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SEE ATTACHED STRUCTURAL ENGINEERING PACKAGE BY OTHERS FOR ADDITIONAL INFORMATION

PRE-ENGINEERED ROOF AND FLOOR TRUSSES SHALL BE AS COORDINATED WITH AND DESIGNED BY: "ANDERSON TRUSS CO." IN LAKE CITY, FLORIDA, NO SUBSTITUTES

THE DRAWINGS HERE WITHIN COMPLY WITH THE 2010 FLORIDA BUILDING CODE, RESIDENTIAL.

GENERAL NOTES:

- 1) CONSTRUCTIONS BIDS AND CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, AND FEES REQUIRED TO COMPLETE WORK AS DEPICTED AND SPECIFIED WITHIN THESE PLANS.
- 2) ALL WORK SHALL COMPLY WITH THE LATEST VERSION OF THE FLORIDA BUILDING CODE AND ANY APPLICABLE COUNTY OR LOCAL REGULATIONS.
- 3) THE CONTRACTOR SHALL CHECK PLANS AND SHALL NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- 4) WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- 5) ALL MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH CONSTRUCTION DOCUMENTS, MANUFACTURER'S RECOMMENDATIONS, AND IN ACCORDANCE WITH ALL APPLICABLE CODES. IF DISCREPANCIES EXIST, CONSULT ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- 6) CONTRACTOR SHALL OBTAIN ENERGY CALCULATIONS AND HVAC DESIGN FROM APPROPRIATE AND QUALIFIED SUBCONTRACTORS/ENGINEERS AS REQUIRED FOR THE PERMITTING PROCESS. FLORIDA PRODUCT APPROVAL NUMBERS SHALL ALSO BE PROVIDED BY THE CONTRACTOR FOR THE PERMITTING PROCESS UTILIZING THE CONTRACTORS SELECTED PRODUCTS EXCEPT AS SPECIFIED OTHERWISE HERE WITHIN. CONTRACTORS SELECTED PRODUCTS SHALL COMPLY WITH ALL APPLICABLE CODES AND THE REQUIREMENTS SPECIFIED WITHIN THESE CONSTRUCTION DOCUMENTS.
- 7) WITHIN THESE PLANS, THE PHRASES "COORDINATE WITH OWNER AND BUDGET" OR "COORDINATE WITH OWNER" SHALL INDICATE THAT THE CONTRACTOR AND APPLICABLE SUBCONTRACTOR/SUPPLIER SHALL REVIEW ALL APPLICABLE OPTIONS WITH THE OWNER, SUGGEST A RECOMMENDED OPTION BASED ON BUDGET AND CONDITIONS, AND ALLOW THE OWNER TO SELECT A CODE COMPLIANT OPTION WHICH THEY DESIRE. CONTRACTOR SHALL NOT MAKE A SELECTION ON THE OWNERS BEHALF. ALL OPTIONS SELECTED BY OWNER SHALL BE DOCUMENTED IN WRITING AND SIGNED/DATED BY OWNER AND CONTRACTOR.
- 8) SPECIFIED PRODUCTS SHALL BE INSTALLED UNLESS FOLLOWED BY "OR EQUAL". SHOULD CONTRACTOR AND/OR OWNER DESIRE TO UTILIZE "OR EQUAL" PRODUCTS, WRITTEN AUTHORIZATION SHALL BE OBTAINED BY THE CONTRACTOR FROM THE OWNER INDIVIDUALLY APPROVING EACH SUBSTITUTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EQUALNESS OF SUBSTITUTED PRODUCTS AND COMPATIBILITY WITH THE GENERAL DESIGN, ALL APPLICABLE CODES, AND OTHER PRODUCTS BEING INSTALLED. SHOULD THE CONTRACTOR AND/OR OWNER UTILIZE THE RIGHT TO SUBSTITUTE PRODUCTS, LIABILITY SHALL TRANSFER TO THE CONTRACTOR FOR ANY AND ALL MATTERS RELATING TO SUCH SUBSTITUTIONS UNLESS ARCHITECT IS HIRED TO EVALUATE SUCH PRODUCTS AND PROVIDES WRITTEN APPROVAL OF PRODUCT AS "EQUAL".



PROJECT LOCATION

LOCATION MAP

SCALE: NOT TO SCALE

BOARDMAN
RESIDENCE

LAKE CITY,
FLORIDA

SITE NOTES:

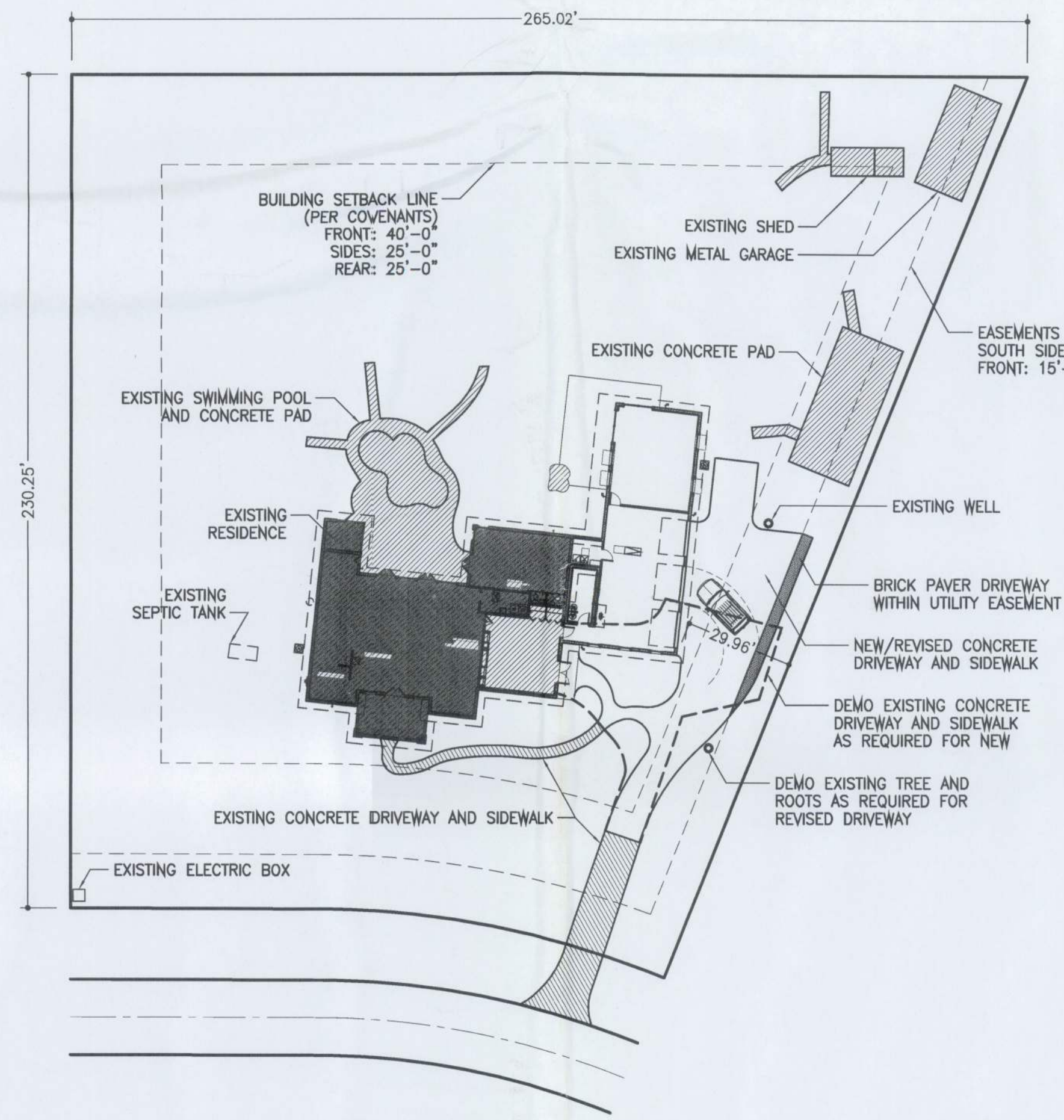
- 1) SITE PLAN BASED ON SURVEY PREPARED BY BRITT SURVEYING AND ASSOCIATES, INC. DATED: 11/16/2009.
- 2) CONTRACTOR SHALL PROVIDE ADEQUATE FILL AND GRADE SURROUNDING TOPOGRAPHY AS REQUIRED TO ALLOW FOR PROPER DRAINAGE OF WATER FROM HOME AND TO PREVENT POOLING AND EROSION.
- 3) W.E.B. DESIGNS STRONGLY RECOMMENDS THAT A SOIL TEST BE PERFORMED ON SITE PRIOR TO OBTAINING STRUCTURAL ENGINEERING SERVICES TO DETERMINE THE SOIL CLASSIFICATION, SOIL DENSITY, SOIL BEARING CAPACITY, AND THE DEPTH OF THE WATER TABLE AT THE LOCATION(S) OF CONSTRUCTION ACTIVITY. SOIL TEST SHALL BE PERFORMED BY A LICENSED GEO-TECHNICAL ENGINEER AND SHALL PROVIDE INSTRUCTIONS FOR SITE PREPARATION SHOULD SPECIAL PROCEDURES BE REQUIRED. SOIL TEST RESULTS SHALL BE PROVIDED TO THE PROJECTS LICENSED STRUCTURAL ENGINEER FOR REVIEW.
- 4) W.E.B. DESIGNS RECOMMENDS THAT TESTS BE PERFORMED TO DETERMINE THE ELEVATION OF THE WATER TABLE ON SITE AND ANY UNDERGROUND WATER MOVEMENT AND THAT ALL NECESSARY PRECAUTIONS ARE TAKEN TO ELIMINATE THE POTENTIAL EXISTENCE OF HYDROSTATIC PRESSURE IF NECESSARY.
- 5) ALL EXTERIOR CONCRETE SHALL RECEIVE 1" DEEP SAWCUT CONTROL JOINTS AT REGULAR INTERVALS TO MAINTAIN A MAXIMUM AREA OF 100 SQ.FT. BETWEEN JOINTS. AREAS SHALL HAVE APPROXIMATELY EQUAL LENGTH AND WIDTH WHEREVER POSSIBLE.

PROJECT LOCATION:

ADDRESS: 355 SW SWEETBREEZE DRIVE
COUNTY: COLUMBIA
PARCEL #: 33-3S-16-02434-003
SECTION/TOWNSHIP/RANGE: S:33, T:03, R:16E
PLAT BOOK/PAGE: PB:05, PG: 74 & 74A
SUBDIVISION: CYPRESS LAKE, LOT: 03



NOTE: REVISE/REPLACE FENCE, LANDSCAPING SPRINKLER SYSTEM, AND WATER SUPPLY LINE FROM WELL AS REQUIRED. COORDINATE WITH OWNER.



SITE PLAN

SCALE: 1/32"=1'-0"

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**CONSTRUCTION
DOCUMENTS FOR
CONTRACTOR'S
STANDARD
CONSTRUCTION**

PROJECT NO.: 13008
DATE: FEBRUARY 06, 2014
REVISION DATES:

CONTENTS OF SET,
LOCATION MAP,
SITE PLAN

A0.00

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PROJECT NO.:	13008
DATE:	FEBRUARY 06, 2014
REVISION DATES:	

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PROJECT 

SCALE: 3/16"=1'-0"

INTERIOR FINISH NOTES:

- 1) COORDINATE SELECTION OF INTERIOR FLOORING WITH OWNER AND BUDGET.
 - A) THEATER FLOORING SHALL MATCH WOOD FLOORING IN EXISTING HOME, "ARMSTRONG HARDWOOD CHERRY ROBBING K06A04-2" PER OWNER.
 - B) MULTIPURPOSE ROOM FLOORING SHALL BE BAMBOO PER OWNER SELECTION, COORDINATE SELECTION WITH OWNER.
- 2) 4" BASEBOARDS THROUGHOUT
- 3) DOORS AND WINDOWS SHALL HAVE PAINTED WOOD WRAPPED HEAD AND JAMBS (FULLY CASED) TO MATCH EXISTING. WINDOWS SHALL HAVE PAINTED WOOD SILLS TO MATCH EXISTING.
- 4) ALL/ANY FLOOR TILE INSTALLED SHALL BE INSTALLED OVER A FLUID OR SHEET APPLIED CRACK ISOLATION MEMBRANE.
- 5) PAINTS AND COATINGS: ALL PAINT SHALL BE "SHERWIN WILLIAMS" USE "EMERALD" PAINT OR EQUIVALENT AS RECOMMENDED BY MANUFACTURER FOR EACH SUBSTRATE.
 - A) ALL PAINTS AND COATINGS SHALL BE THOSE RECOMMENDED BY MANUFACTURER FOR EACH SUBSTRATE.
 - B) PREPARE EACH SURFACE PER MANUFACTURER'S RECOMMENDATIONS TO RECEIVE FINAL PAINTS AND COATINGS.
 - C) PAINT APPLIED IN BATHROOMS SHALL HAVE ADDITIVE(S) FOR MILDEW RESISTANCE.
 - D) COORDINATE COLOR(S) AND GLOSS RANGE WITH OWNER.
 - E) CONTRACTOR'S BID SHALL ALLOW FOR OWNER TO SELECT A MIN. OF 3 INTERIOR PAINT COLORS.
- 6) ALL WALL TILE BACKER BOARD AS APPLICABLE SHALL BE 1/2" "HARDIEBACKER".
- 7) INSTALL A MIN. OF 5 STACKED ADJUSTABLE SHELVES IN NEW GARAGE CLOSET, STORM CLOSET, AND THEATER CLOSETS WHERE SHOWN ON PLAN WITH VERTICAL SUPPORTS AT EACH WALL STUD OR AT 16" O.C. OVER EXPOSED/PAINTED CONCRETE BLOCK.
- 8) VAPOR IMPERMEABLE FINISHES SHALL NOT BE INSTALLED EXCEPT AS SPECIFIED WITHIN THESE PLANS.

SURPLUS MATERIALS:

- CONTRACTOR SHALL PROVIDE OWNER WITH SURPLUS "ATTIC STOCK" FOR THE FOLLOWING PRODUCTS IN THE QUANTITIES LISTED. ATTIC STOCK SHALL BE IN NEW CONDITION AND PACKAGED TO PREVENT DAMAGE.
- 1) MIN. (5) SQUARE FEET OF EACH TYPE AND COLOR OF FLOOR AND WALL TILE.
 - 2) MIN. (10) SQUARE FEET OF EACH TYPE AND COLOR OF WOOD FLOORING.
 - 3) MIN. (1) ONE OF EACH TYPE AND STYLE OF CABINETRY DOOR HANDLE AND DRAWER PULL.
 - 4) MIN. (1) ONE FULL GALLON OF EACH TYPE AND COLOR OF PAINT LABELED WITH NON FADING INK TO INDICATE THE COLOR NAME, COLOR NUMBER, GLOSS RANGE, AND MANUFACTURER.

HVAC NOTES:

- 1) DISCONNECT EXISTING MASTER BEDROOM, MASTER BATH, AND MASTER CLOSET FROM EXISTING HVAC SYSTEM. PATCH EXISTING DUCTWORK AS REQUIRED. THESE SPACES SHALL BE CONDITIONED BY NEW HVAC SYSTEM AS NOTED.
- 2) NEW HVAC EQUIPMENT SHALL HAVE A MINIMUM SEER RATING OF 15. COORDINATE OPTIONAL UPGRADE TO HIGHER SEER RATING WITH OWNER AND BUDGET.
- 3) HVAC CONTRACTOR TO REVIEW WITH OWNER OPTIONS FOR FRESH AIR INTAKE.
- 4) HEATING AND COOLING SHALL BOTH BE PROVIDED BY USE OF A HEAT PUMP.
- 5) ZONING IS REQUESTED TO BE AS FOLLOWS, EACH ZONE SHALL HAVE A DAMPER FOR BOTH SUPPLY AND RETURN AIR.
 - ZONE 1): EXISTING MASTER BED, BATH, AND CLOSET
 - ZONE 2): THEATER
 - ZONE 3): MULTIPURPOSE ROOM
- 6) PROVIDE DIGITAL PROGRAMMABLE THERMOSTATS WITH TOUCH SCREEN OPERATION FOR ALL NEW CONDITIONED ZONES. INSTALLED LOCATION OF THERMOSTATS SHALL BE DISCRETE AND LOCATED TO AVOID CONFLICTS WITH FURNISHINGS AND INTENDED USE OF THE ROOMS IN WHICH THEY ARE LOCATED, SEE FURNITURE PLAN.
- 7) PROVIDE 4" PLEATED AIR FILTER UNLESS REQUESTED OTHERWISE BY OWNER.
- 8) DUCTWORK SHALL BE RIGID BOARD DUCT INSULATION WHEREVER POSSIBLE, THE USE OF FLEX DUCT SHALL BE MINIMIZED.
- 9) HVAC SYSTEM SHALL UTILIZE SUPPLY AND RETURN DUCTWORK TO ALL ROOMS.
 - A) "JUMP OVER" DUCTS, THROUGH WALL TRANSFER GRILLS, AND UNDERCUT DOORS SHALL NOT BE UTILIZED AS A MEANS FOR RETURN AIR.
 - B) EXCEPTIONS: SMALL CLOSETS, KITCHENS, AND BATHROOMS. KITCHENS AND BATHROOMS SHALL HAVE SUPPLY AIR ONLY WITH EXHAUST AS SHOWN ON E1.10.
- 10) SUPPLY AIR REGISTERS SHALL BE PRE-FINISHED ALUMINUM WITH GANG OPERATED DAMPER AND INDIVIDUALLY ADJUSTABLE FRONT BLADES, "KRUEGER MODEL 5800" OR EQUAL. RETURN AIR GRILLS SHALL BE PRE-FINISHED ALUMINUM WITH AN ESTHETICALLY SIMILAR DESIGN.
- 12) DUCTS IN GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO.26 GAGE SHEET STEEL, 1 INCH MIN. RIGID NONMETALLIC CLASS 0 OR CLASS 1 DUCT BOARD, OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE PER FBC 2010 R302.5.

OWNER'S MANUAL:

- CONTRACTOR SHALL PROVIDE OWNER AT COMPLETION OF CONSTRUCTION ONE COPY OF AN OPERATION AND MAINTENANCE MANUAL (OWNERS MANUAL) CONTAINING THE FOLLOWING INFORMATION:
- 1) A SPREADSHEET LISTING OF ALL CONTRACTOR INSTALLED OR APPLIED INTERIOR AND EXTERIOR FINISHES, FIXTURES, EQUIPMENT, AND APPLIANCES. LIST SHALL INCLUDE MANUFACTURER'S NAME, MODEL NUMBER, COLOR, ANY PRODUCT OPTIONS SELECTED, AND ANY GENERAL SPECIFICATIONS THAT WOULD BE REQUIRED TO ORDER ADDITIONAL AND/OR REPLACEMENTS OF THE SAME PRODUCT.
 - 2) A COPY OF THE MANUFACTURER'S OWNER'S MANUAL AND INSTALLATION INSTRUCTIONS FOR ALL CONTRACTOR INSTALLED OR APPLIED PRODUCTS.
 - 3) A LISTING OF ALL SUBCONTRACTORS AND INSTALLERS FOR ALL WORK INCLUDING BUSINESS NAME, PHONE NUMBER, AND ADDRESS.
 - 4) A COPY OF THE MANUFACTURER'S AND INSTALLER'S WARRANTY INFORMATION FOR ALL CONTRACTOR INSTALLED OR APPLIED INTERIOR AND EXTERIOR PRODUCTS.
 - 5) OWNER'S MANUAL SHALL BE ORGANIZED IN A LOGICAL MANNER AND CONTAIN A TABLE OF CONTENTS FOR QUICK AND EASY UTILIZATION BY OWNER. OWNER'S MANUAL SHALL BE ASSEMBLED IN 3 RING BINDER(S) AND/OR IN A DIGITAL FORMAT.

OPENING NOTES:

OPENING DIMENSIONS ARE FOR GENERAL DESIGN ONLY, COORDINATE EXACT ROUGH OPENING SIZE WITH MANUFACTURER'S PRODUCT DATA.

FRAMING NOTES:

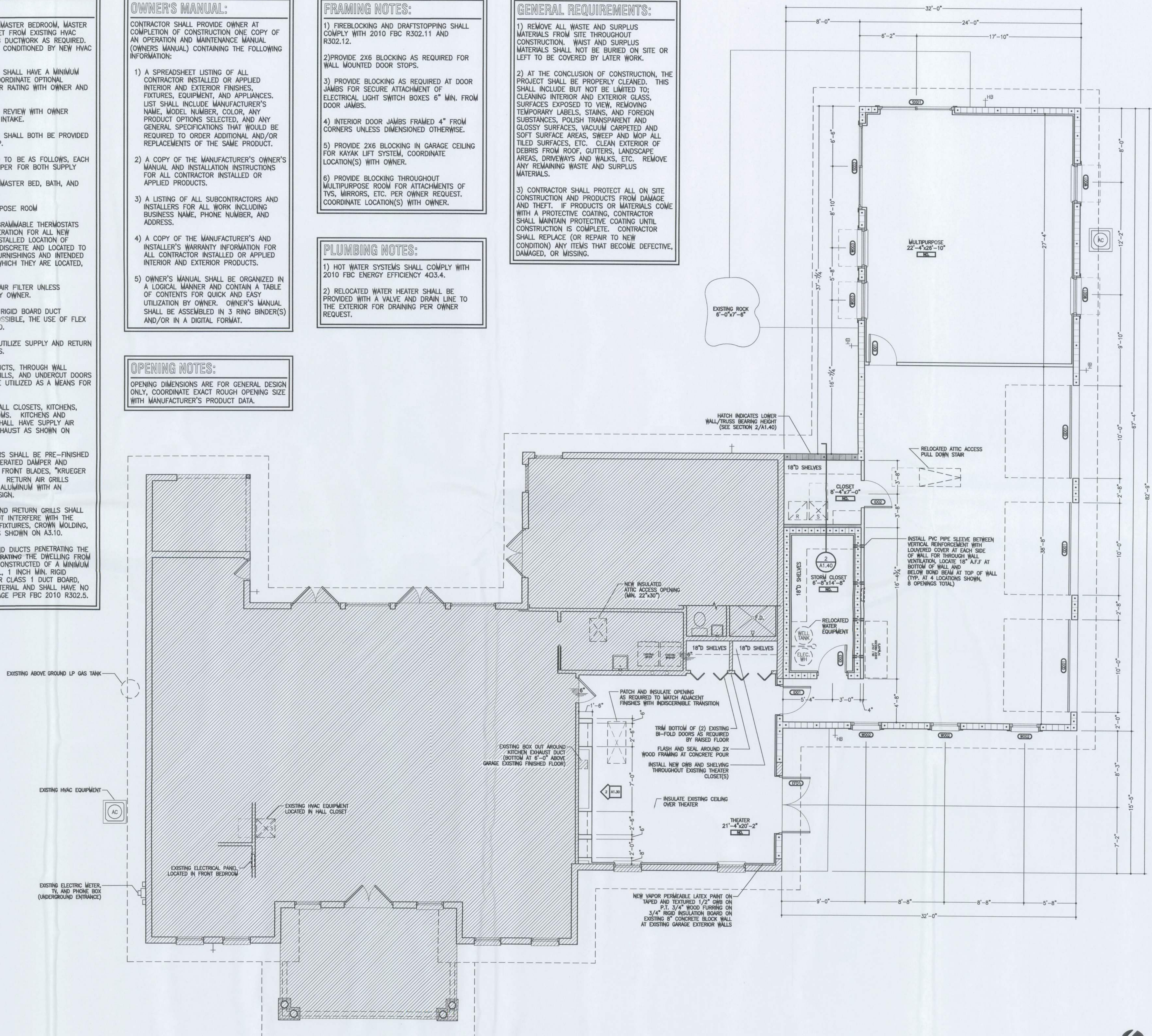
- 1) FIREBLOCKING AND DRAFTSTOPPING SHALL COMPLY WITH 2010 FBC R302.11 AND R302.12.
- 2) PROVIDE 2X6 BLOCKING AS REQUIRED FOR WALL MOUNTED DOOR STOPS.
- 3) PROVIDE BLOCKING AS REQUIRED AT DOOR JAMBS FOR SECURE ATTACHMENT OF ELECTRICAL LIGHT SWITCH BOXES 6" MIN. FROM DOOR JAMBS.
- 4) INTERIOR DOOR JAMBS FRAMED 4" FROM CORNERS UNLESS DIMENSIONED OTHERWISE.
- 5) PROVIDE 2X6 BLOCKING IN GARAGE CEILING FOR KAYAK LIFT SYSTEM, COORDINATE LOCATION(S) WITH OWNER.
- 6) PROVIDE BLOCKING THROUGHOUT MULTIPURPOSE ROOM FOR ATTACHMENTS OF TVS, MIRRORS, ETC. PER OWNER REQUEST. COORDINATE LOCATION(S) WITH OWNER.

PLUMBING NOTES:

- 1) HOT WATER SYSTEMS SHALL COMPLY WITH 2010 FBC ENERGY EFFICIENCY 403.4.
- 2) RELOCATED WATER HEATER SHALL BE PROVIDED WITH A VALVE AND DRAIN LINE TO THE EXTERIOR FOR DRAINING PER OWNER REQUEST.

GENERAL REQUIREMENTS:

- 1) REMOVE ALL WASTE AND SURPLUS MATERIALS FROM SITE THROUGHOUT CONSTRUCTION. WASTE AND SURPLUS MATERIALS SHALL NOT BE BURIED ON SITE OR LEFT TO BE COVERED BY LATER WORK.
- 2) AT THE CONCLUSION OF CONSTRUCTION, THE PROJECT SHALL BE PROPERLY CLEANED. THIS SHALL INCLUDE BUT NOT BE LIMITED TO: CLEANING INTERIOR AND EXTERIOR GLASS, SURFACES EXPOSED TO VIEW, REMOVING TEMPORARY LABELS, STAINS, AND FOREIGN SUBSTANCES, POLISH TRANSPARENT AND GLOSSY SURFACES, VACUUM CARPETED AND SOFT SURFACE AREAS, SWEEP AND MOP ALL TILED SURFACES, ETC. CLEAN EXTERIOR OF DEBRIS FROM ROOF, GUTTERS, LANDSCAPE AREAS, DRIVEWAYS AND WALKS, ETC. REMOVE ANY REMAINING WASTE AND SURPLUS MATERIALS.
- 3) CONTRACTOR SHALL PROTECT ALL ON SITE CONSTRUCTION AND PRODUCTS FROM DAMAGE AND THEFT. IF PRODUCTS OR MATERIALS COME WITH A PROTECTIVE COATING, CONTRACTOR SHALL MAINTAIN PROTECTIVE COATING UNTIL CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL REPLACE (OR REPAIR TO NEW CONDITION) ANY ITEMS THAT BECOME DEFECTIVE, DAMAGED, OR MISSING.



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LAKE CITY, FLORIDA

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CONSTRUCTION DOCUMENTS FOR CONTRACTOR'S STANDARD CONSTRUCTION

PROJECT NO.: 13008

DATE: FEBRUARY 06, 2014

REVISION DATES:

DIMENSIONED FLOOR PLAN,
GENERAL NOTES

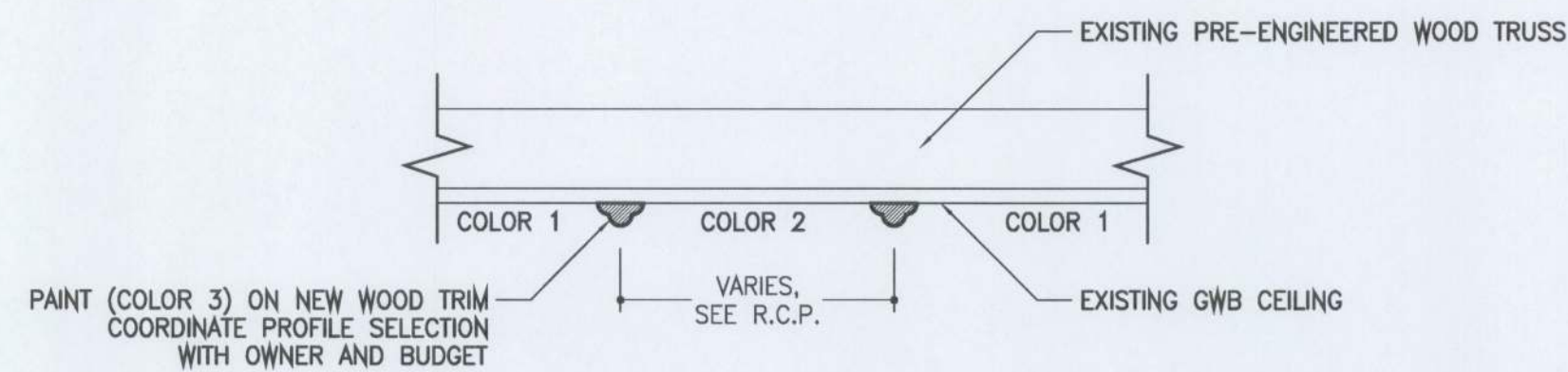
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PROJECT
SCALE: 3/16"=1'-0"

DIMENSIONED FLOOR PLAN

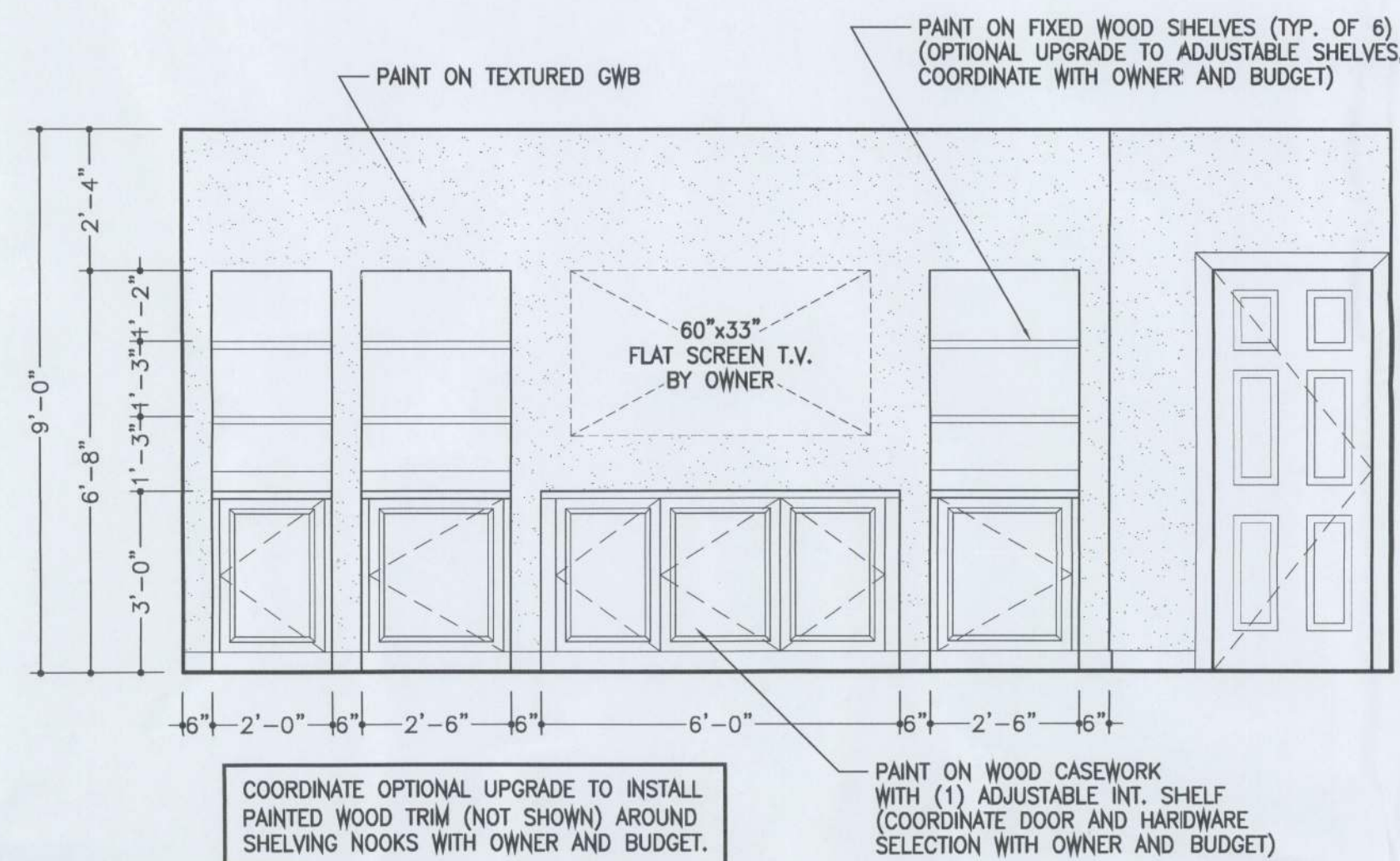
0917.13008

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THEATER CEILING DETAIL

SCALE: 1 1/2"=1'-0" A1.30



THEATER INTERIOR ELEVATION

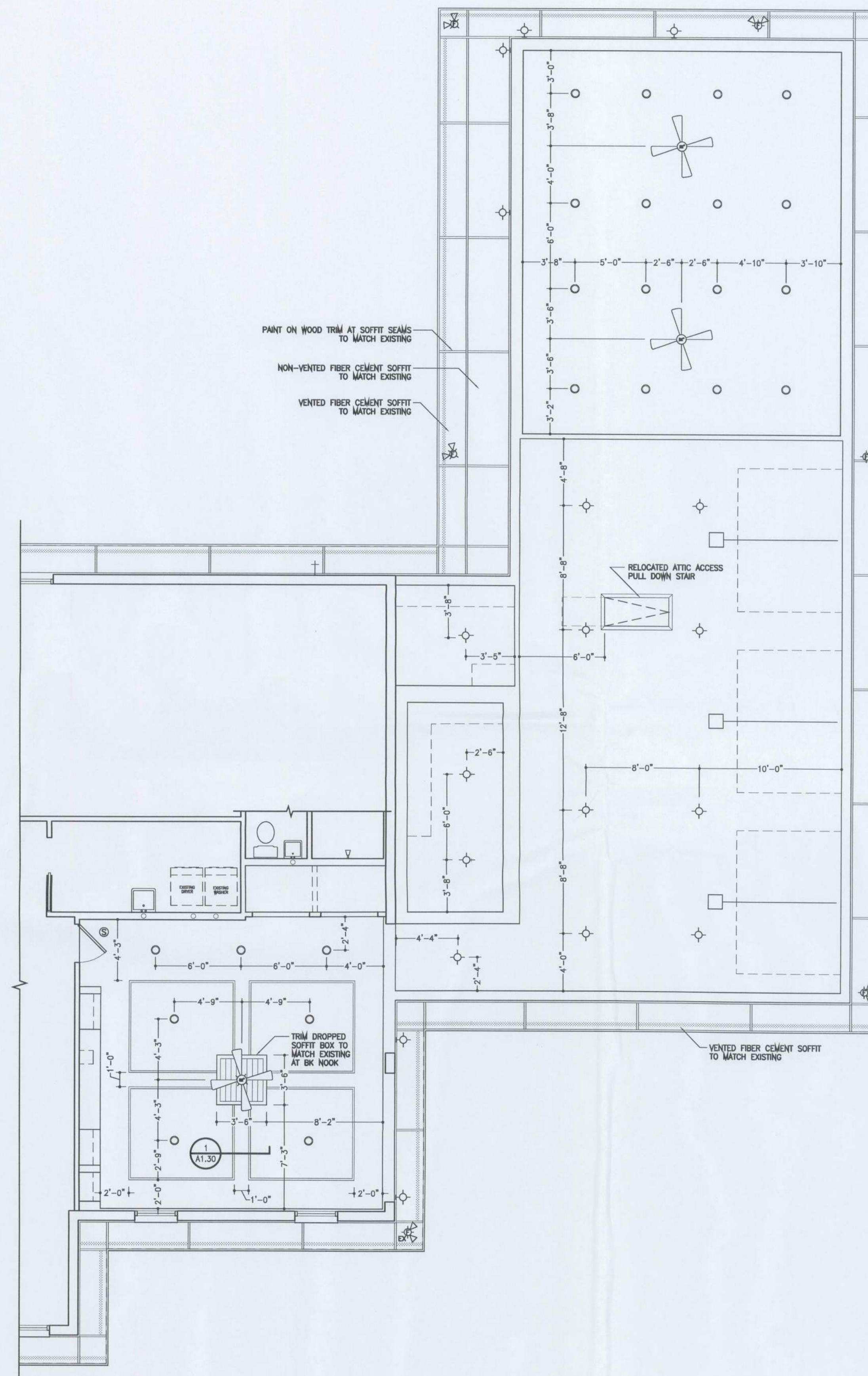
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NOTES:

1. ALL ELEVATIONS ARE FOR GENERAL DESIGN ONLY. DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION.
2. CASEWORK MANUFACTURER MAY MAKE MODIFICATIONS AS NECESSARY FOR BUDGETARY COMPLIANCE AND FOR ISSUES REGARDING CONSTRUCTABILITY. ANY MODIFICATIONS MUST BE APPROVED BY OWNER PRIOR TO FABRICATION AND INSTALLATION.
3. COORDINATE SELECTION OF CASEWORK CONSTRUCTION TYPE, WOOD SPECIES, DOOR PANEL TYPE, COLOR, AND HARDWARE WITH OWNER AND BUDGET.

CEILING LEGEND

- 8-0' CEILING HEIGHT TAG
- Ⓢ SMOKE DETECTOR
- ⚡ EXTERIOR MOTION SENSING FLOOD LIGHT
- ⦿ PENDENT LIGHT
- ⦿ CHANDELIER LIGHT
- ⦿ EXHAUST FAN
- ⦿ SURFACE MOUNT INCANDESCENT LIGHT
- ⦿ WALL SCONCE
- RECESSED CAN LIGHT
- ⦿ "EYEBALL" CAN LIGHT
- LOW VOLTAGE HALOGEN ACCENT LIGHTING
- ==== ROPE LIGHTING
- ⦿ TRACK LIGHTING
- ⦿ WALL MOUNT FLUORESCENT LIGHT
- ⦿ SURFACE MOUNT FLUORESCENT LIGHT
- ⦿ CEILING FAN WITH LIGHT
- ⦿ CEILING FAN WITHOUT LIGHT



REFLECTED CEILING PLAN

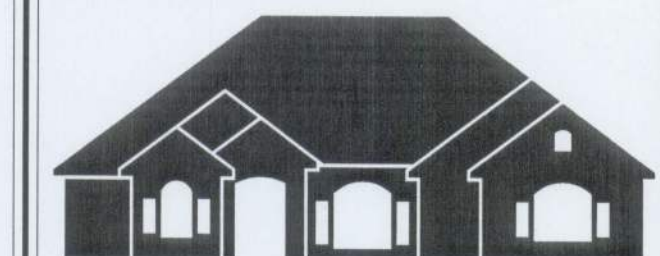
06/13/2008

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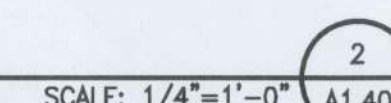
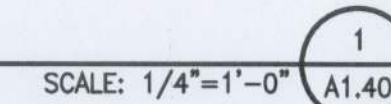
REFLECTED CEILING PLAN,
CEILING DETAILS,
THEATER INTERIOR ELEVATION


A1.30

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3. ROUTE ALL THROUGH ROOF PLUMBING VENTS TO THE REAR OR SIDES OF ROOF WHENEVER FEASIBLE WHILE COMPLYING WITH ALL APPLICABLE CODES.

1. SEE TRUSS PACKAGE BY ANDERSON TRUSS CO. AND STRUCTURAL
ENGINEERING PACKAGE BY WSE WAYLAND STRUCTURAL ENGINEERING
FOR ADDITIONAL INFORMATION.

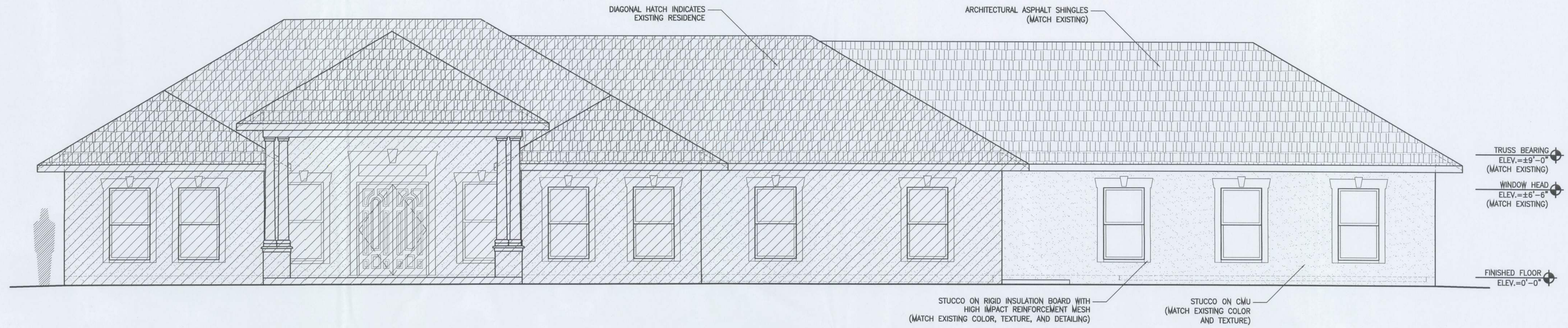


PROJECT 

SCALE: 1/4"=1'-0"

PHONE: (352) 472-2600
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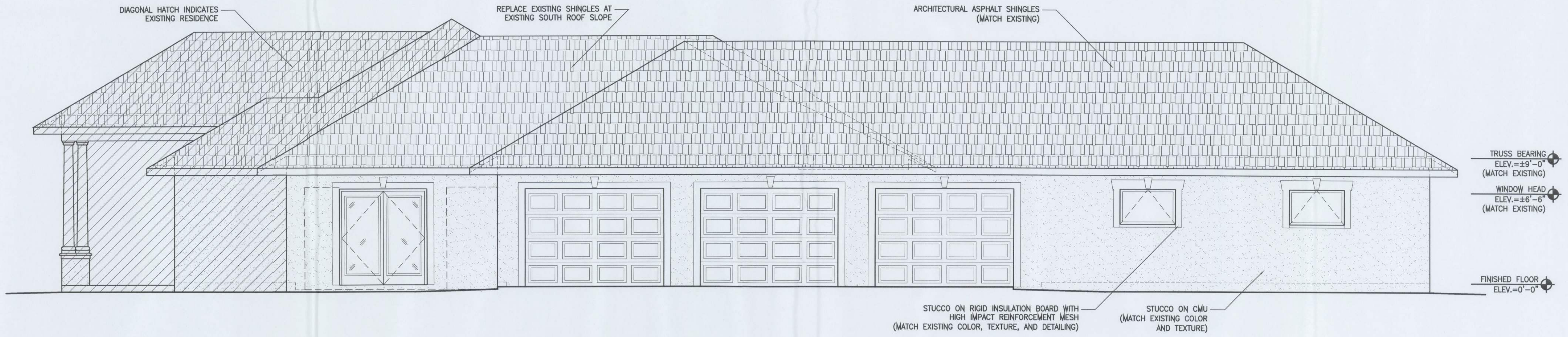
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WEST (FRONT) ELEVATION

C-EXT

SCALE: 1/4"=1'-0" 1 A2.10



SOUTH (SIDE) ELEVATION

C-EXT

SCALE: 1/4"=1'-0" 2 A2.10

NOTES:

1. OFF RIDGE VENTS AS REQUIRED BY CODE FOR PROPER ATTIC VENTILATION. SEE 2010 FBC R806 AND ROOF PLAN A1.40.

2. ADDRESS NUMBERS SHALL BE INSTALLED IN ACCORDANCE WITH 2010 FBC R319.1.

■ **ARCHITECT** ■

WARREN E. BARRY

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D.B.A.: W.E.B. DESIGNS

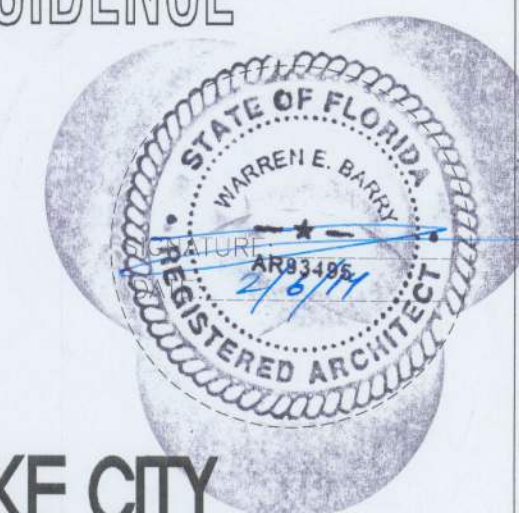


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**CONSTRUCTION
DOCUMENTS FOR
CONTRACTOR'S
STANDARD
CONSTRUCTION**

PROJECT NO.: 13008

DATE: FEBRUARY 06, 2014

REVISION DATES:

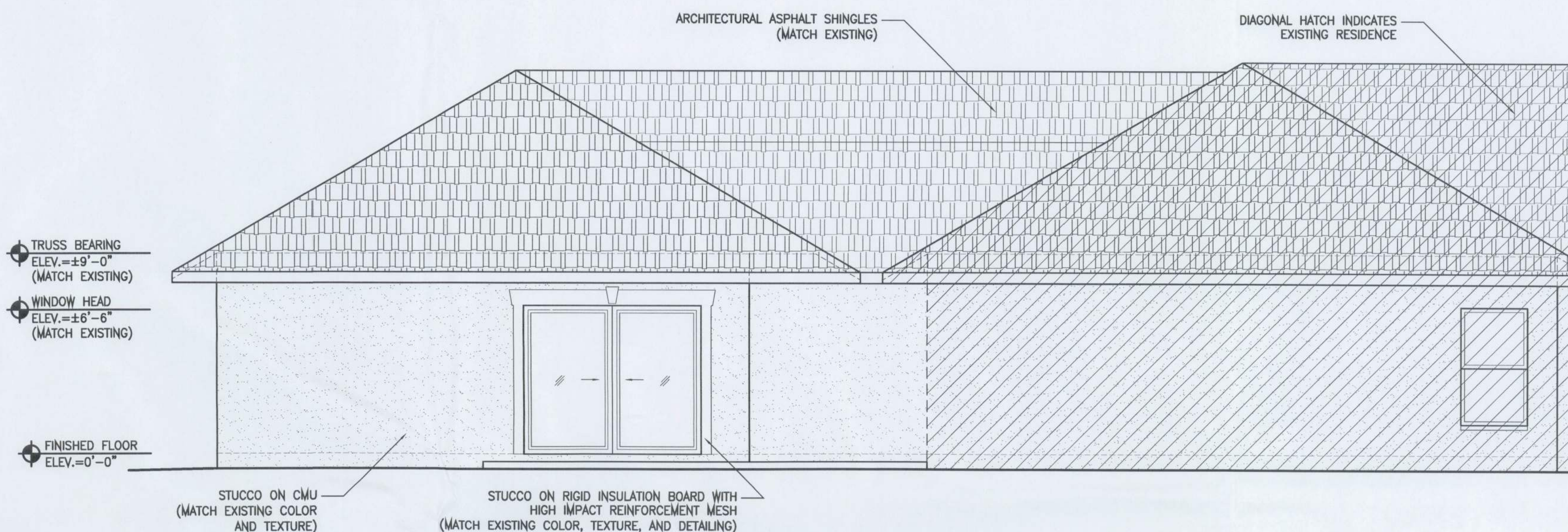
EXTERIOR ELEVATIONS

A2.10

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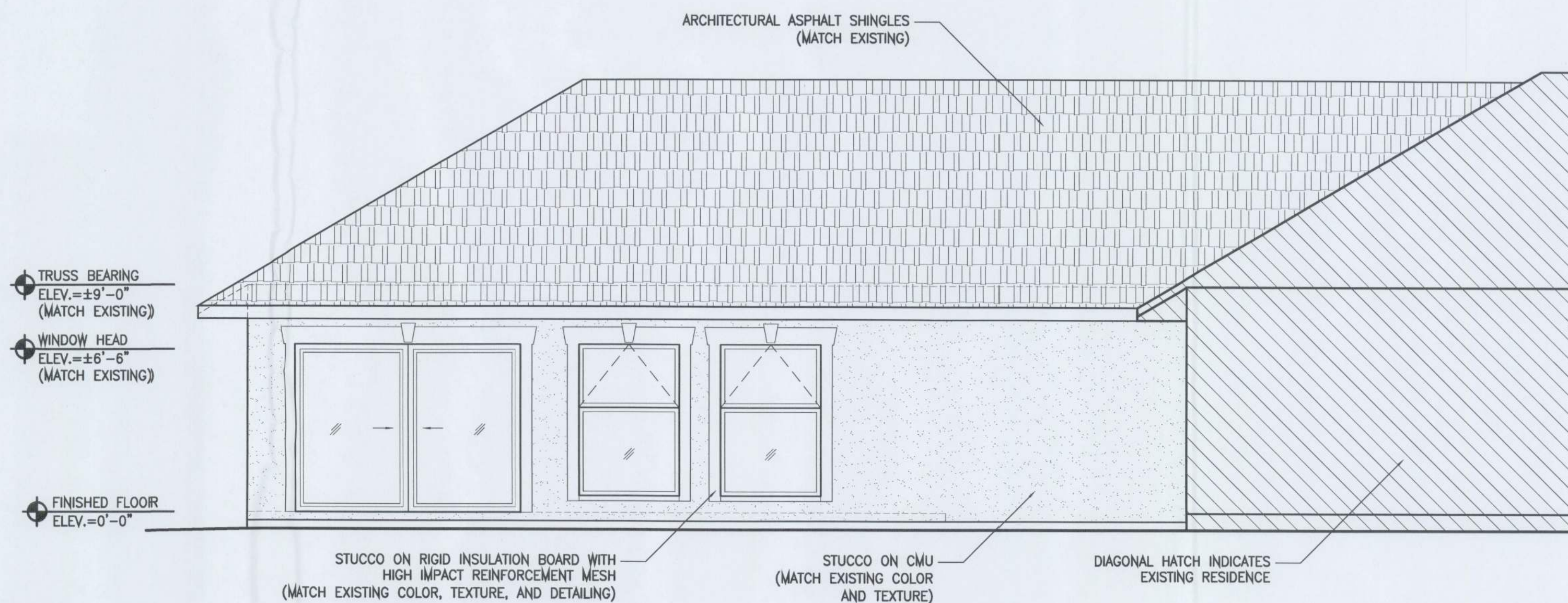
NOTES:

1. OFF RIDGE VENTS AS REQUIRED BY CODE FOR PROPER ATTIC VENTILATION. SEE 2010 FBC R806 AND ROOF PLAN A1.40.



EAST (REAR) ELEVATION

SCALE: 1/4"=1'-0" 1 A2.11



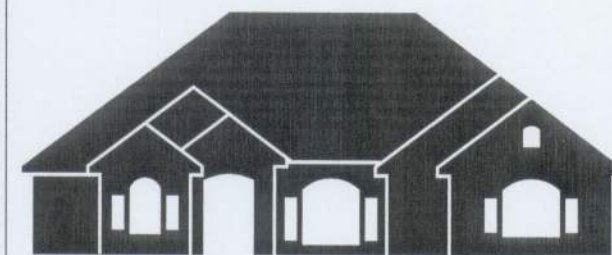
NORTH (SIDE) ELEVATION

SCALE: 1/4"=1'-0" 2 A2.11

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CONSTRUCTION DOCUMENTS FOR CONTRACTOR'S STANDARD CONSTRUCTION

PROJECT NO.: 13008
DATE: FEBRUARY 06, 2014
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EXTERIOR ELEVATIONS

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CONSTRUCTION DOCUMENTS FOR CONTRACTOR'S STANDARD CONSTRUCTION

PROJECT NO.: 13008

DATE: FEBRUARY 06, 2014

REVISION DATES:

EXTERIOR WALL SECTION, OPENING TYPES

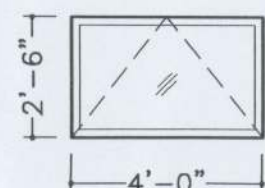
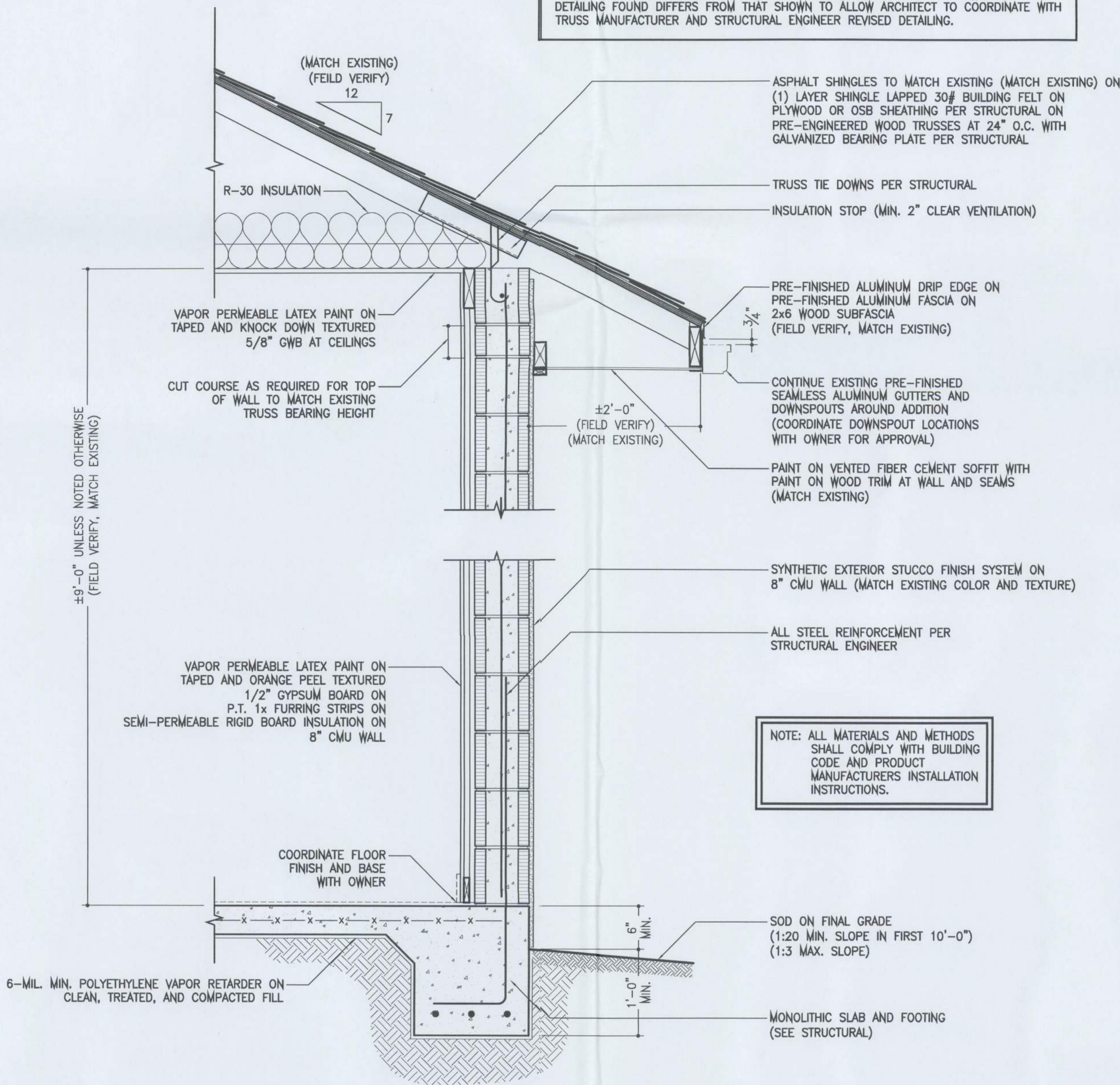
A5.10

GLAZING - HAZARDOUS LOCATIONS: (PER 2010 F.B.C. RESIDENTIAL)

- 1) EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS PER R308.4 SHALL BE PROVIDED WITH A MANUFACTURER'S OR INSTALLER'S LABEL, DESIGNATING THE TYPE AND THICKNESS OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLES, WHICH IS VISIBLE IN THE FINAL INSTALLATION. THE LABEL SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC-FIRED, EMBOSSED MARK, OR SHALL BE OF A TYPE WHICH ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED. SEE R308 FOR EXCEPTIONS. SEE R308.1.1 FOR IDENTIFICATION OF MULTI-PANE ASSEMBLIES.
- 2) HAZARDOUS LOCATIONS, R308.4 (SEE CODE FOR EXCEPTIONS)
 - 1) GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOORS.
 - 2) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
 - 3) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - 3.1 THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQ.FT; AND
 - 3.2 THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FLOOR; AND
 - 3.3 THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE THE FLOOR; AND
 - 3.4 ONE FOR MORE WALKING SURFACES ARE WITHIN 36", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.
 - 4) ALL GLAZING IN RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
 - 5) GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 - 6) GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.
 - 7) GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
 - 8) GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

PRE-ENGINEER ROOF TRUSSES NOTE:

CONTRACTOR SHALL FIELD VERIFY EXISTING ROOF TRUSS OVERHANG DETAIL, DIMENSIONS, AND BEARING CONDITION AFTER REMOVAL OF EXISTING SOFFIT AND PRIOR TO FABRICATION OF ROOF TRUSSES FOR VERIFICATION THAT DETAILING SHOWN MATCHES EXISTING CONDITIONS. NOTIFY ARCHITECT PRIOR TO COMMENCEMENT OF FURTHER WORK IF DETAILING FOUND DIFFERS FROM THAT SHOWN TO ALLOW ARCHITECT TO COORDINATE WITH TRUSS MANUFACTURER AND STRUCTURAL ENGINEER REVISED DETAILING.



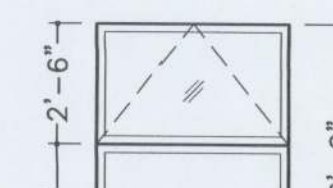
W001

LOCATION(S): MULTIPURPOSE ROOM
TYPE: AWNING
FRAME: VINYL, MATCH EXISTING
GLAZING: DOUBLE PANE
COATINGS: LOW-E
MUNTINS: NONE
QTY: 2



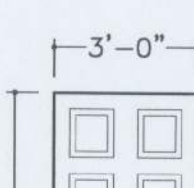
W002

LOCATION(S): GARAGE
TYPE: SINGLE HUNG
FRAME: VINYL, MATCH EXISTING
GLAZING: DOUBLE PANE
COATINGS: LOW-E
MUNTINS: BETWEEN GLASS
QTY: 3



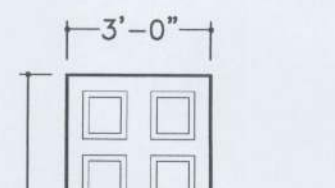
W003

LOCATION(S): MULTIPURPOSE ROOM
TYPE: AWNING/FIXED COMPOSITE
FRAME: VINYL, MATCH EXISTING
GLAZING: DOUBLE PANE
COATINGS: LOW-E
MUNTINS: BETWEEN GLASS
QTY: 2



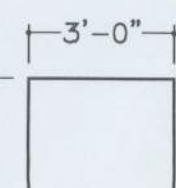
ID01

LOCATION(S): GARAGE INTERIOR
TYPE: PER 2010 FBC R302.5.1
QTY: 2



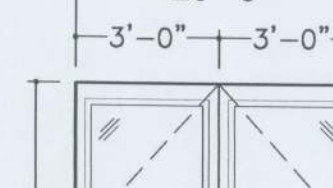
ID02

LOCATION(S): GARAGE CLOSET
TYPE: INTERIOR SWING DOOR,
MATCH EXISTING
CORE: HOLLOW
QTY: 1



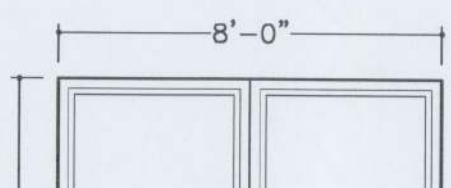
ID03

LOCATION(S): STORM CLOSET
TYPE: INTERIOR SWING DOOR,
(SEE STRUCTURAL PACKAGE
FOR SPECIFICATIONS)
QTY: 1



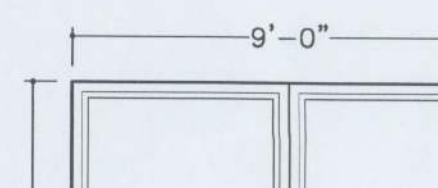
EFD1

LOCATION(S): THEATER
TYPE: EXTERIOR FRENCH DOOR,
MATCH EXISTING
GLAZING: DOUBLE PANE, LOW-E
QTY: 1



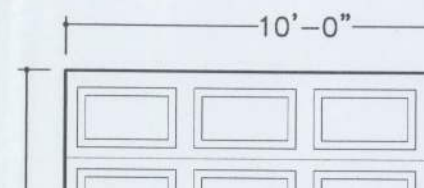
SGD1

LOCATION(S): MULTIPURPOSE ROOM
TYPE: SLIDING GLASS DOOR
GLAZING: DOUBLE PANE, LOW-E
QTY: 1



SGD2

LOCATION(S): MULTIPURPOSE ROOM
TYPE: SLIDING GLASS DOOR
GLAZING: DOUBLE PANE, LOW-E
QTY: 1



GD01

LOCATION(S): GARAGE
TYPE: OVERHEAD
OTHER: OPENER WITH LIGHT AND
PROGRAMMABLE EXTERIOR KEYPAD
QTY: 3

OPENING NOTES:

1. ALL SIZING INFORMATION IS FOR GENERAL DESIGN ONLY. CONTRACTOR TO SELECT EXACT WINDOW SIZES FROM SELECTED WINDOW MANUFACTURER'S OPTIONS.
2. FRAME SIZE AND ROUGH OPENING SIZE PER MANUFACTURER'S PRODUCT DATA.
3. PROVIDE SAFETY GLAZING WHERE REQUIRED. SEE 2010 FLORIDA BUILDING CODE R308.4.
4. CONTRACTOR TO SUPPLY SPECIFIC DOOR AND WINDOW INFORMATION AS REQUIRED BY LOCAL AUTHORITIES FOR PERMITTING PROCESS.
5. DOORS AND WINDOWS SHALL MEET ALL APPLICABLE CODES.
6. ALL INTERIOR WOOD TRIM AROUND DOORS AND WINDOWS SHALL MATCH EXISTING.
7. SEE FLOOR PLAN FOR DOOR SWING.

OPENING TYPES

EXTERIOR WALL SECTION

ELECTRICAL LEGEND

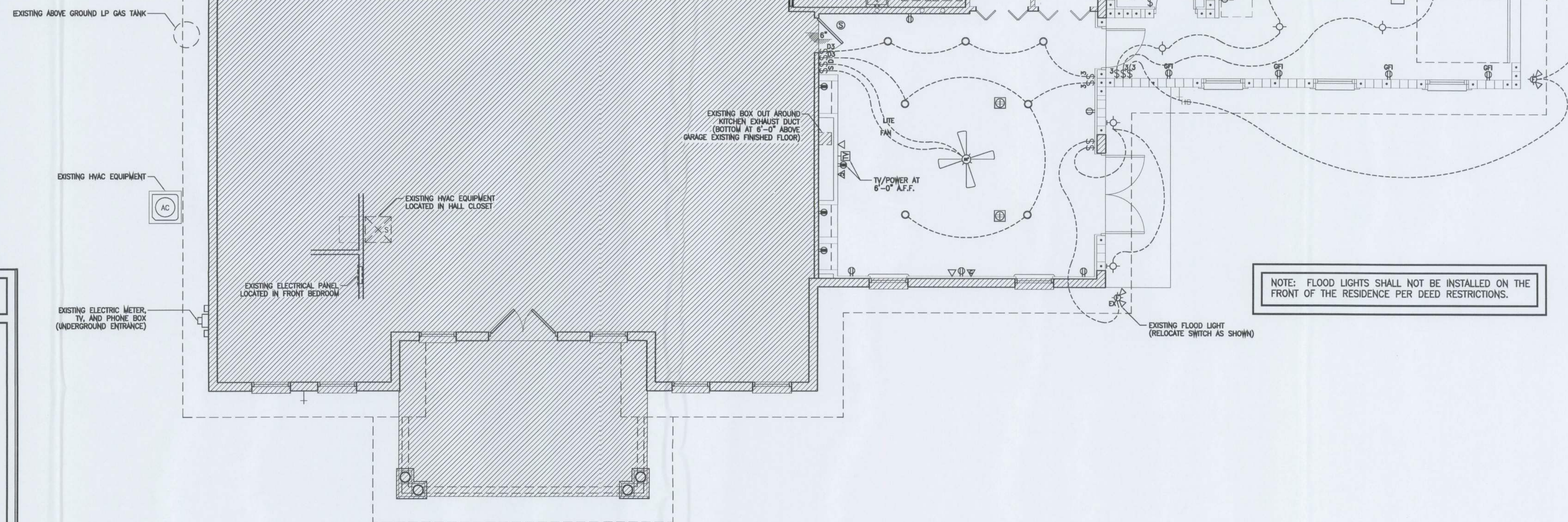
- 120V DUPLEX WALL OUTLET
 120V DOUBLE DUPLEX WALL OUTLET
 120V DUPLEX WALL OUTLET, BOTTOM AT 42" A.F.F.
 220V WALL OUTLET, MOUNT ACCORDING TO APPLIANCE REQUIREMENTS
 120V, GROUND FAULT INTERRUPT
 120V, WATER PROOF, GROUND FAULT INTERRUPT
 FREEZER OUTLET (COORDINATE WITH OWNER)
 120V, FLOOR OUTLET
 ROCKER SWITCH
 ROCKER SWITCH W/ SLIDE DIMMER
 CEILING FAN 3 SPEED CONTROL SWITCH
 EXHAUST FAN TIMER SWITCH
 ROCKER SWITCH, 3 WAY
 ROCKER SWITCH, 3 WAY WITH SLIDE DIMMER
 ELECTRICAL CIRCUIT BREAKER PANEL
 DOOR BELL
 VENTILATION EXHAUST FAN W/ TIMER SWITCH
 EXHAUST FAN WITH TIMER SWITCH AND LIGHT
 COMBINATION SMOKE/CARBON MONOXIDE DETECTOR (HARDWIRED AND INTERCONNECTED PER FBC R314 & R315.1.1(3))
 THERMOSTAT (LOCATIONS PER HVAC CONTRACTOR)
 JUNCTION BOX W/ CONDUIT FOR FUTURE ELECTRIC
 RECESSED BOX FOR TV, POWER, INTERNET, TELEPHONE AND ELECTRONICS WIRES WITH CONDUIT TO ATTIC
 TELEPHONE OUTLET
 COMPUTER INTERNET OUTLET WITH CONDUIT TO ATTIC (COORDINATE WITH OWNER AND PROVIDER)
 SERVICE METER AND DISCONNECT
 EXTERIOR MOTION SENSING FLOOD LIGHT
 PENDENT LIGHT
 CHANDELIER LIGHT
 SURFACE MOUNT INCANDESCENT LIGHT
 WALL SCONCE
 RECESSED CAN LIGHT
 6" "EYEBALL" CAN LIGHT
 4" HALOGEN "EYEBALL" CAN LIGHT
 WALL MOUNT FLUORESCENT LIGHT
 SURFACE MOUNT FLUORESCENT LIGHT
 CEILING FAN WITH LIGHT
 CEILING FAN WITHOUT LIGHT

ELECTRICAL NOTES

- 1) THESE DRAWINGS ARE FOR SCHEMATIC PURPOSES ONLY, ELECTRICIAN SHALL MAKE NECESSARY ADJUSTMENTS TO MEET ALL APPLICABLE CODES.
 2) RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH 2010 FBC ENERGY CONSERVATION 402.4.5.
 3) VERIFY WATER HEATER, WATER FILTRATION EQUIPMENT, WELL AND SEPTIC, POOL EQUIPMENT, AND OTHER EQUIPMENT REQUIREMENTS AS APPLICABLE WITH OWNER AND CONTRACTOR.
 4) ELECTRICIAN SHALL PERFORM LOAD CALCULATIONS.
 5) CIRCUIT BREAKER BOX SHALL BE LABELED TO IDENTIFY LOCATIONS AND ITEMS SERVED BY EACH CIRCUIT BREAKER.
 6) OWNER REQUESTS 75WATT BULB CAN LIGHTS IN MULTIPURPOSE ROOM. COORDINATE SELECTION OF ALL LIGHTING FIXTURES, INCLUDING CAN LIGHTS, WITH OWNER AND BUDGET.

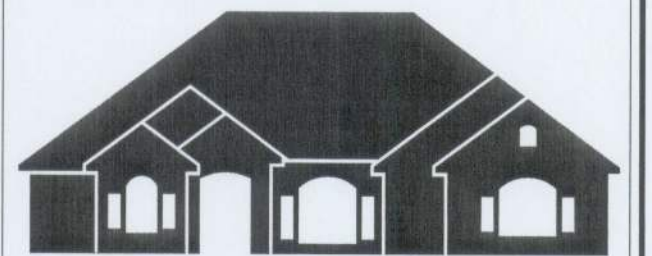
N.E.C. 2008 NOTES:

- 1) THE FOLLOWING LOCATIONS SHALL RECEIVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION PER 210.8:
 A) BATHROOMS
 B) GARAGES
 C) OUTDOORS
 D) CRAWL SPACES
 E) UNFINISHED BASEMENTS
 F) RECEPTACLES SERVING KITCHEN COUNTERTOP SURFACES
 G) RECEPTACLES WITHIN 6'-0" OF THE OUTSIDE EDGE OF SINKS
- 2) ALL OUTLETS IN BEDROOMS, FAMILY ROOMS, RECREATION ROOMS, DINING ROOMS, LIBRARIES, CLOSETS, HALLWAYS, AND OTHER SIMILAR SPACES SHALL BE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTED PER 210.12 (B).
- 3) NO POINT ON ANY "WALL SPACE" AS DEFINED BY 210.52(A)(2) SHALL BE MORE THAN 6'-0" HORIZONTALLY FROM A RECEPTACLE OUTLET PER 210.52(1).
- 4) PER 210.52(C)(1) EVERY COUNTER SPACE 12" OR WIDER IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS, AND OTHER SIMILAR SPACES SHALL HAVE A RECEPTACLE OUTLET AND NO POINT ALONG THE WALL AT THESE COUNTER SPACES SHALL BE MORE THAN 2'-0" FROM A RECEPTACLE OUTLET.
- 5) AT LEAST ONE RECEPTACLE SHALL BE INSTALLED AT EACH ISLAND AND PENINSULAR COUNTER "SPACE" PER 210.52(C)(2)&(3).
- 6) A MINIMUM OF ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 3'-0" OF THE OUTSIDE EDGE OF EACH SINK PER 210.52(D).
- 7) OUTDOOR OUTLETS SHALL BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING UNIT AND AT ALL BALCONIES, DECKS, AND PORCHES WITH MORE THAN 20 SQ.FT. OF USABLE AREA. OUTLETS SHALL BE INSTALLED AT NOT MORE THAN 6'-6" ABOVE GRADE PER 210.52(E)(1)&(3).
- 8) AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH LAUNDRY AREA, GARAGE, AND IN HALLWAYS 10'-0" OR MORE IN LENGTH PER 210.52(F),(G),&(H).
- 9) PER 210.70(A) AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAY, STAIRWAY, GARAGE, EXTERIOR ENTRANCES AT GRADE LEVEL, AND SPACES USED FOR EQUIPMENT REQUIRING SERVICING.
- 10) RECEPTACLES IN WET LOCATIONS SHALL BE INSTALLED PER 406.8(B).
- 11) LUMINARIES IN CLOTHES CLOSETS SHALL BE INSTALLED IN COMPLIANCE WITH 410.8.
- 12) RECESSED INCANDESCENT LUMINARIES SHALL BE INSTALLED PER 410.66.
- 13) OUTDOOR ELECTRICAL OUTLETS/RECEPTACLES SHALL BE NOT LESS THAN 10'-0" FROM THE INSIDE WALL OF DWELLING UNIT SWIMMING POOLS, SHALL BE WATER PROOF, AND GFI PROTECTED PER N.E.C. 680.22.
- 14) THESE NOTES SHALL NOT BE MISCONSTRUED AS A COMPLETE REPRESENTATION OF ALL APPLICABLE CODES, ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND BE PERFORMED BY A QUALIFIED LICENSED ELECTRICIAN.



ARCHITECT

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CONSTRUCTIONPROJECT NO.: 13008
DATE: FEBRUARY 06, 2014
REVISION DATES:

SCHEMATIC ELECTRICAL PLAN

SCHEMATIC ELECTRICAL PLAN

09/13/08

PROJECT
SCALE: 3/16"=1'-0"

E1.10

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2/7/14

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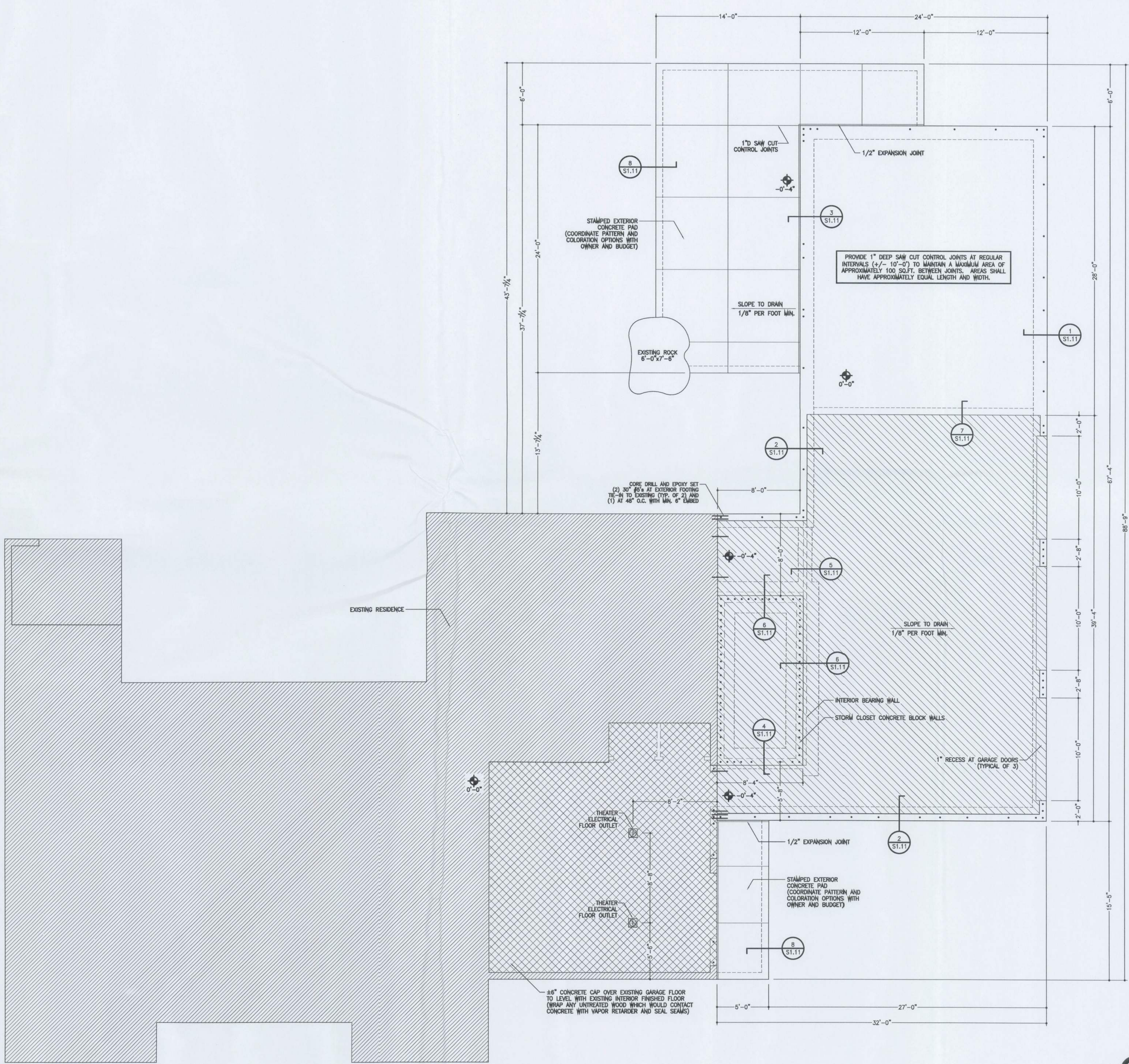
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FOUNDATION PLAN
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- NOTES:**
1. STRUCTURAL REVIEWED AND CORRECTIONS BY:
W.S.E. WAYLAND STRUCTURAL ENGINEERING
 2. SEE STRUCTURAL ENGINEERING PACKAGE BY WSE WAYLAND STRUCTURAL ENGINEERING FOR ADDITIONAL INFORMATION.
 3. WIND LOAD ANALYSIS AND ENGINEER'S MARKUPS AND DRAWINGS SUPERSEDE.
 4. W.E.B. DESIGNS RECOMMENDS THAT SOIL TESTS BE PERFORMED ON SITE TO DETERMINE SOIL CLASSIFICATION, SOIL DENSITY, AND SOIL BEARING CAPACITY AND THAT THE RESULTS ARE REVIEWED BY A LICENSED STRUCTURAL ENGINEER FOR APPROVAL/RECOMMENDATIONS.
 5. W.E.B. DESIGNS RECOMMENDS THAT TESTS BE PERFORMED TO DETERMINE THE ELEVATION OF THE WATER TABLE ON SITE AND ANY UNDERGROUND WATER MOVEMENT AND THAT ALL NECESSARY PRECAUTIONS ARE TAKEN TO ELIMINATE THE POTENTIAL EXISTENCE OF HYDROSTATIC PRESSURE IF NECESSARY.
 6. CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE ENGINEERS THE LOCATION OF INTERIOR BEARING WALLS AND COLUMNS. REQUIRED LOCATIONS SHALL BE COORDINATED WITH THE TRUSS PACKAGE, SLAB PLAN, AND ALL TRADES AS REQUIRED.
 7. SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR AND TESTED IN LIFTS NOT TO EXCEED 12".

FOUNDATION PLAN

0017.13008

PROJECT
SCALE: 3/16"=1'-0"

**BOARDMAN
RESIDENCE**

**LAKE CITY,
FLORIDA**

LIMITATIONS OF USE:
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**CONSTRUCTION
DOCUMENTS FOR
CONTRACTOR'S
STANDARD
CONSTRUCTION**

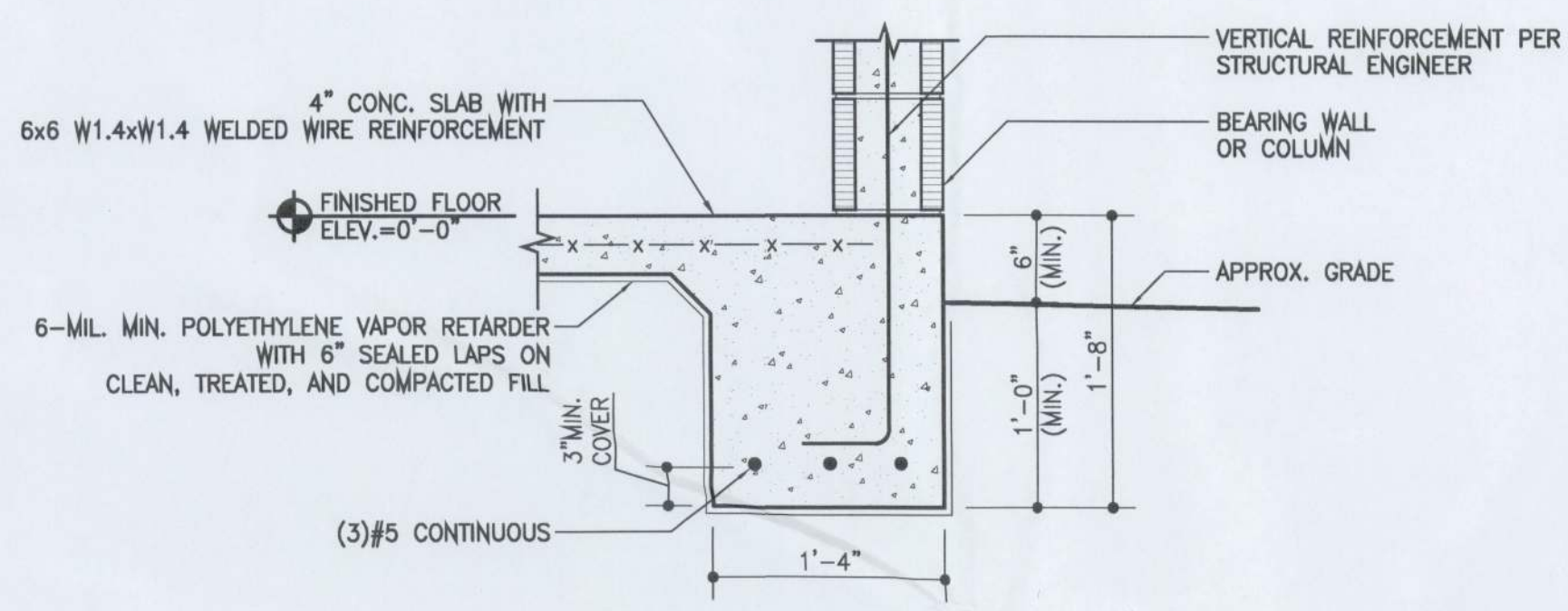
PROJECT NO.: 13008
DATE: FEBRUARY 06, 2014
REVISION DATES:

FOUNDATION DETAILS

S1.11

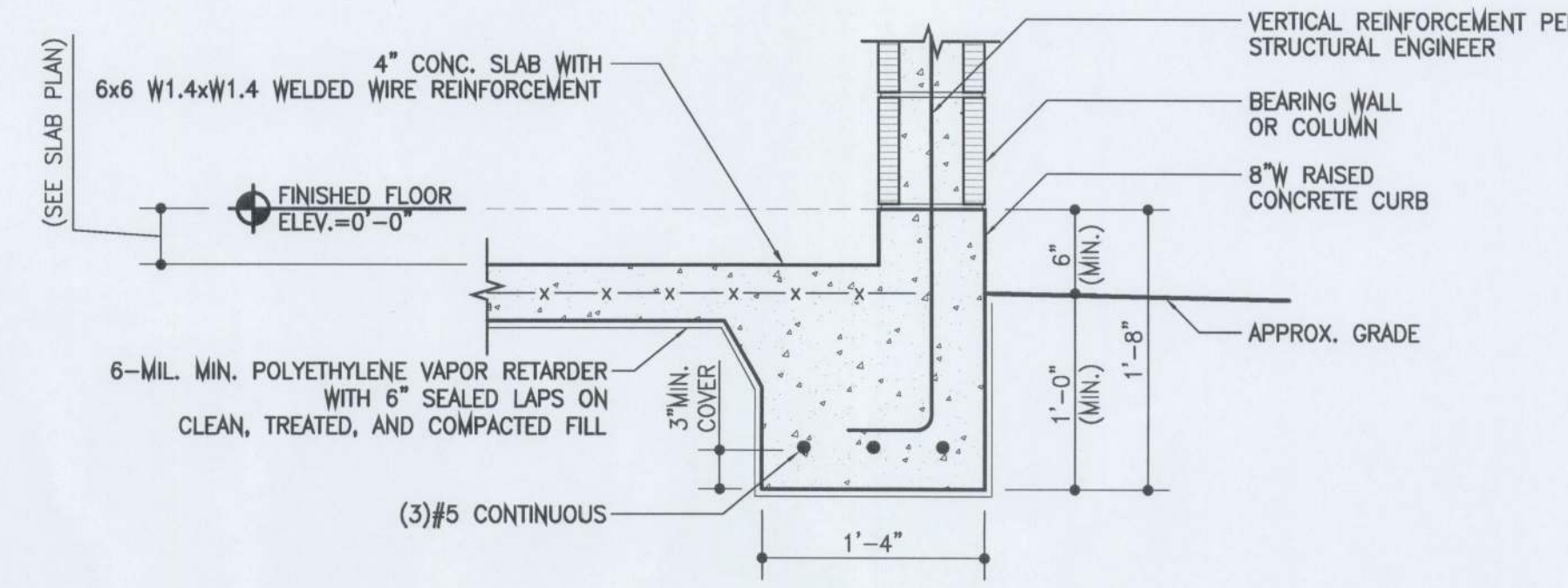
NOTES:

1. STRUCTURAL REVIEWED AND CORRECTIONS BY:
W.S.E. WAYLAND STRUCTURAL ENGINEERING
2. SEE STRUCTURAL ENGINEERING PACKAGE BY WSE WAYLAND STRUCTURAL ENGINEERING FOR ADDITIONAL INFORMATION.
3. WIND LOAD ANALYSIS AND ENGINEER'S MARKUPS AND DRAWINGS SUPERSEDE.
4. W.E.B. DESIGNS RECOMMENDS THAT SOIL TESTS BE PERFORMED ON SITE TO DETERMINE SOIL CLASSIFICATION, SOIL DENSITY, AND SOIL BEARING CAPACITY AND THAT THE RESULTS ARE REVIEWED BY A LICENSED STRUCTURAL ENGINEER FOR APPROVAL/RECOMMENDATIONS.
5. SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR AND TESTED IN LIFTS NOT TO EXCEED 12".



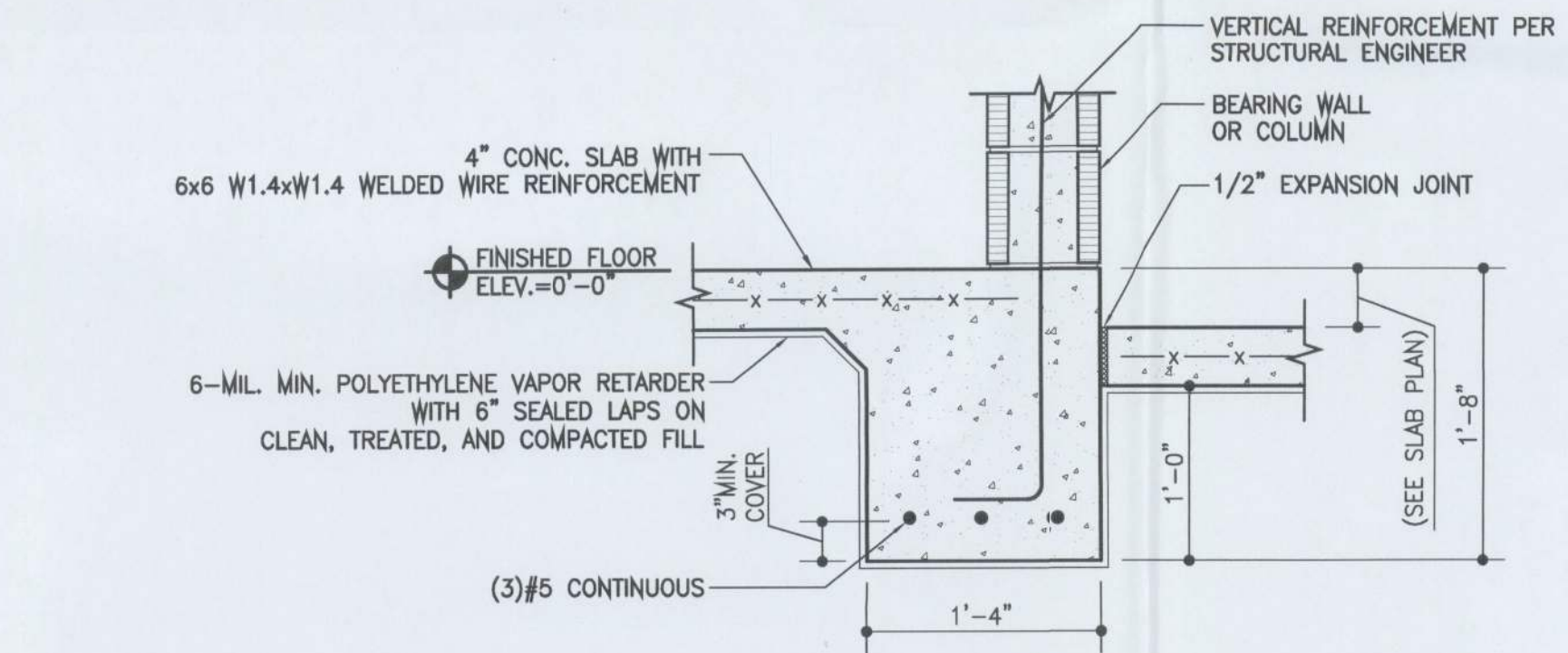
SLAB DETAIL

SCALE: 1"=1'-0" S1.11



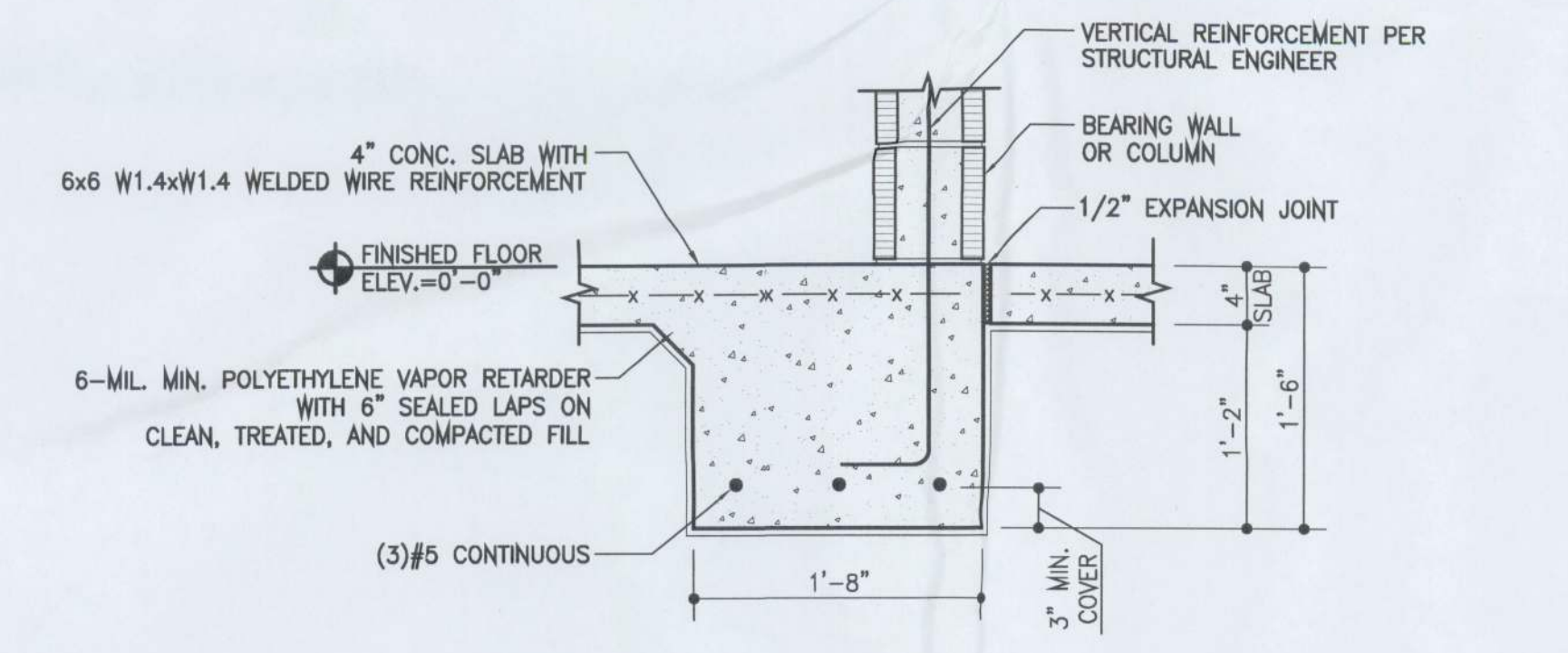
SLAB DETAIL

SCALE: 1"=1'-0" S1.11



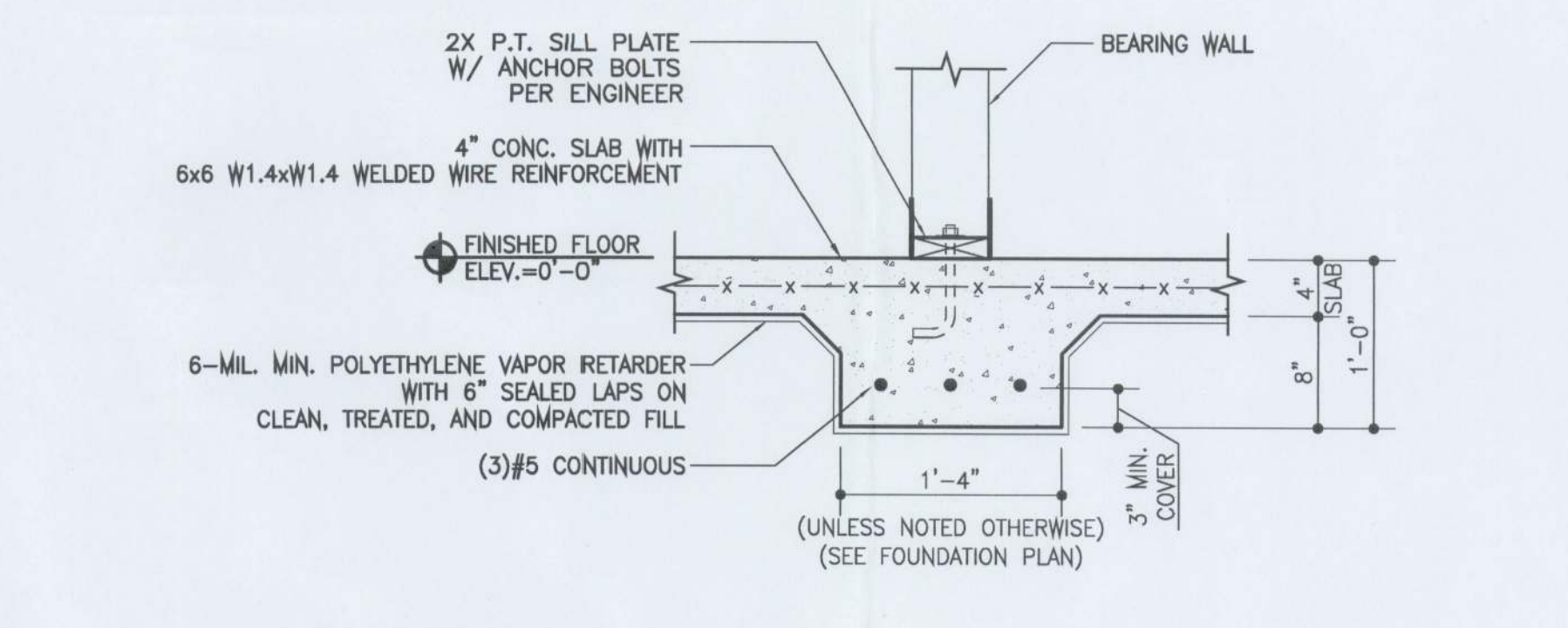
SLAB DETAIL

SCALE: 1"=1'-0" S1.11



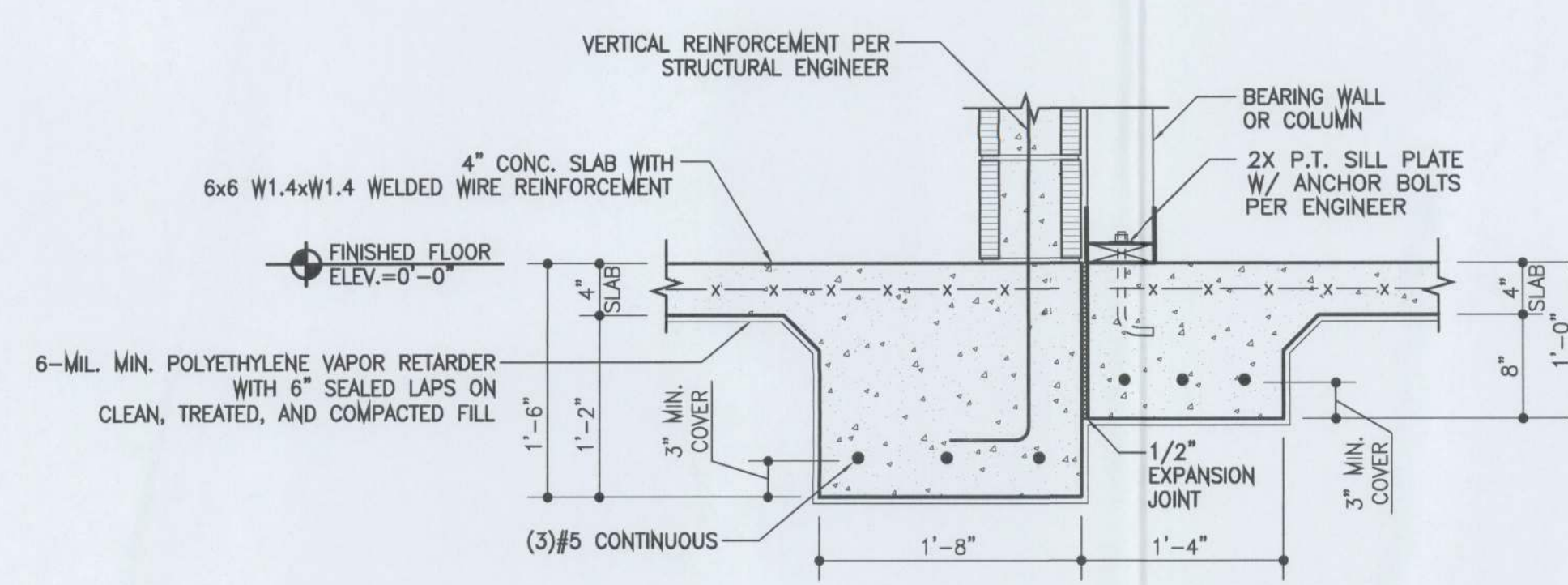
SLAB DETAIL

SCALE: 1"=1'-0" S1.11



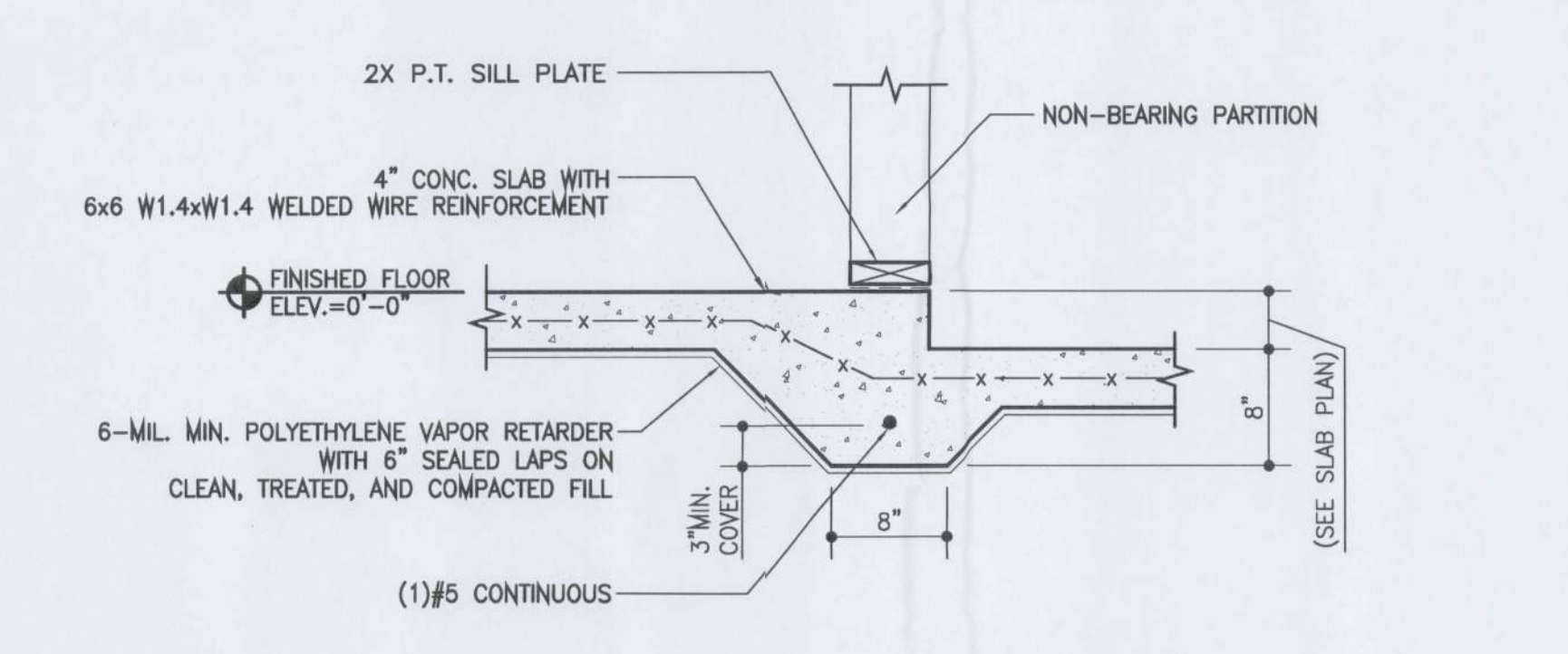
SLAB DETAIL

SCALE: 1"=1'-0" S1.11



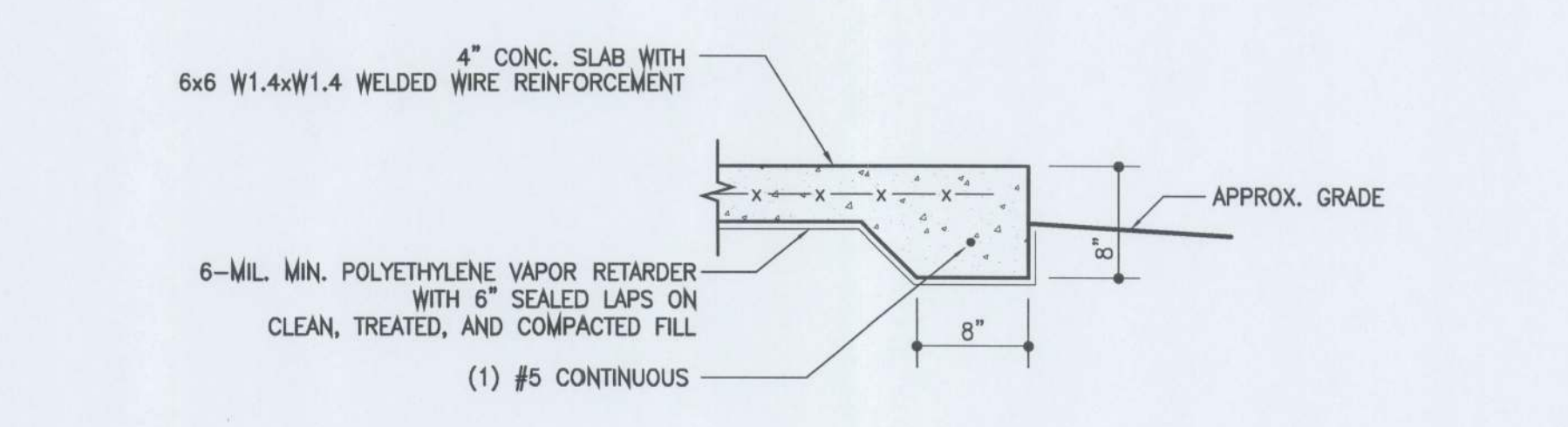
SLAB DETAIL

SCALE: 1"=1'-0" S1.11



SLAB DETAIL

SCALE: 1"=1'-0" S1.11



SLAB DETAIL (EXTERIOR CONCRETE PADS, SIDEWALKS, AND DRIVEWAYS)

SCALE: 1"=1'-0" S1.11