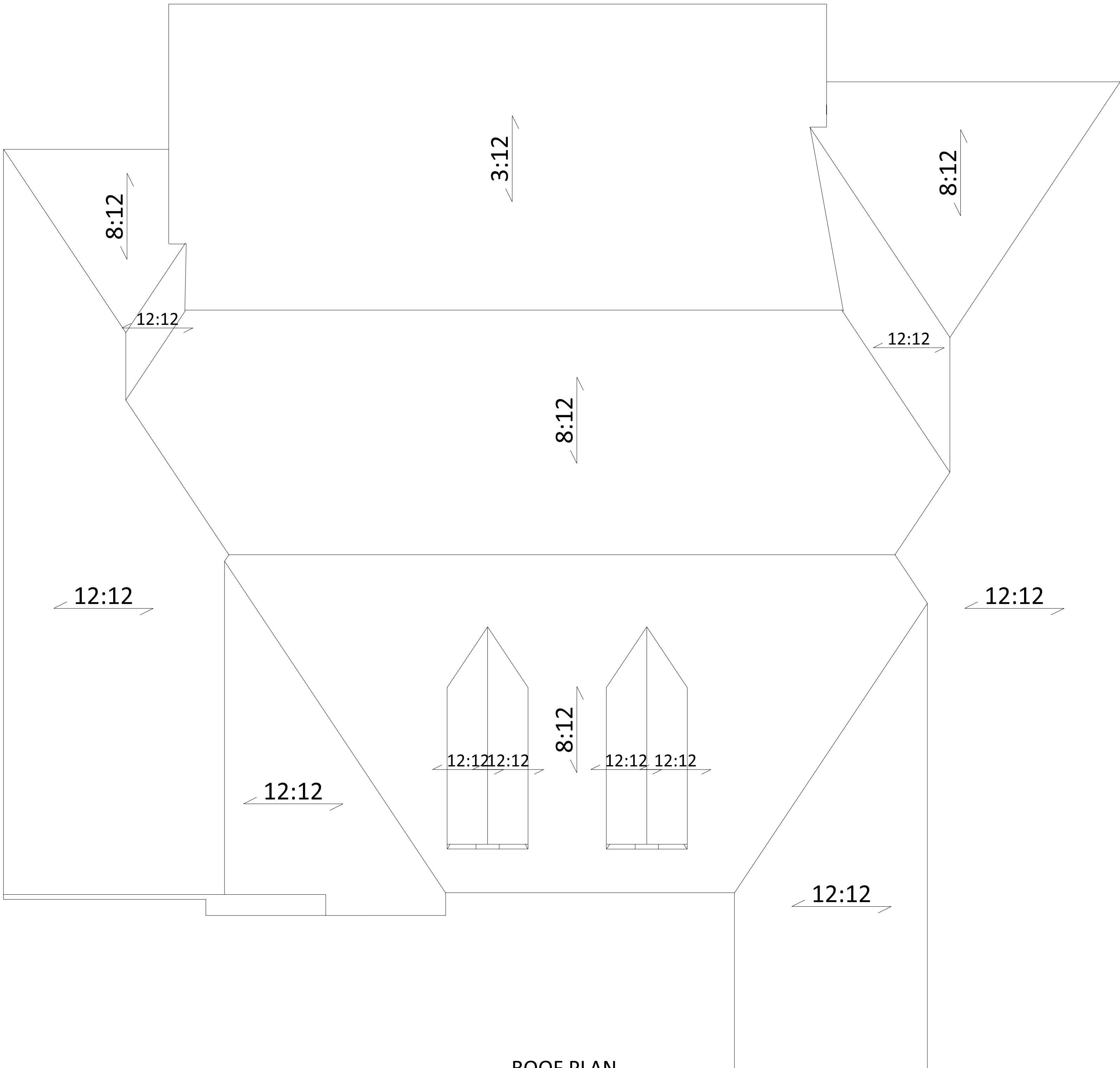
2. ROOF PITCH AS NOTED.

3. SEE ELEVATIONS FOR DORMER LOCATION(S) IF APPLICABLE.

4. ADJUST HEEL HEIGHTS TO ALIGN FASCIA WHEN DIFFERENT ROOF PITCH INTERSECTS.

5. ROOF TRUSSES TO PRE-FABRICATED, PRE-ENGINEERED. DRAWINGS TO BE SEALED BY A PROFESSIONAL ENGINEER.

6. SEE WIND ANALYSIS BY JANIS ENGINEERING GROUP, INC. FOR HOLD DOWN CONNECTIONS, SHEATHING SIZES AND NAILING REQUIREMENTS.



ROOF PLAN
SCALE: 1/4" = 1'-0"

BUILDER TO COORDINATE THESE PLANS
w/ WIND ANALYSIS, AND TRUSS PLANS
PRIOR TO CONSTRUCTION.

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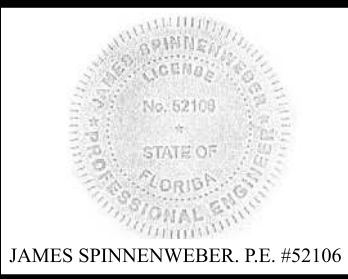
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S2

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QUALITY FAMILY HOMES, LLC
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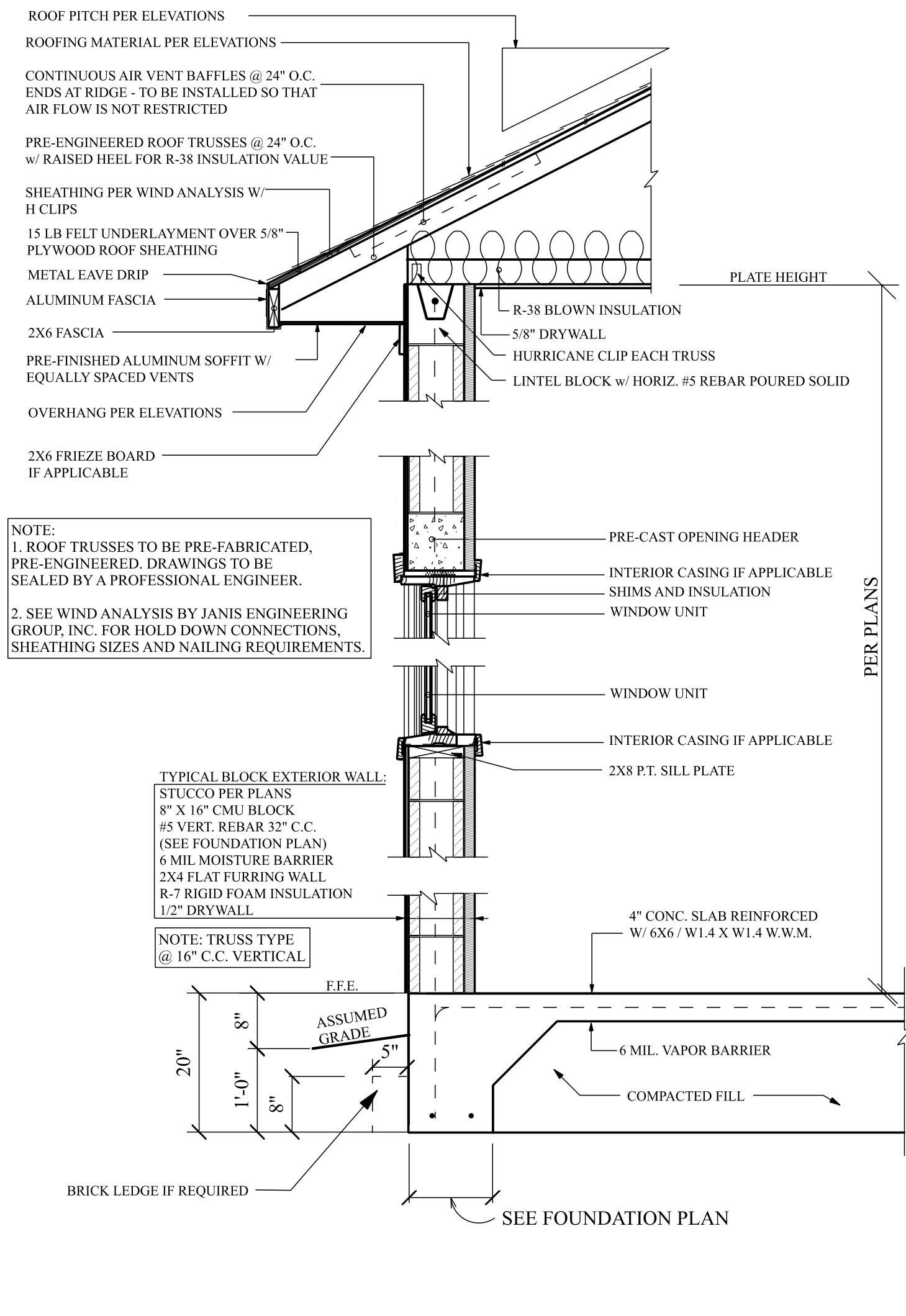
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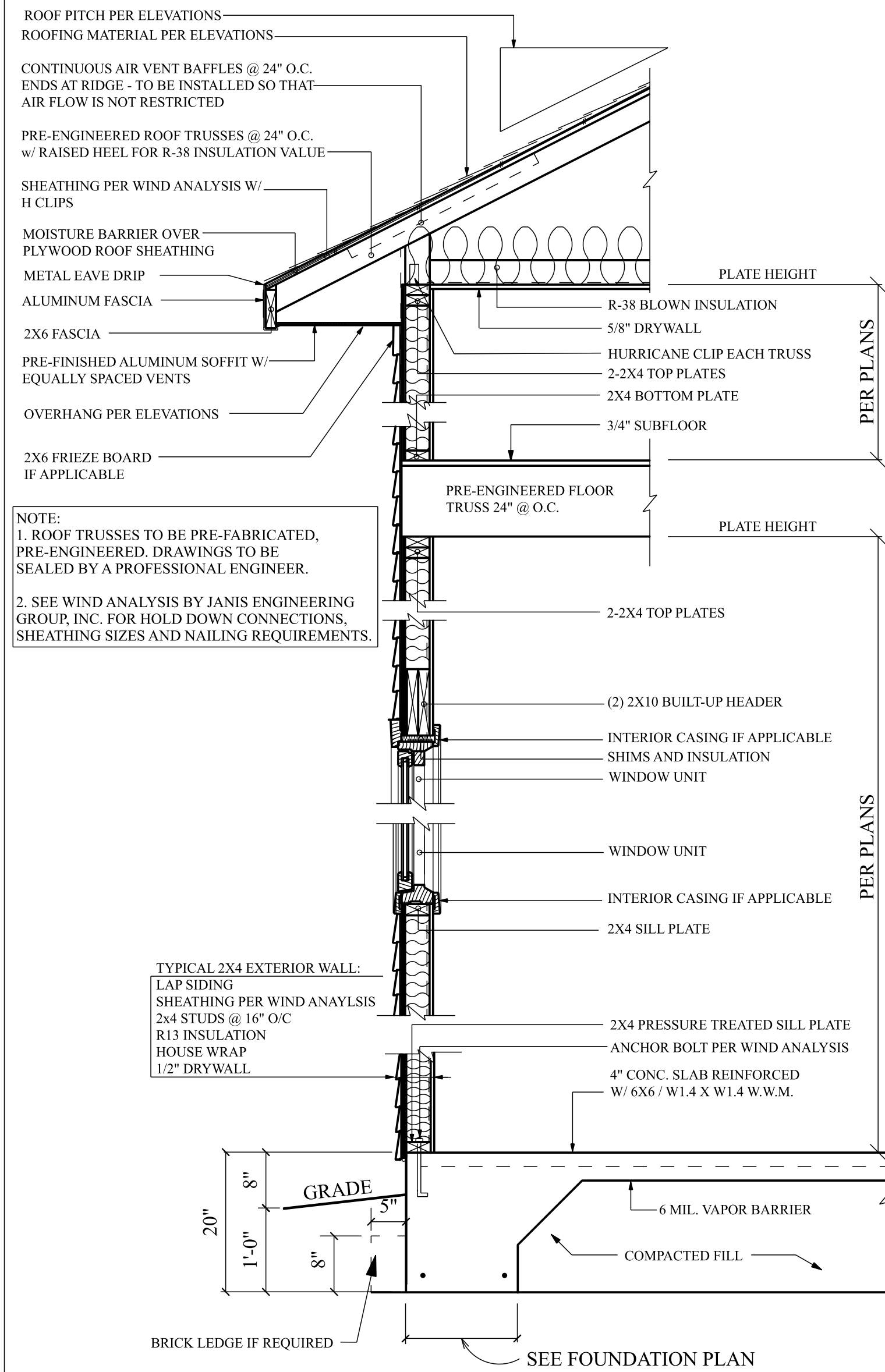
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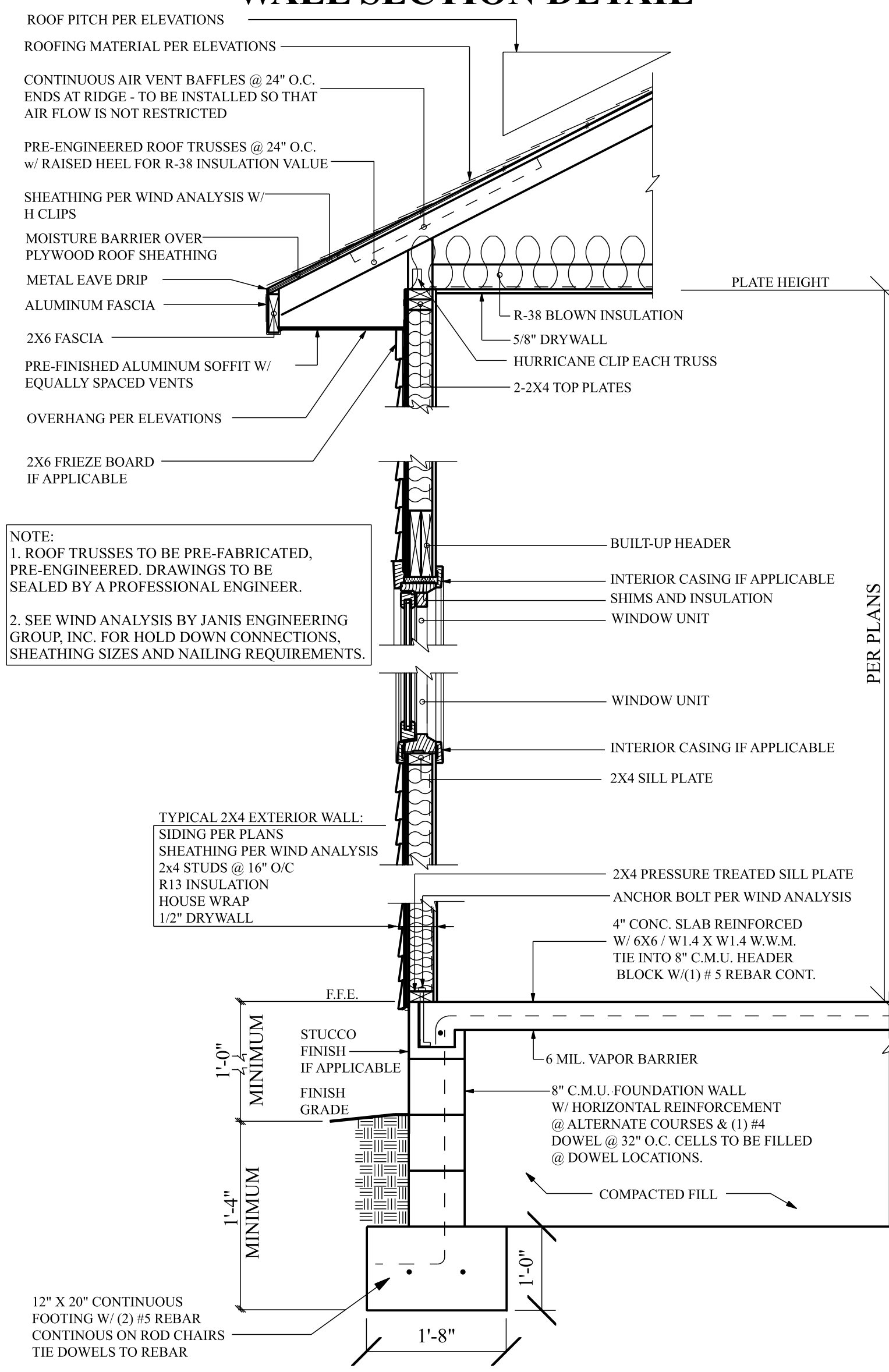
TYPICAL BLOCK WALL SECTION DETAIL w/ MONOLITHIC SLAB FOUNDATION



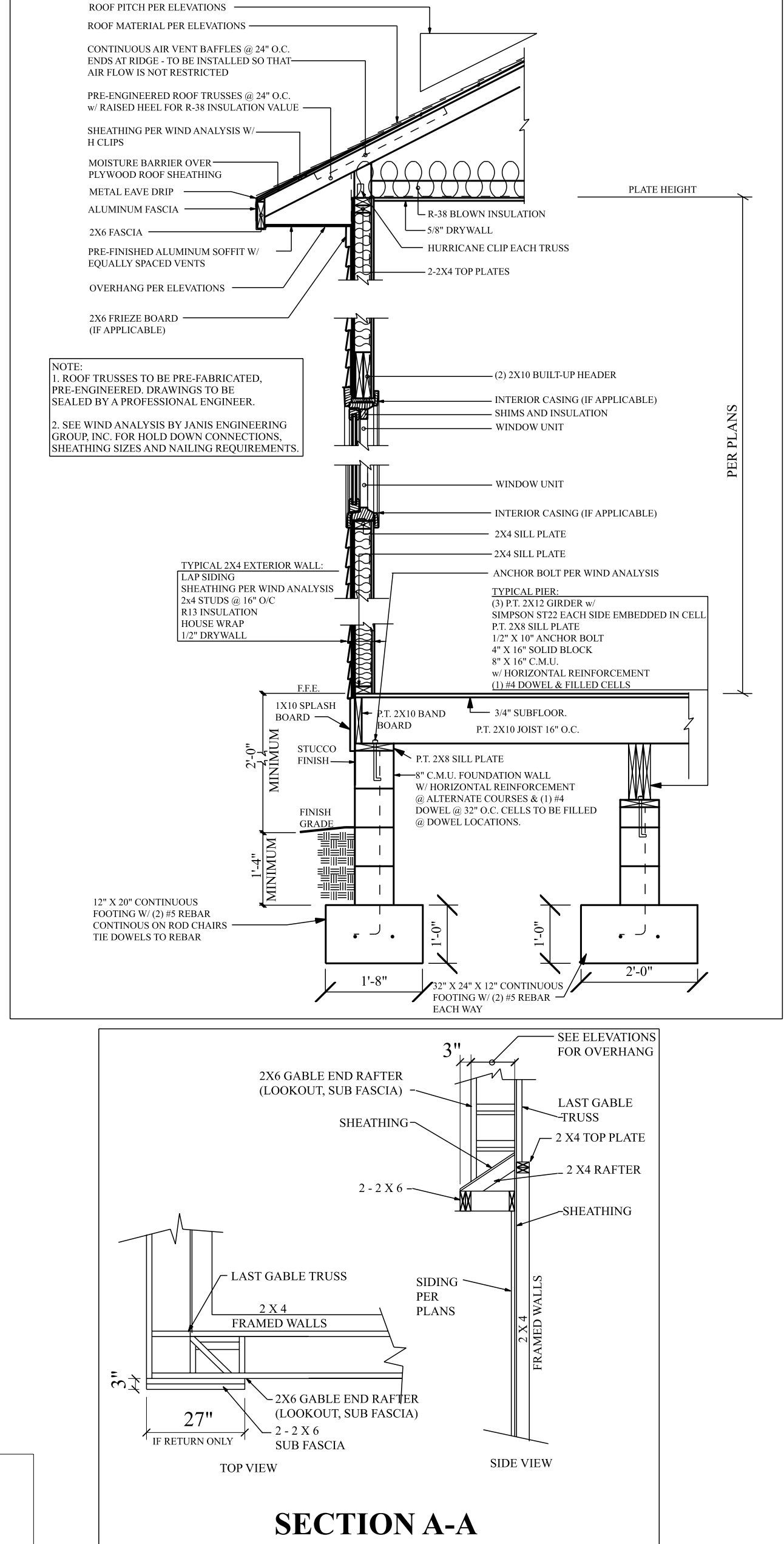
TYPICAL 2 STORY WALL SECTION DETAIL



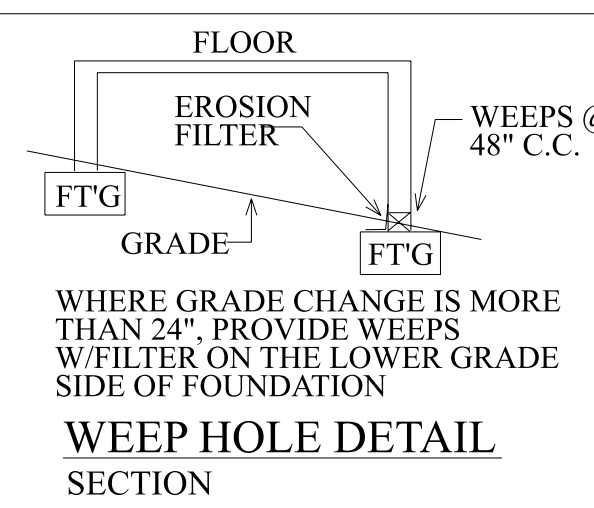
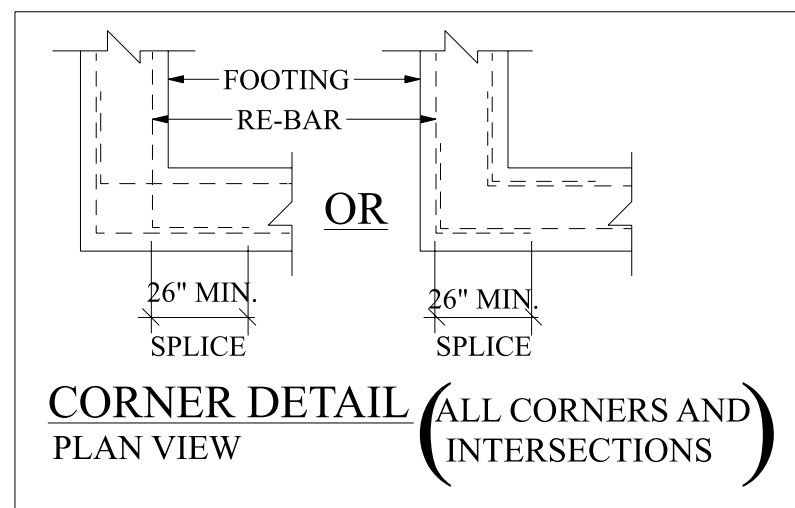
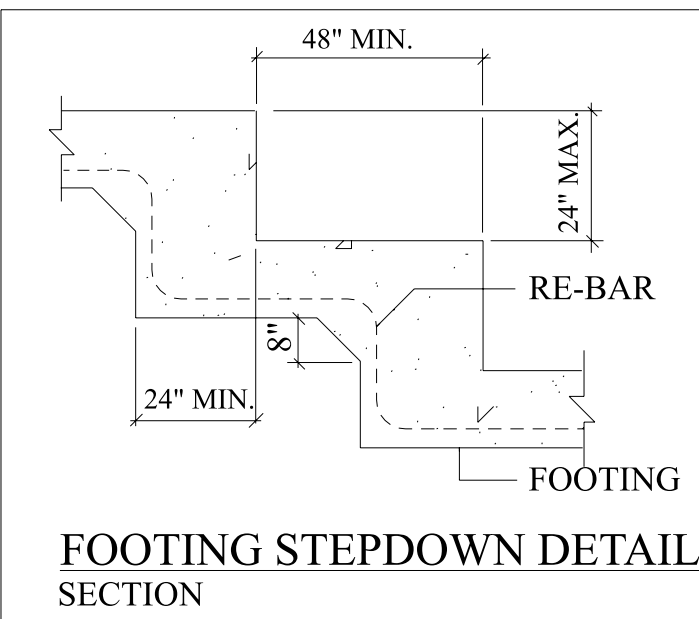
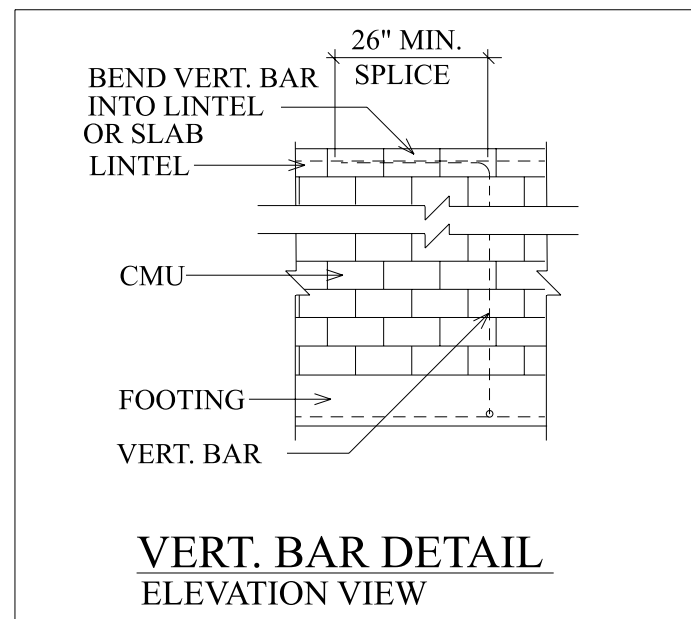
OPTIONAL TYPICAL STEMWALL SLAB WALL SECTION DETAIL



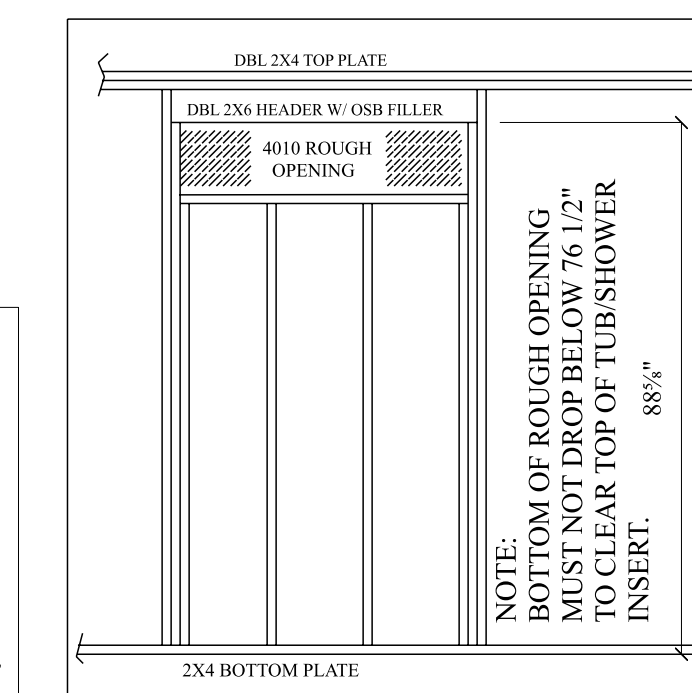
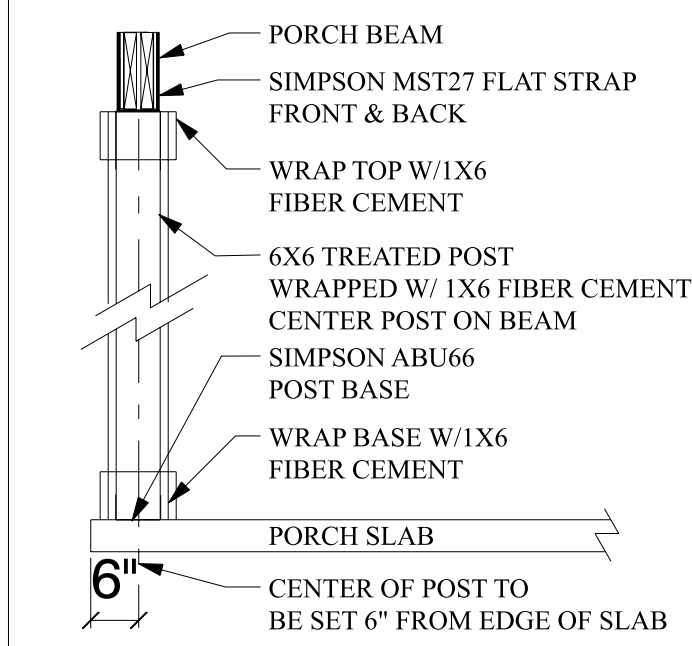
TYPICAL WALL SECTION DETAIL WOOD FLOOR



TYPICAL DETAILS

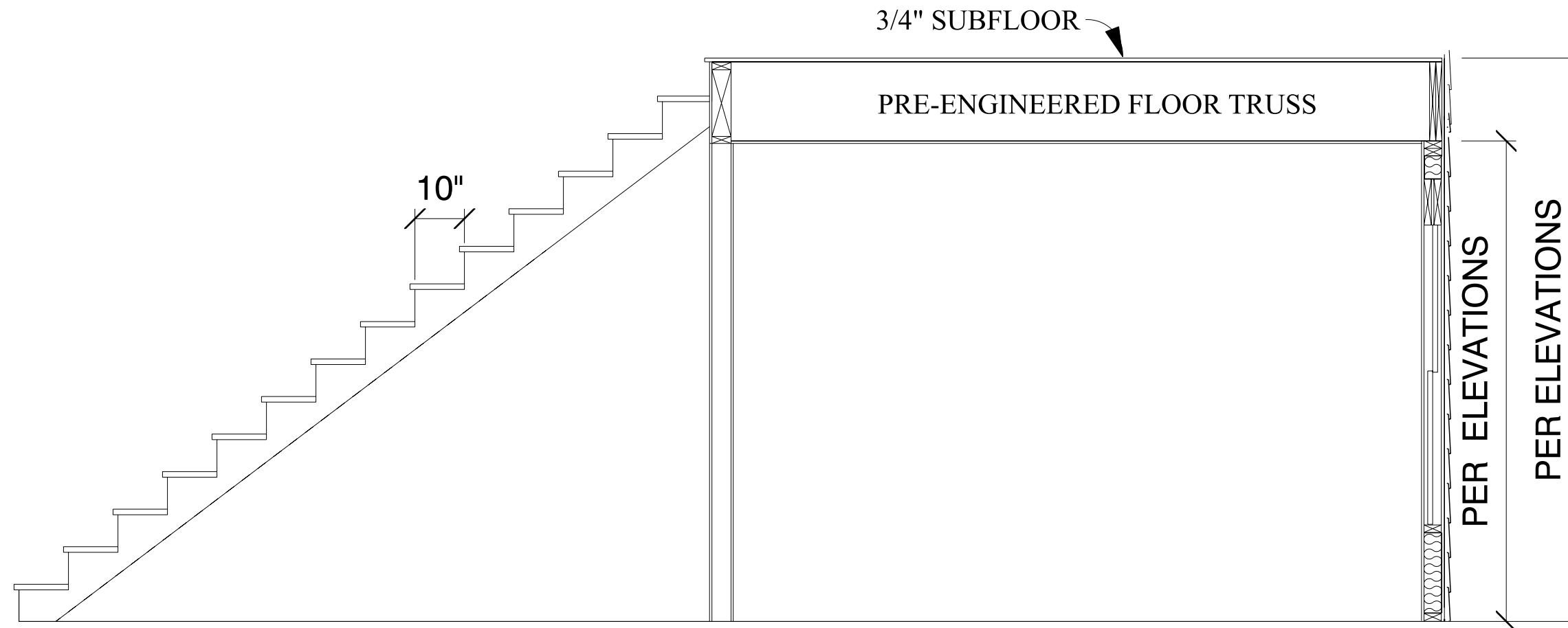


TYPICAL PORCH POST DETAIL



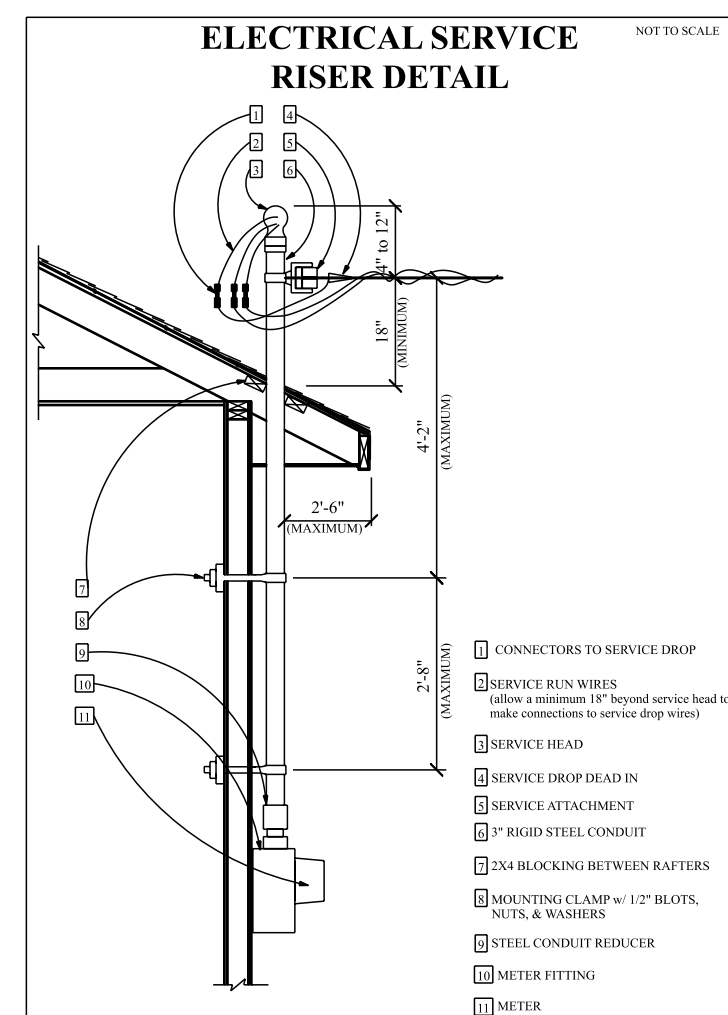
NOTE:
8' CEILING w/12" FLOOR SYSTEM = 15 TREADS @ 7.32"
8' CEILINGS w/16" FLOOR SYSTEM = 15 TREADS @ 7.59"
9' CEILING w/12" FLOOR SYSTEM = 16 TREADS @ 7.61"
9' CEILINGS w/16" FLOOR SYSTEM = 16 TREADS @ 7.75"

*ALL TREADS AND RISER DIMENSIONS TO BE FIELD VERIFIED**



TYPICAL STAIR SECTION

SECTION A-A



This item has been electronically signed and sealed by James Spinnenweber, P.E. using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Review for Code Compliance
Universal Engineering Science
PK2707 11/18/2021



Quality Family Homes, LLC
1119 NW 10th AVE
Gainesville, FL 32601

Designed Exclusively for:

LEO & ROBBIE BROOKS
XXX SR 47
LAKE CITY, FL 32025

CUSTOMER SIGNATURE

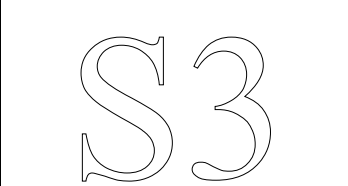
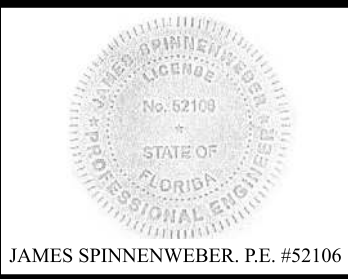
CUSTOMER SIGNATURE

SQ FOOTAGE

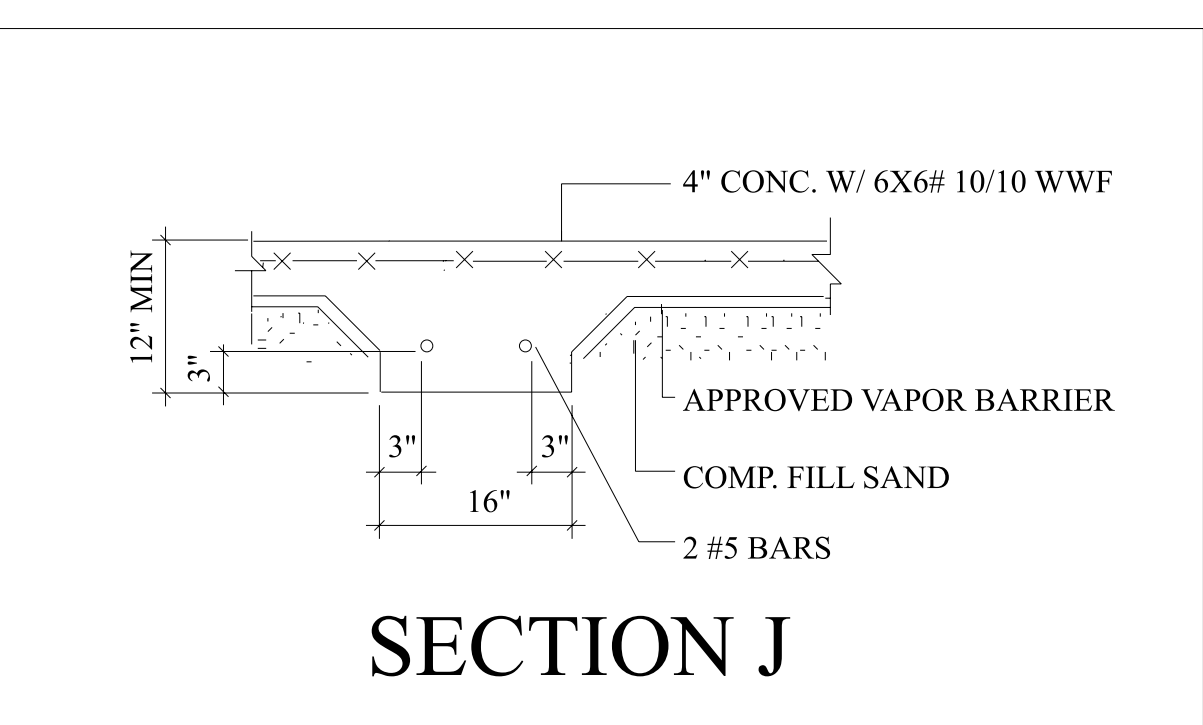
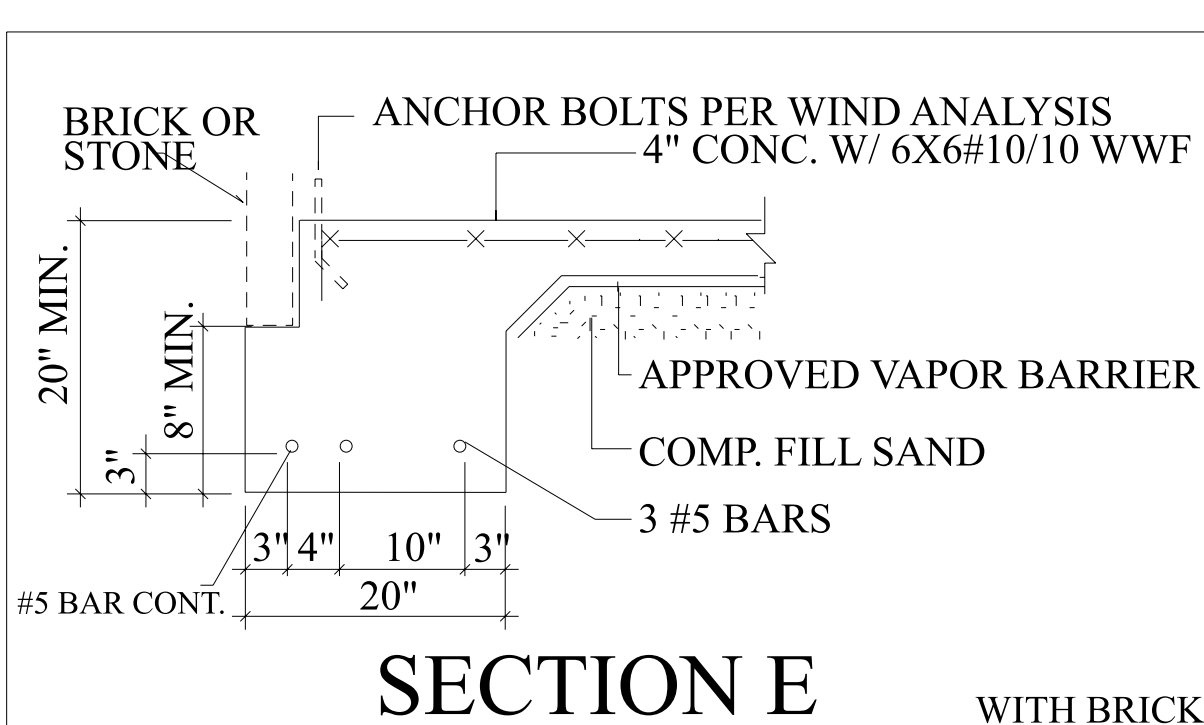
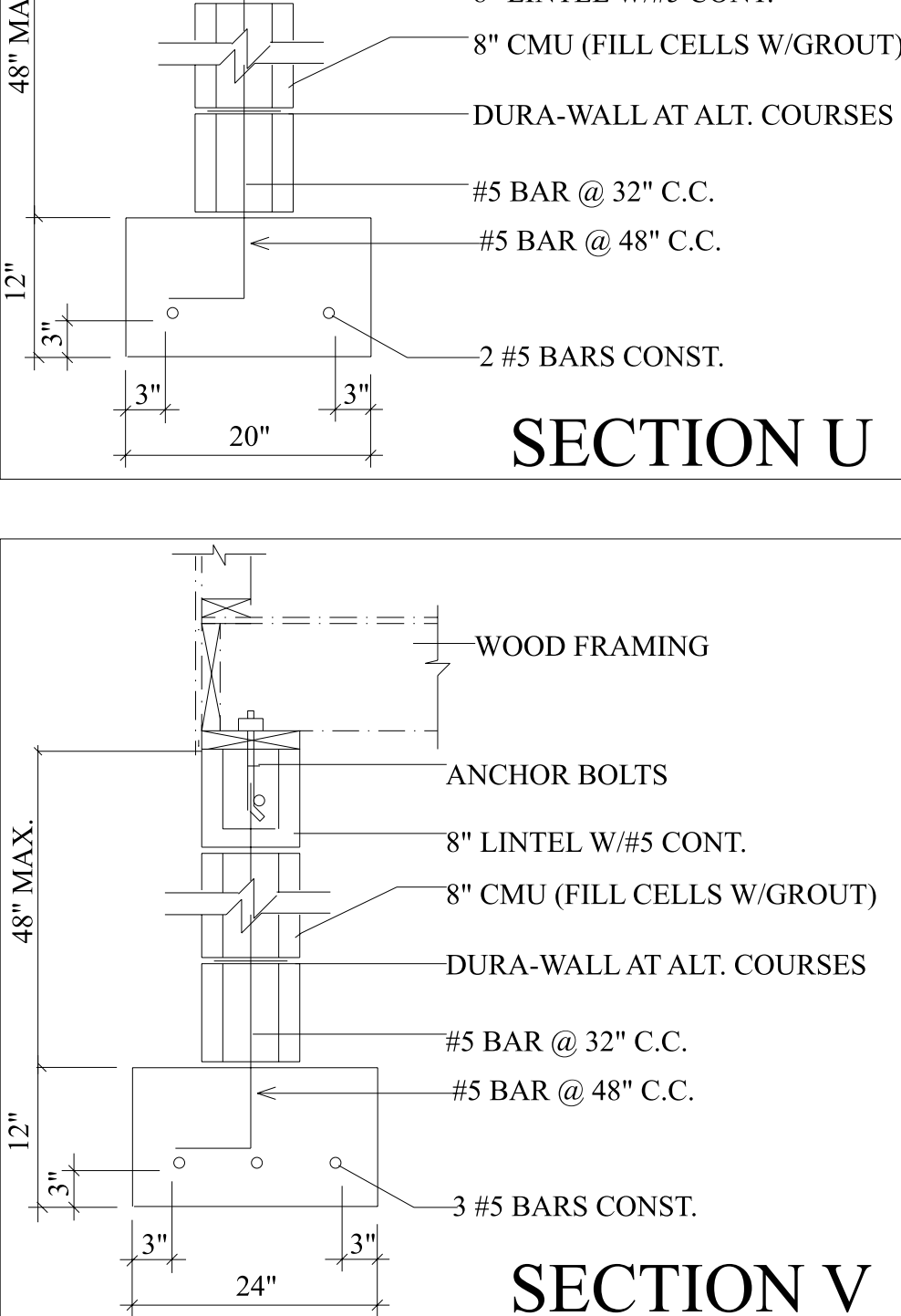
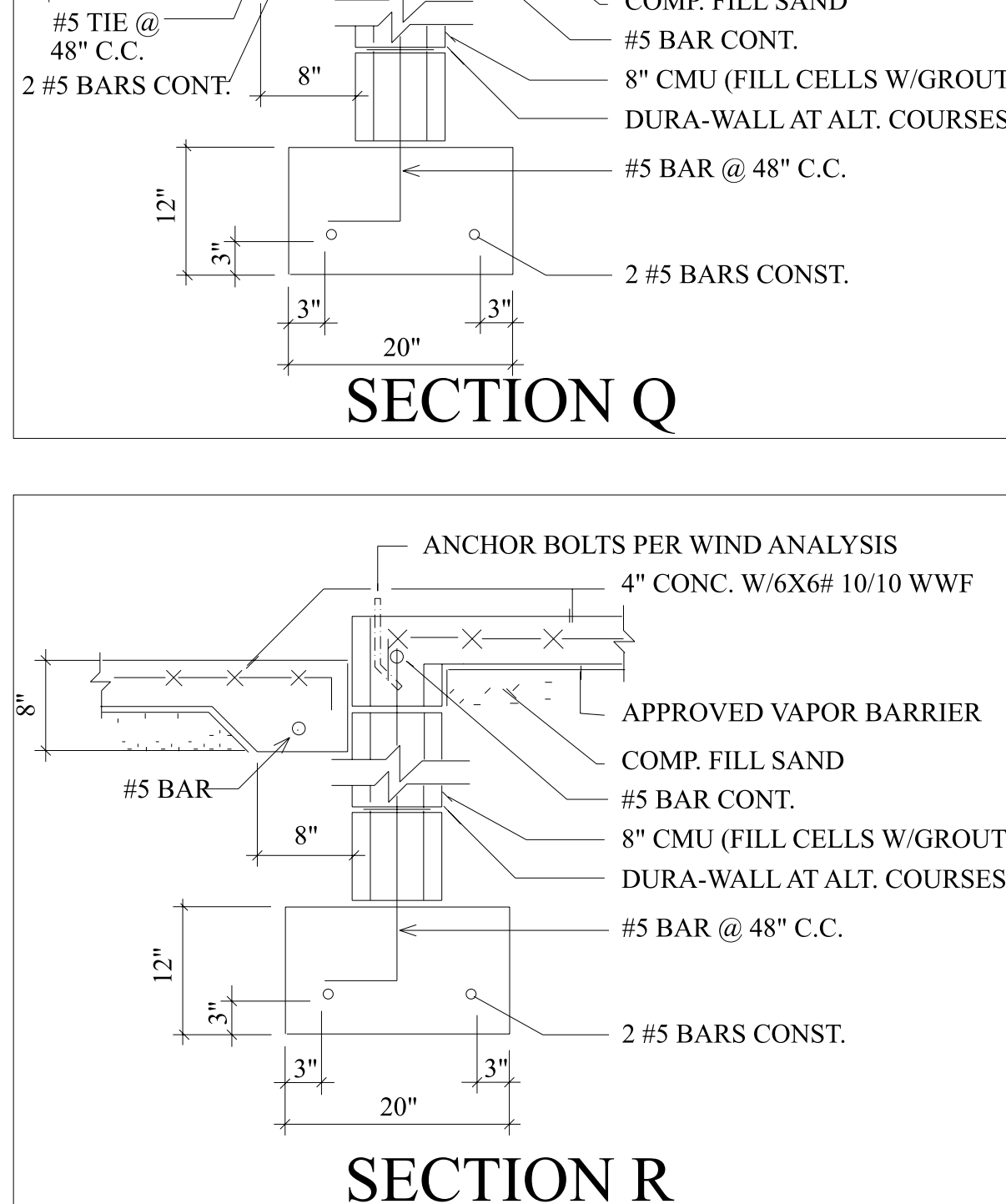
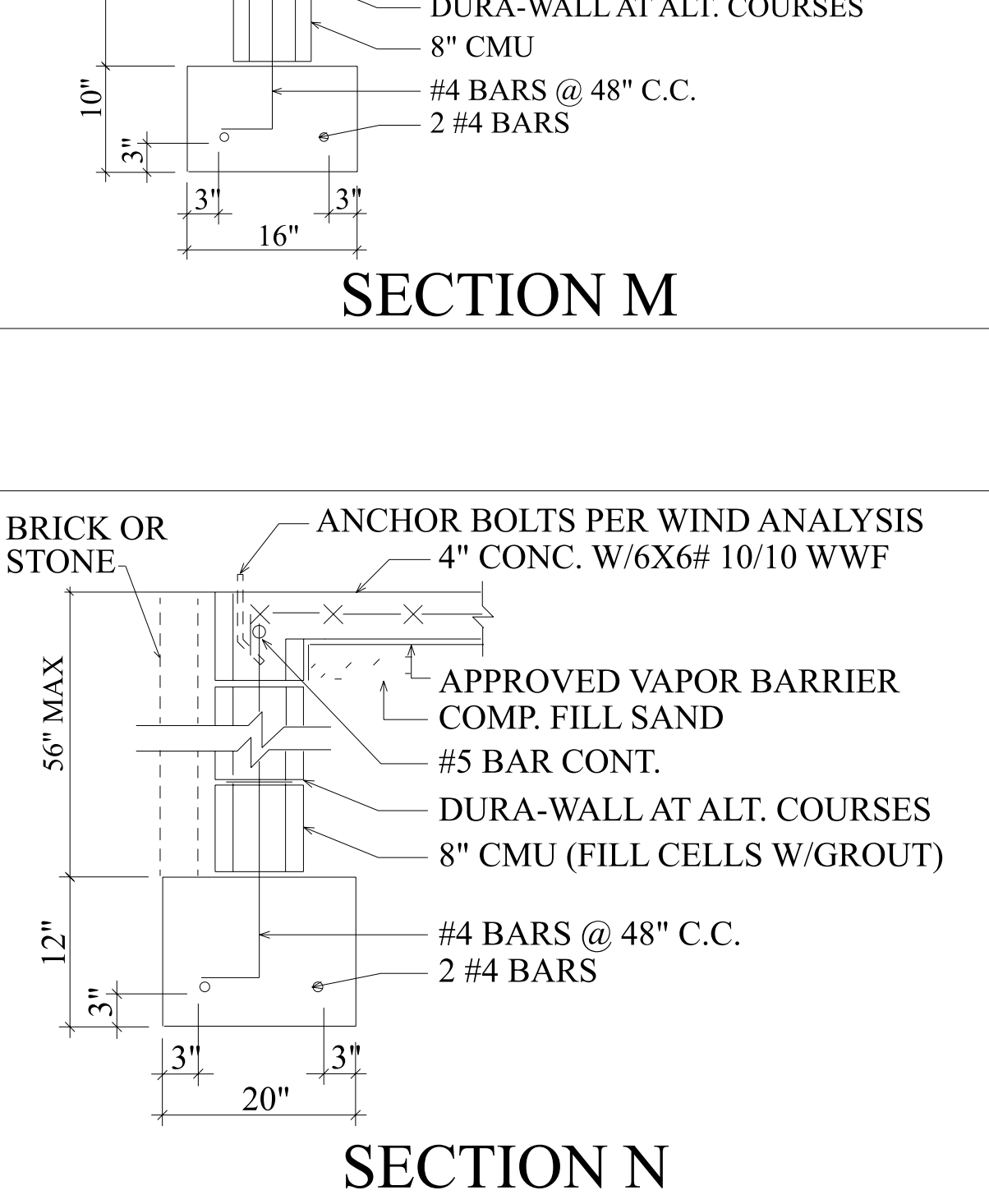
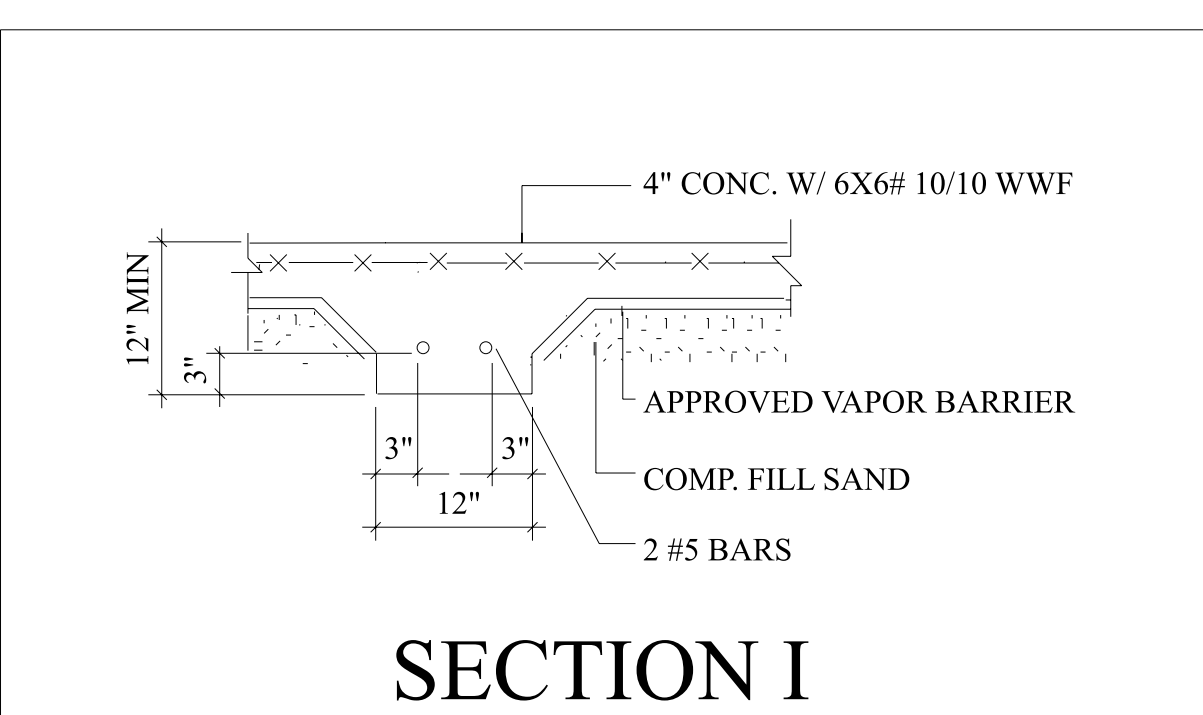
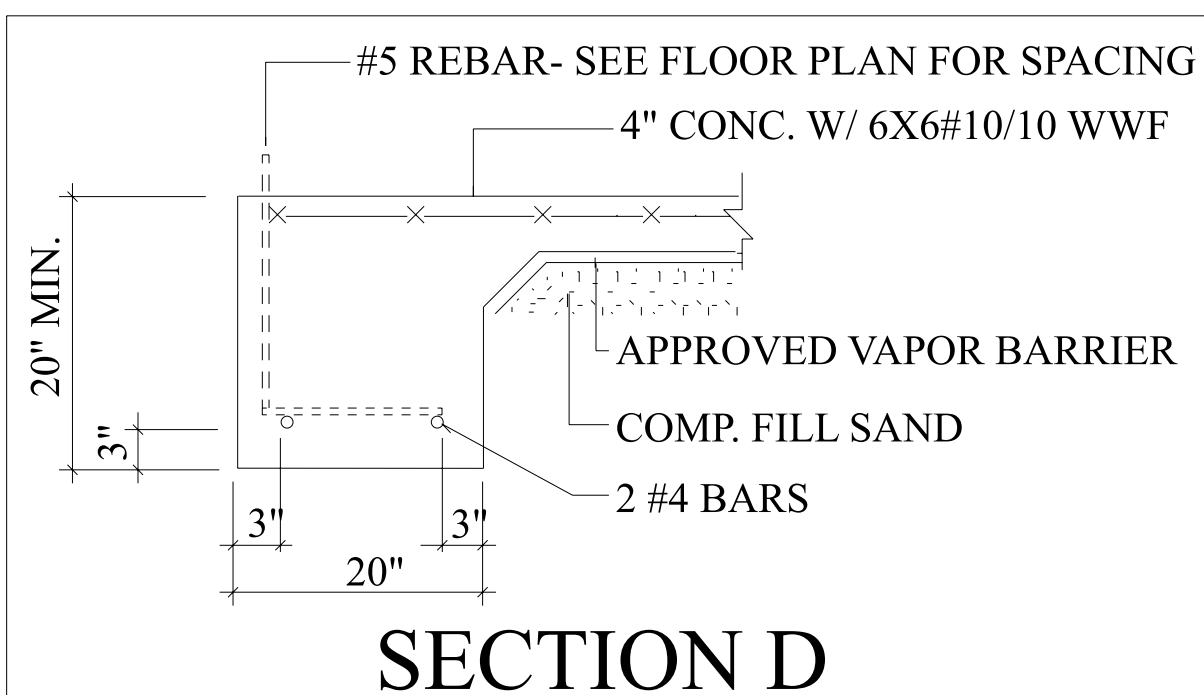
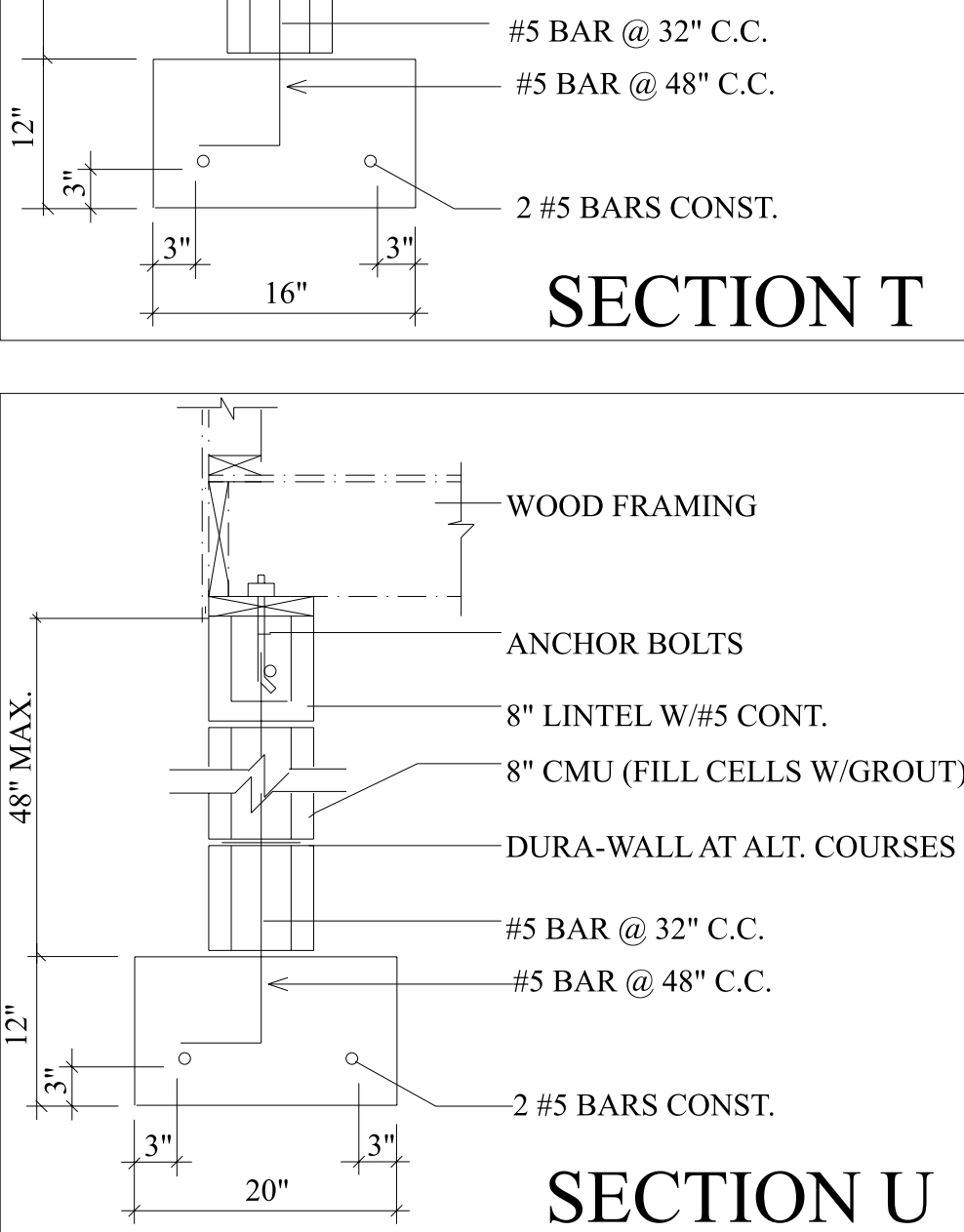
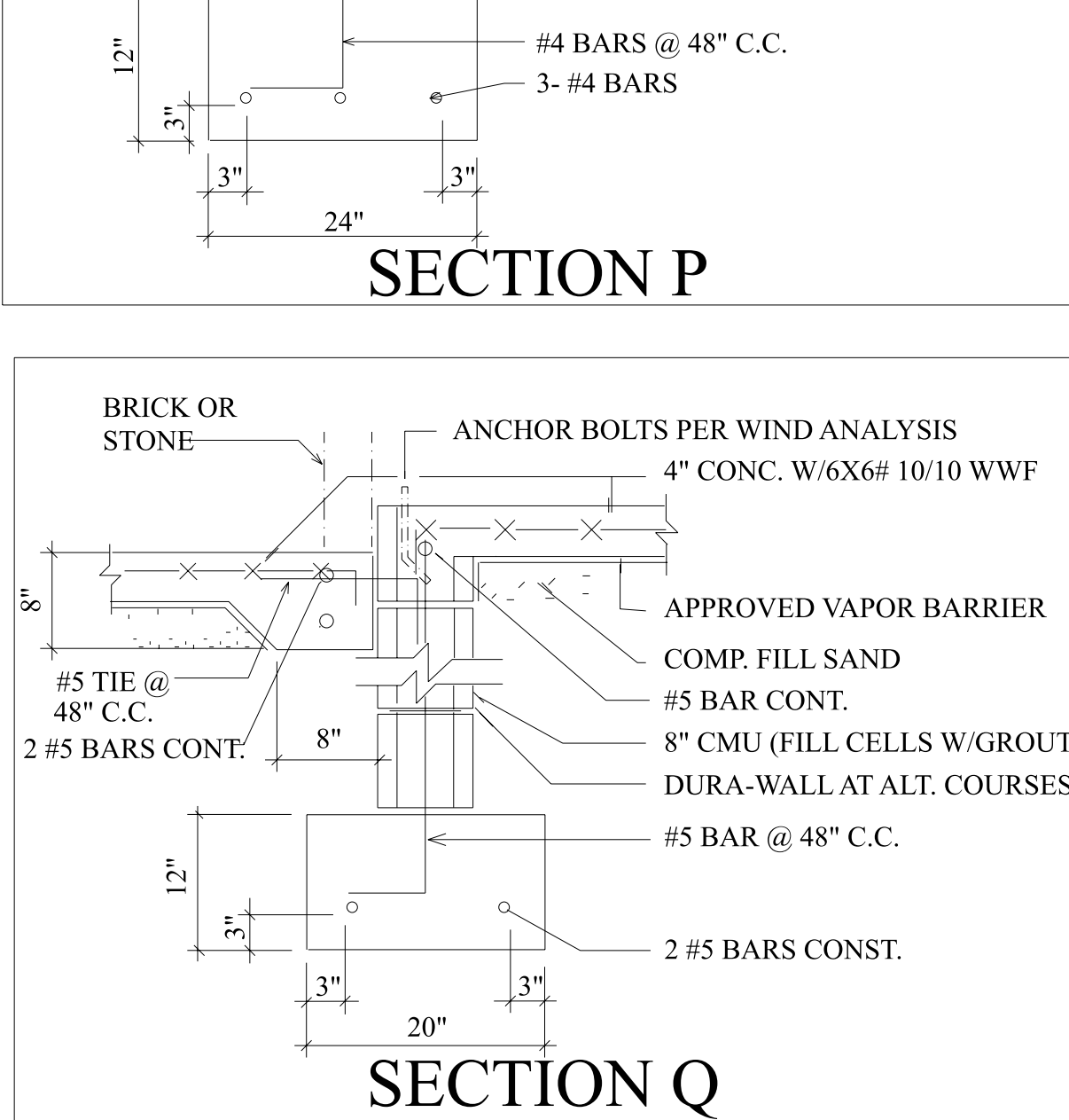
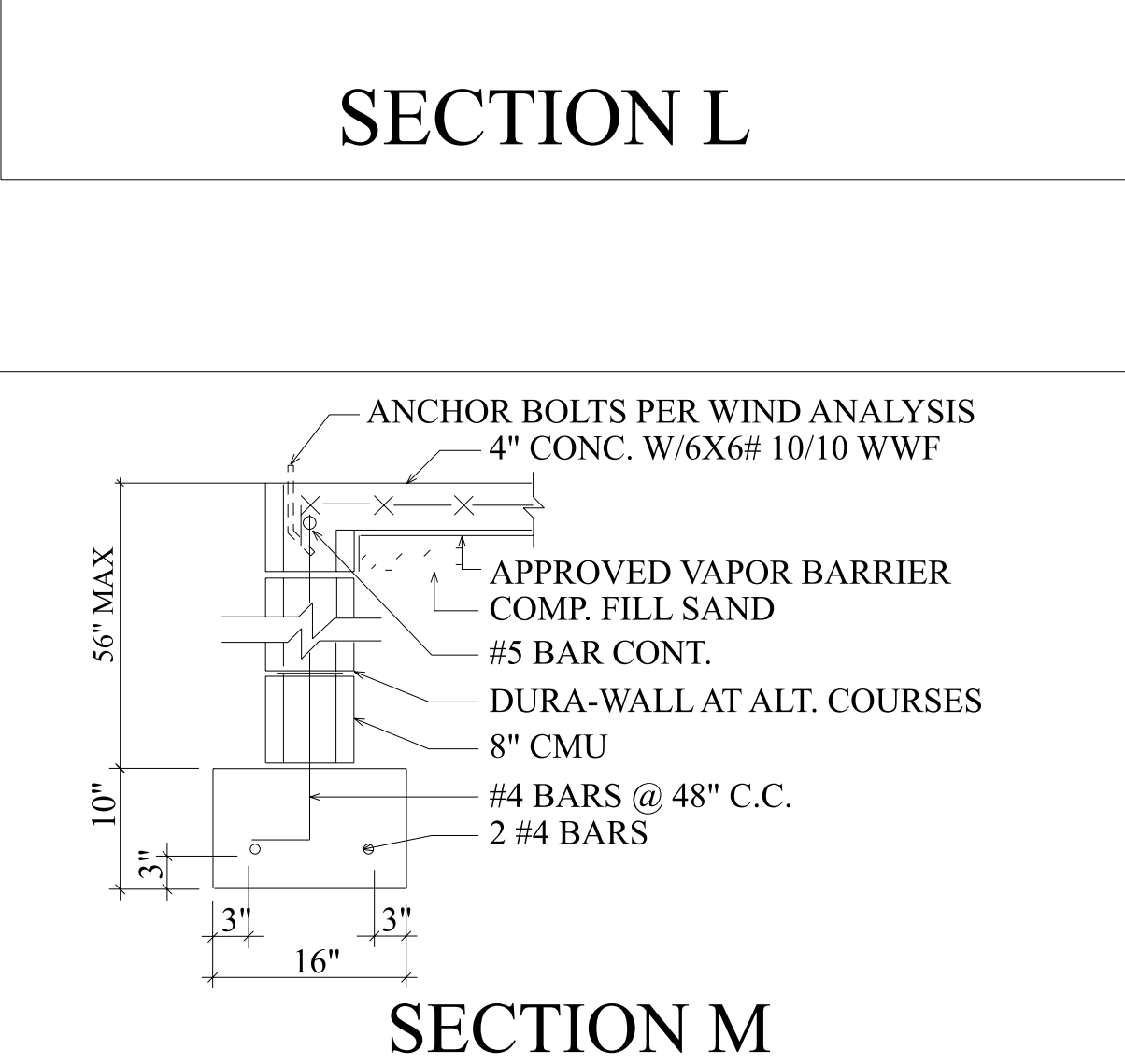
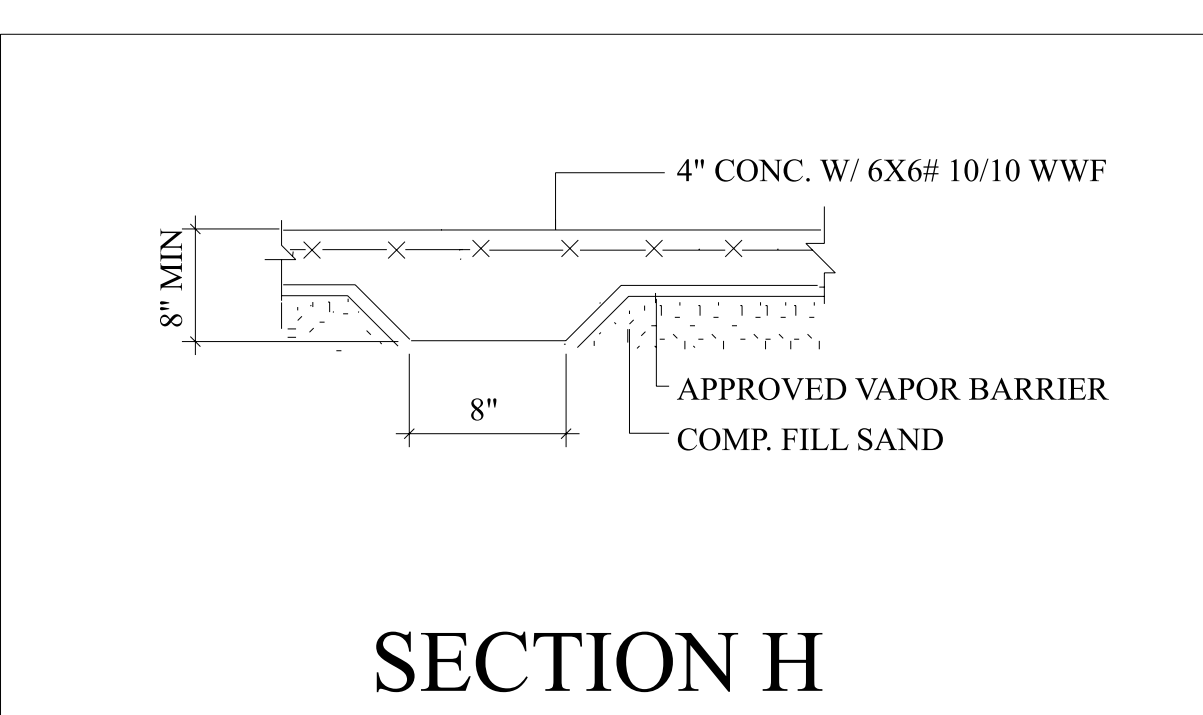
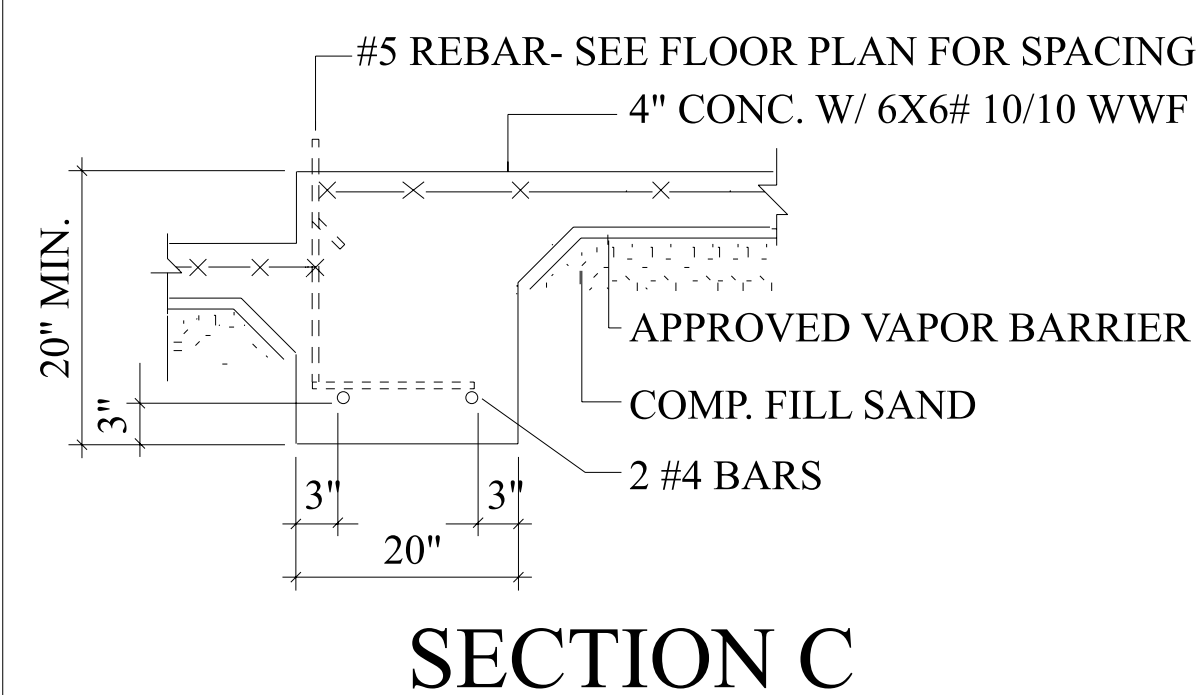
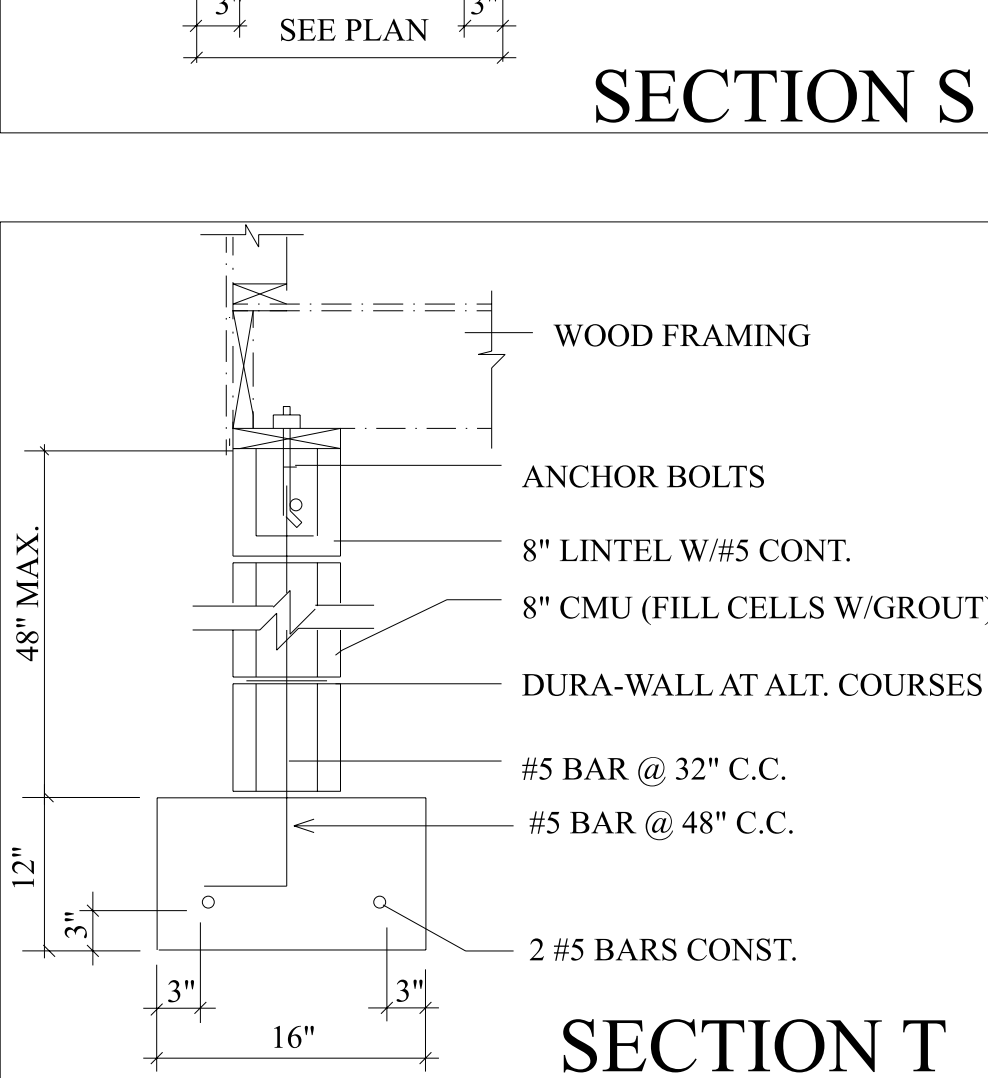
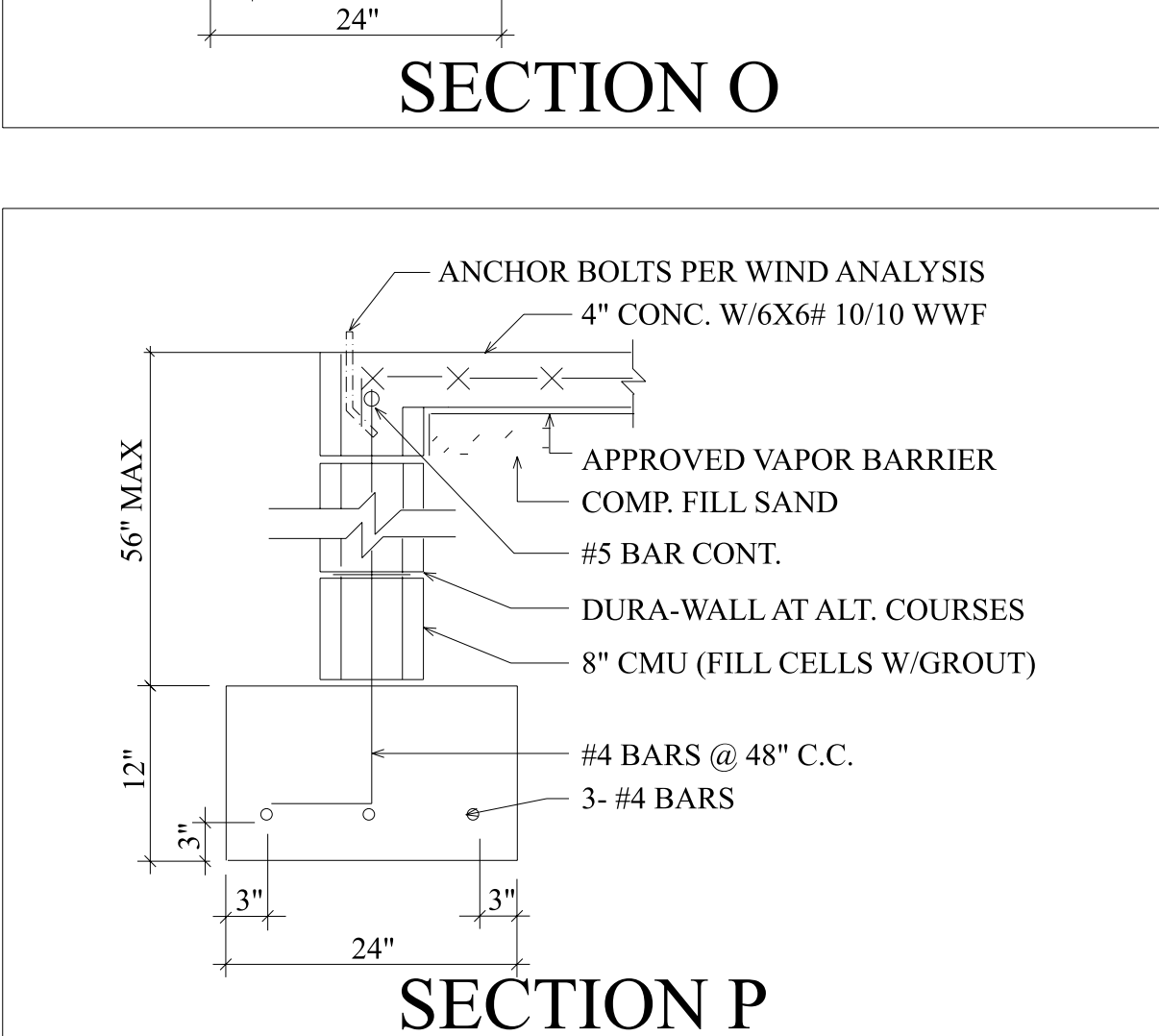
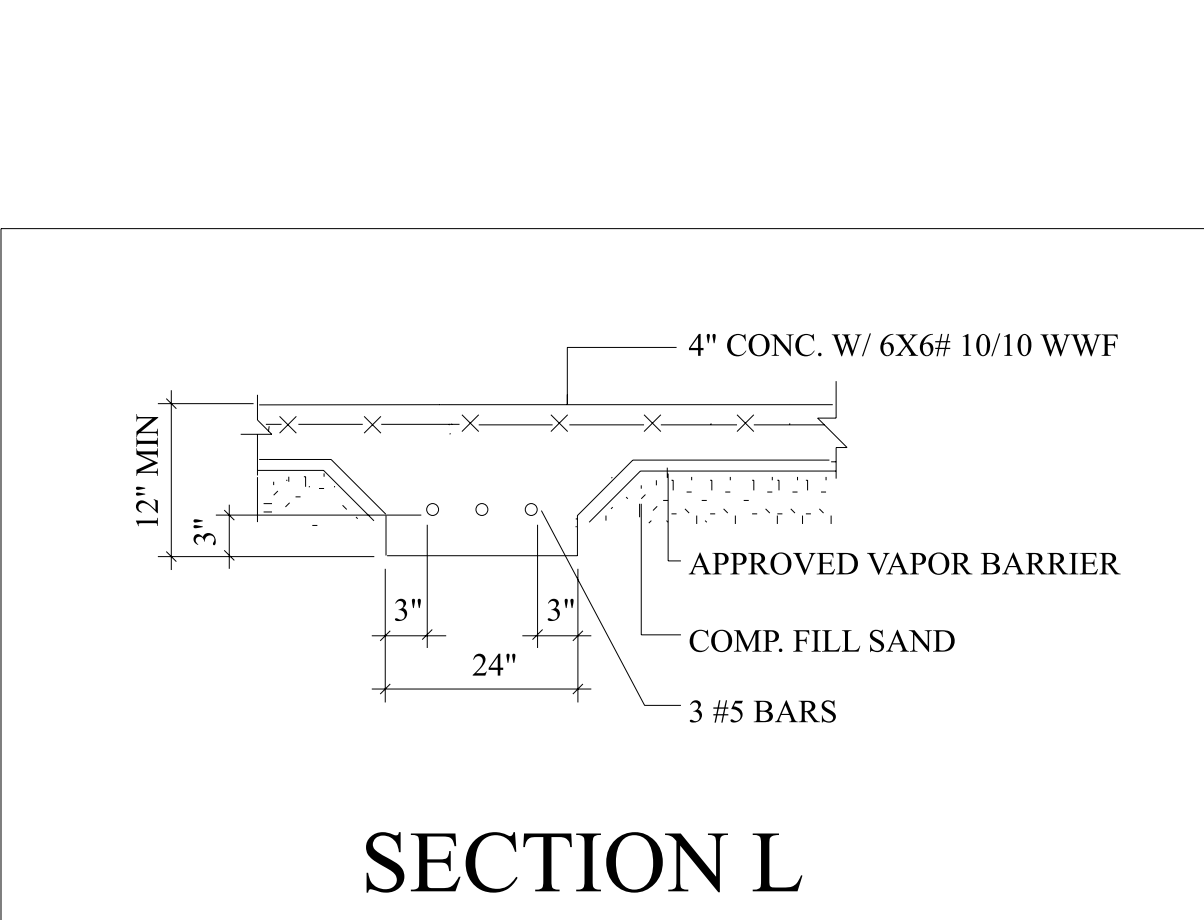
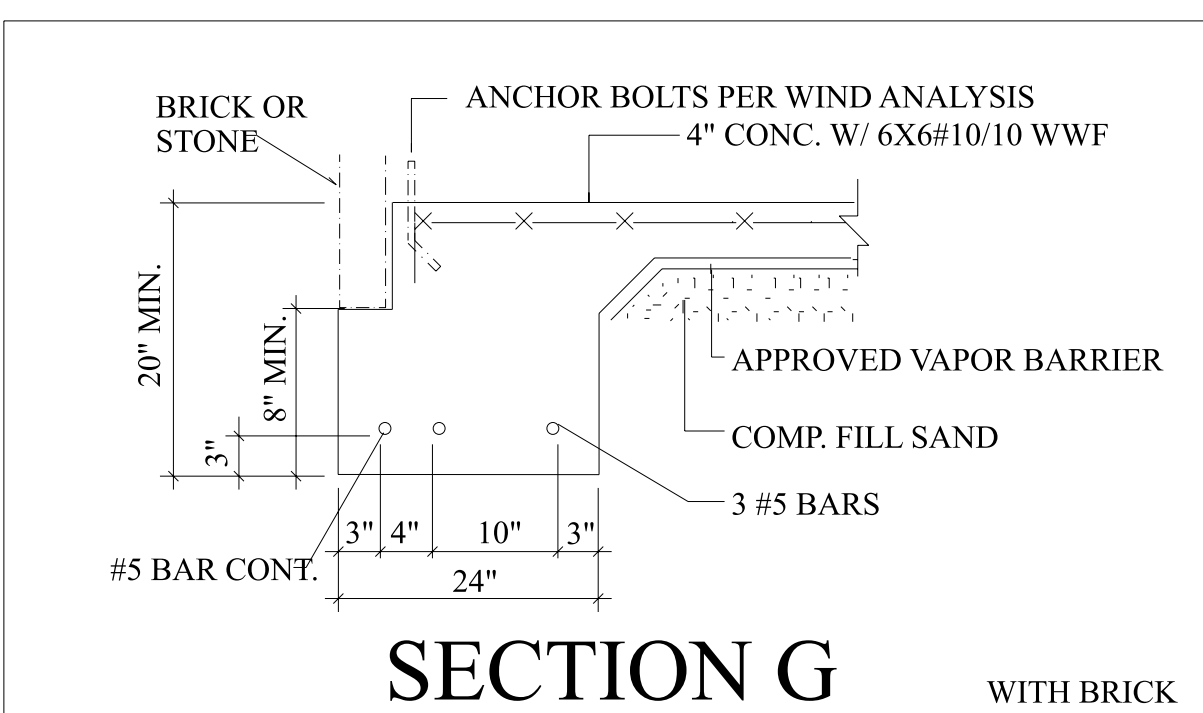
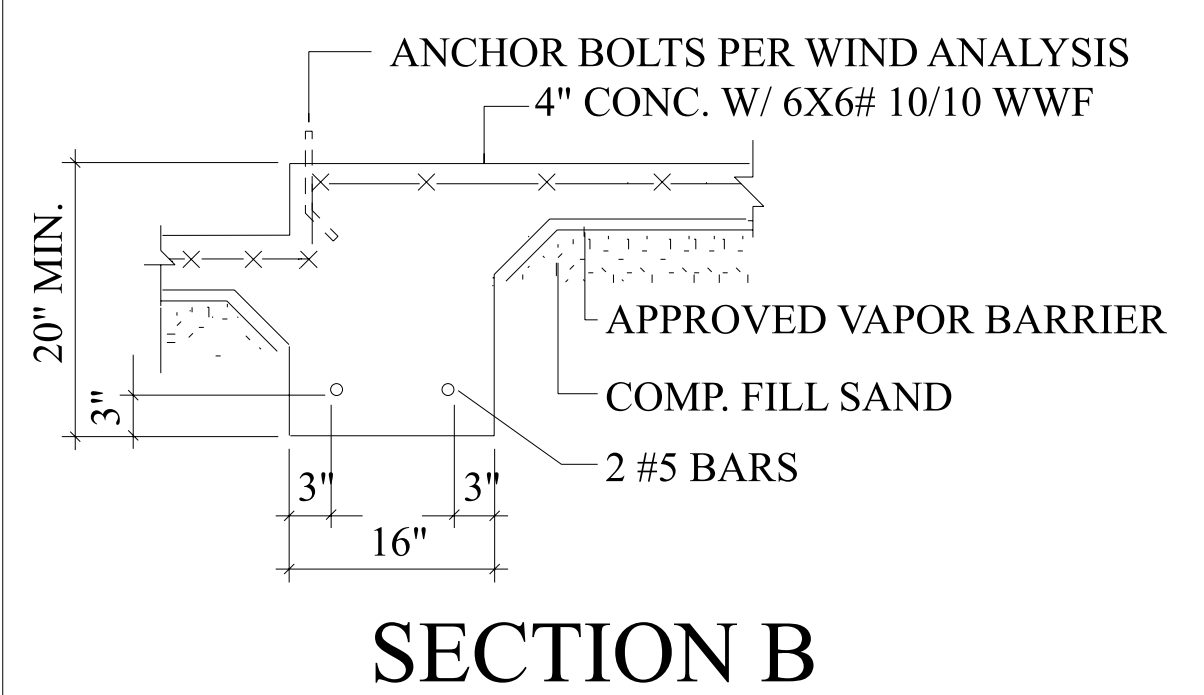
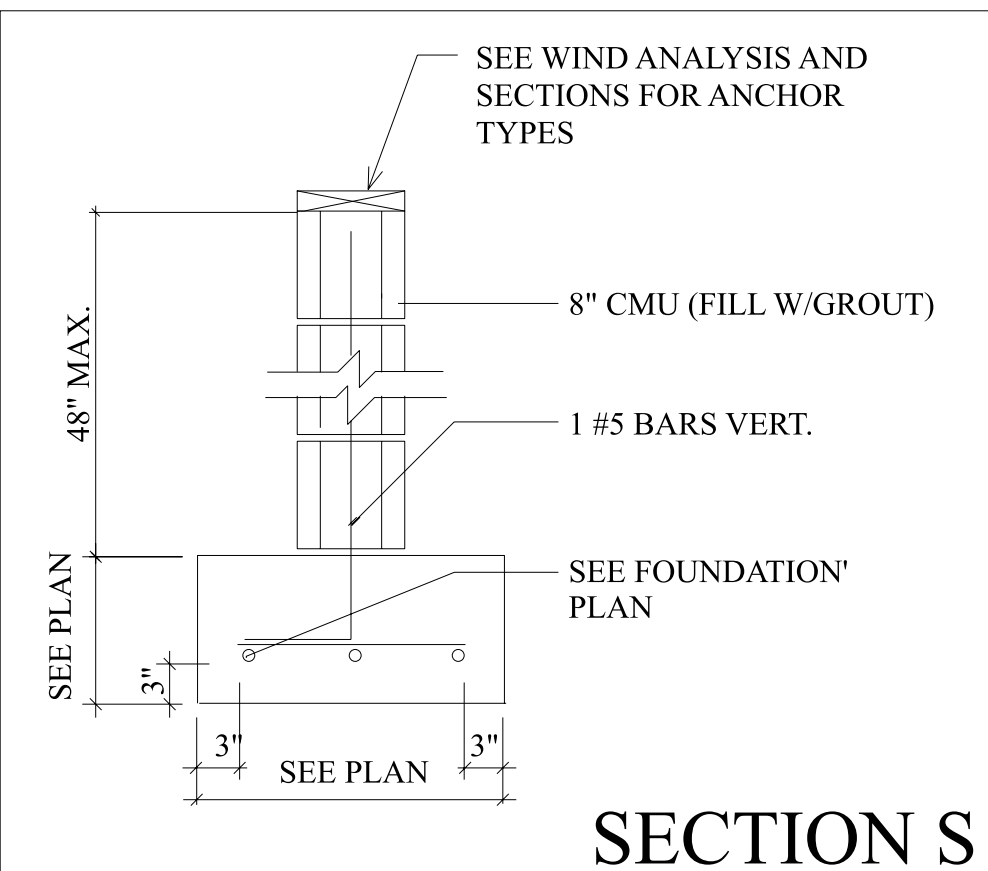
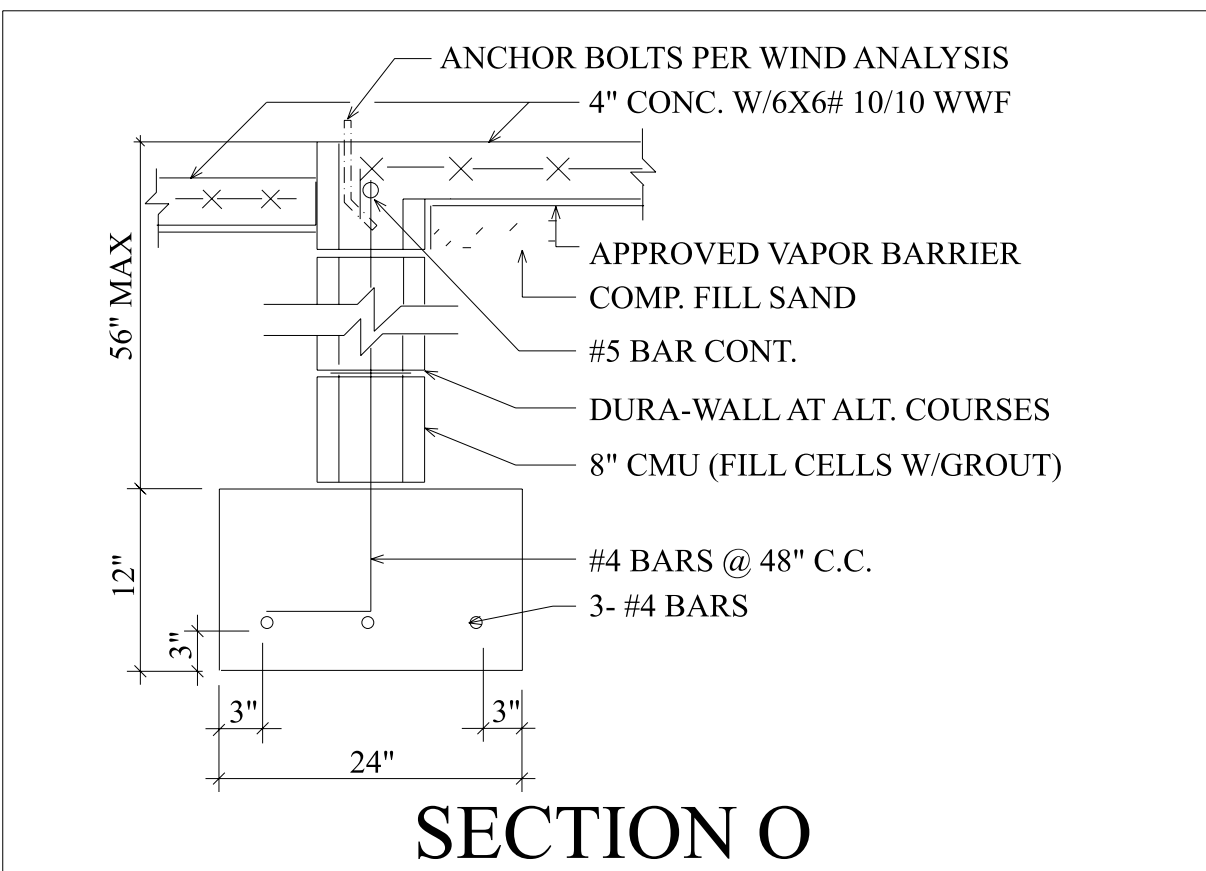
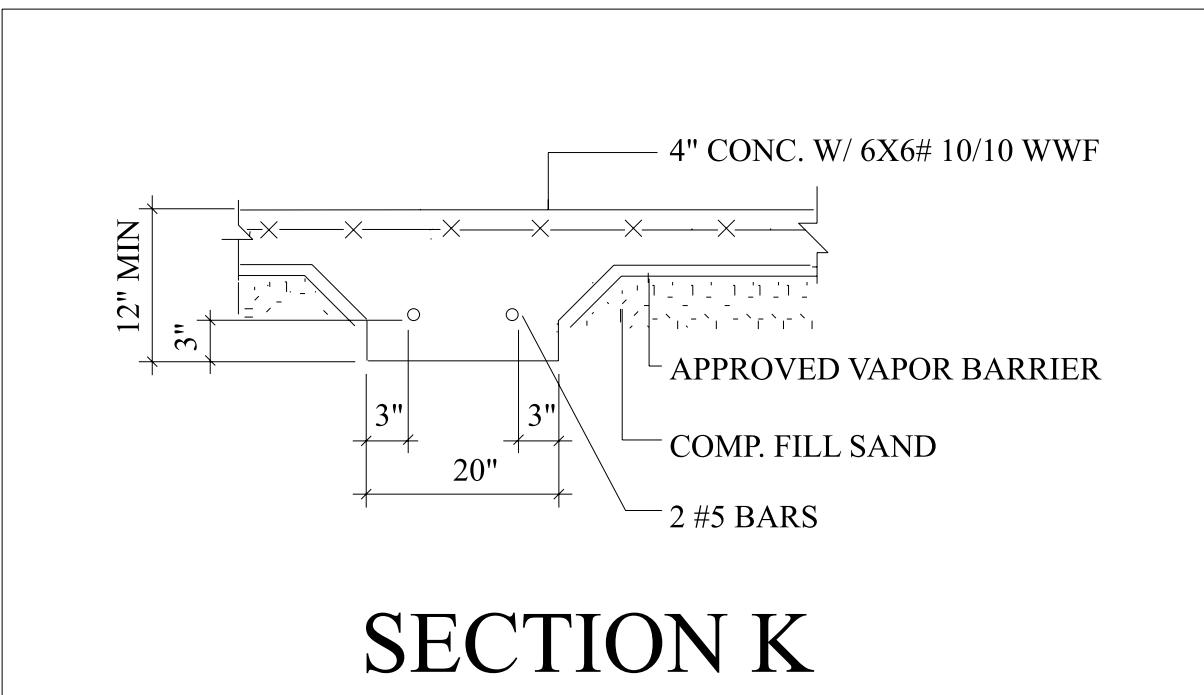
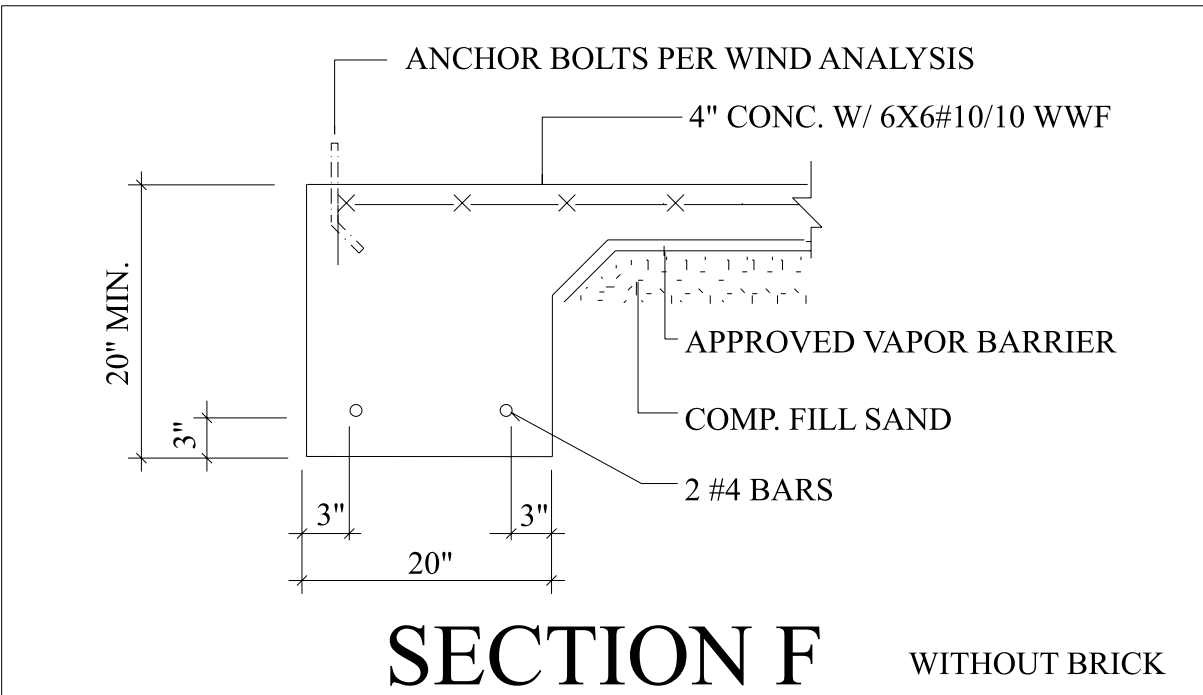
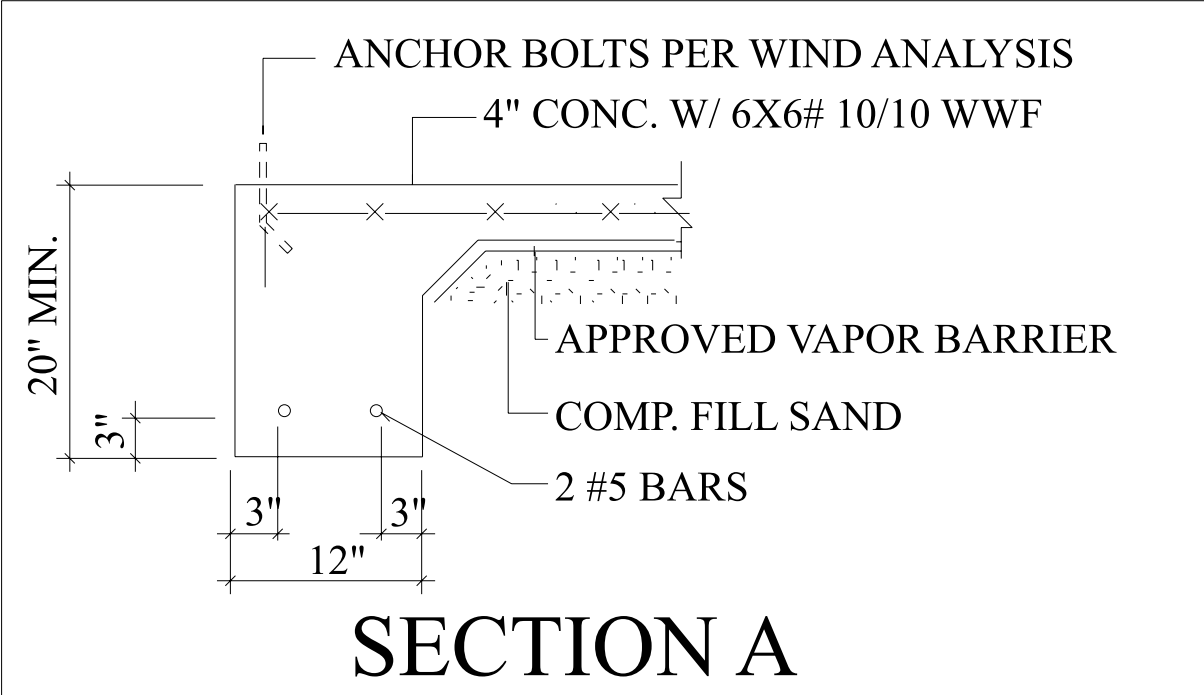
1ST FLOOR:	2325
2ND FLOOR:	N/A
BONUS RM:	245
TOTAL H/C:	2570
FRONT PORCH	102
REAR PORCH	398
GARAGE:	580
OTHER:	N/A
TOTAL U/R:	3650



JANIS
Engineering Group
COA 9604
PH: 850-576-1281
FAX: 850-201-6736
EMAIL: OFFICE@JANISENG.COM



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BUILDER TO COORDINATE THESE PLANS
w/ WIND ANALYSIS, AND TRUSS PLANS
PRIOR TO CONSTRUCTION.

ALL DRAWINGS, DETAILS, AND SPECIFICATIONS
DESIGNED IN ACCORDANCE w/ FLORIDA BUILDING
CODE (FBC) 7th EDITION (2020) ACI-318, ACI-ASCE 530

ALL CONSTRUCTION SHALL MEET OR EXCEED ALL
APPLICABLE STATE, & LOCAL BUILDING CODES

NOTE: SECTION DETAILS NOT TO SCALE

This item has been electronically
signed and sealed by James
Spinnenweber, P.E. using a Digital
Signature and date. Printed copies
of this document are not considered
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James Spinnenweber, P.E.
PX2707 11/18/2021



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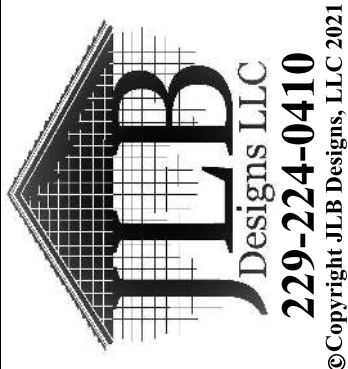
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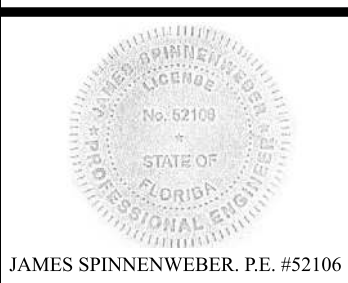
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S4