

This Permit Must Be Prominently Posted on Premises During Construction

000028948

APPLICANTPENNY MILLERPHONE288-8907

ADDRESS123SW BUTTERCUP DRLAKE CITYFL32024

OWNERRANDY & PENNY MILLERPHONE288-8907

ADDRESS123SW BUTTERCUP DRIVELAKE CITYFL32024

CONTRACTOROWNER BUILDERPHONE

LOCATION OF PROPERTY90 W, L 247, L CALLAHAN AVE, ROAD TURNS LEFT INTO HOPE HENRY  
R MORNING GLORY, R BUTTERCUP THEN 1ST ON RIGHT

TYPE DEVELOPMENTSTORAGE BUILDINGESTIMATED COST OF CONSTRUCTION5240.00

HEATED FLOOR AREATOTAL AREAHEIGHTSTORIES1

FOUNDATIONPEIRWALLSFRAMEDROOF PITCHFLOORWOOD

LAND USE & ZONINGRSF-2MAX. HEIGHT35

Minimum Set Back Requirments:STREET-FRONT25.00REAR10.00SIDE10.00

NO. EX.D.U.1FLOOD ZONENADEVELOPMENT PERMIT NO.

PARCEL ID15-4S-16-03023-551SUBDIVISIONROLLING MEADOWS

LOT51BLOCKPHASEUNITTOTAL ACRES0.50

Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTINGX10-388BKTCN

Driveway ConnectionSeptic Tank NumberLU & Zoning checked byApproved for IssuanceNew Resident

COMMENTS:ACCESSORY USE

Check # or Cash1525

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Powerdate/app. byFoundationdate/app. byMonolithicdate/app. by

Under slab rough-in plumbingdate/app. bySlabdate/app. bySheathing/Nailingdate/app. by

Framingdate/app. byInsulationdate/app. by

Rough-in plumbing above slab and below wood floordate/app. byElectrical rough-indate/app. by

Heat & Air Ductdate/app. byPeri. beam (Lintel)date/app. byPooldate/app. by

Permanent powerdate/app. byC.O. Finaldate/app. byCulvertdate/app. by

Pump poledate/app. byUtility Poledate/app. byM/H tie downs, blocking, electricity and plumbingdate/app. by

Reconnectiondate/app. byRVdate/app. byRe-roofdate/app. by

BUILDING PERMIT FEE \$30.00CERTIFICATION FEE \$0.00SURCHARGE FEE \$0.00

MISC. FEES \$0.00ZONING CERT. FEE \$50.00FIRE FEE \$0.00WASTE FEE \$

FLOOD DEVELOPMENT FEE \$FLOOD ZONE FEE \$CULVERT FEE \$TOTAL FEE80.00

INSPECTORS OFFICECLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

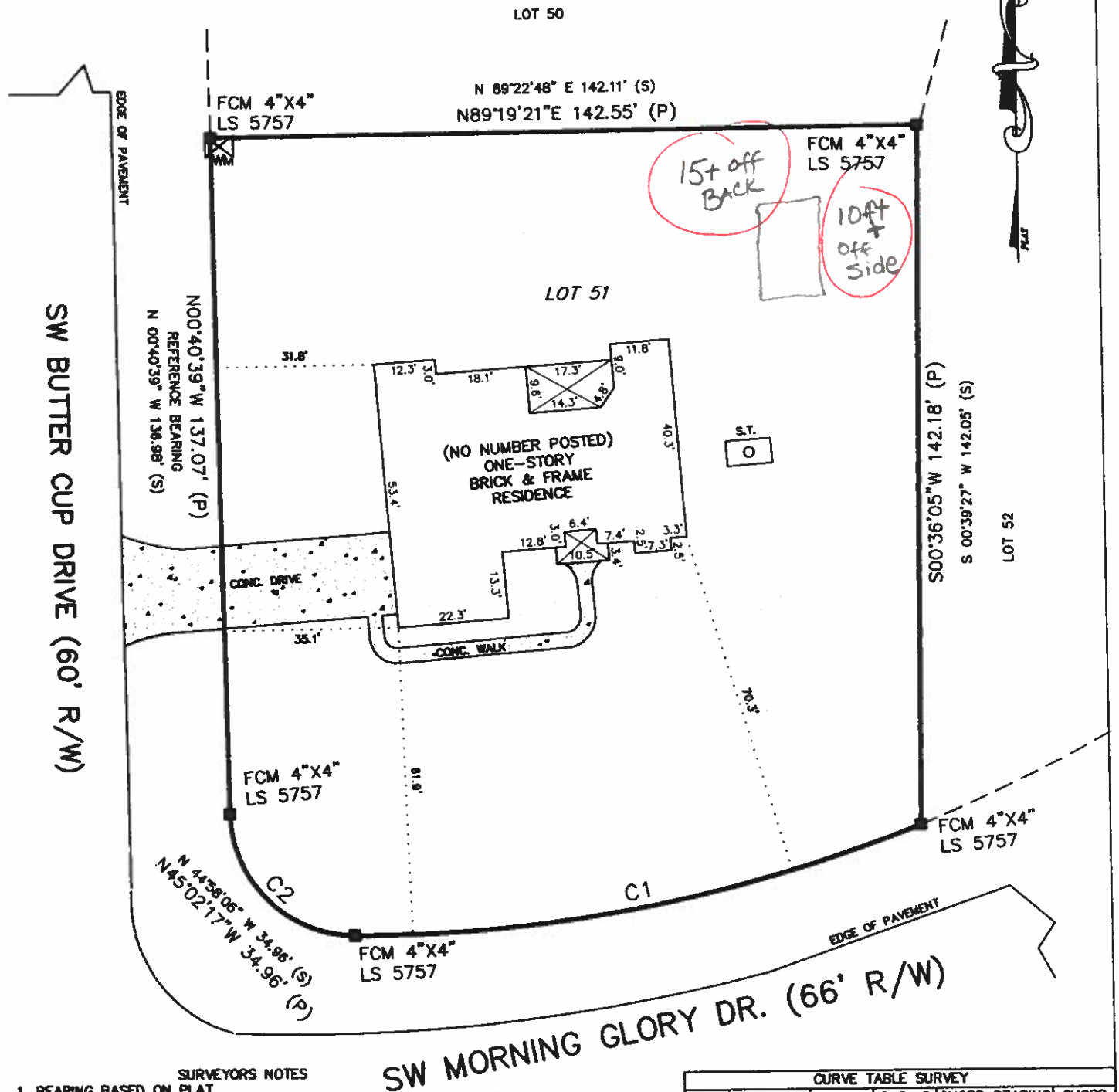
"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

# MAP OF BOUNDARY SURVEY

SHOWING LOT 51 OF ROLLING MEADOWS, A SUBDIVISION  
ACCORDING TO THE PLAT THEREOF AS RECORDED IN  
PLAT BOOK 8, PAGES 45 AND 46, OF THE PUBLIC RECORDS  
OF COLUMBIA COUNTY, FLORIDA.



- SURVEYORS NOTES**
1. BEARING BASED ON PLAT.
  2. THIS SURVEY BASED ON LEGAL DESCRIPTION FURNISHED. THE PUBLIC RECORDS, WERE NOT SEARCHED BY THIS SURVEYOR FOR EASEMENTS, TITLE, COVENANTS, RESTRICTIONS, CLOSURES, TAKINGS OR ORDINANCES, ETC., THERE COULD BE OTHER MATTER OF RECORD THAT EFFECT THIS PARCEL.
  3. UNDERGROUND UTILITIES ARE NOT LOCATED BY THIS SURVEY.

**CERTIFIED TO:**  
**RANDY MILLER & PENNY MILLER**  
**CARTUS HOME LOANS (F.K.A. CENDANT MORTGAGE)**  
**SIERRA TITLE, LLC**  
**TICOR TITLE INSURANCE COMPANY**

I HEREBY CERTIFY THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND IT MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING PURSUANT TO CHAPTER 61G17-6, FLORIDA ADMINISTRATION CODE, CHAPTER 472, FLORIDA STATUTES.

WILLIAM N. KITCHEN PSM 5490

*William N. Kitchen*  
4-3-2007

CURVE TABLE SURVEY						
CURVE	DELTA	LENGTH	RADIUS	CHORD	BEARING	CHORD
C 1	22°18'51"	116.84	300.00	579°28'39"W		116.10
C 2	88°43'33"	38.71	25.00	N44°58'06"W		34.96

CURVE TABLE PLAT						
CURVE	DELTA	LENGTH	RADIUS	CHORD	BEARING	CHORD
C 1	22°18'54"	116.84	300.00	579°26'38"W		116.10
C 2	88°43'17"	38.71	25.00	N45°02'17"W		34.96

## LEGEND

- (P) = PLAT  
(S) = SURVEY MEASUREMENT  
NOID = NO SURVEYORS IDENTIFICATION  
LS = LAND SURVEYOR  
LB = LICENSE BUSINESS  
FCM = FOUND CONCRETE MONUMENT  
R/W = RIGHT OF WAY  
ST = SEPTIC TANK  
CONC = CONCRETE  
C1 = CURVE NUMBER  
WM = WATER METER

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

REV: FINAL SURVEY	DATE: 11-28-06		
WILLIAM N. KITCHEN PROFESSIONAL SURVEYOR AND MAPPER 152 N MARION AVENUE LAKE CITY, FLORIDA 32055 PHONE (386) 755-7786		DRAWN BY: WNK/RI	FIELD BOOK: 06278
		SCALE: 1" = 30'	
		SURVEY DATE: MAY 30, 2006	
		JOB NUMBER	SHEET
CLIENT: RANDY & PENNY MILLER		06599	1 OF 1

clt#: 1525

Septic Permit No. X10 - 388 In box Fax \_\_\_\_\_

Name Authorized Person Signing Permit Penny S. Miller Phone 386-288-8907

Address 123 SW BUTTERCUP Dr. LAKE CITY, FL. 32024

Owners Name Randy B and Penny S. Miller Phone 386-288-8907

911 Address Same as above

Contractors Name Owner Phone SOS

Address \_\_\_\_\_

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address \_\_\_\_\_

Architect/Engineer Name & Address Fred Cardwell, 1000 S Belcher Rd Bldg A, Largo FL 33771

Mortgage Lenders Name & Address N/A

Property ID Number 15-49-16-03023-551 Estimated Cost of Construction 5240.00

Subdivision Name Rolling Meadows Lot 51 Block      Unit      Phase     

Driving Directions go W, (L) 247, (L) Callahan Ave, Road turns Left into Hope Henry, (R) Morning Glory, (R) Buttercup then 1st on (R) Number of Existing Dwellings on Property 1 ✓

Construction of Storage building Total Acreage \_\_\_\_\_ Lot Size .50

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height \_\_\_\_\_

Actual Distance of Structure from Property Lines - Front 70' + 31' + Side 10 Side 15 Rear N/A

Number of Stories \_\_\_\_\_ Heated Floor Area 0 Total Floor Area 288 sq. ft. Roof Pitch \_\_\_\_\_

Revised 6-19-09

**Columbia County Building Permit Application**

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance.)

  
Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

\_\_\_\_\_  
Contractor's Signature (Permittee)

Contractor's License Number \_\_\_\_\_  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this \_\_\_\_ day of \_\_\_\_\_ 20\_\_.

Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

SEAL:

\_\_\_\_\_  
State of Florida Notary Signature (For the Contractor)





STATE OF FLORIDA

## DEPARTMENT OF COMMUNITY AFFAIRS

*"Dedicated to making Florida a better place to call home"*

CHARLIE CRIST  
Governor

THOMAS G. PELHAM  
Secretary

May 19, 2008

Joe McCurdy  
Cook Portable Warehouse  
P.O. Box 687  
Anna, Illinois, 62906

RE: Manufacturer Certification, ID MFT-1435 - Expiration Date: May 22, 2011

Dear Mr. McCurdy:

It is my pleasure to inform you that Cook Portable Warehouse, located at 100 Douglas Street, Valdosta, Georgia, 31601, has been approved under the Manufactured Buildings Program, as provided for under Chapter 553, Part I, Florida Statutes, to manufacture Storage Sheds and Gazebos for installation in Florida.

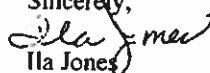
Design and production of the buildings must be approved for compliance with the current Florida Building Code by your selected Third Party Agency before construction begins. Your Third Party Agency is a contractor for the Department and has statutory authority and responsibilities that must be met to maintain approved status. You may expect and demand quality plans review and inspections.

Each Code change will make your plans obsolete until they have been reviewed, approved and indicated [on the cover page of the plans] for compliance with the Code by your Third Party Agency for plans review. Please ensure that your plans are in compliance and are properly posted on our website. All site-related installation issues are subject to the local authority having jurisdiction.

The Department's contractor will make unannounced monitoring visits at least once each year. You must grant complete access to your manufacturing facility and records to remain in compliance with the rules and regulations of this program.

Your certification is approved for three years from this date. You will receive a renewal notice by Email generated by the BCIS ([www.floridabuilding.org](http://www.floridabuilding.org)) for online renewal. If you have questions you may contact me at Leola Baldwin at 850-921-0956 or our FAX at 850-414-8436

Please visit our website at [www.floridabuilding.org](http://www.floridabuilding.org) to see valuable information on the Florida Manufactured Buildings Program. A copy of this letter must accompany applications for local building permits.

Sincerely,  
  
Ila Jones

Manufactured Buildings Program

cc: Third Party

2555 SHUMARD OAK BOULEVARD TALLAHASSEE, FL 32399-2100  
Phone: 850-488-8466 Fax: 850-921-0781 Website: [www.dca.state.fl.us](http://www.dca.state.fl.us)

COMMUNITY PLANNING

Phone: 850-488-2356 Fax: 850-488-3309

AREAS OF CRITICAL STATE CONCERN FIELD OFFICE

Phone: 305-289-2402 Fax: 305-289-2442

HOUSING AND COMMUNITY DEVELOPMENT

Phone: 850-488-7956 Fax: 850-922-5623

Columbia County Property Appraiser

DB Last Updated: 8/5/2010

2009 Tax Roll Year

Parcel: 15-4S-16-03023-551

<< Next Lower Parcel    Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

Print

Owner & Property Info

<< Prev    Search Result: 2 of 2

Owner's Name	MILLER RANDY B & PENNY S		
Mailing Address	123 SW BUTTERCUP DR LAKE CITY, FL 32024		
Site Address	123 SW BUTTERCUP DR		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	3 (County)	Neighborhood	15416
Land Area	0.500 ACRES	Market Area	06
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 51 ROLLING MEADOWS S/D. WD 1063-1963, WD 1069-1520 WD 1074-1513, WD 1117-349			



Property & Assessment Values

2009 Certified Values		
Mkt Land Value	cnt: (0)	\$25,000.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$144,844.00
XFOB Value	cnt: (1)	\$3,186.00
Total Appraised Value		\$173,030.00
Just Value		\$173,030.00
Class Value		\$0.00
Assessed Value		\$173,030.00
Exempt Value	(code: HX)	\$50,000.00
Total Taxable Value	Cnty: \$123,030	
	Other: \$123,030   Schl: \$148,030	

2010 Working Values

NOTE:  
2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
4/12/2007	1117/349	WD	I	Q		\$247,900.00
2/14/2006	1074/1513	WD	V	Q		\$48,000.00
12/27/2005	1069/1520	WD	V	Q		\$47,500.00
11/1/2005	1063/1963	WD	V	U	01	\$678,571.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2006	(32)	1941	2590	\$140,379.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	2006	\$3,186.00	0001062.000	0 x 0 x 0	(000.00)

Land Breakdown

# Corporate Warranty Deed

Inst:2007008999 Date:04/20/2007 Time:15:55  
Doc Stamp-Deed : 1735.30  
DC, P. DeWitt Cason, Columbia County B:1117 P:349

This Indenture, made, April 12, 2007 A.D.  
Between

Cady Homes and Associates, Inc. whose post office address is: PO Box 123, Lake City, Florida 32056 a corporation existing under the laws of the State of Florida,  
Grantor and Randy B Miller and his wife, Penny S Miller whose post office address is: 123 SW Buttercup Drive, Lake City, Florida 32024, Grantee,

Witnesseth, that the said Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00 ), to it in hand paid by the said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee forever, the following described land, situate, lying and being in the County of Columbia, State of Florida, to wit:

Lot 51, of ROLLING MEADOWS, a subdivision according to the plat thereof, as recorded in Plat Book 8, Pages 45 and 46, of the Public Records of Columbia County, Florida

The above described property does not constitute the homestead property of the Grantor described herein.

Subject to taxes for the current year, covenants, restrictions and easements of record, if any.

Parcel Identification Number: 03023-551

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2006.

And the said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, the said Grantor has caused this instrument to be executed in its name by its duly authorized officer and caused its corporate seal to be affixed the day and year first above written.

Cady Homes and Associates, Inc.

By:

Aaron M Cady  
Its: Vice President

Signed and Sealed in Our Presence:

Caroleann Hayhurst  
Witness Print Name: CAROLEANN HAYHURST

Melinda M Weaver  
Witness Print Name: MELINDA WEAVER

(Corporate Seal)

State of Florida  
County of Columbia

The foregoing instrument was acknowledged before me this 12th day of April, 2007, by Aaron M Cady, the Vice President of Cady Homes and Associates, Inc. A corporation existing under the laws of the State of Florida, on behalf of the corporation.

He/She is personally known to me or has produced \_\_\_\_\_ as identification.



Caroleann Ruth Hayhurst  
Commission #DD54771  
Expires: MAY 02, 2010

(Seal)

Notary Public: www.AARONNOTARY.co  
Notary Printed Name: CAROLEANN RUTH HAYHURST

My Commission Expires: MAY 02, 2010

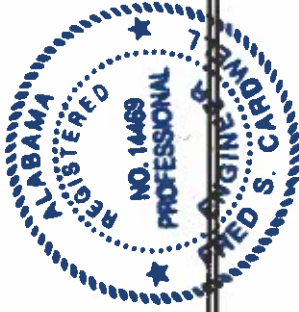
Prepared by & Return to:  
Matt Rocco  
Sierra Title, LLC  
619 SW Baya Drive, Suite 102  
Lake City, Florida 32025  
File Number: 07-0136

Closer's Choice Florida Corporate Deed/Letter



# COOK PORTABLE WAREHOUSES

100 DOUGLAS STREET  
VALDOSTA, GA. 31601



## MASTER ANCHORING PLANS SKIDS ON GRADE

### GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DETAIL AND DIMENSIONS. ANY DISCREPANCIES BETWEEN SUCH DETAILS AND DIMENSIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTION PROCEDURE AND SEQUENCE TO INSURE THE INTEGRITY OF THE BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION.
4. THESE PLANS HAVE BEEN PREPARED PER REGULATIONS OF THE 2006 INTERNATIONAL BUILDING CODE AND THE 2007 FLORIDA BUILDING CODE. THE WORK OF ALL CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE AFOREMENTIONED CODE. NO DEVIATIONS FROM THE WORK SHOWN OR REASONABLY IMPLIED SHALL BE UNDERTAKEN WITHOUT THE ENGINEER'S WRITTEN CONSENT - A COPY OF WHICH WILL BE FILLED WITH THE CONSTRUCTION OFFICIAL.
5. ANY CHANGES TO OR DEVIATIONS FROM THESE DRAWINGS SHALL NOT BE MADE WITHOUT WRITTEN CONSENT FROM THE ENGINEER.
6. THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE USED WITHOUT HIS CONSENT. DRAWINGS SHALL NOT BE USED FOR ISSUING OF BUILDING PERMIT UNLESS SIGNED AND SEALED BY THE ENGINEER.
7. THE OWNER AND THE CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL LIABILITY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING LEGAL FEES ARISING OUT OF OR RESULTING FROM ERRORS OR OMISSIONS IN THE ENGINEER'S DRAWINGS AND THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. ALL WORK AND MATERIAL SHALL MEET THE REQUIREMENTS OF ALL LOCAL AND STATE BUILDING CODES AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS. THE DRAWINGS SHOW THE GENERAL ARRANGEMENTS AND EXTENT OF THE WORK AS THE WORK PROGRESSES, THE OWNER AND THE CONTRACTOR, AT NO EXTRA COSTS, SHALL MAKE MODIFICATIONS TO MAKE THE PARTS ALIGN.
8. ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF LOCAL AND STATE CODES AND THE SPECS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS. CONTRACTORS SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. HE SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER FOR CORRECTION PRIOR TO BEGINNING ANY WORK. THE DISCOVERY OF DISCREPANCIES AFTER THE BEGINNING OF WORK WILL BE EVIDENCE OF FAULTY WORK AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS GOVERN.
9. THE CONTRACTOR FOR THIS PROJECT SHALL INCLUDE ALL MATERIALS AND LABOR REQUIRED TO COMPLETE THE TOTAL PROJECT. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, MACHINERY, TRANSPORTATION, HEAT, WATER, UTILITIES, AND ALL OTHER FACILITIES AND SERVICES REQUIRED FOR THE SAFE AND PROPER EXECUTION AND COMPLETION OF THE WORK. THE ENGINEER SHALL BE THE INTERPRETER OF THE CONTRACT DOCUMENTS.
10. THE DOCUMENTS SHOW AN OVERVIEW OF THE WORK REQUIRED UNDER THIS CONTRACT AND RELATED REQUIREMENTS AND CONDITIONS THAT WILL IMPACT THE PROJECT. ALL DRAWINGS ARE COMPLEMENTARY. THE DRAWINGS GENERALLY SHOW THE INTENT OF THE OVERALL COMPLEXITY AND CONCEPTS OF THE PROJECT, AND DO NOT NECESSARILY SHOW ALL DETAILS AND CONDITIONS. ALL NEW INTERIOR CONCRETE SLABS AND FOUNDATION WALLS AND FOOTINGS SHALL COMPLETED IN ACCORDANCE WITH ALL STATE AND DEPARTMENT OF AGRICULTURE, STRUCTURAL PEST CONTROL DIVISION REGULATIONS, RULES, DEFINITIONS AND REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND MAINTAINING.
11. HAVE SOIL POISONING UNDER NEW WORK AND SHALL BE INSTALLED BY A LICENSED CONTRACTOR. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE AND DEPARTMENT OF AGRICULTURE, STRUCTURAL PEST CONTROL DIVISION REGULATIONS, RULES, DEFINITIONS AND REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND MAINTAINING.
12. ALL EXISTING SETBACKS, EASEMENTS, AND ANY DEED RESTRICTIONS.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CLEANUP AND SHALL INCLUDE THE SITE, AND THE BUILDING. THE ENTIRE PROJECT SHALL BE LEFT IN A NEW CLEAN CONDITION.

F.I.A.

### SHEET INDEX

SHEET NUMBER	SHEET TITLE
C-1	COVER SHEET
A-1	WIND DESIGN CRITERIA
A-2	ANCHORING SCHEDULES EXPOSURE 'B'
A-3	ANCHORING SCHEDULES EXPOSURE 'C'
A-4	ANCHOR SCHEDULE
A-5	VERTICAL ANCHOR DETAILS
A-6	BLOCKING PLAN, SCHEDULES, AND DETAILS



### GEORGIA CODES

-INTERNATIONAL BUILDING CODE	- 2006
-INTERNATIONAL MECHANICAL CODE	- 2006
-INTERNATIONAL PLUMBING CODE	- 2006
-NATIONAL ELECTRIC CODE	- 2008
-ADAMS- GEORGIA ACCESS LAM	- 120-9-20
-INCLUDE GEORGIA AMENDMENTS FOR ALL CODES	

### FLORIDA CODES

-FLORIDA BUILDING CODE	- 2007
-FLORIDA MECHANICAL CODE	- 2007
-FLORIDA PLUMBING CODE	- 2007
-FLORIDA ACCESSIBILITY CODE	- 2007
-FLORIDA FIRE PREVENTION CODE	- 2007
-NATIONAL ELECTRIC CODE	- 2008

### ALABAMA CODES

-INTERNATIONAL BUILDING CODE	- 2006
-INTERNATIONAL MECHANICAL CODE	- 2006
-INTERNATIONAL PLUMBING CODE	- 2006
-NATIONAL ELECTRIC CODE	- 2008
-ADAMS	- 2004

FRED S. CARDWELL, P.E.

1000 SOUTH BELCHER ROAD  
BLDG-A / UNIT #11  
LARGO, FLORIDA 33771  
VOICE: 727-524-1905  
FAX: 727-524-1219

THIS DRAWING IS NOT VALID  
UNLESS SIGNED IN PURPLE INK.

*Fred S. Cardwell*  
12-7-07

COOK PORTABLE WAREHOUSES  
MASTER ANCHORING PLANS SKID ON GRADE  
100 DOUGLAS STREET  
VALDOSTA, GA 31601  
PHONE : 1-224-241-8005

COVER SHEET

DATE: 11/25/07  
DRN BY: JDA  
CHK BY: FSC  
SCALE: AS NOTED  
W.O. NO.: 415-046

SHEET

C-1  
1 of 7



WIND DESIGN CRITERIA			
WIND SPEED 115 M.P.H. MAX.			
EXPOSURE "B", CATEGORY I, ENCLOSED, INT. PRESSURE COEFFICIENT $\pm 0.18$ , IMPORTANCE FACTOR 0.77			
ZONE	WIDTH		
	7'-11"	9'-11"	11'-0"
ROOF 1	-16.6	-16.3	-16.3
ROOF 2	-28.2	-27.1	-26.5
ROOF 3	-42.0	-40.8	-40.0
WALL 4	-19.9	-19.9	-19.9
WALL 5	-24.5	-24.5	-24.5

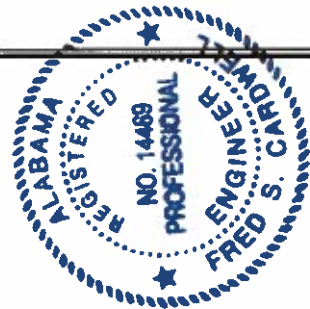
WIND DESIGN CRITERIA			
WIND SPEED 115 M.P.H. MAX.			
EXPOSURE "C", CATEGORY I, ENCLOSED, INT. PRESSURE COEFFICIENT $\pm 0.18$ , IMPORTANCE FACTOR 0.77			
ZONE	WIDTH		
	7'-11"	9'-11"	11'-0"
ROOF 1	-20.2	-19.8	-19.8
ROOF 2	-34.3	-33.0	-32.2
ROOF 3	-51.0	-49.5	-48.6
WALL 4	-24.1	-24.1	-24.1
WALL 5	-29.8	-29.8	-29.8

WIND DESIGN CRITERIA			
WIND SPEED 135 M.P.H. MAX.			
EXPOSURE "B", CATEGORY I, ENCLOSED, INT. PRESSURE COEFFICIENT $\pm 0.18$ , IMPORTANCE FACTOR 0.77			
ZONE	WIDTH		
	7'-11"	9'-11"	11'-0"
ROOF 1	-22.9	-22.4	-22.4
ROOF 2	-38.9	-37.4	-36.6
ROOF 3	-57.9	-56.2	-55.1
WALL 4	-27.4	-27.4	-27.4
WALL 5	-33.8	-33.8	-33.8

WIND DESIGN CRITERIA			
WIND SPEED 135 M.P.H. MAX.			
EXPOSURE "C", CATEGORY I, ENCLOSED, INT. PRESSURE COEFFICIENT $\pm 0.18$ , IMPORTANCE FACTOR 0.77			
ZONE	WIDTH		
	7'-11"	9'-11"	11'-0"
ROOF 1	-27.8	-27.3	-27.3
ROOF 2	-47.2	-45.4	-44.4
ROOF 3	-70.3	-68.3	-67.0
WALL 4	-33.2	-33.2	-33.2
WALL 5	-41.0	-41.0	-41.0

WIND DESIGN CRITERIA			
WIND SPEED 150 M.P.H. MAX.			
EXPOSURE "B", CATEGORY I, ENCLOSED, INT. PRESSURE COEFFICIENT $\pm 0.18$ , IMPORTANCE FACTOR 0.77			
ZONE	WIDTH		
	7'-11"	9'-11"	11'-0"
ROOF 1	-28.2	-27.7	-27.7
ROOF 2	-48.0	-46.2	-45.1
ROOF 3	-71.5	-69.4	-68.1
WALL 4	-33.8	-33.8	-33.8
WALL 5	-41.7	-41.7	-41.7

WIND DESIGN CRITERIA			
WIND SPEED 150 M.P.H. MAX.			
EXPOSURE "C", CATEGORY I, ENCLOSED, INT. PRESSURE COEFFICIENT $\pm 0.18$ , IMPORTANCE FACTOR 0.77			
ZONE	WIDTH		
	7'-11"	9'-11"	11'-0"
ROOF 1	-34.3	-33.6	-33.6
ROOF 2	-58.3	-56.1	-54.8
ROOF 3	-86.8	-84.3	-82.7
WALL 4	-41.0	-41.0	-41.0
WALL 5	-50.6	-50.6	-50.6



FRED S. CARDWELL, P.E.  
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LARGO, FLORIDA 33771  
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FAX: 727-524-1299



THIS DRAWING IS NOT VALID  
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*Fred S. Cardwell*  
12-7-07

COOK PORTABLE WAREHOUSES  
MASTER ANCHORING PLANS SKID ON GRADE  
100 DOUGLAS STREET  
VALDOSTA, GA 31601  
PHONE: 1-228-241-8805

WIND DESIGN CRITERIA

REV BY	DATE	DATE	11/25/09
		DRN BY: JDA	
		CHK BY: FSC	
		SCALE: AS NOTED	
		W/O NO: 445-046	

**ANCHORING SCHEDULE FOR 90 TO 115 MPH WIND SPEED,  
EXPOSURE "B"**

BLDG WIDTH	NUMBER OF ANCHORS EACH SIDE												
	8'-0"	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"
7'-11"	2	3	3	3	4	4	4	5	5	6	6	6	7
9'-11"	2	3	3	3	4	4	4	5	5	6	6	6	7
11'-0"	2	3	3	3	4	4	4	5	5	6	6	6	7

**ANCHORING SCHEDULE FOR 116 TO 135 MPH WIND SPEED,  
EXPOSURE "B"**

BLDG WIDTH	NUMBER OF ANCHORS EACH SIDE												
	8'-0"	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"
7'-11"	2	3	3	3	4	4	4	5	5	6	6	6	7
9'-11"	2	3	3	3	4	4	4	5	5	6	6	6	7
11'-0"	2	3	3	3	4	4	4	5	5	6	6	6	7

**ANCHORING SCHEDULE FOR 136 TO 150 MPH WIND SPEED,  
EXPOSURE "B"**

BLDG WIDTH	NUMBER OF ANCHORS EACH SIDE												
	0'-0"	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"
7'-11"	2	3	3	3	4	4	4	5	5	6	6	6	7
9'-11"	2	3	3	3	4	4	4	5	5	6	6	6	7
11'-0"	2	3	3	3	4	4	4	5	5	6	6	6	7



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ELDER-A / UNIT 811  
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FAX: 727-524-1294

11 ARMAN 1484  
12 GOSLIN 1524  
13 GOSLIN 2254  
14 LARSON 1005  
15 LARSON 1524  
16 LARSON 1524  
17 LARSON 1524  
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100 LARSON 1524

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*Abandoned*  
*12-7-09*

**COOK PORTABLE WAREHOUSES**  
MASTER ANCHORING PLANS SKID ON GRADE  
100 DOUGLAS STREET  
VALDOSTA, GA 31601  
PHONE 1-229-241-0005

## ANCHORING SCHEDULES EXPOSURE "B"

REV	BY	DATE
-----	----	------

27/11	13/12/7
-------	---------

DRN BY:	JA
---------	----

1991	1992
------	------

SCALE	AGE
-------	-----

SCALE:	AS IN
1:100	1:100

Leads

2A

3 of 7



SCHEDULES FOR ANCHORS PLACED VERTICAL INTO GROUND

ANCHORING SCHEDULE FOR 90 TO 115 MPH WIND SPEED, EXPOSURE "C"														
NUMBER OF ANCHORS EACH SIDE														
BLDG WIDTH	8'-0"	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"	
7'-11"	2	3	3	3	4	4	4	5	5	6	6	6	7	
9'-11"	2	3	3	3	4	4	4	5	5	6	6	6	7	
11'-0"	2	3	3	3	4	4	4	5	5	6	6	6	7	

ANCHORING SCHEDULE FOR 116 TO 135 MPH WIND SPEED, EXPOSURE "C"														
NUMBER OF ANCHORS EACH SIDE														
BLDG WIDTH	8'-0"	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"	
7'-11"	2	3	3	3	4	4	4	5	5	6	6	6	7	
9'-11"	2	3	3	3	4	4	4	5	5	6	6	6	7	
11'-0"	2	3	3	3	4	4	4	5	5	6	6	6	7	

ANCHORING SCHEDULE FOR 136 TO 150 MPH WIND SPEED, EXPOSURE "C"														
NUMBER OF ANCHORS EACH SIDE														
BLDG WIDTH	8'-0"	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"	
7'-11"	2	3	3	3	4	5	5	6	6	7	7	7	8	
9'-11"	2	3	3	3	4	4	4	5	5	6	6	6	7	
11'-0"	2	3	3	3	4	4	4	5	5	6	6	6	7	



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FAX: 1271-524-1244

ALABAMA  
GEORGIA  
LOUISIANA  
FLORIDA  
N. CAROLINA

REGISTERED  
REGISTERED  
REGISTERED  
REGISTERED  
REGISTERED

PROFESSIONAL  
PROFESSIONAL  
PROFESSIONAL  
PROFESSIONAL  
PROFESSIONAL

ENGINEER  
ENGINEER  
ENGINEER  
ENGINEER  
ENGINEER

FRED S. CARDWELL

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12-7-09

COOK PORTABLE WAREHOUSES  
MASTER ANCHORS PLANS SKID ON GRADE  
100 DOUGLAS STREET  
VALDOSTA, GA 31601  
PHONE 1-224-241-0005

ANCHORING SCHEDULES EXPOSURE "C"

DATE: 11/25/09  
DRN BY: JDA  
CHK BY: FSC  
SCALE: AS NOTED  
P.L.O. NO: 445-046

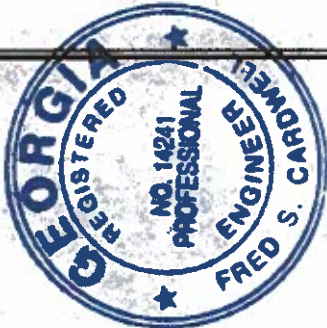
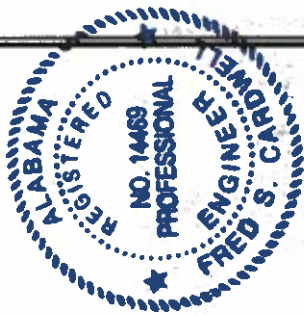
REV BY  
DATE

SHEET  
A-3  
4 of 7

GROUND ANCHOR SCHEDULE

MODEL #	PART #	DESCRIPTION	SOIL CLASS
M12H5/8	54080 / 54081	48" x 5/8" ROD WITH (1) 6" HELIX	4A
M12H3/4	54085 / 54094	48" x 3/4" ROD WITH (1) 6" HELIX	4A
M1423/4	54128	42" x 3/4" ROD WITH (2) 4" HELIX	4A
M1483/4	54086	48" x 3/4" ROD WITH (2) 4" HELIX	4A
M12H64	54250	36" x 3/4" ROD WITH (1) 4" HELIX, AND (1) 6" HELIX	4A
N/A	54065	EYE ANCHOR - 48" x 5/8" WITH (1) 6" HELIX	4A
N/A	54045	EYE ANCHOR - 48" x 3/4" WITH (1) 6" HELIX	4A
M607	54099	60" x 3/4" WITH (1) 7" HELIX	4B
N/A	54040	EYE ANCHOR - 60" x 3/4" WITH (1) 8" HELIX	4B

NOTE:  
ALL ANCHORS LISTED ABOVE BY TIE DOWN ENGINEERING OR EQUIVALENT



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ALABAMA 14469  
FLORIDA 56072  
GEORGIA 14241  
LOUISIANA 20546  
MISSISSIPPI 6020  
NORTH CAROLINA 509  
TEXAS 54000



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100 DOUGLAS STREET  
VALDOSTA, GA 39401  
PHONE: 1-224-241-8805

ANCHOR SCHEDULE

REV BY	DATE

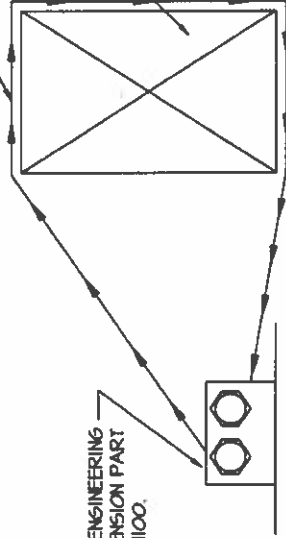
DATE: 11/25/04	DRN BY: JDA
CWK BY: FSC	SCALE: AS NOTED
NO. NO: 445-046	

SHEET

A-4

5 of 7

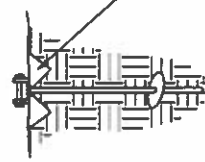




0.035" MIN. x 1-1/4" x 1'-0"  
GALVANIZED STEEL  
STRAPPING FED. SPEC.  
QQ-51BI-H

TIE DOWN ENGINEERING  
DOUBLE TENSION PART  
NUMBER 54100.

BUILDING SKID REFER TO  
BUILDING PLANS FOR SIZE,  
LENGTH, AND LOCATION



QUICK-SET STABILIZER PLATE #54241 BY  
TIE DOWN ENGINEERING OR EQUAL, AT  
ALL ANCHOR LOCATIONS EACH SIDE OF  
SKID, IF REQUIRED

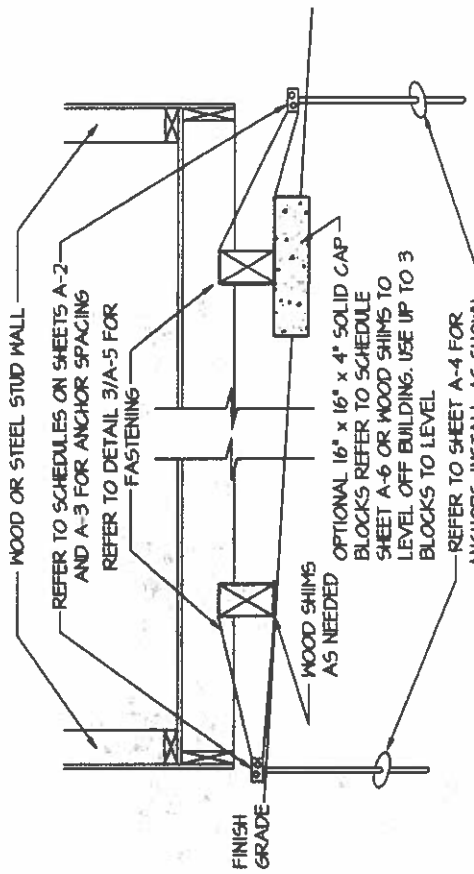
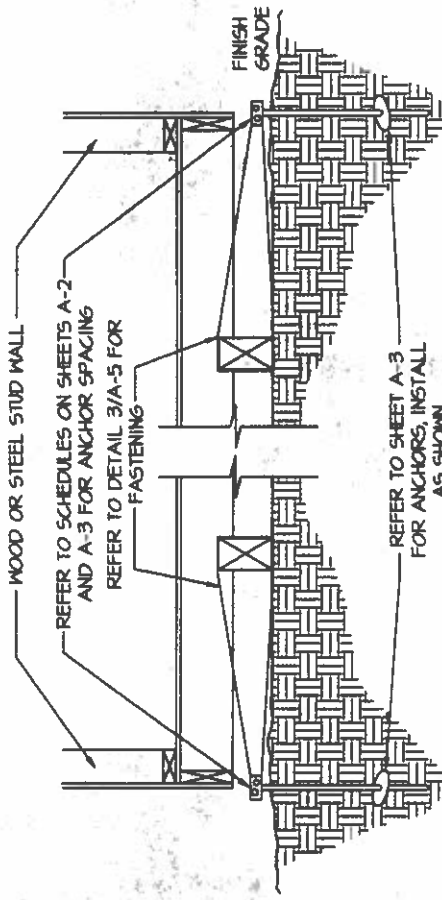
TIE DOWN ENGINEERING #54241  
STABILIZER PLATE

TIE DOWN ENGINEERING STRAP  
WITH (2) SLOTTED BOLTS AT TENSION HEAD

**OPTIONAL DETAIL**  
SCALE: N.T.S.

**DETAIL**  
SCALE: N.T.S.

NOTE:  
SHIMS MAY BE PLACED  
UNDER SKIDS IN ORDER TO  
LEVEL THE BUILDING.



ALL WIDTHS ON GRADE  
VERTICAL ANCHOR

**SECTION 2**  
SCALE: N.T.S.

ALL WIDTHS ON UNEVEN GRADE W/ CONC.  
BLOCK TO LEVEL BUILDING VERTICAL ANCHOR

**SECTION 1**  
SCALE: N.T.S.

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ALABAMA 14489  
GEORGIA 14241  
LOUISIANA 20040  
MISSISSIPPI 1900  
N. CAROLINA 1808 TEXAS 5400



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*F. Cardwell*  
12-7-09

COOK PORTABLE WAREHOUSES  
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VALDOSTA, GA 31601  
PHONE: 1-229-241-8805

VERTICAL ANCHOR DETAILS

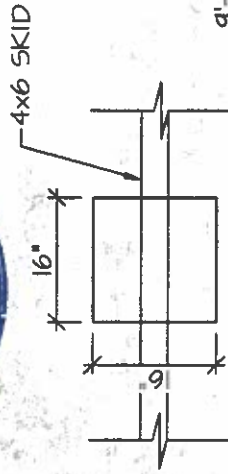
REV BY DATE

DATE: 11/25/09  
DRN BY: JDA  
CHK BY: FSC  
SCALE: AS NOTED  
NO. NO: 445-046

SHEET

A-5

6 of 7



16x16 NOMINAL PAD

**DETAIL**

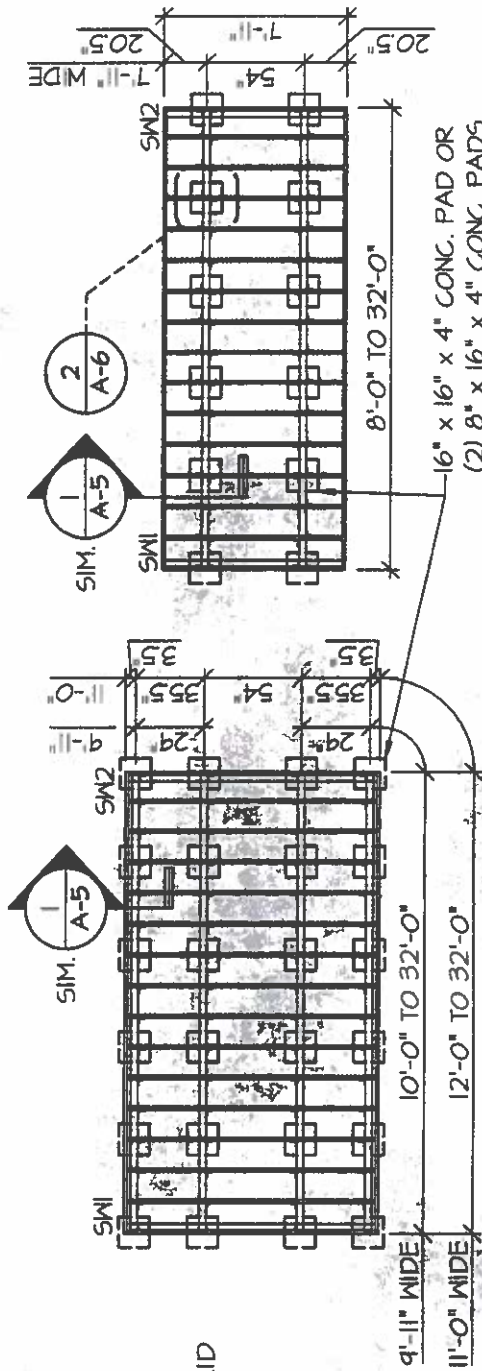
2  
A-6

SCALE: 1/2" = 1'-0"

**16" x 16" x 4" PAD SCHEDULE FOR ALL WIND SPEEDS, EXPOSURES, AND 40 PSF FLOOR LOAD**

BLDG WIDTH		NUMBER OF PADS REQUIRED BY BUILDING LENGTH UNDER EACH SKID													
		8'-0"	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"	
SINGLE WIDE UNITS	7'-11"	2	2	2	2	2	2	3	3	3	3	3	4	4	
	9'-11"	2	2	2	2	3	3	3	3	4	4	4	4	5	
	11'-0"	2	2	2	2	3	3	3	4	4	4	4	5	5	

NOTE: CONCRETE PADS ARE OPTIONAL AND AS NEEDED TO LEVEL BUILDING.



**1 BLOCKING PLAN**

A-6 SCALE: 1/8" = 1'-0"

NOTES:

- ANCHORS ARE REQUIRED (1) AT EACH END SHEARWALL (SWH).
- REFER TO SCHEDULES ON SHEET A-2 & A-3 FOR ANCHOR SPACING AND SCHEDULES ON THIS SHEET FOR OPTIONAL PAD LOCATION.

THIS DRAWING IS NOT VALID UNLESS SIGNED IN PURPLE INK

*Handwritten signature*  
12-7-09

FRED S. CARDWELL, P.E.

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VOICE: 727-524-1405  
FAX: 727-524-1294

ALABAMA 14491  
FLORIDA 15071  
GEORGIA 14241  
LOUISIANA 20546  
MISSISSIPPI 805  
N. CAROLINA 1103  
TEXAS 5400



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VALDOSTA, GA 31601  
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BLOCKING PLAN, SCHEDULES, AND DETAILS

REV BY DATE

DATE: 11/25/09  
DRN BY: JDA  
CHK BY: FSC  
SCALE: AS NOTED  
WO. NO: 445-046

SHEET

A-6

7 of 7



## **COLUMBIA COUNTY BUILDING DEPARTMENT**

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

### **OWNER BUILDER DISCLOSURE STATEMENT**

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.



I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

123 SW Buttercup Dr. Lake City FL 32024

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.



Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

#### TYPE OF CONSTRUCTION

- ( ) Single Family Dwelling    ( ) Two-Family Residence    ( ) Farm Outbuilding  
( ) Addition, Alteration, Modification or other Improvement  
( ) Commercial, Cost of Construction \_\_\_\_\_ Construction of \_\_\_\_\_  
☒ Other Storage Building

I Penny Miller, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

X Penny Miller \_\_\_\_\_ Date 10/19/10  
Owner Builder Signature

#### NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification FL DL

Notary Signature L. Hodson Date 10/19/10 (Seal)



#### FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative L. Hodson

100 DOUGLAS STREET  
VALDOSTA, GA 31601



STATE OF FLORIDA

**AREA FOR APPROVAL STAMPS**

Date 6/24/10 Plan No. 495-049

Approved By:

**Richard L. Bullock**

Modular Building Plans Examiner Florida Certificate 9M/F 003

Working as agent for DCA  
These Prints comply with: the  
Florida Manufactured Slab  
Act and adopted Codes and  
Adhere to the following Criteria  
Construction Type 5  
Occupancy Residential  
Allowable # floors 1-2  
Wind Velocity 120  
Fm Rating of Ext. Walls 15  
Pen # 448-907  
Allow. Floor Load 40  
Approved Spec. ASTM  
Steel A-36

Approval of this Document does not  
Authenticate or Approve any Division  
From the requirements of applicable  
State Laws

NDI  
"APPROVED"  
DOCUMENT

[illegible]

DATE:	6/18/10
DRAWN BY:	JDA
CHECKED BY:	FSC
SCALE:	AS NOTED
W.O. NO.	495-049

SHEET



OF 24

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C-1	COVER SHEET
C-2	GENERAL NOTES
A-1	BARN FLOOR AND FRAMING PLANS
A-2	BARN ROOF FRAMING PLAN AND SECTIONS
A-3	STANDARD BARN EXTERIOR ELEVATIONS
A-4	STANDARD BARN ENDWALL FRAMING
A-5	STANDARD BARN ENDWALL FRAMING
A-6	LOFTED BARN SECTIONS AND PLAN
A-7	LOFTED BARN EXTERIOR ELEVATIONS
A-8	LOFTED BARN ENDWALL FRAMING
A-9	LOFTED BARN ENDWALL FRAMING
A-10	LOFTED BARN END & SIDE WALL FRAMING
A-11	BARN SIDEWALL & OPENINGS FRAMING
A-12	LOFTED BARN ELEVATIONS W/ 9' DOOR
A-13	ECONO BARN PLANS
A-14	ECONO BARN FLOOR FRAMING PLANS
A-15	ECONO BARN ELEVATIONS
A-16	ECONO BARN ENDWALL FRAMING
A-17	DETAILS & SECTIONS
A-18	STANDARD/ECONO BARN SECTIONS
A-19	LOFTED BARN SECTIONS
A-20	DETAILS & SECTIONS
A-21	DETAILS & SECTIONS
A-22	DETAILS & SECTIONS

# BARN SHED PLANS

## 150 MPH

### STATE OF FLORIDA

五〇三二

## DESIGN CRITERIA

- |    |                                                                             |           |
|----|-----------------------------------------------------------------------------|-----------|
| 1  | MIND VELOCITY                                                               | ISO MPH   |
| 2  | MIND IMPORTANCE FACTOR                                                      | 0 TT      |
| 3  | BUILDING CATEGORY                                                           |           |
| 4  | MIND EXPOSURE                                                               |           |
| 5  | WIND PRESSURE COEFFICIENT                                                   | +/- 0.0   |
| 6  | EXPLOSIVE CLASSIFICATION                                                    | C         |
| 7  | COMPONENTS AND CLADDING                                                     | ENCLOSED  |
|    | - ROOF LOAD (ZONE #1)                                                       | -34.2 PSF |
|    | - ROOF LOAD (ZONE #2)                                                       | -35.3 PSF |
|    | - ROOF LOAD (ZONE #3)                                                       | -36.7 PSF |
|    | - WALL LOAD (ZONE #4)                                                       | -41.0 PSF |
|    | - WALL LOAD (ZONE #5)                                                       | -50.6 PSF |
| 8  | FLOOR DESIGN LIVE LOAD                                                      | 40 PSF    |
| 9  | FLOOR DESIGN DEAD LOAD                                                      | 12 PSF    |
| 10 | ROOF DESIGN LIVE LOAD                                                       | 20 PSF    |
| 11 | ROOF DESIGN DEAD LOAD                                                       | 5 PSF     |
| 12 | CONSTRUCTION TYPE                                                           | V B       |
| 13 | BUILDING OCCUPANCY - STORAGE SHED-1                                         |           |
| 14 | THE CONTRACTOR MUST COMPLY WITH THE LATEST EDITIONS OF THE FOLLOWING CODES. |           |

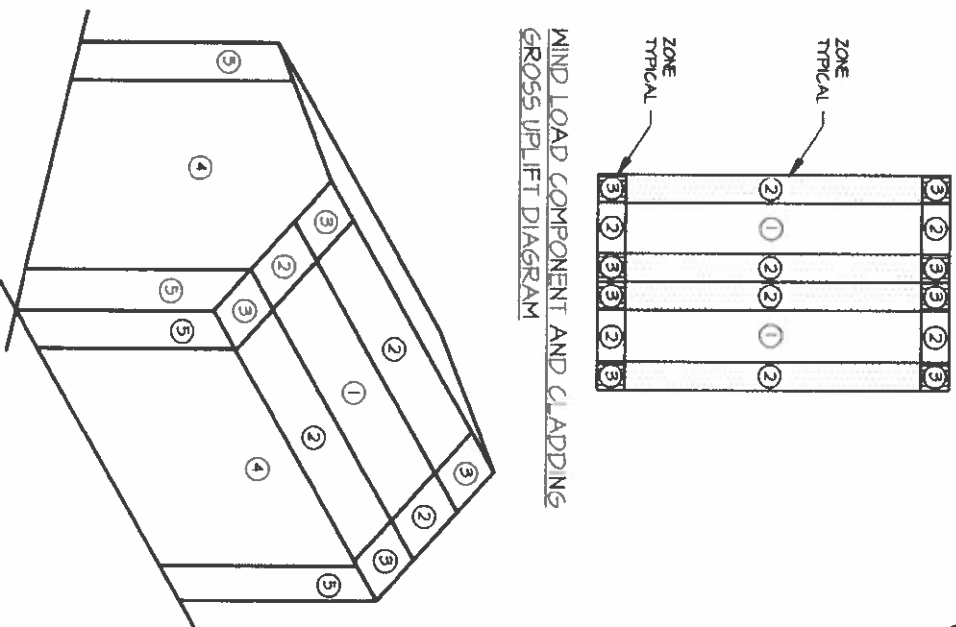
**NOTE:**

THIS BUILDING IS NOT DESIGNED FOR HABITATION AND DOES NOT HAVE RUNNING WATER OR SANITATION SERVICES. THIS BUILDING IS DESIGNED AS A UTILITY SHED TO STORE LAWN EQUIPMENT SUCH AS WHEEL BARROWS, GARDENING SUPPLIES, FLOWER POTS, AND CARDBOARD BOXES, WITH VARIOUS SMALL ITEMS.

FLORIDA CODES	
-FLORIDA BUILDING CODE	- 2007
-FLORIDA MECHANICAL CODE	- 2007
-FLORIDA PLUMBING CODE	- 2007
-FLORIDA ACCESSIBILITY CODE	- 2007
-FLORIDA FIRE PREVENTION CODE	- 2007
-NATIONAL ELECTRIC CODE	- 2008



### WIND LOAD COMPONENT AND CLADDING WALL PRESSURE DIAGRAM



THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE W/ 2004 SUPPLEMENTS FOR A THREE SECOND GUST OF 150 MPH.

THE UNIVERSITY OF CHICAGO

ALABAMA# 14469  
GEORGIA# 4241



FLORIDA# 15607  
INDIANA# 20338  
LOUISIANA# 20548  
MISSISSIPPI# 8425  
N. CAROLINA# 11106  
TEXAS# 54100

1000 SOUTH BELCHER ROAD  
BLDG-A / UNIT #1 LARGO,  
FLORIDA 33771  
VOICE: 727-524-905  
FAX: 727-524-1294

**COOK PORTABLE WAREHOUSES**  
BARN SHED PLANS 150 MPH STATE OF FLORIDA

100 DOUGLAS STREET  
VALDOSTA, GA 31601  
PHONE: 1-229-24-8805

**OK 電力 生財術**

THIS DRAWING IS NOT VALID  
UNLESS SIGNED IN PURPLE INK.

01-87-7



**AREA FOR APPROVAL STAMPS**

- Date 6/24/10 Plan No. 445-049  
 Approved By R. Butlock  
 Richard L. Butlock  
 Modular Building Plans Examiner Florida Certificate SMF 22

104.11.3 ACCESSIBILITY. ALTERNATIVE DESIGNS AND TECHNOLOGIES FOR PROVIDING ACCESS TO AND USABILITY OF A FACILITY FOR PERSONS WITH DISABILITIES SHALL BE IN ACCORDANCE WITH SECTION 11-2.2.

IN USING SECTION 104.11, 104.11.1, 104.11.2 AND 104.11.3, THE BUILDING OFFICIAL IN THIS CASE IS THE STATE OF FLORIDA, DEPARTMENT OF COMMUNITY AFFAIRS WHO HAS JURISDICTION OF THIS SECTION. THE DEPARTMENT OF COMMUNITY AFFAIRS HAS UNDER CONTRACT FOR A THIRD PARTY AGENCY TO PROVIDE PLAN REVIEW, INSPECTION, AND TESTING.

3. ALL MATERIALS AND LABOR SHALL BE IN ACCORDANCE WITH THE ABOVE CODE AND ALL OTHER APPLICABLE LOCAL CODES AT THE TIME OF MANUFACTURE
4. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
5. EXTERIOR DIMENSIONS CAN VARY BETWEEN LIMITS SHOWN AT 2" O.C. BUT MEMBER SPACING SHALL NOT EXCEED LIMITS AS INDICATED.
6. LUMBER USED FOR CONSTRUCTION OF THIS BUILDING SHALL BE AS FOLLOW:  
FLOOR JOISTS 2x4 S.Y.P.#2 12% TO 15% MOISTURE CONTENT  
STUDS 2x4 S.P.F.#2 12% TO 15% MOISTURE CONTENT.
7. ALL THE FOLLOWING LUMBER SHALL BE PRESSURE TREATED: SKIDS, FLOOR JOISTS AND PLYWOOD FLOOR DECKING.
8. TRUSSES DESIGNED TO SUPPORT D.L.(8 PSF) + L.L.(20 PSF) + S.L.(8 PSF) = 36 PSF TOTAL LOAD.
9. NAILS FOR ROOF SHALL BE GALVANIZED RING SHANK.
10. ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED (G185) OR STAINLESS STEEL.
11. ALL WINDOWS WITHIN 24" OF DOORS, AND ALL GLASS IN DOORS SHALL BE SAFETY, TEMPERED, OR ACRYLIC PLASTIC SHEET.

NOTE THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ARE SUBJECT TO LOCAL JURISDICTIONAL APPROVAL.

1. THE COMPLETE FOUNDATION SUPPORT AND TIE-DOWN SYSTEM
2. RAMP5, STAIR5, AND GENERAL ACCESS TO THE BUILDING.

THE ORDER OF THE

**COOK PORTABLE WAREHOUSES**  
BARN GUED BY ANG. ISO MPH STATE OF EIL ORIDA

THIS DRAWING IS NOT VALID  
UNLESS SIGNED IN PURPLE INK

SHEET

ALABAMA# 1446  
GEORGIA# 14241

FLORIDA# 15607  
INDIANA# 20338  
LOUISIANA# 20548  
MISSISSIPPI# 8925  
N CAROLINA# 11108  
TEXAS# 54100

1000 SOUTH BELCHER ROAD  
BLDG-A / UNIT #11 LARGO,  
FLORIDA 33771  
VOICE: 727-524-1905  
FAX: 727-524-1299

100 DOUGLAS STREET  
VALDOSTA, GA 31601  
PHONE: 1-229-241-8805

## GENERAL NOTES

6-18-10

DATE: 6/18/10

DRAWN BY: JDA

CHECKED BY: FSC

SCALE: AS NOTED

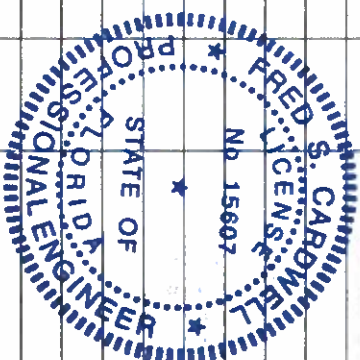
W.O. NO: 495-040

Q-2

2 OF 24

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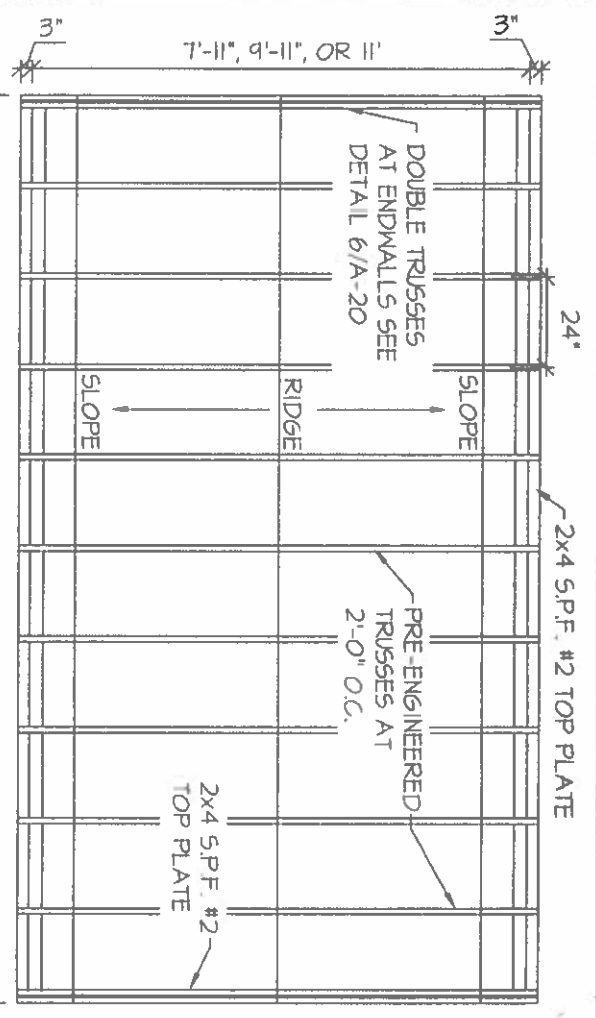
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DOCUMENT**

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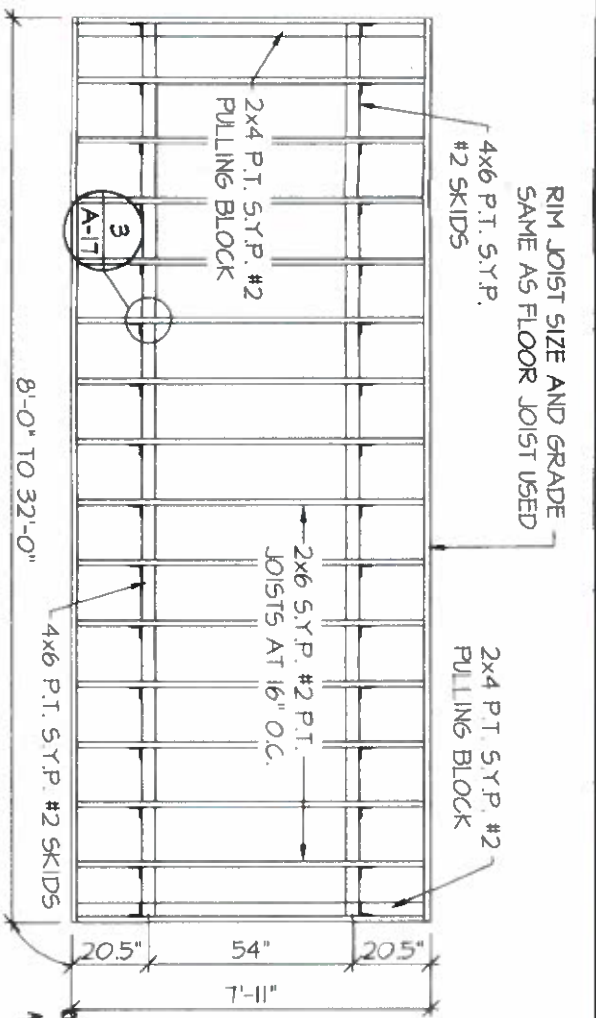


# AREA FOR APPROVAL STAMPS

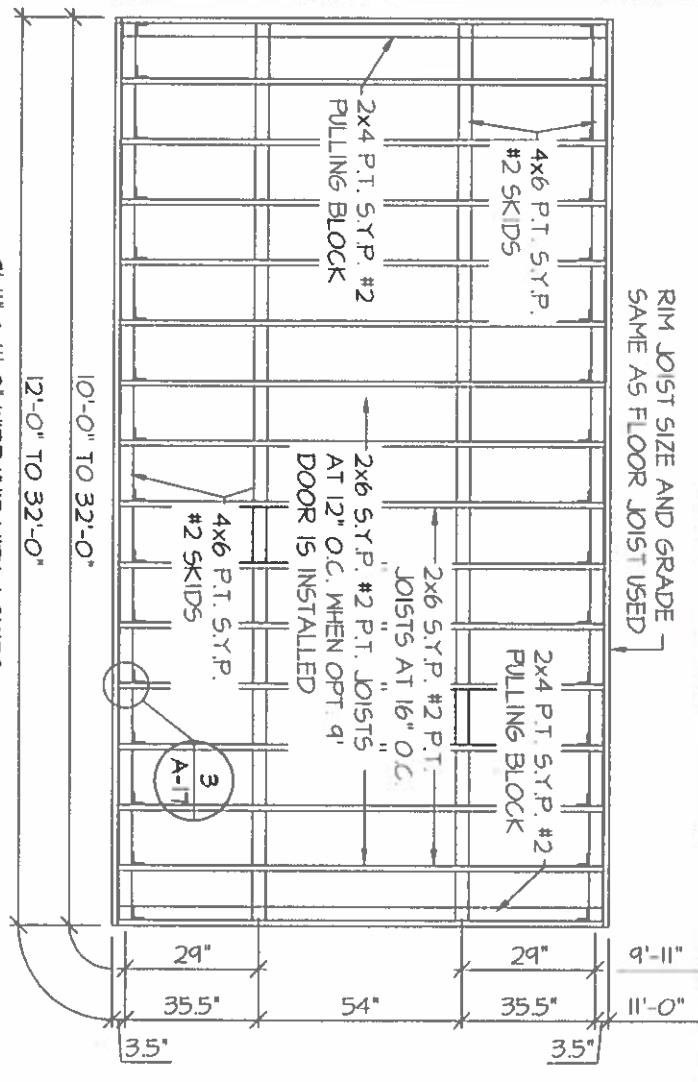
Date: 6/24/10 Plan No. 445-049  
 Approved By: *R. Bullock*  
 Richard L. Bullock  
 Master Building Plans Examiner Florida Certificate 9847 983



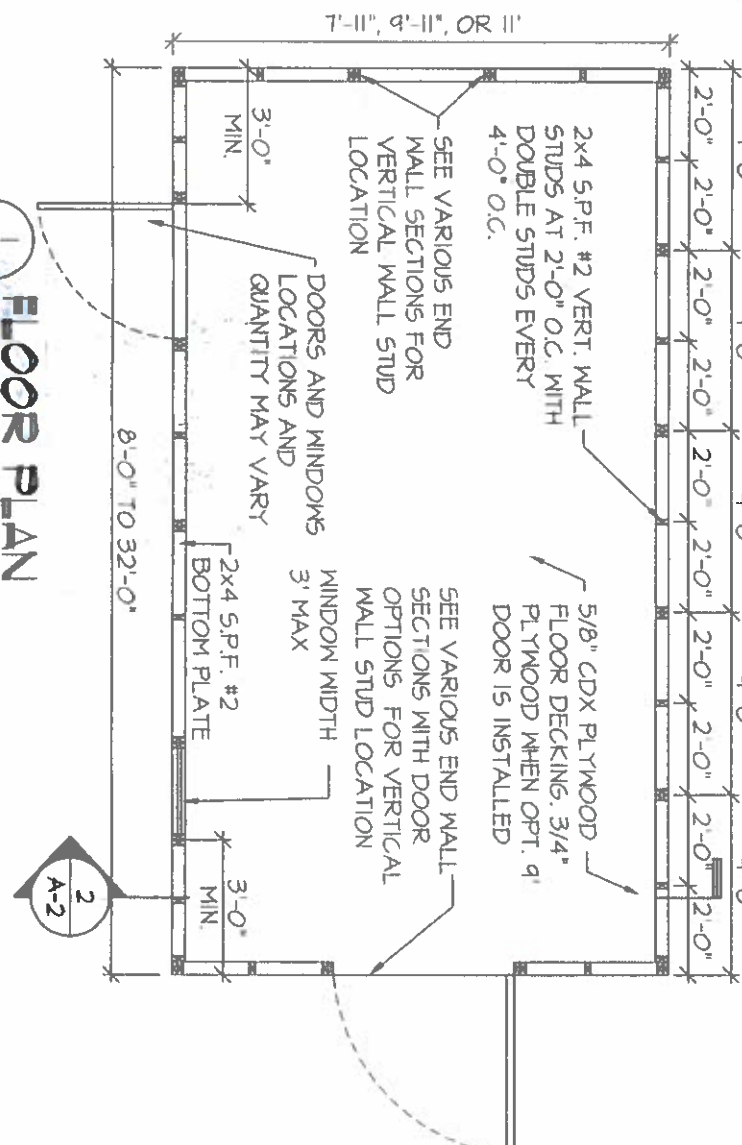
**3 ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"  
 EXAMPLE DRAWING IS OF A 20' LENGTH UNIT



**2 FLOOR FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"  
 EXAMPLE DRAWING IS OF A 20' LENGTH UNIT

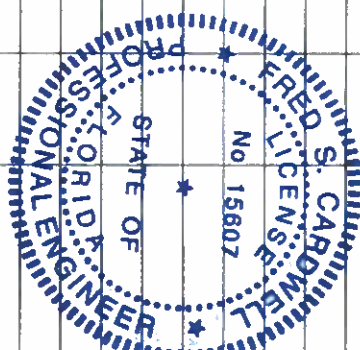


**4 FLOOR FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"  
 EXAMPLE DRAWING IS OF A 20' LENGTH UNIT



**1 FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 EXAMPLE DRAWING IS OF A 20' LENGTH UNIT

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 DOCUMENT



THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE W/ 2004 SUPPLEMENTS FOR A THREE SECOND GUST OF 150 MPH.

**FRED S. CARDWELL, P.E.**

ALABAMA# 14469  
 GEORGIA# 14241  
 FLORIDA# 15607  
 INDIANA# 20338  
 LOUISIANA# 20546  
 MISSISSIPPI# 8425  
 N. CAROLINA# 11108  
 TEXAS# 54100  
 1000 SOUTH BELCHER ROAD  
 BLDG-A / UNIT #11 LARGO  
 FLORIDA 33711  
 VOICE: 727-524-1405  
 FAX: 727-524-1294

**COOK PORTABLE WAREHOUSES**  
 BARN SHED PLANS 150 MPH STATE OF FLORIDA  
 100 DOUGLAS STREET  
 VALDOSTA, GA 31601  
 PHONE: 1-229-241-0805

THIS DRAWING IS NOT VALID  
 UNLESS SIGNED IN PURPLE INK.  
*Fred S. Cardwell*  
 6-18-10

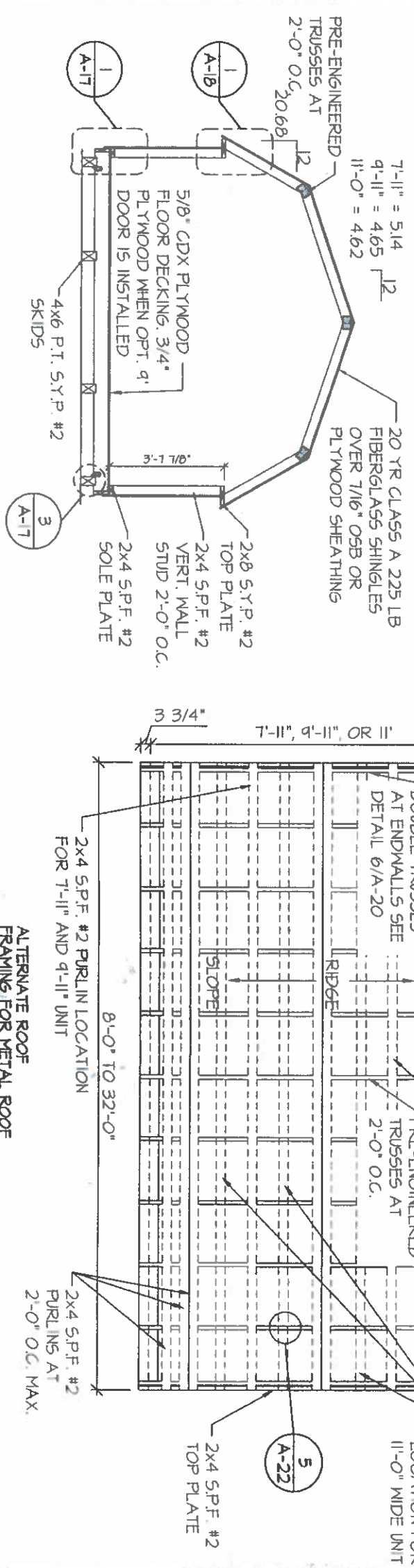
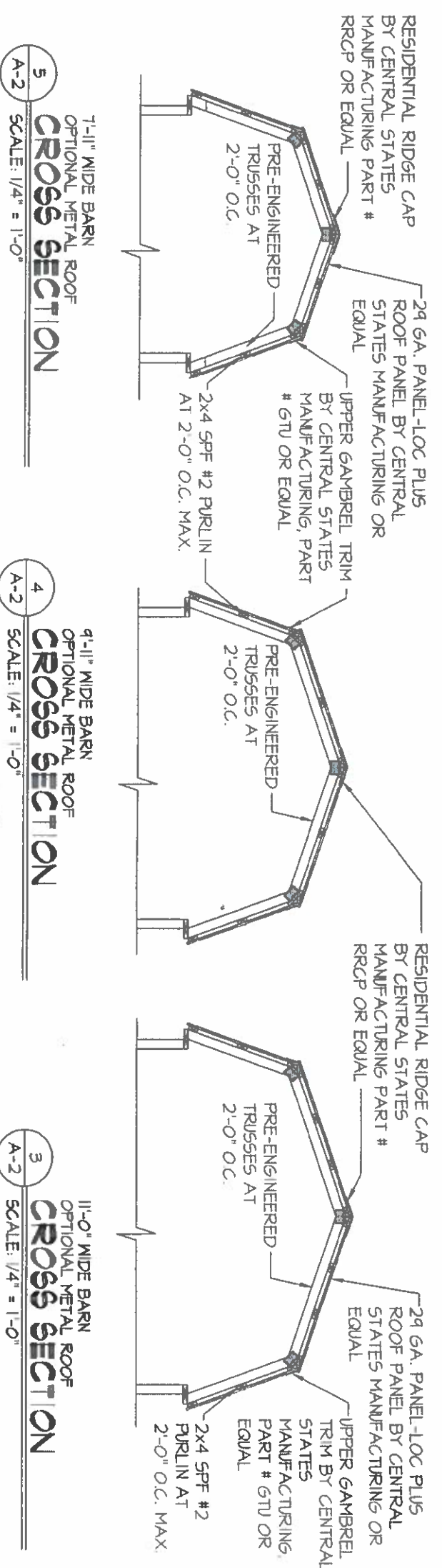
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DRAWN BY:	JDA
CHECKED BY:	FSC
SCALE:	AS NOTED
W.D. NO.:	445-049

SHEET  
**A-1**  
 3 OF 24



AREA FOR APPROVAL STAMPS

Drawn: 10/24/10 Plan No. 495-049  
Approved By: R. Bullock  
Richard L. Bullock  
Municipal Building Plans Examiner Florida Certificate 3416 003



**2 CROSS SECTION**  
SCALE: 1/4" = 1'-0"

**1 ALTERNATE ROOF FRAMING PLAN**  
SCALE: 3/16" = 1'-0"

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE W/ 2004 SUPPLEMENTS FOR A THREE SECOND GUST OF 150 MPH.

**FRED S. CARDWELL, P.E.**

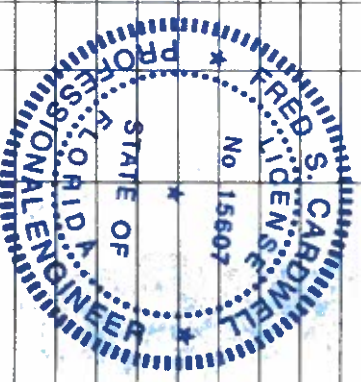
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FLORIDA# 15607  
INDIANA# 20338  
LOUISIANA# 20548  
MISSISSIPPI# 8425  
N. CAROLINA# 11108  
TEXAS# 54100

**COOK PORTABLE WAREHOUSES**  
BARN SHED PLANS 150 MPH STATE OF FLORIDA  
OO DOUGLAS STREET  
VALDOSTA, GA 31601  
PHONE: 1-229-241-8805

THIS DRAWING IS NOT VALID  
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*[Signature]*  
6-18-10

DATE:	6/18/10
DRAWN BY:	JDA
CHECKED BY:	FSC
SCALE:	AS NOTED
W.O. NO.:	495-049

SHEET  
**A-2**  
4 OF 24



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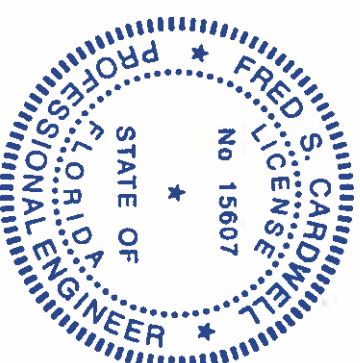
2  
A-3  
STANDARD BARN  
ELEVATION  
SCALE: 1/4" = 1'-0"

EXAMPLE DRAWING IS OF AN 11" WIDE UNIT

OPTIONAL 29 GA. PANEL-LOC PLUS  
ROOF PANEL BY CENTRAL STATES  
MANUFACTURING OR EQUAL

A-3 SCALE: 1/4" = 1'-0"

EXAMPLE DRAWING IS OF A 20' LENGTH UNIT



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DOCUMENT

Date 6/24/10 Plan No. 495-049  
Approved By R Butcher

Modul Building Plans Examiner Florida Certificate **SLP 003**

N. CAROLINA# 1108  
TEXAS# 54100

VOICE: 727-524-1905  
FAX: 727-524-1299

100 DOUGLAS STREET  
VALDOSTA, GA 31601  
PHONE: 1-224-241-8805

## STANDARD BARN EXTERIOR ELEVATIONS

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6-18-10

CHECKED BY:	FSC
SC A/E	AS NOTED

SCALE:	NO. 1012
W.O. NO.:	495-049

W

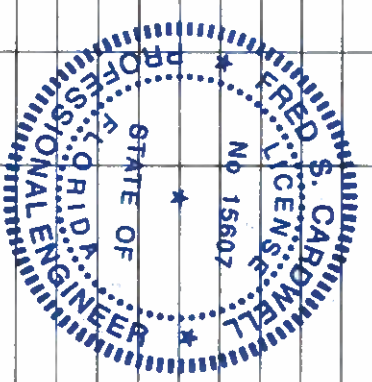
5 of 24



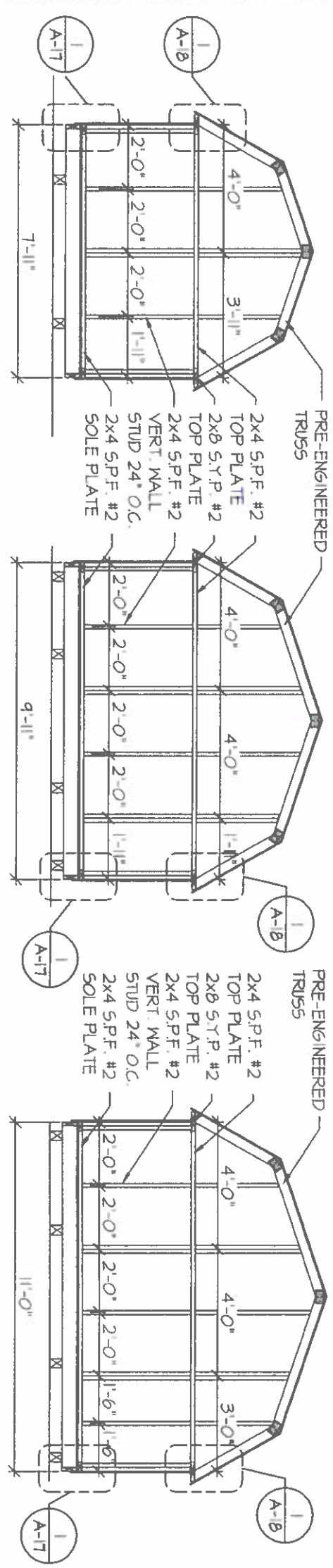
AREA FOR APPROVAL STAMPS

Plan No. 495-049  
 Approved By: *R. Bullock*  
 Richard L. Bullock  
 Modular Building Plans Examiner Florida Certificate 981P 001

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 "APPROVED"  
 DOCUMENT



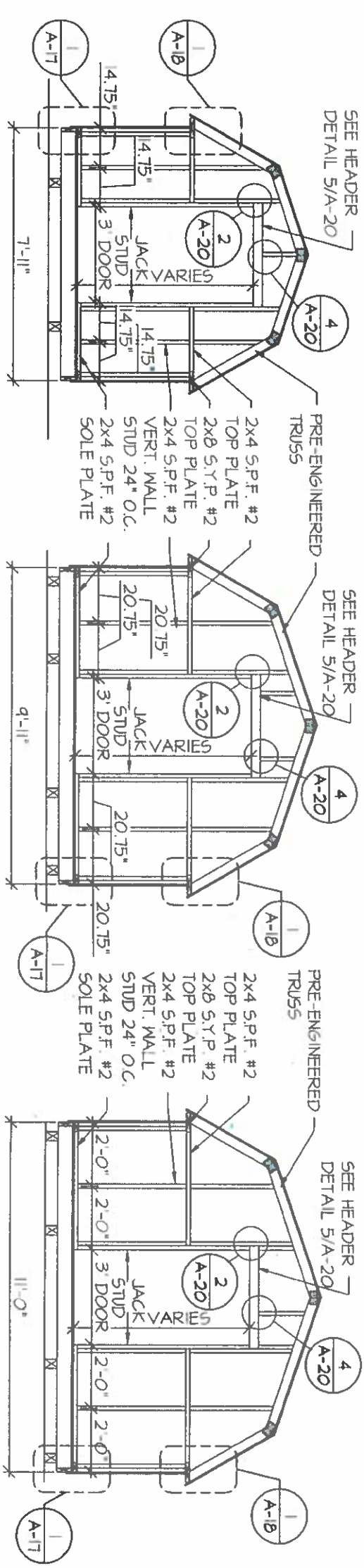
REV	BY	DATE	DESCRIPTION



7'-11" STANDARD BARN  
 ENDWALL WITH NO OPENINGS  
**DETAIL**  
 A-4 SCALE: 1/4" = 1'-0"

9'-11" STANDARD BARN  
 ENDWALL WITH NO OPENINGS  
**DETAIL**  
 A-4 SCALE: 1/4" = 1'-0"

11'-0" STANDARD BARN  
 ENDWALL WITH NO OPENINGS  
**DETAIL**  
 A-4 SCALE: 1/4" = 1'-0"



7'-11" STANDARD BARN  
 ENDWALL WITH 3' DOOR OPENING  
**DETAIL**  
 A-4 SCALE: 1/4" = 1'-0"

9'-11" STANDARD BARN  
 ENDWALL WITH 3' DOOR OPENING  
**DETAIL**  
 A-4 SCALE: 1/4" = 1'-0"

11'-0" STANDARD BARN  
 ENDWALL WITH 3' DOOR OPENING  
**DETAIL**  
 A-4 SCALE: 1/4" = 1'-0"

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE W/ 2004 SUPPLEMENTS FOR A THREE SECOND GUST OF 150 MPH.

**FRED S. CARDWELL, P.E.**

ALABAMA# 14469  
 FLORIDA# 15607  
 GEORGIA# 14241  
 INDIANA# 20338  
 LOUISIANA# 20548  
 MISSISSIPPI# 8425  
 N. CAROLINA# 11108  
 TEXAS# 54100

**COOK PORTABLE WAREHOUSES**  
 BARN SHED PLANS 150 MPH STATE OF FLORIDA  
 100 DOUGLAS STREET  
 VALDOSTA, GA 31601  
 PHONE: 1-229-241-8805

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 UNLESS SIGNED IN PURPLE INK.  
*Fred Cardwell*  
 6-18-10

DATE: 6/18/10  
 DRAWN BY: JDA  
 CHECKED BY: FSC  
 SCALE: AS NOTED  
 W.O. NO: 495-049

SHEET  
**A-4**  
 6 OF 24

STANDARD BARN ENDWALL FRAMING



Date: 6/24/10 Plan No. 495-049  
Approved By: R. Buttsch

Modular Building Plans Examiner Florida Certificate SMP 003

A circular professional engineer seal for the State of Florida. The outer ring contains the text "PROFESSIONAL ENGINEER" on the left and "FRED S. CARDWELL" on the right, separated by two stars. The inner circle contains the text "STATE OF FLORIDA" on the left and "LICENSE" on the right, also separated by two stars. In the center of the seal is the license number "No 15607".



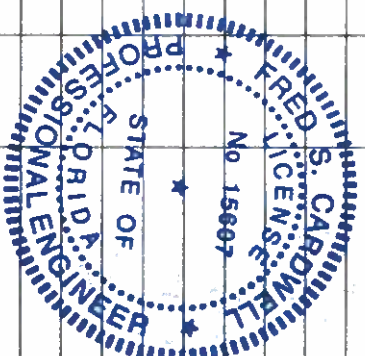


Date 6/24/0 Plan No. 495-042  
Approved By R Butcher  
Richard L. Bullock  
Modular Building Plans Examiner Florida Certificate 2807 00

Plan No.

Modular Building Plans Examiner Florida Certificate # 111-001

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[illegible]

THE UNIVERSITY OF CHICAGO

FLORIDA # 15607  
INDIANA # 20338

1000 SOUTH BELCHER ROAD  
BLDG-A / UNIT #11 ARGO

LOUISIANA# 20548  
MISSISSIPPI# 8925  
N. CAROLINA# 1108  
TEXAS# 54100

1000 SOUTH BELCHER ROAD  
BLDG-A / UNIT #11 LARGO,  
FLORIDA 33771  
VOICE: 727-524-1905  
FAX: 727-524-1299

# COOK PORTABLE WAREHOUSES

100 DOUGLAS STREET  
VALDOSTA, GA 3601  
PHONE: 1-229-24-0805

## LOFTED BARN SECTIONS AND PLAN

THIS DRAWING IS NOT VALID  
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6-18-16

DATE:	6/18/10
-------	---------

DRAWN BY:

新刊印

SCALE:

NO.	1
-----	---

SHEET



8 OF 24

7'-11" WIDE LOFTED BARN  
OPTIONAL METAL ROOF  
**CROSS SECTION**

A-6 SCALE: 1/4" = 1'-0"

9'-11" WIDE LOFTED BARN  
OPTIONAL METAL ROOF  
**CROSS SECTION**

A-6 SCALE: 1/4" = 1'-0"

11'-0" WIDE LOFTED BARN  
OPTIONAL METAL ROOF  
**CROSS SECTION**

**SCALE: 1/4" = 1'-0"**

# NOTES

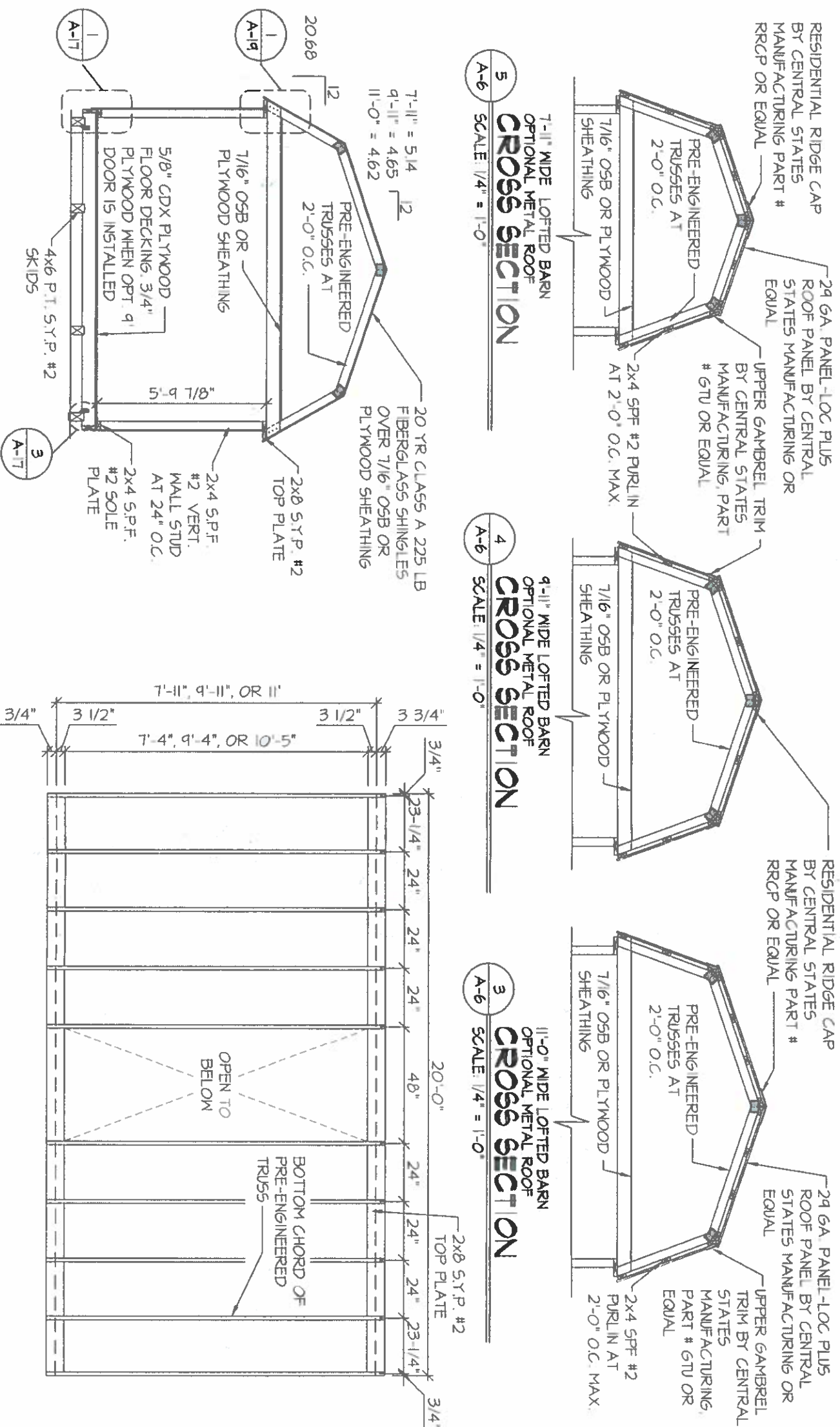
A-6 SCALE: 1/4" = 1'-0"

# LOFT DRAINING PLAN

A-6 SCALE: 1/4" = 1'-0"

EXAMPLE DRAWING 15 OF A 11'-0" WIDE UNIT

EXAMPLE DRAWING IS OF A 20' LENGTH UNIT






Date: 6/24/10 Plan No. 495-049  
Approved By: R Butts

Modular Building Plans Examiner Florida Certificate SBP 001

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DOCUMENT



REV	BY	DATE	DESCRIPTION
			

# THE ORDER OF

**COOK PORTABLE WAREHOUSES**  
BARN SHED PLANS ISO MPH STATE OF FLORIDA

THIS DRAWING IS NOT VALID  
UNLESS SIGNED IN PURPLE INK

SHEET

ALABAMA# 4469 GEORGIA# 1424	FLORIDA# 15607 INDIANA# 20338 LOUISIANA# 20548 MISSISSIPPI# 8838	1000 SOUTH BELCHER RD BLDG-A / UNIT #11 LARGO FLORIDA 33711
--------------------------------	---------------------------------------------------------------------------	-------------------------------------------------------------------

100 DOUGLAS STREET  
VALDOSTA, GA 31601  
PHONE: 1-229-24-8805

**ESE**  
LOUISIANA# 20346  
MISSISSIPPI# 8425  
N. CAROLINA# 11108  
TEXAS# 54100

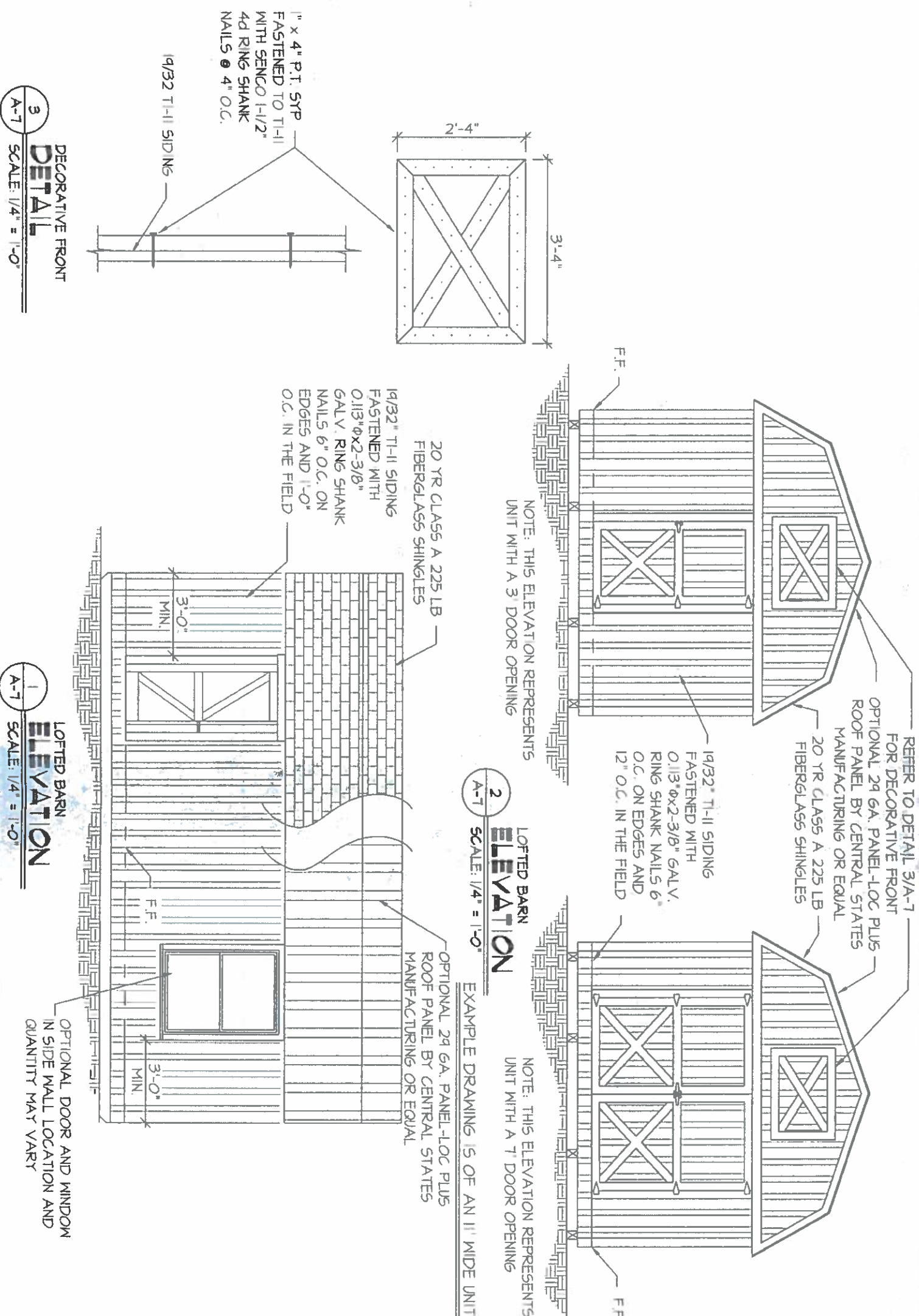
VOICE: 727-524-1905  
FAX: 727-524-1299

## LOFTED BARN EXTERIOR ELEVATIONS

6-18-10

DATE:	6/18/10
DRAWN BY:	JDA
CHECKED BY:	FSC
SCALE:	AS NOTED

1

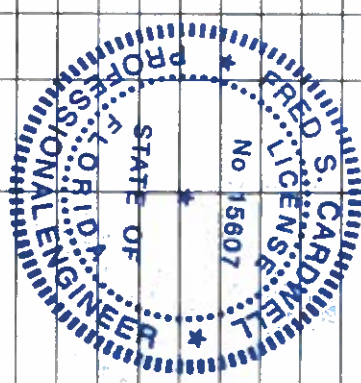




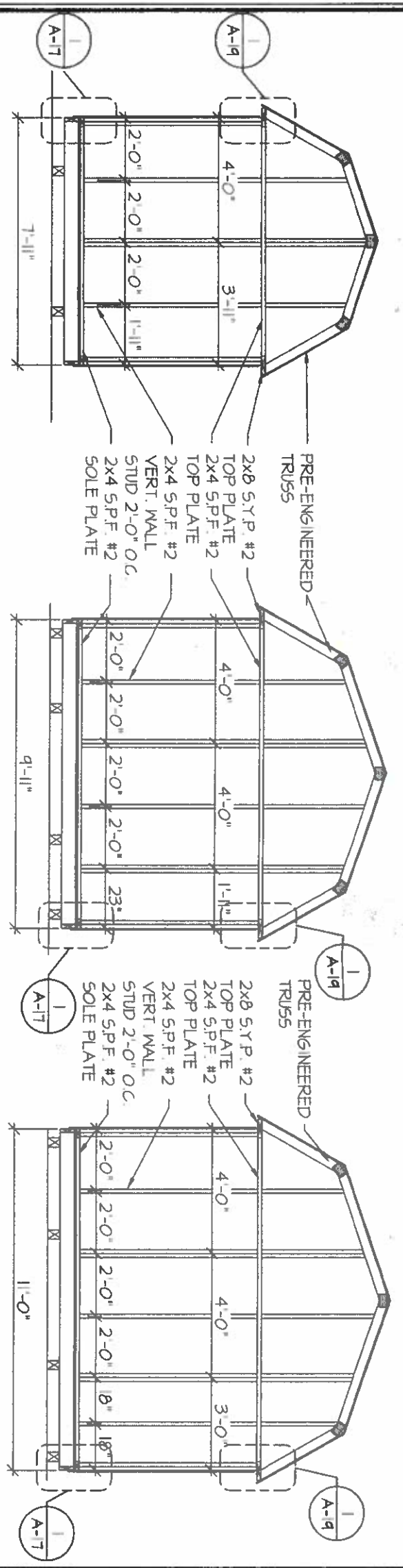
AREA FOR APPROVAL STAMPS

Plan No. 495-095  
 Approved By: R. Bullock  
 Richard L. Bullock  
 Modular Building Plans Examiner Florida Certificate 3007

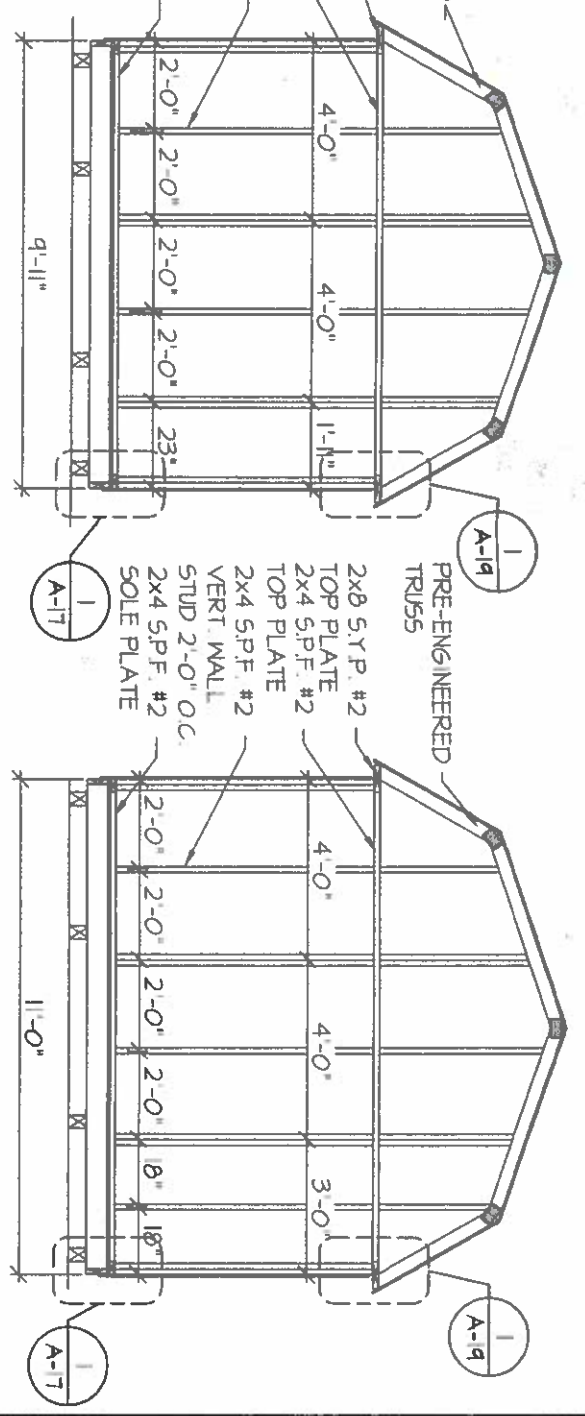
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 "APPROVED"  
 DOCUMENT



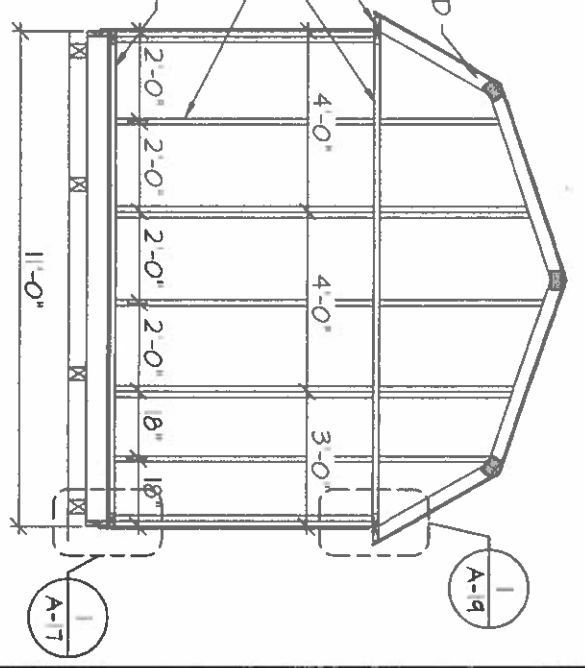
REV	BY	DATE	DESCRIPTION



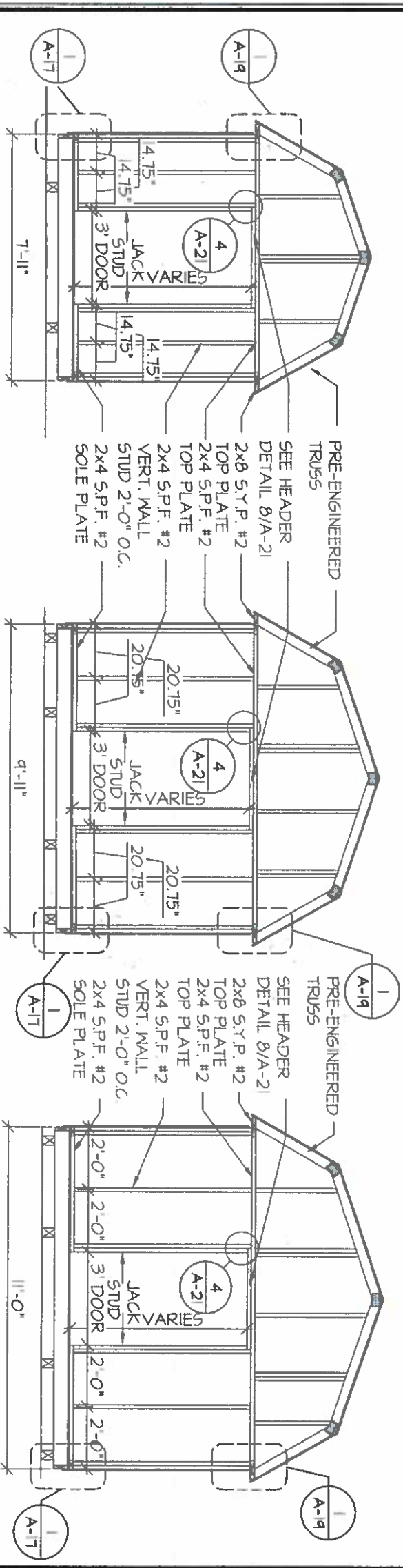
1  
 7'-11" LOFTED BARN  
 ENDWALL WITH NO OPENING  
 DETAIL  
 SCALE: 1/4" = 1'-0"



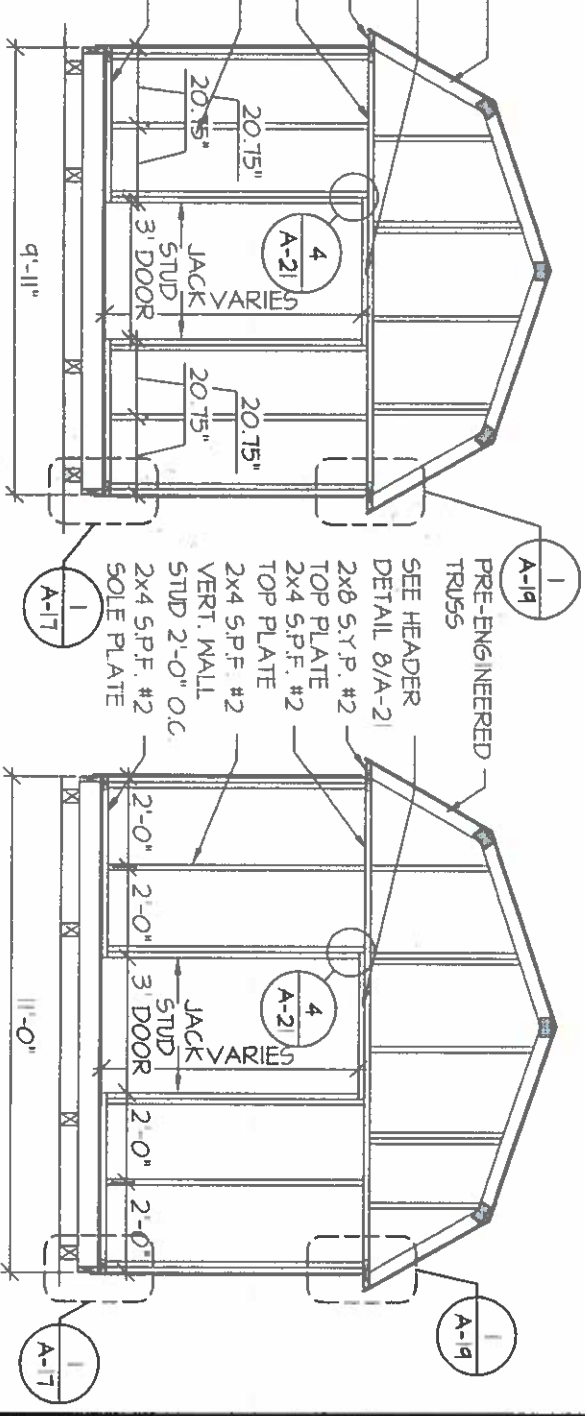
2  
 9'-11" LOFTED BARN  
 ENDWALL WITH NO OPENING  
 DETAIL  
 SCALE: 1/4" = 1'-0"



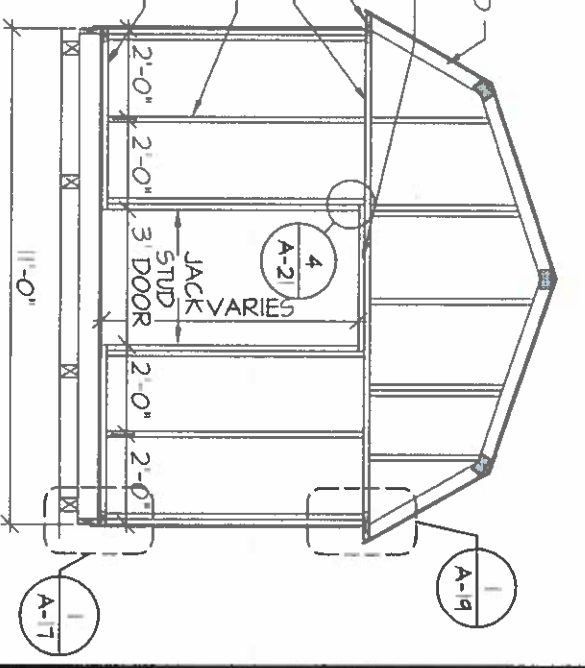
3  
 11'-0" LOFTED BARN  
 ENDWALL WITH NO OPENING  
 DETAIL  
 SCALE: 1/4" = 1'-0"



4  
 7'-11" LOFTED BARN  
 ENDWALL WITH 3' DOOR OPENING  
 DETAIL  
 SCALE: 1/4" = 1'-0"



5  
 9'-11" LOFTED BARN  
 ENDWALL WITH 3' DOOR OPENING  
 DETAIL  
 SCALE: 1/4" = 1'-0"



6  
 11'-0" LOFTED BARN  
 ENDWALL WITH 3' DOOR OPENING  
 DETAIL  
 SCALE: 1/4" = 1'-0"

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE W/ 2004 SUPPLEMENTS FOR A THREE SECOND GUST OF 150 MPH.

FRED S. CARDWELL, P.E.

ALABAMA\* 14464  
 GEORGIA\* 14241  
 FLORIDA\* 15607  
 INDIANA\* 20336  
 LOUISIANA\* 20546  
 MISSISSIPPI\* 8425  
 N. CAROLINA\* 11105  
 TEXAS\* 54100  
 1000 SOUTH BELCHER ROAD  
 BLDG-A / UNIT #11 LARGO,  
 FLORIDA 33711  
 VOICE: 121-524-1905  
 FAX: 121-524-1299

COOK PORTABLE WAREHOUSES

BARN SHED PLANS 150 MPH STATE OF FLORIDA  
 100 DOLGAS STREET  
 VALDOSTA, GA 31601  
 PHONE: 1-229-241-8805

LOFTED BARN ENDWALL FRAMING

THIS DRAWING IS NOT VALID  
 UNLESS SIGNED IN PURPLE INK.

*Fred S. Cardwell*  
 C-18-16

DATE:	6/18/10
DRAWN BY:	JDA
CHECKED BY:	FSC
SCALE:	AS NOTED
W.O. NO.:	495-049

SHEET  
**A-8**  
 10 OF 24



Date 6/24/10 Page No. 495  
 Approved By R. Butcher  
 Richard L. Butcher  
 Moderator Building Plans Examiner Florida Certificate #2002

A circular blue ink seal for a Professional Engineer in the State of Florida. The outer ring contains the text "PROFESSIONAL ENGINEER" at the top and "STATE OF FLORIDA" at the bottom, separated by two stars. The center of the seal contains the name "FRED S. CARDWELL" at the top, "L.C.E.S." at the bottom, and the license number "No 15607" in the middle.

[illegible]

THE UNIVERSITY OF CHICAGO PRESS

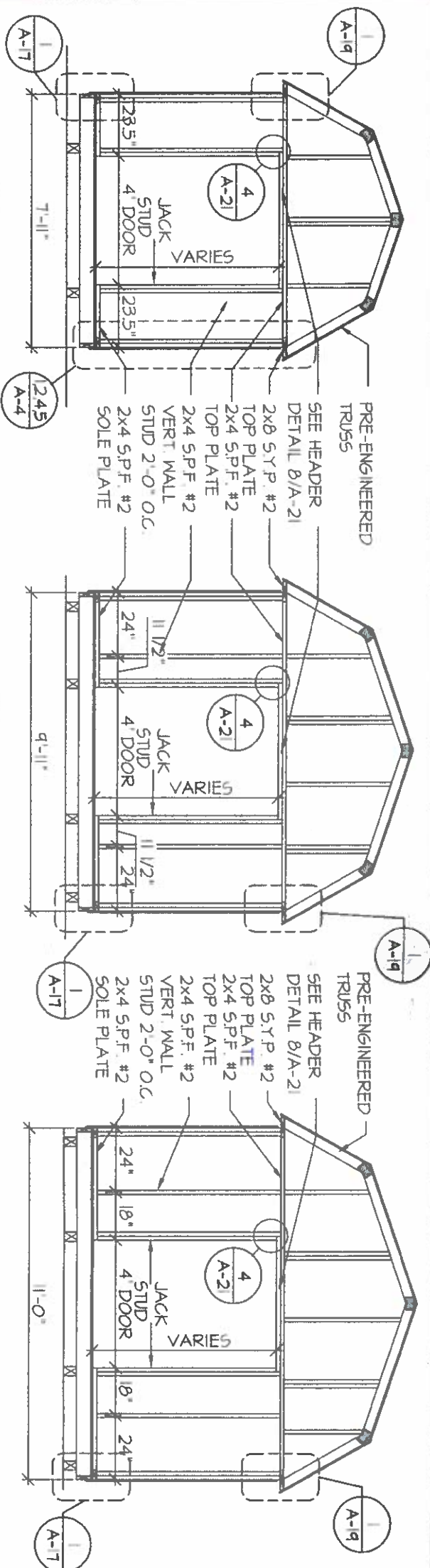
**COOK PORTABLE WAREHOUSES**  
BARN SHED PLANS 150 MPH STATE OF FLORIDA

THIS DRAWING IS NOT VALID  
UNLESS SIGNED IN PURPLE INK.

SHEET

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1  
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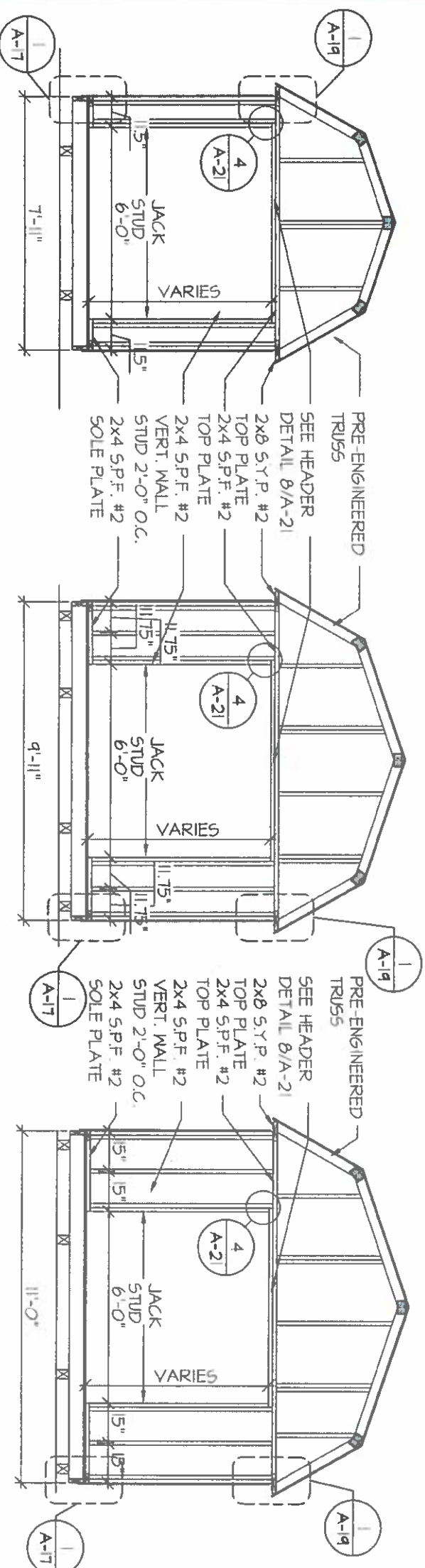
24



7'-11" LOFTED BARN  
ENDWALL WITH 4' DOOR OPENING  
**DETAIL**  
SCALE: 1/4" = 1'-0"  
6  
A-9

9'-11" LOFTED BARN  
ENDWALL WITH 4' DOOR OPENING  
**DETAIL**  
5  
A-9  
SCALE: 1/4" = 1'-0"

11'-0" LOFTED BARN  
ENDWALL WITH 4 DOOR OPENING  
**DETAIL**  
4  
A-9 SCALE: 1/4" = 1'-0"



3  
A-9  
7'-11" LOFTED BARN  
ENDWALL WITH 6' DOOR OPENING  
**DETAIL**  
SCALE: 1/4" = 1'-0"

9'-11" LOFTED BARN  
ENDWALL WITH 6' DOOR OPENING  
**DETAIL**  
SCALE: 1/4" = 1'-0"  
2  
A-9

11'-0" LOFTED BARN  
ENDWALL WITH 6 DOOR OPENINGS  
**DETAIL**  
SCALE: 1/4" = 1'-0"  
A-9

ALABAMA # 1446  
GEORGIA # 4241

FLORIDA# 15607	1000 SOUTH BELCHER ROAD
INDIANA# 20338	BLDG-A / UNIT #11 LARGO,
LOUISIANA# 20548	FLORIDA 33771
M155155FPI# 8425	VOICE: 127-524-1905
N. CAROLINA# 11106	FAX: 127-524-1299
TEXAS# 54100	

## LOFTED BARN ENDWALL FRAMING

6-8-10

DATE 6/24/10 PLAN NO. 295-049  
APPROVED BY R. Butts

Modular Building Plans Examiner Florida Certificate 22AP 03

**"APPROVED"  
DOCUMENT**

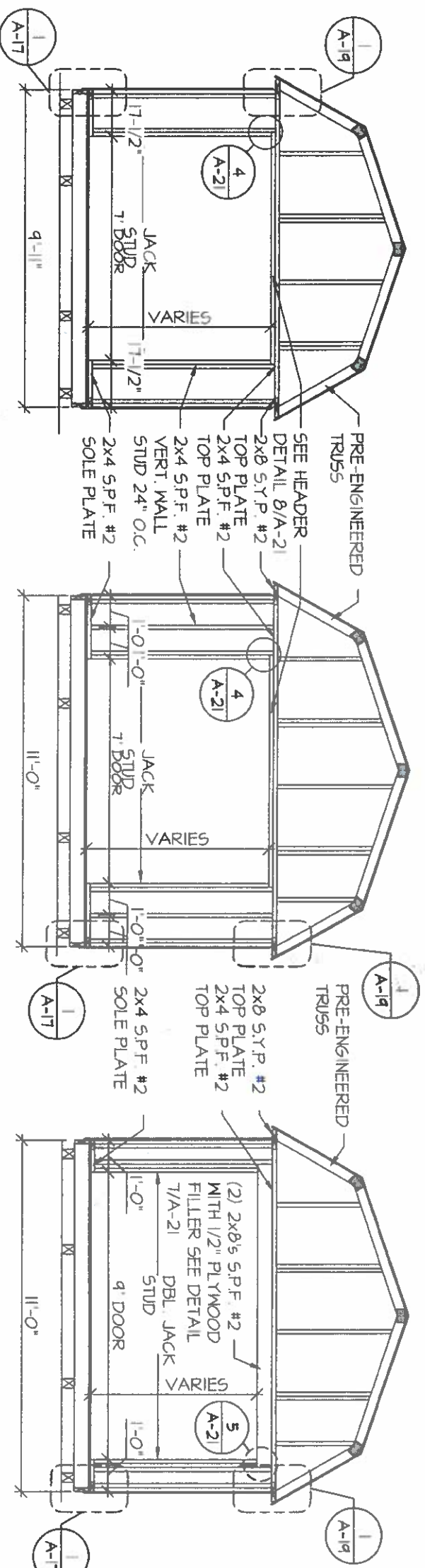
[illegible]

THE UNIVERSITY OF CHICAGO

100 DOUGLAS STREET  
VALDOSTA, GA 31601  
PHONE: 1-229-24-0805

6-18-16

12 OF 24



9'-11" LOFTED BARN  
ENDWALL WITH 7 DOOR OPENINGS  
**DETAIL**

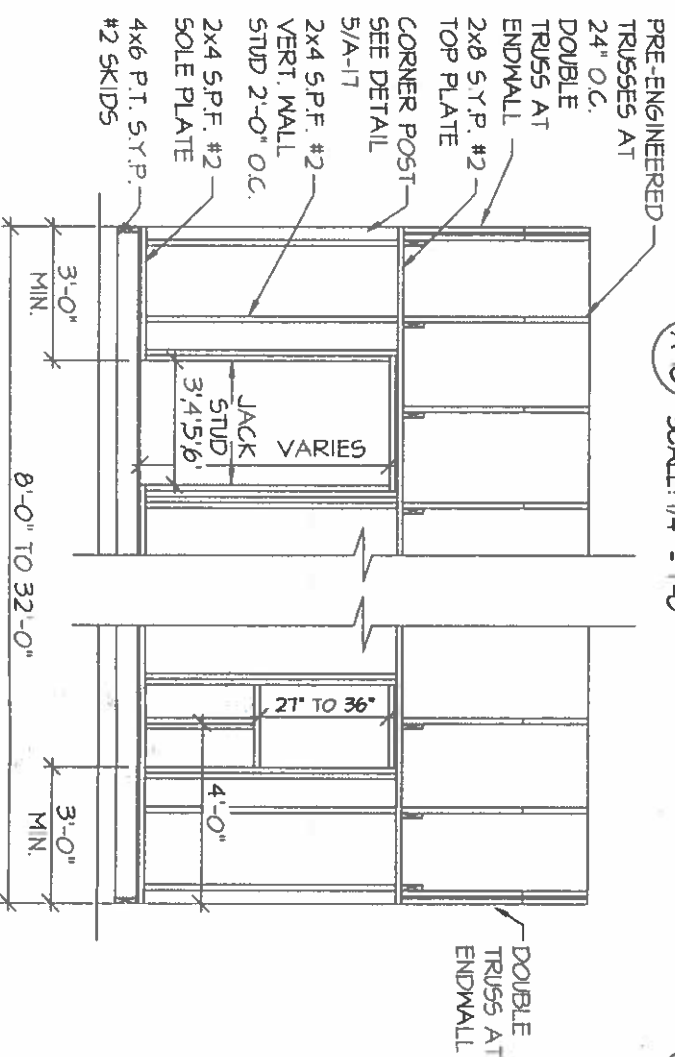
## 11'-0" LOFTED BARN ENDWALL WITH 7' DOOR OPENING DETAIL

## 11'-0" LOFTED BARN ENDWALL WITH 9' DOOR OPENING DETAIL

# DETA

**DETAIL**  
SCALE: 1/4" = 1'-0"

**DETAIL**  
SCALE: 1/4" = 1'-0"



LOFTED BARN SIDEWALL  
DETAIL

6  
A-10 SCALE: 1/4" = 1'-0"



ALABAMA# 14464  
GEORGIA# 14241  
FLORIDA# 15607  
INDIANA# 20338  
LOUISIANA# 20548  
MISSISSIPPI# 8425  
N. CAROLINA# 1108  
TEXAS# 54100

1000 SOUTH BELCHER ROAD  
BLD6-A / UNIT #11 LARGO,  
FLORIDA 33771  
VOICE: 127-524-1905  
FAX: 127-524-1299

**LOFTED BARN END & SIDE WALL FRAMING**

91-81-7.



Date 6/24/13 Plan No. 495-049  
 Approved By R Bullock  
 Richard L. Bullock  
 Modular Building Trans Examiner Florida Certificate SAFC 0023

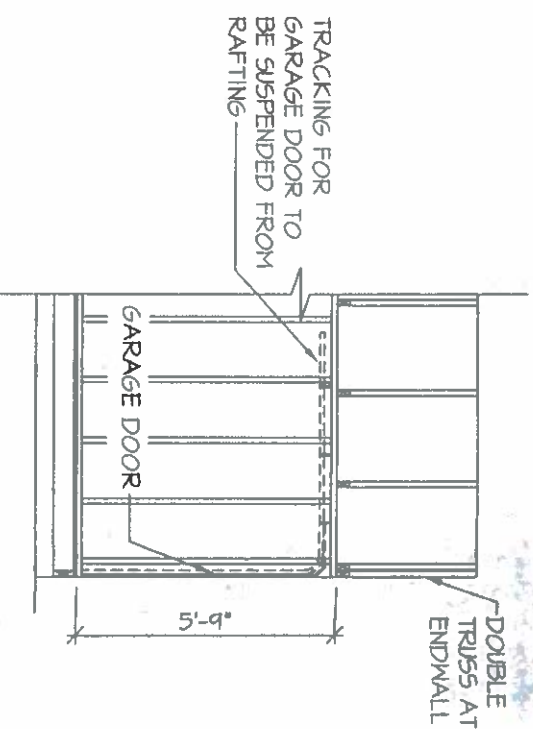
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DOCUMENT

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13 OF 24



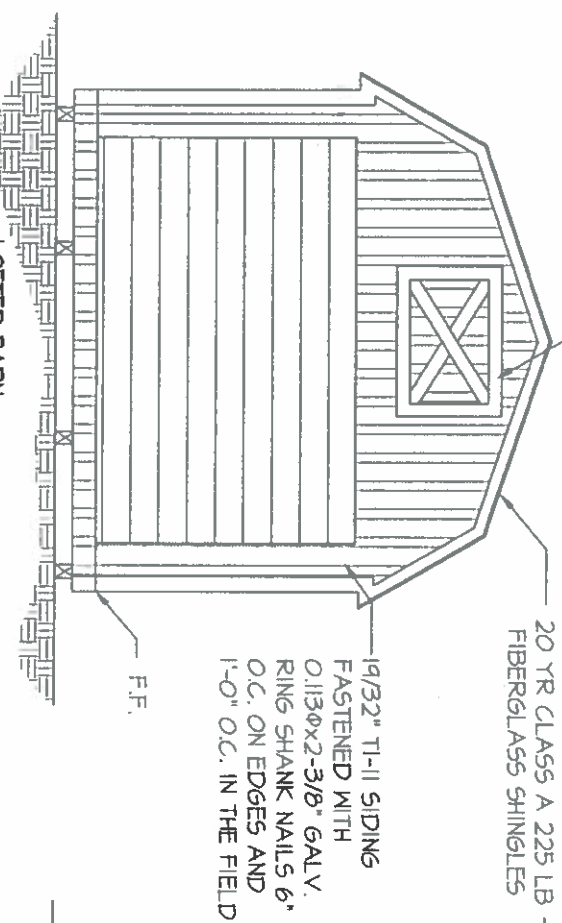
## A circular professional engineer seal for the State of Florida. The outer ring contains the text "FRED S. CARDWELL" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The inner circle contains the text "STATE OF FLORIDA" on the left and "LICENSE" on the right, with "No 15607" in the center. The seal is blue and white.



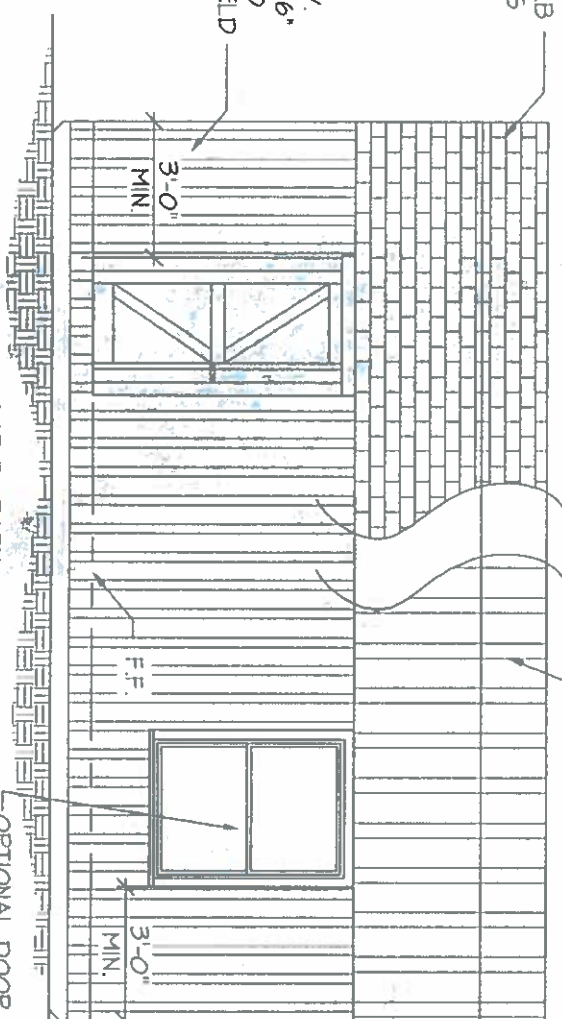
3  
A-B

GARAGE DOOR  
DETAIL  
SCALE: 1/4" = 1'-0"

REFER TO DETAIL 3/A-7  
FOR DECORATIVE FRONT



WITH 4" DOOR OPTION  
ELEVATION  
SCALE: 1/4" = 1'-0"  
2  
A-8



1  
A-B  
ELEVATION  
WITH a' DOOR OPTION  
SCALE: 1/4" = 1'-0"

EXAMPLE DRAWING IS OF A 20' LENGTH UNIT

# THE OAKS OF EMILY

**ALABAMA# 14464**  
**GEORGIA# 14241**  
**FLORIDA# 15607**  
**INDIANA# 20338**  
**LOUISIANA# 20548**  
**MISSISSIPPI# 8425**  
**N. CAROLINA# 11106**  
**TEXAS# 54100**

**1000 SOUTH BELCHER ROAD**  
**BLDG-A / UNIT #1 LARGO,**  
**FLORIDA 33711**  
**VOICE: 127-524-1905**  
**FAX: 127-524-1294**

**COOK PORTABLE WAREHOUSES**  
BARN STEEL BUILDING STATE OF CALIFORNIA

100 DOUGLAS STREET  
VALDOSTA, GA 31601  
PHONE: 1-229-241-8805

**LOFTED BARN ELEVATIONS W/ 9' DOOR**

THIS DRAWING IS NOT VALID  
UNLESS SIGNED IN PURPLE INK.

6-18-10

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"APPROVED"  
DOCUMENT

Date 6/24/10 Plan No. 455-049  
Approved By R. Bussack

**Richard L. Bullock**  
Modular Building Plans Examiner Florida Certificate 8842-005

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THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE W/ 2009 SUPPLEMENTS FOR A THREE SECOND GUST OF 150 MPH.

SHEET

$$A = \frac{1}{2}$$

14 OF 24



Issued 6/24/10 Plan No. 495-049  
 Approved By R. Bullock  
 Richard L. Bullock  
 Modular Building Plans Examiner Florida Certificate SBP 003

Date 6/24/10 Plan No. 495-049  
 Approved By R. Bullock  
 Richard L. Bullock

**Model Building Plans Examiner Florida Certificate SBP 003**

[illegible]

EXAMPLE 15 OF A 7'-11" BUILDING



# THE CARROLL TOWNSHIP

# COOK PORTABLE WAREHOUSES

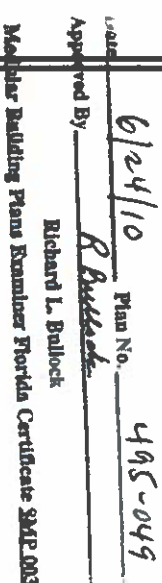
THIS DRAWING IS NOT VALID  
UNLESS SIGNED IN PURPLE INK.

SHEET

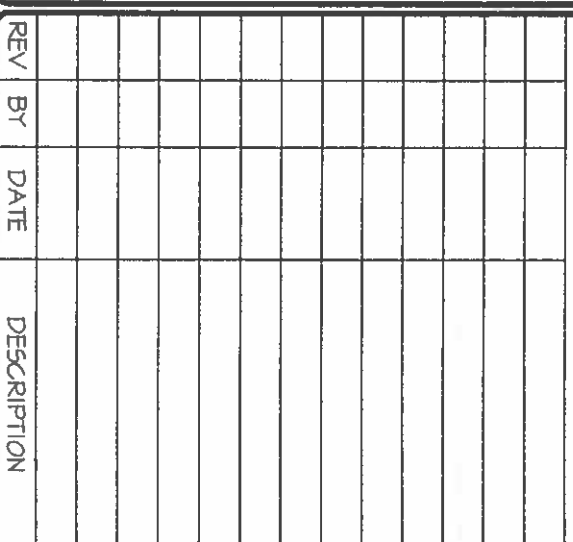
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15 OF 24





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"APPROVED"  
DOCUMENT



THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE W/ 2004 SUPPLEMENTS FOR A THREE SECOND GUST OF 150 MPH.

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UNLESS SIGNED IN PURPLE INK

6-18-10 John Cardinal

16 OF 24

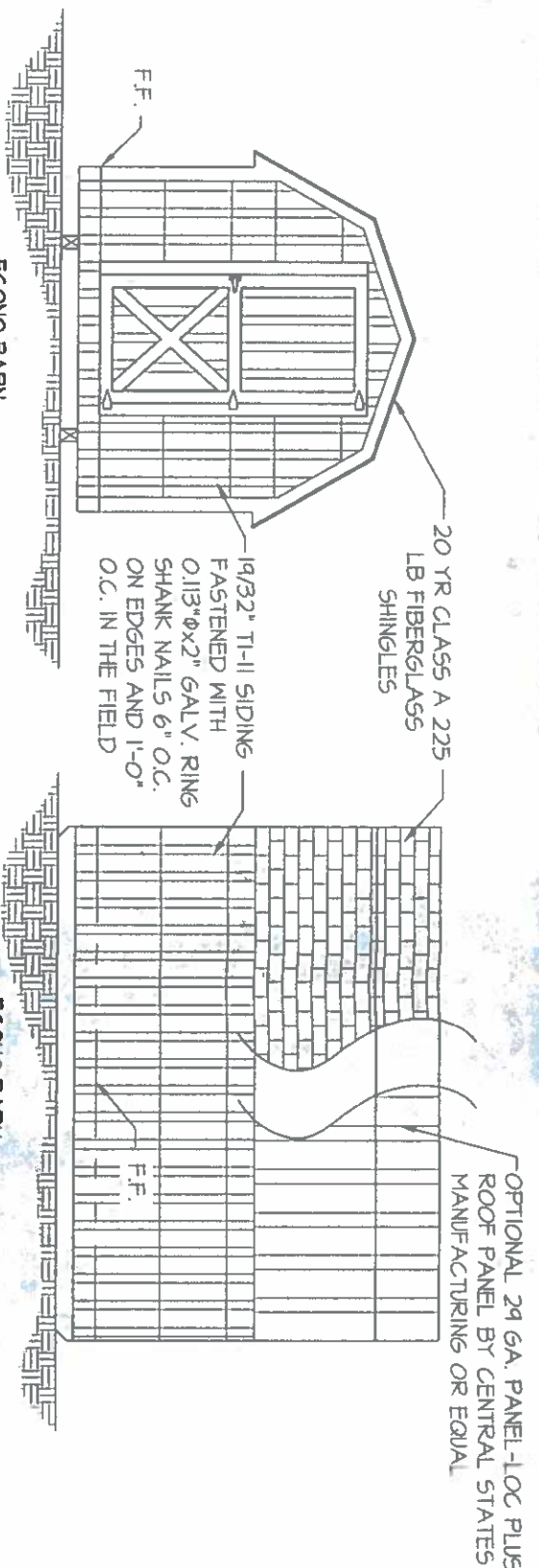


AREA FOR APPROVAL STAMPS

Date: 6/24/00 Plan No. 495-049  
Approved By: R. Bullock  
Richard L. Bullock

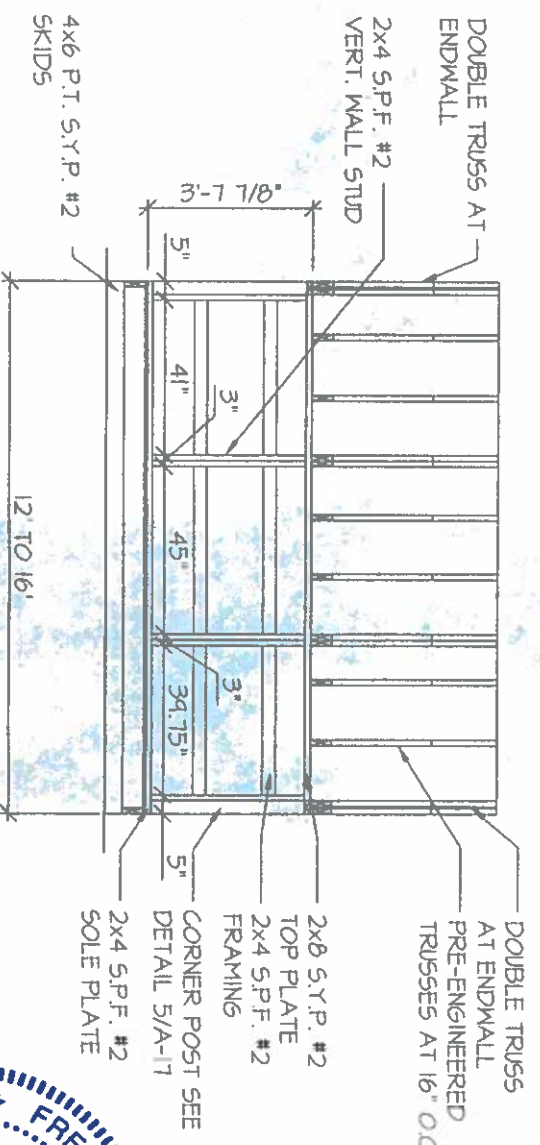
Modular Building Plans Examiner Florida Certificate 3417

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"APPROVED"  
DOCUMENT



EXAMPLE 15 OF A 7'-11\"/>

EXAMPLE 15 OF A 12'-0\"/>



ECONO BARN SIDEWALL DETAIL 6 SCALE: 1/4\"/>



THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE W/ 2004 SUPPLEMENTS FOR A THREE SECOND GUST OF 150 MPH.

FRED S. CARDWELL, P.E.

ALABAMA# 14469  
GEORGIA# 4241  
FLORIDA# 15607  
INDIANA# 20338  
LOUISIANA# 20548  
MISSISSIPPI# 8425  
N. CAROLINA# 11108  
TEXAS# 54100  
1000 SOUTH BELCHER ROAD  
BLDG-A / UNIT #11 LARGO,  
FLORIDA 33771  
VOICE: 727-524-1905  
FAX: 727-524-1299

COOK PORTABLE WAREHOUSES  
BARN SHED PLANS 150 MPH STATE OF FLORIDA  
100 DOUGLAS STREET  
VALDOSTA, GA 31601  
PHONE: 1-229-241-8805

ECONO BARN ELEVATIONS

THIS DRAWING IS NOT VALID  
UNLESS SIGNED IN PURPLE INK.

*Fred S. Cardwell*  
C-18-10

DATE:	6/18/10
DRAWN BY:	JDA
CHECKED BY:	FSC
SCALE:	AS NOTED
NO. NO:	445-049

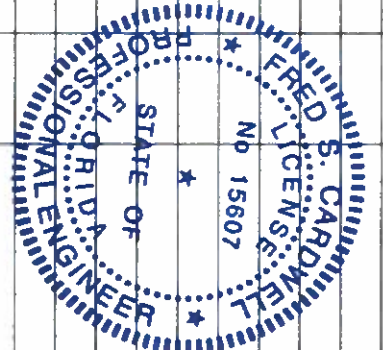
SHEET  
A-15  
17 OF 24



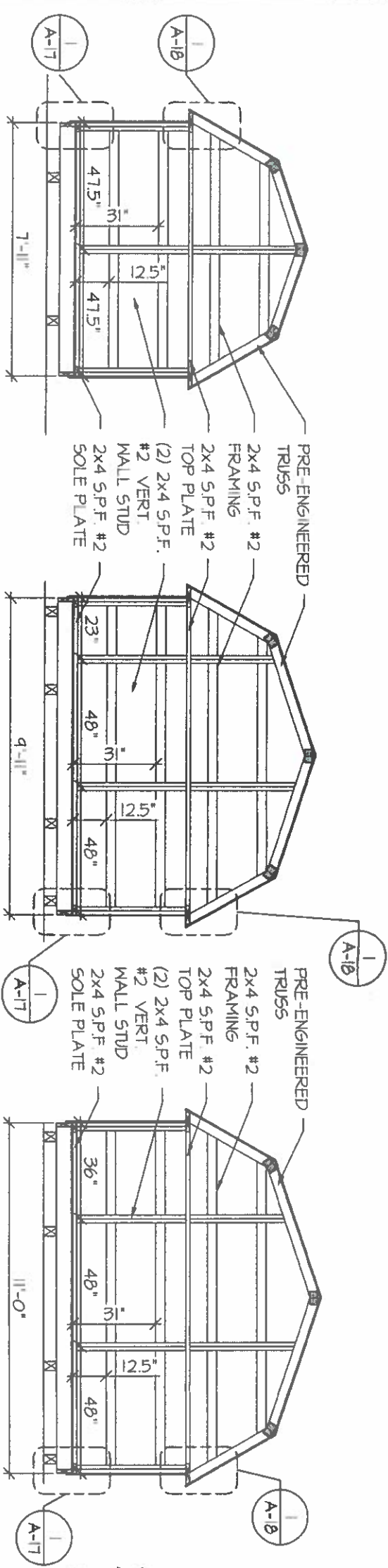
AREA FOR APPROVAL STAMPS

Approved By: Richard L. Bullock Plan No. 495-049  
 Member Building Plans Examiner Florida Certificate 2002 003

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 "APPROVED"  
 DOCUMENT



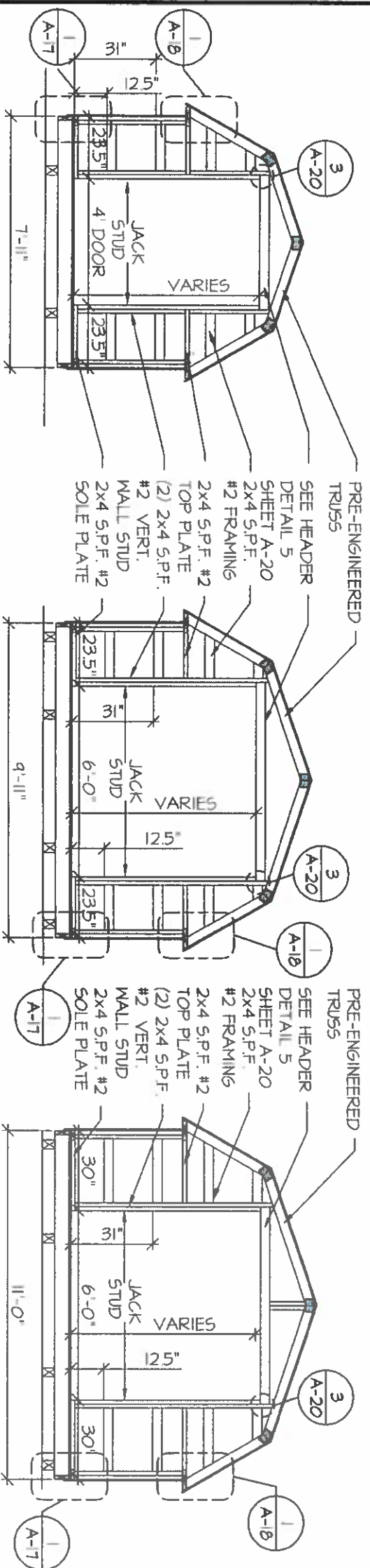
REV	BY	DATE	DESCRIPTION



7'-11" ECONO ENDWALL  
 WITH NO OPENING  
**DETAIL**  
 6  
 A-4 SCALE: 1/4" = 1'-0"

9'-11" ECONO BARN ENDWALL  
 WITH NO OPENING  
**DETAIL**  
 5  
 A-4 SCALE: 1/4" = 1'-0"

11'-0" ECONO BARN ENDWALL  
 WITH NO OPENING  
**DETAIL**  
 4  
 A-4 SCALE: 1/4" = 1'-0"



7'-11" ECONO BARN ENDWALL  
 WITH 4 DOOR OPENING  
**DETAIL**  
 3  
 A-4 SCALE: 1/4" = 1'-0"

9'-11" ECONO BARN ENDWALL  
 WITH 6 DOOR OPENING  
**DETAIL**  
 2  
 A-4 SCALE: 1/4" = 1'-0"

11'-0" ECONO BARN ENDWALL  
 WITH 6 DOOR OPENING  
**DETAIL**  
 1  
 A-4 SCALE: 1/4" = 1'-0"

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE W 2004 SUPPLEMENTS FOR A THREE SECOND GUST OF 150 MPH.

**FRED S. CARDWELL, P.E.**

ALABAMA# 14469  
 GEORGIA# 14241  
 FLORIDA# 15607  
 INDIANA# 20338  
 LOUISIANA# 20548  
 MISSISSIPPI# 8925  
 N. CAROLINA# 11026  
 TEXAS# 54100

**COOK PORTABLE WAREHOUSES**  
 BARN SHED PLANS 150 MPH STATE OF FLORIDA  
 100 DOUGLAS STREET  
 VALDOSTA, GA 31601  
 PHONE: 1-229-241-8905

**ECONO BARN ENDWALL FRAMING**

THIS DRAWING IS NOT VALID  
 UNLESS SIGNED IN PURPLE INK.

*Richard L. Bullock*  
 6-18-10

DATE:	6/18/10
DRAWN BY:	JDA
CHECKED BY:	FSC
SCALE:	AS NOTED
W.O. NO.:	495-049

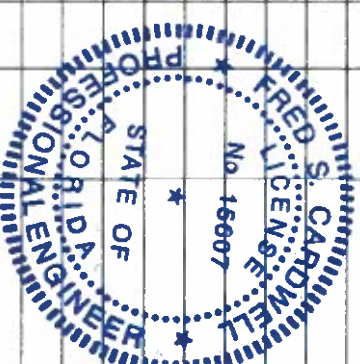
SHEET  
**A-16**  
 18 OF 24



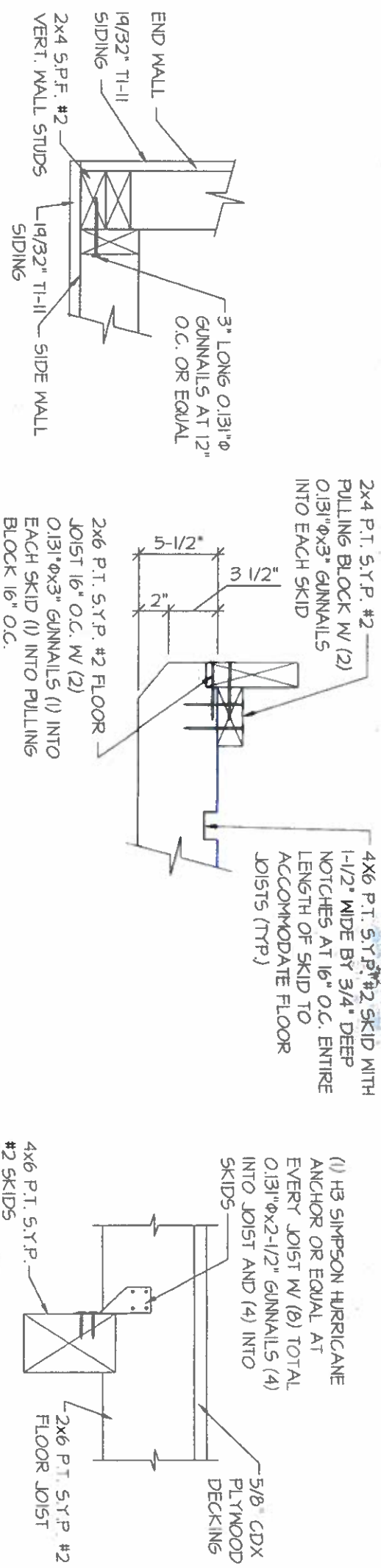
AREA FOR APPROVAL STAMPS

6/24/10 Plan No. 445-049  
 Approved By: *R. Bullock*  
 Richard L. Bullock  
 Member Building Plans Examiner Florida Certificate 9442 003

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 "APPROVED"  
 DOCUMENT



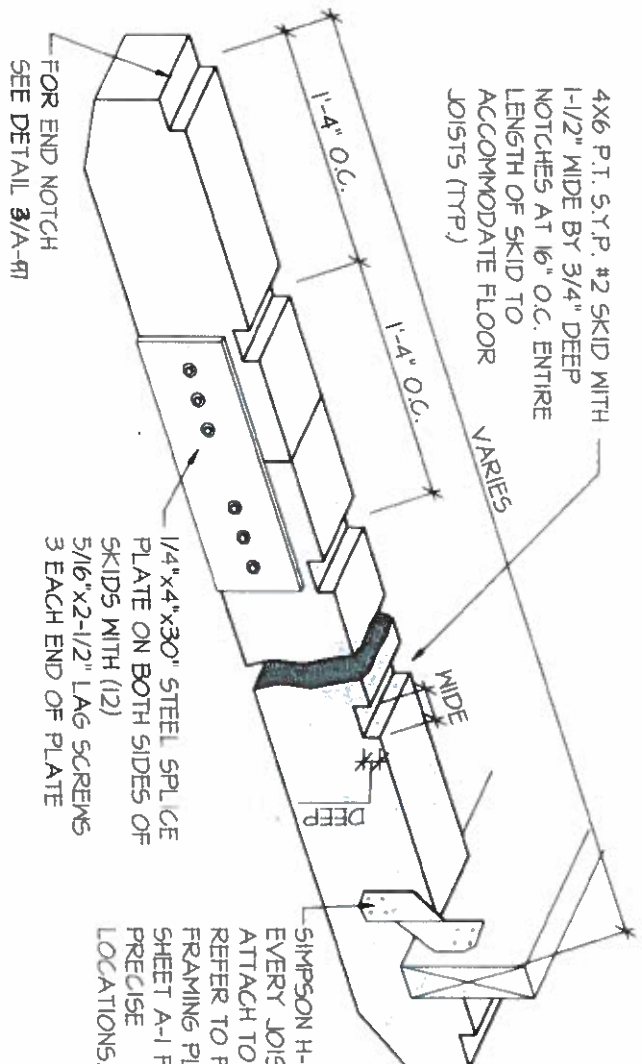
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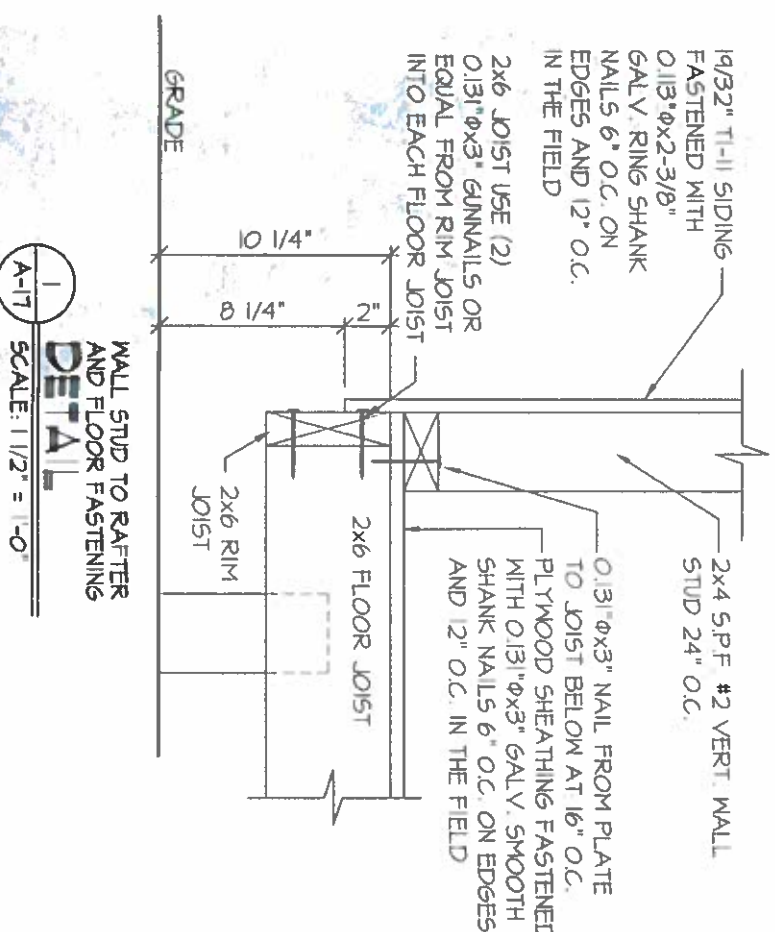
5  
 CORNER CONNECTION  
 DETAIL  
 SCALE: 1/2" = 1'-0"

4  
 END OF SKID  
 DETAIL  
 SCALE: 1/2" = 1'-0"

3  
 SKID CONNECTION  
 DETAIL  
 SCALE: 1/2" = 1'-0"



2  
 ISOMETRIC SKID  
 DETAIL  
 SCALE: 1/2" = 1'-0"



1  
 WALL STUD TO RAFTER  
 AND FLOOR FASTENING  
 DETAIL  
 SCALE: 1/2" = 1'-0"

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE W 2004 SUPPLEMENTS FOR A THREE SECOND GUST OF 150 MPH.

FRED S. CARDWELL, P.E.

ALABAMA# 14469  
 GEORGIA# 14241

FLORIDA# 15607  
 INDIANA# 20339  
 LOUISIANA# 20549  
 MISSISSIPPI# 8425  
 N. CAROLINA# 11108  
 TEXAS# 54100

1000 SOUTH BELCHER ROAD  
 BLDG-A / UNIT #11 LARGO  
 FLORIDA 33771  
 VOICE: 727-524-1405  
 FAX: 727-524-1294

COOK PORTABLE WAREHOUSES

BARN SHED PLANS ISO MPH STATE OF FLORIDA  
 100 DOUGLAS STREET  
 VALDOSTA, GA 31601  
 PHONE: 1-229-241-8805

DETAILS & SECTIONS

THIS DRAWING IS NOT VALID  
 UNLESS SIGNED IN PURPLE INK.

*Fred Cardwell*  
 6-16-10

SHEET

A-17

19 OF 24

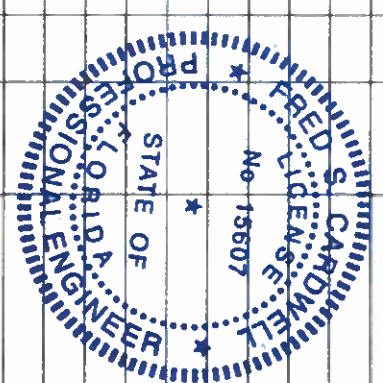
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DRAWN BY:	JDA
CHECKED BY:	FSC
SCALE:	AS NOTED
M.O. NO.:	495-049



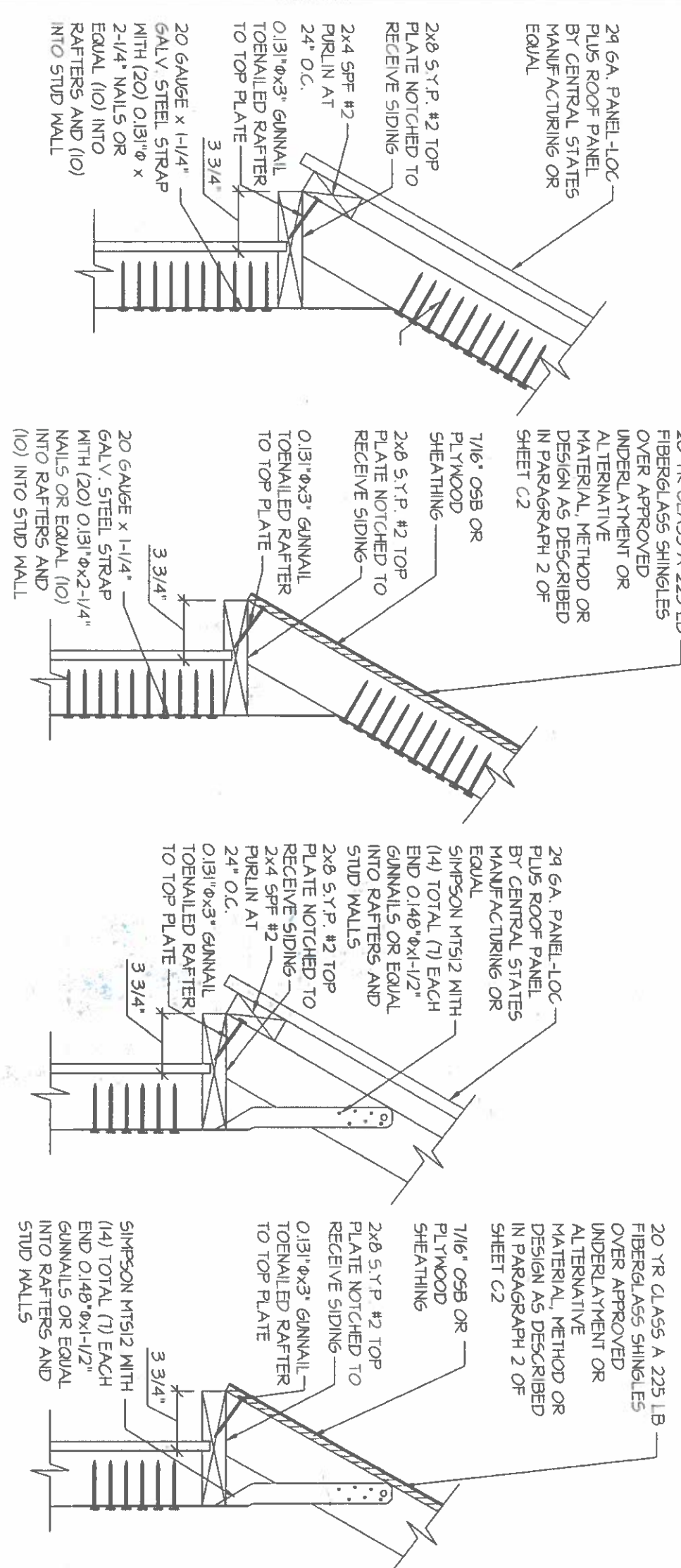
AREA FOR APPROVAL STAMPS

Date: 6/24/10 Plan No. 495-049  
 Approved By: R. Bullock  
 Richard L. Bullock  
 Member Building Plans Examiner Florida Certificate 9997 001

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 "APPROVED"  
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REV	BY	DATE	DESCRIPTION



4  
 A-18 SCALE: 1/2" = 1'-0"  
 ALTERNATE  
 ECONO/STANDARD BARN  
 WALL STUD TO RAFTER  
 FASTENING WITH METAL  
 ROOF DETAIL

3  
 A-18 SCALE: 1/2" = 1'-0"  
 ALTERNATE  
 ECONO/STANDARD BARN  
 WALL STUD TO RAFTER  
 FASTENING WITH METAL  
 ROOF DETAIL

2  
 A-18 SCALE: 1/2" = 1'-0"  
 ECONO/STANDARD BARN  
 WALL STUD TO RAFTER  
 FASTENING WITH METAL  
 ROOF DETAIL

1  
 A-18 SCALE: 1/2" = 1'-0"  
 ECONO/STANDARD BARN  
 WALL STUD TO RAFTER  
 FASTENING WITH METAL  
 ROOF DETAIL

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE W/ 2004 SUPPLEMENTS FOR A THREE SECOND GUST OF 150 MPH.

FRED S. CARDWELL, P.E.

ALABAMA# 14469 FLORIDA# 15607  
 GEORGIA# 14241 INDIANA# 20338  
 LOUISIANA# 20548 MISSISSIPPI# 8425  
 N. CAROLINA# 11108 TEXAS# 54100

COOK PORTABLE WAREHOUSES

BARN SHED PLANS 150 MPH STATE OF FLORIDA  
 100 DOUGLAS STREET  
 VALDOSTA, GA 31601  
 PHONE: 1-229-241-8805

THIS DRAWING IS NOT VALID  
 UNLESS SIGNED IN PURPLE INK.

6-18-10

DATE:	6/18/10
DRAWN BY:	JDA
CHECKED BY:	FSC
SCALE:	AS NOTED
W.O. NO.:	495-049

SHEET  
 A-18  
 20 OF 24



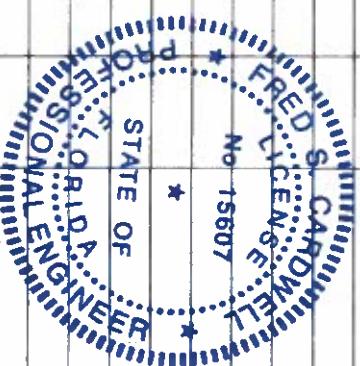
6/24/10 Plan No. 495-0494  
Approved By: R. Bullock  
Richard L. Bullock  
Modular Building Plans Examiner Florida Certificate 92AP 003

Plan No. 4950049  
Approved By: R. Buckle

**Richard L. Bullock**

Molecular Building Plans Examiner Florida Certificate 2842 013

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"APPROVED"  
DOCUMENT**

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THE UNIVERSITY OF CHICAGO

## COOK PORTABLE WAREHOUSES

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UNLESS SIGNED IN PURPLE INK

DATE:	6/18/10
-------	---------

SHEET

ALABAMA# 14460  
GEORGIA# 14241

FLORIDA# 15607 INDIANA# 20338	1000 SOUTH BELCHER ROAD BIDG A / UNIT #11 A B C BIDG A / UNIT #11 A B C
----------------------------------	-------------------------------------------------------------------------------

100 DOUGLAS STREET  
VAL DOSTA SA 31601

PHONE: 1-229-241-8803

21-01-2000

WEEKEND DI:	130
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**10**

MISSISSIPPI# 0923  
N. CAROLINA# 1108  
TEXAS# 5400

VOICE: 727-524-1905  
FAX: 727-524-1229

## LETTER BOARD SECTION

८







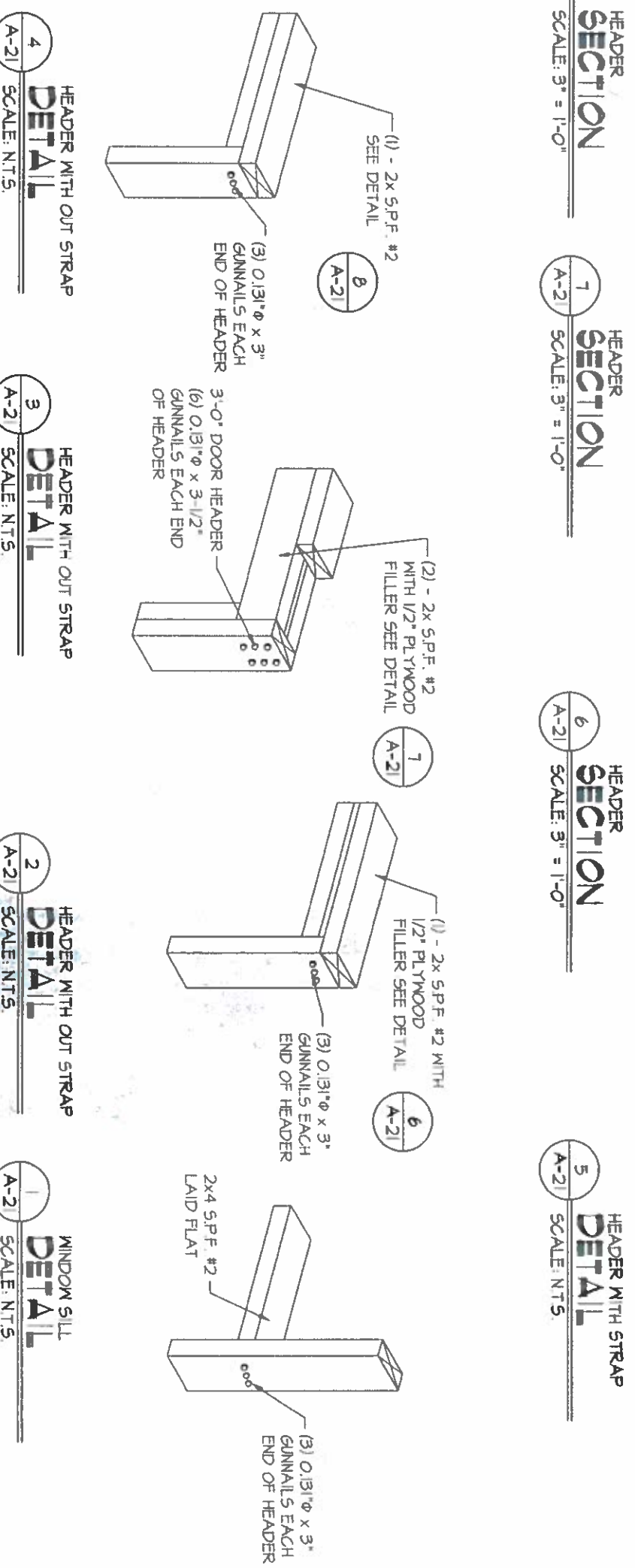
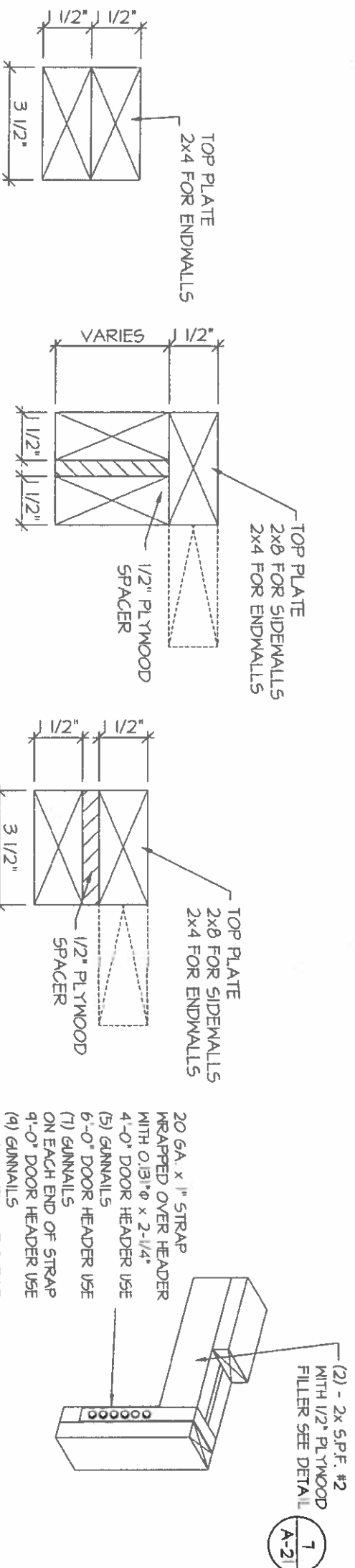
# AREA FOR APPROVAL STAMPS

Plan No. 445-049  
 Approved By: R. Bullock  
 Richard L. Bullock  
 Modular Building Plans Examiner Florida Certificate 3042 003

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 "APPROVED"  
 DOCUMENT



REV	BY	DATE	DESCRIPTION



THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE W/ 2004 SUPPLEMENTS FOR A THREE SECOND GUST OF 150 MPH.

**FRED S. CARDWELL, P.E.**

ALABAMA# 14464  
 GEORGIA# 14241  
 FLORIDA# 15607  
 INDIANA# 20338  
 LOUISIANA# 20548  
 MISSISSIPPI# 8425  
 N. CAROLINA# 11108  
 TEXAS# 54100

**COOK PORTABLE WAREHOUSES**  
 BARN SHED PLANS 150 MPH STATE OF FLORIDA  
 100 DOUGLAS STREET  
 VALDOSTA, GA 3601  
 PHONE: 1-229-241-8005

THIS DRAWING IS NOT VALID  
 UNLESS SIGNED IN PURPLE INK.  
*Fred S. Cardwell*  
 6-18-10

DATE: 6/18/10  
 DRAWN BY: JDA  
 CHECKED BY: FSC  
 SCALE: AS NOTED  
 W.D. NO: 445-049

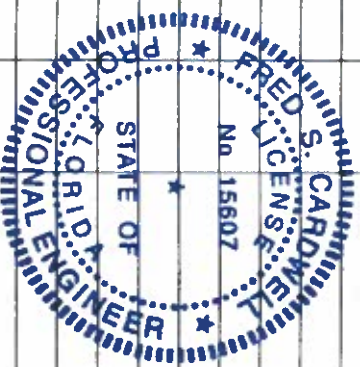
SHEET  
**A-21**  
 23 OF 24



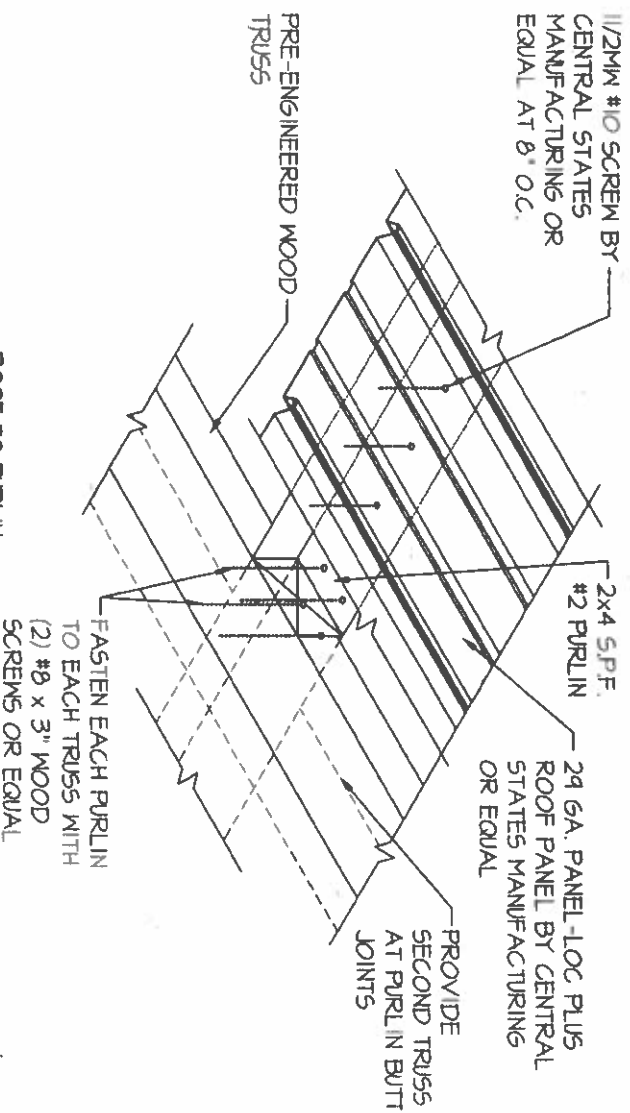
AREA FOR APPROVAL STAMPS

Date: 6/24/10 Plan No. 495-049  
 Approved By: R. Bullock  
 Richard L. Bullock  
 Modular Building Plans Examiner Florida Certificate 9445-003

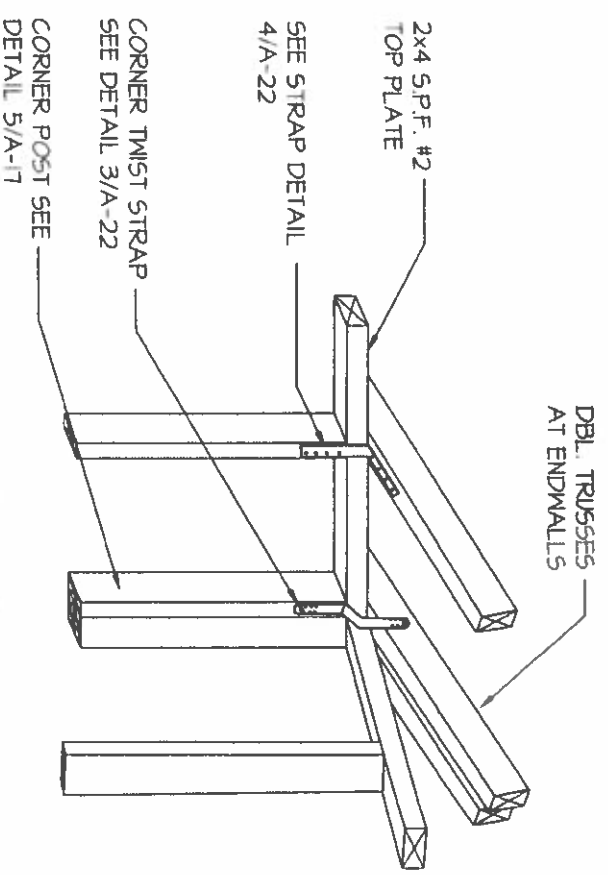
NDI  
 "APPROVED"  
 DOCUMENT



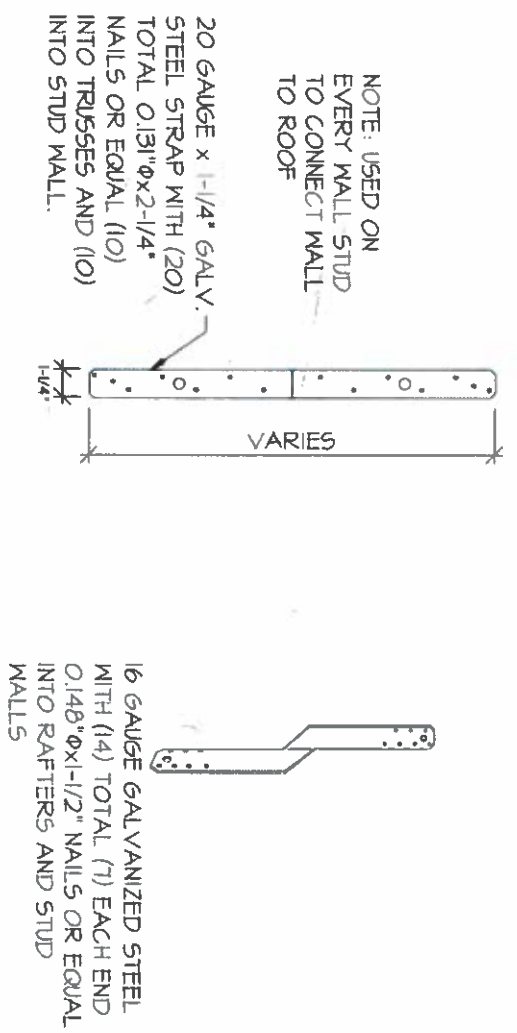
REV	BY	DATE	DESCRIPTION



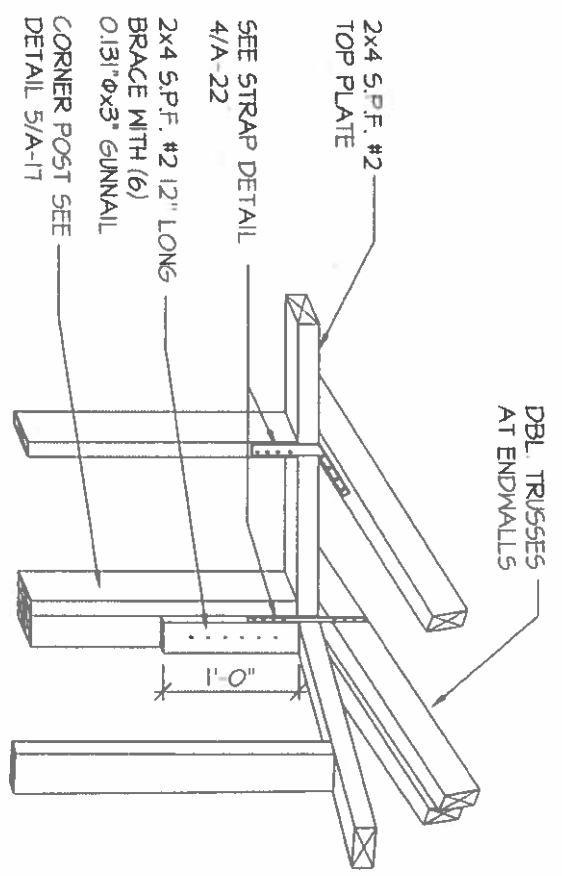
5  
 A-22 SCALE: 1/2" = 1'-0"



2  
 A-22 SCALE: N.T.S.



4  
 A-22 SCALE: 1/2" = 1'-0"



1  
 A-22 SCALE: N.T.S.

THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE W/ 2004 SUPPLEMENTS FOR A THREE SECOND GUST OF 150 MPH.

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 BARN SHED PLANS 150 MPH STATE OF FLORIDA  
 100 DOUGLAS STREET  
 VALDOSTA, GA 39601  
 PHONE: 1-229-241-8905

DETAILS & SECTIONS

THIS DRAWING IS NOT VALID  
 UNLESS SIGNED IN PURPLE INK.

*Fred Cardwell*  
 6-18-10

DATE:	6/18/10
DRAWN BY:	JDA
CHECKED BY:	FSC
SCALE:	AS NOTED
W.O. NO.:	445-049

SHEET  
 A-22  
 24 OF 24