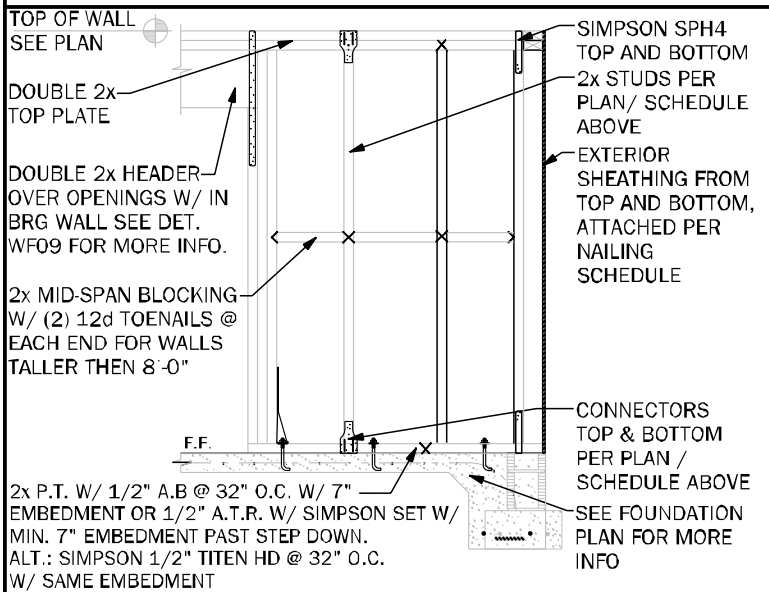


BEARING WOOD INTERIOR WALL SCHEDULE					
MARK	STUD SPACING	CONNECTION & FASTENERS		LUMBER SPECIES	UPLIFT CAP (pif)
		TOP	BOTTOM		
BW1	16"	(2) 16d TOENAILS	(2) 16d TOENAILS	SPF	0
BW2	16"	SP2 W/ (6)10d NAILS	SP1 W/ (6)10d NAILS	SPF	402
BW3	16"	SP4 W/ (6) 10d x 1 1/2" NAILS	SP4 W/ (6) 10d x 1 1/2" NAILS	SPF	571
BW4	16"	(2) 16d TOENAILS	(2) 16d TOENAILS	SYP	0
BW5	16"	SP2 W/ (6)10d NAILS	SP1 W/ (6)10d NAILS	SYP	439
BW6	16"	SP4 W/ (6) 10d x 1 1/2" NAILS	SP4 W/ (6) 10d x 1 1/2" NAILS	SYP	665
BW7	12"	(2) 16d TOENAILS	(2) 16d TOENAILS	SPF	0
BW8	12"	SP2 W/ (6)10d NAILS	SP1 W/ (6) 10d NAILS	SPF	535
BW9	12"	SP4 W/ (6) 10d x 1 1/2" NAILS	SP4 W/ (6) 10d x 1 1/2" NAILS	SPF	760
BW10	12"	(2) 16d TOENAILS	(2) 16d TOENAILS	SYP	0
BW11	12"	SP2 W/ (6)10d NAILS	SP1 W/ (6) 10d NAILS	SYP	585
BW12	12"	SP4 W/ (6) 10d x 1 1/2" NAILS	SP4 W/ (6) 10d x 1 1/2" NAILS	SYP	885

NOTE: 2 x 4 WALLS ARE ASSUMED U.N.O. ON FLOOR PLANS
* ALL LUMBER TO BE GRADE #2
** CONNECTIONS TO BE INSTALLED TO EACH STUD AS INDICATED
*** SPFS & SPFS CAN BE SUB. TOP SPFS W/ RESPECT TO STUD SIZE



BEARING INTERIOR WALL DETAIL

DOUBLE 2x4 TOP PLATE
DOUBLE 2x4 HEADER OVER OPENINGS W/ IN BRG WALL. SEE DET. W/09 FOR MORE INFO.
2x MID-SPAN BLOCKING W/ (2) 12d TOENAILS @ EACH END FOR WALLS TALLER THAN 8'-0".
2x P.T. W/ 1/2" A.B. @ 32" O.C. W/ 7" EMBEDMENT OR 1/2" A.T.R. W/ SIMPSON SET W/ MIN. 7" EMBEDMENT PAST STEP DOWN. A.T.T. SIMPSON 1/2" TITEN HD @ 32" O.C. W/ SAME EMBEDMENT.

GENERAL NOTES

- SEE FLOOR PLAN FOR WALL SIZE. ASSUME 2x4 STUDS USED UNO.
- ALL STRUCTURAL LUMBER TO BE SYP #1 OR SPF #2 UNO ON PLAN.
- CONNECTIONS TO BE INSTALLED TO EACH STUD AS INDICATED.
- CONTACT E.O.R. IF SP4 SPS & SPFS CONNECTORS ARE SUBSTITUTED, TO VERIFY THEY MEET THE STRUCTURAL REQUIREMENTS.
- IF "BM" IS INDICATED ON SECOND FLOOR BASE CONNECTION TO IGNORED. SEE WORK/S.S. OR INDICATED DETAIL FOR PROPER CONNECTIONS FOR 2nd FLOOR TO FIRST FLOOR CONNECTION. (NOTE: THIS IS FOR 2 STORY PROJECTS ONLY).
- IF "SW" IS INDICATED THE WALL IS CONSIDERED A SHEARWALL AND REQUIRES MIN. 7" OSB PLYWOOD W/ 8d NAILS AT 4" O.C. IN FIELD AND EDGE TO (1) SIDE OF WALL.
- ALL 2x EXTERIOR WALLS W/ EXTERIOR SHEATHING ATTACHED PER NAILING SCHEDULE ATT AS SHEARWALLS. SEE PLAN AND WALLS SECTIONS FOR STUD SPACING AND GRADE.
- IF THE BEARING WALL IS INDICATED WITH THE B.W. B.M. B.W.T. B.W.T. THESE WALLS ARE ONLY SUPPORTING THE FLOOR LOAD AND DO NOT HAVE UPLIFT. THE STUDS ARE TOE NAILLED TO THE PLATE AND THE 2x PLATE CAN BE ATTACHED WITH HARD CASED NAILS (GUN NAILS) AND WILL NOT REQUIRE THE ANCHOR BOLT ATTACHMENT INDICATED IN THE BEARING WALL SCHEDULE.

MARK	COLUMN SIZE	(BASE) CONN. & FASTENER	UPLIFT(LBS)
[C1]	(3) 2 x 4 #2 SPF	(4) 16d TOENAILS	0
[C2]	(3) 2 x 4 #2 SPF	DT12Z W/ 1/2" WEDGE ANCHOR* & (8) 1/4" x 1 1/2" SDS SCREENS	2145
[C3]	(3) 2 x 4 SYP #1 GR.	(4) 16d TOENAILS	0
[C4]	(4) 2 x 4 SPF #2	DT12Z W/ 1/2" WEDGE ANCHOR* & (8) 1/4" x 1 1/2" SDS SCREENS	2145
[C5]	4 x 4 P.T.#2 SYP POST	ABU44 W/ 5/8" ATR** & (12) 16d NAILS	G = 6685 U = 2200
[C6]	6 x 6 P.T.#2 SYP POST	ABU66 W/ 5/8" ATR** & (12) 16d NAILS	G = 12000 U = 2200
[C7]	8 x 8 P.T.#2 SYP POST	ABU88 W/ (2) 5/8" ATR** & (18) 16d NAILS	G = 24335 U = 2320
[C8]	3.5 x 3.5 P.L. 1.8E Rb-2400 PSI (WOLMANIZED IF EXT.)	HDUS-SDS2.5 W/ (14) 1/4" x 2 1/2" SDS WS & 5/8" EPOXY ANCHOR, OR ATR**	5645
[C9]	3.5 x 5.25 P.L. 1.8E Rb-2400 PSI (WOLMANIZED IF EXT.)	HDUS-SDS2.5 W/ (14) 1/4" x 2 1/2" SDS WS & 5/8" EPOXY ANCHOR, OR ATR**	5645
[C10]	3.5 x 7 P.L. 1.8E Rb-2400 PSI (WOLMANIZED IF EXT.)	HDUS-SDS2.5 W/ (20) 1/4" x 2 1/2" SDS WS & 7/8" EPOXY ANCHOR, OR ATR**	6970
[C11]	5.25 x 5.25 P.L. 1.8E Rb-2400 PSI (WOLMANIZED IF EXT.)	HDUS-SDS2.5 W/ (20) 1/4" x 2 1/2" SDS WS & 7/8" EPOXY ANCHOR, OR ATR**	7870
[C12]	7 x 7 P.L. 1.8E Rb-2400 PSI (WOLMANIZED IF EXT.)	HDUS-SDS2.5 W/ (20) 1/4" x 2 1/2" SDS WS & 7/8" EPOXY ANCHOR, OR ATR**	7870
[C13]	5.25" x 7" P.L. 1.8E Rb-2400 PSI (WOLMANIZED IF EXT.)	HDUS-SDS2.5 W/ 7/8" ATR AND (20) 1/4" x 1/2" SDS WOOD SCREWS	7870

GENERAL COLUMN NOTES

- SEE FLOOR PLAN FOR WALL WIDTH. STUD PACKS TO MATCH WALL WIDTH UNO.
- ALL STRUCTURAL LUMBER TO BE SYP #1 OR SPF #2 UNO ON PLAN.
- NAIL BUILD UP STUDS PER DETAIL WFS7
- MINIMUM SOIL EMBEDMENT:
5" EMBEDMENT FOR 1/2" ATR
6" EMBEDMENT FOR 5/8" ATR
8" EMBEDMENT FOR 7/8" ATR
- IF (C) COLUMN IS INDICATED ON SECOND FLOOR, THE BASE CONNECTION IS NOT REQUIRED. (SEE INDICATED CALL OUT ON PLAN FOR ATTACHMENT)
- SEE WOOD CONSTRUCTION NOTE #4 ON COVER SHEET FOR CORROSION INFORMATION
- SAME NOMINAL SIZE PARALLEL COLUMNS (L&R) MAY BE SUBSTITUTED FOR ANY P.T. SYP POST NOTED IN THE PLANS

COMMON NAIL	DIA. / LENGTH	PNEUMATIC GUN NAIL	COMMON vs. GUN NAIL	APPLICATION
8d	0.131" x 2 1/2"	0.131" x 2 1/2"	SEE PLAN RING SHANK ON ROOF	SHEATHING ROOF & WALLS
10d OR 12d	0.148" x 3"	0.131" x 3"	SEE PLAN	BLOCKING & TOE NAILS & TOP PLATE
12d	0.148" x 3 1/4"	0.131" x 3 1/4"	8" O.C. (COMMON) 6" O.C. (GUN NAIL)	STUD WALL CORNERS
10d	0.148" x 3"	0.131" x 3"	8" O.C. (COMMON) 6" O.C. (GUN NAIL)	STUD PACK COLUMNS
16d	0.162" x 3 1/2"	0.131" x 3 1/2"	(2) 16d (COMMON) (3) 16d (GUN NAILS)	SEE PLAN

MARK	HEADER SIZE	REMARKS
[H1]	(2) - 2X6 #2 SYP W/ 1/2" FLITCH PLATE	SEE GENERAL HEADER NOTE #5 THIS SHEET
[H2]	(2) - 2X8 #2 SYP W/ 1/2" FLITCH PLATE	SEE GENERAL HEADER NOTE #5 THIS SHEET
[H3]	(2) - 2X10 #2 SYP W/ 1/2" FLITCH PLATE	SEE GENERAL HEADER NOTE #5 THIS SHEET
[H4]	(2) - 2X12 #2 SYP W/ 1/2" FLITCH PLATE	SEE GENERAL HEADER NOTE #5 THIS SHEET
[H5]	(2) - 1 3/4" x 11 1/4" LVL 2.0E Fb-2600 PSI	ATTACH TOGETHER W/ (2) ROWS 14" x 3 1/2" SDS WD SCREWS @ 16" O.C. TYP. EACH SIDE
[H6]	(2) - 1 3/4" x 9 1/4" LVL 2.0E Fb-2600 PSI	ATTACH TOGETHER W/ (3) ROWS 14" x 3 1/2" SDS WD SCREWS @ 16" O.C. TYP. EACH SIDE

HEADER SUPPORT NO. OF JACKS & STUDS REQ. AT OPENINGS				
OPENING SIZE	2x4 WALL JACKS EA. END	2x6 OR 2x8 WALL JACKS EA. END	2x6 OR 2x8 WALL JACKS EA. END	2x6 OR 2x8 WALL JACKS EA. END
1'-0" - 3'-11"	(1)	(2)	(1)	(2)
4'-0" - 9'-11"	(2)	(3)	(2)	(3)
10'-0" - 16'-0"	(3)	(4)	(3)	(4)

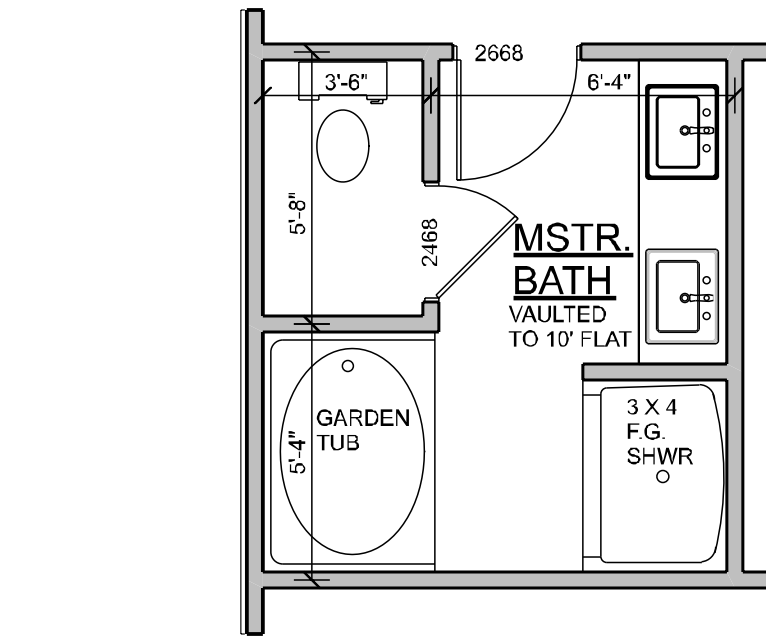
GENERAL HEADER NOTES

- VERIFY W/ PLAN CORRECT LENGTH OF HEADER REQUIRED
- IF HEADER IS ON THE 1st FLOOR SEE PLAN FOR BEARING WALL TYPE AND FOLLOW-UP INSTRUCTIONS WITHIN BEARING WALL SCHEDULE FOR REQUIRED CORRECTIONS UNO ON PLAN
- IF HEADER IS ON THE 2nd FLOOR SEE PLAN FOR INDICATED HEADER CONNECTIONS FOR REQUIRED CONNECTIONS
- ALL HEADER JACK AND KING STUDS SHALL BE FASTENED TO EACH PER DETAIL WFS7
- FASTEN ALL MULTI-PLY HEADERS TOGETHER W/ (2) ROWS 12d COMMON NAILS AT 12" o.c. ALONG EACH EDGE OR (3) ROWS IF 2x10 OR LARGER.
- FASTEN ALL HEADERS TO KING STUDS WITH (3) 12d TOENAILS PER SIDE
- IF HEADER IS NOT SPECIFIED CONTACT E.O.R.

MARK	BEAM SIZE	CONNECTIONS
[BM1]	(2) - 2 x 8 #2 SYP W/ 7/16" OSB FLITCH PLATE. NAIL BEAM TOGETHER USING (2) ROWS OF 12d NAILS @ 12" O.C. TYP. EACH SIDE	CONNECTION: PROVIDE (2) SIMPSON LSTA24 OR (2) SIMPSON HTS20 TO WOOD POST OR (2) SIMPSON HETA16 TO CMU COL. U.N.O. ON ROOF PLAN.
[BM2]	(2) - 2 x 10 #2 SYP W/ 7/16" OSB FLITCH PLATE. NAIL BEAM TOGETHER USING (2) ROWS OF 12d NAILS @ 12" O.C. TYP. EACH SIDE	CONNECTION: PROVIDE (2) SIMPSON LSTA24 OR (2) SIMPSON HTS20 TO WOOD POST OR (2) SIMPSON HETA16 TO CMU COL. U.N.O. ON ROOF PLAN.
[BM3]	(2) - 2 x 12 #2 SYP W/ 7/16" OSB FLITCH PLATE. NAIL BEAM TOGETHER USING (2) ROWS OF 12d NAILS @ 12" O.C. TYP. EACH SIDE	CONNECTION: PROVIDE (2) SIMPSON LSTA24 OR (2) SIMPSON HTS20 TO WOOD POST OR (2) SIMPSON HETA16 TO CMU COL. U.N.O. ON ROOF PLAN.
[BM4]	(2) - 1 3/4" x 11 1/4" LVL 2.0E Fb-2600 PSI. NAIL BEAM TOGETHER USING (2) ROWS 1/4" x 3 1/2" SDS WOOD SCREWS @ 16" O.C. TYP. EACH SIDE	CONNECTION: PROVIDE (2) SIMPSON LSTA24 OR (2) SIMPSON HTS20 TO WOOD POST OR (2) SIMPSON HETA16 TO CMU COL. U.N.O. ON ROOF PLAN.
[BM5]	(2) - 1 3/4" x 11 7/8" LVL 2.0E Fb-2600 PSI. NAIL BEAM TOGETHER USING (2) ROWS 1/4" x 3 1/2" SDS WOOD SCREWS @ 16" O.C. TYP. EACH SIDE	CONNECTION: PROVIDE (2) SIMPSON LSTA24 OR (2) SIMPSON HTS20 TO WOOD POST OR (2) SIMPSON HETA16 TO CMU COL. U.N.O. ON ROOF PLAN.
[BM6]	(2) - 1 3/4" x 16" LVL 2.0E Fb-2600 PSI. NAIL BEAM TOGETHER USING (2) ROWS 1/4" x 3 1/2" SDS WOOD SCREWS @ 16" O.C. TYP. EACH SIDE	CONNECTION: PROVIDE (2) SIMPSON LSTA24 OR (2) SIMPSON HTS20 TO WOOD POST OR (2) SIMPSON HETA16 TO CMU COL. U.N.O. ON ROOF PLAN.

GENERAL BEAM NOTES

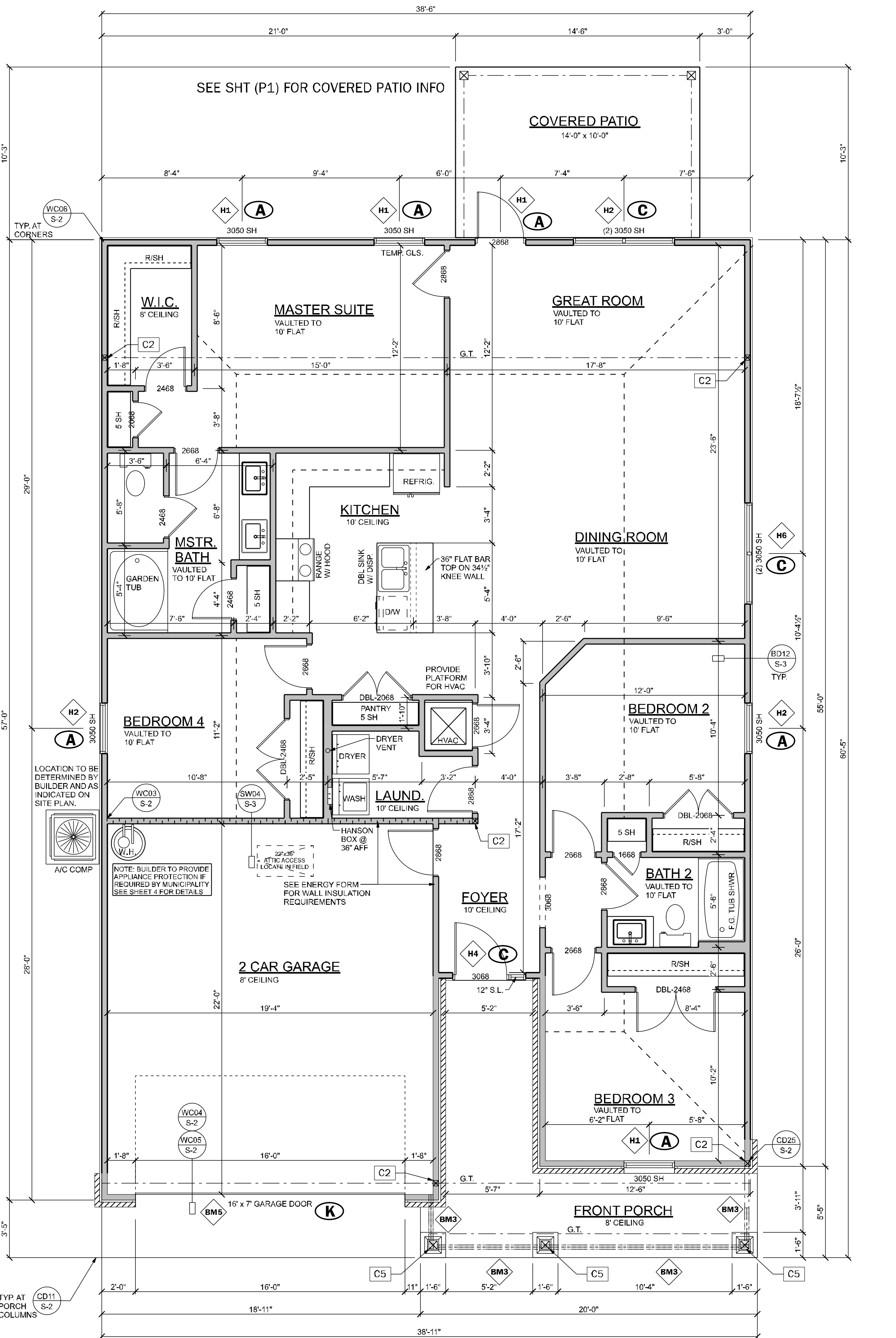
- VERIFY WITH PLAN CORRECT LENGTH OF BEAMS REQUIRED (MIN. 4" BEARING EACH END)
- SEE PLAN FOR TOP OR BOTTOM OF BEAM INDICATIONS
- BEAMS ARE NOT TO BE DRILLED OR NOTCHED IN ANY WAY WITHOUT WRITTEN APPROVAL FROM THE E.O.R.



Y	N	MASTER BA. OPTIONS
X		3040 (1) PC. FIBERGLASS SHOWER IN LIEU OF LINEN CLOSET W/ (1) L.E.D. DISC LT.

OPTIONAL MASTER BATH

SCALE: 1/4" = 1'-0"



NOTE:

INDICATES OPENINGS WIND PRESSURES. SEE WIND LOADING CRITERIA ON COVER SHEET FOR INFORMATION.

WALL LEGEND
FRAMED WALL
BEARING FRAME WALL
FRAMED WALL W/ BRICK VENEER
FRAMED WALL W/ SIDING OR STUCCO

GENERAL NOTES

- R302.6 (table 302.6) If water based ceiling texture material is used, Provide 1/2" gypsum board for 16" O.C. Framing, or 5/8" gypsum board for 24" O.C. Framing. Note 1/2" sag-resistant gypsum board may be used I.L.O. 5/8" gypsum board. 5/8" type "X" gypsum board must be installed on garage ceiling beneath habitable room(s).
- R302.5.2 Duct Penetration. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel, 1 inch minimum rigid nonmetallic class 0 or class 1 duct board, or other approved material and shall not have openings into the garage.
- R302.5.1 Door from garage into house must be a minimum 1 3/8" solid wood door, solid or honeycombcore steel door, or 20 Minute fire rated door.
- R302.7 Enclosed space under stairs that is accessed by a door or access panel shall have walls, under-stair surfaces and any soffits protected on the enclosed side with 1/2" gypsum board.
- Outdoor swimming pools shall be provided with a barrier complying with R4501.17.1.1 through R4501.17.1.14.
- Bathroom exhaust fans must vent to the exterior of the building, exhaust to attic space and soffits is not acceptable. Ventilation shall be permitted to exit through the soffit if solid soffit is installed 5'-0" on each side of the venting.
- R302.6 The garage shall be separated from the residence and its attic as required by Table R302.6. From the residence and attics by not less than 1/2-inch (12.7mm) gypsum board applied to the garage side. Garage beneath rooms shall be separated from all habitable rooms above by not less than 5/8 inch (15.9mm) type X gypsum board or equivalent. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2 inch (12.7mm) gypsum board or equivalent.
- R312.1 Window sills. In dwelling units, where the bottom of the clear opening of an operable window opening is located less than 24 inches (610 mm) above the finished floor and greater than 72 inches (1829 mm) above the finished grade or other surface below on the exterior of the building, the operable window shall comply with one of the following:
 - Operable windows with openings that will not allow a 4-inch diameter (102 mm) sphere to pass through the opening where the opening is in its largest opened position.
 - Operable windows that are provided with window fall prevention devices that comply with ASTM F2090.
 - Operable windows that are provided with window opening control devices that comply with Section R312.2.2.
- R308.4.2 All windows within 2'-0" of doors and in shower or tub areas will be safely tempered glass.
- EC: R402.2.4 Vertical or horizontal access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weatherstripped and insulated to a level equivalent to the insulation on the surrounding surfaces.
- M1502.4.5 Duct length. The maximum allowable exhaust duct length shall be determined by one of the methods specified in sections M1502.4.5.1 through M1502.4.5.3.
 - M1502.4.5.1 Duct termination. Exhaust ducts shall terminate on the outside of the building. Exhaust duct terminations shall be in accordance with the dryer manufacturer's installation instructions. If the manufacturer's instructions do not specify a termination location, the exhaust duct shall terminate not less than 3 feet (914 mm) in any direction from openings into buildings, including openings in ventilated soffits. Exhaust duct terminations shall be equipped with a backdraft damper. Screens shall not be installed at the duct termination.
 - Porch Ceilings: (See plan for the following options)
 - Option 1: Gypsum: 1/2" exterior gypsum soffit board shall be attached to all framing members with 2x blocking provided at perimeter and panel edges. The gypsum board shall be attached w/ Type "W" 1x4" drywall screws at 8" O.C. in field and edges.
 - Option 2: Plaster Base: 7/16" OSB on underside of roof trusses shall be attached to all framing members with 2x blocking provided at perimeter and panel edges. The OSB shall be attached w/ 8d nails at 6" O.C. field and 4" O.C. at edges or 7d screw shank 3" O.C. field and 4" edges.
 - Energy Code Compliance Path is Performance Based Path Code cycle is FBC 2023 8th Edition.

* ALL INTERIOR AND EXTERIOR WALL FRAMING, INCLUDING FURRING STRIPS ON CMU WALLS, TO BE SPACED AND 16" O.C. (U.N.O.)

AREA CALCULATIONS

LIVING	1847 S.F.
TOTAL LIVING (AC)	1847 S.F.
GARAGE	443 S.F.
COVERED ENTRY (BASE)	174 S.F.
COVERED PATIO/LANAI	140 S.F.
TOTAL AREA UNDER ROOF	2284 S.F.

COUNTY SEAL

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DAMS HOMES
FLORIDA CONTRACTORS LICENSE NO. CRC1330148
100 WEST GARDEN STREET
PENSACOLA FL 32502

DIVISION LOCATION:
GAINESVILLE

Job Information:
Model Name / Number:
1635
Plan Issue Date:
Monday, September 30, 2024
KA PROJECT NUMBER:
24-10572

Inventory:
LOT: 90
BLK:
SEC:
SUB:
Model Name / Number:
1635
Plan Issue Date:
Monday, September 30, 2024
KA PROJECT NUMBER:
24-10572

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Of:

FLOOR PLAN

INVENTORY

LOT: 90
BLK:
SEC:
SUB:

Model Name / Number:
1635

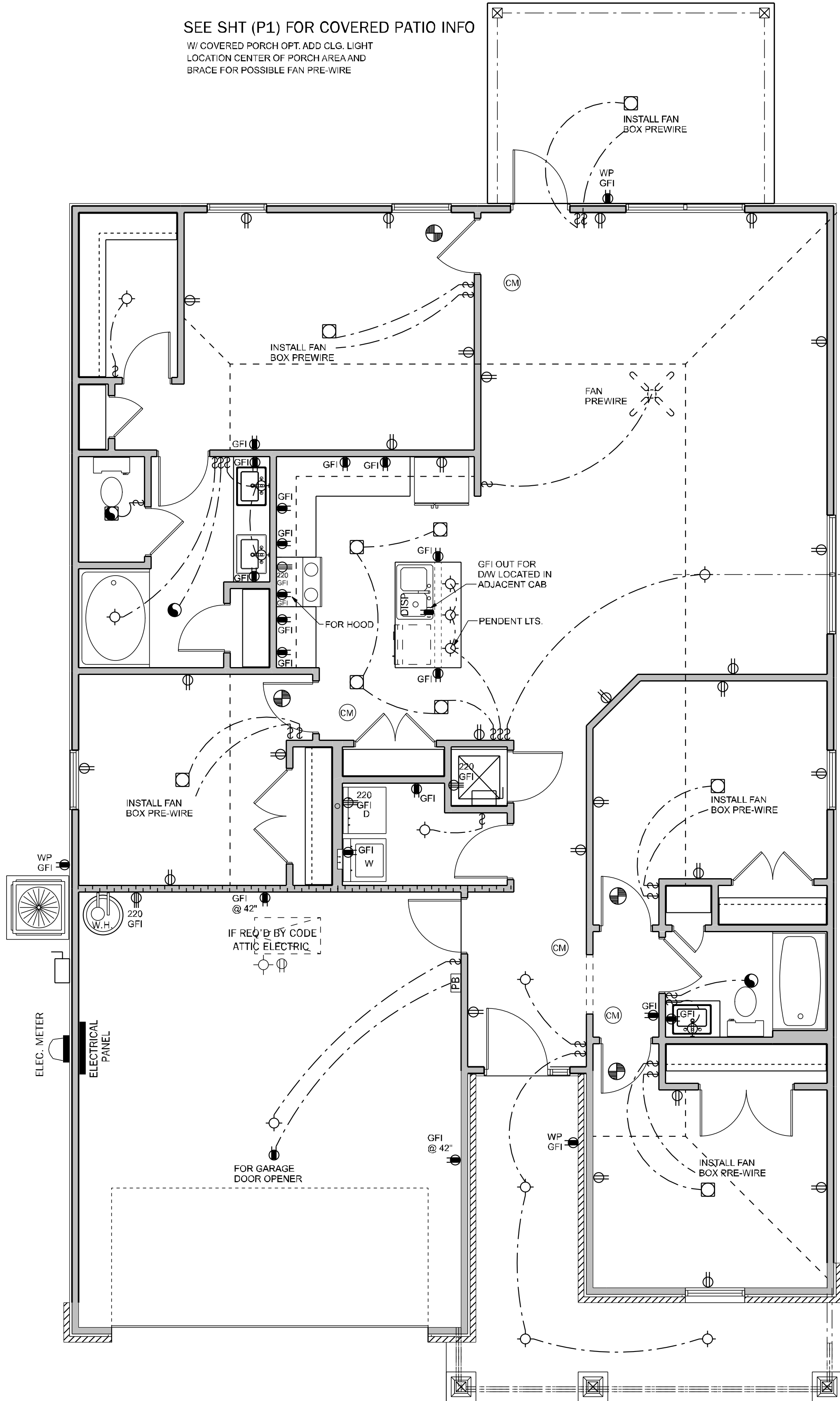
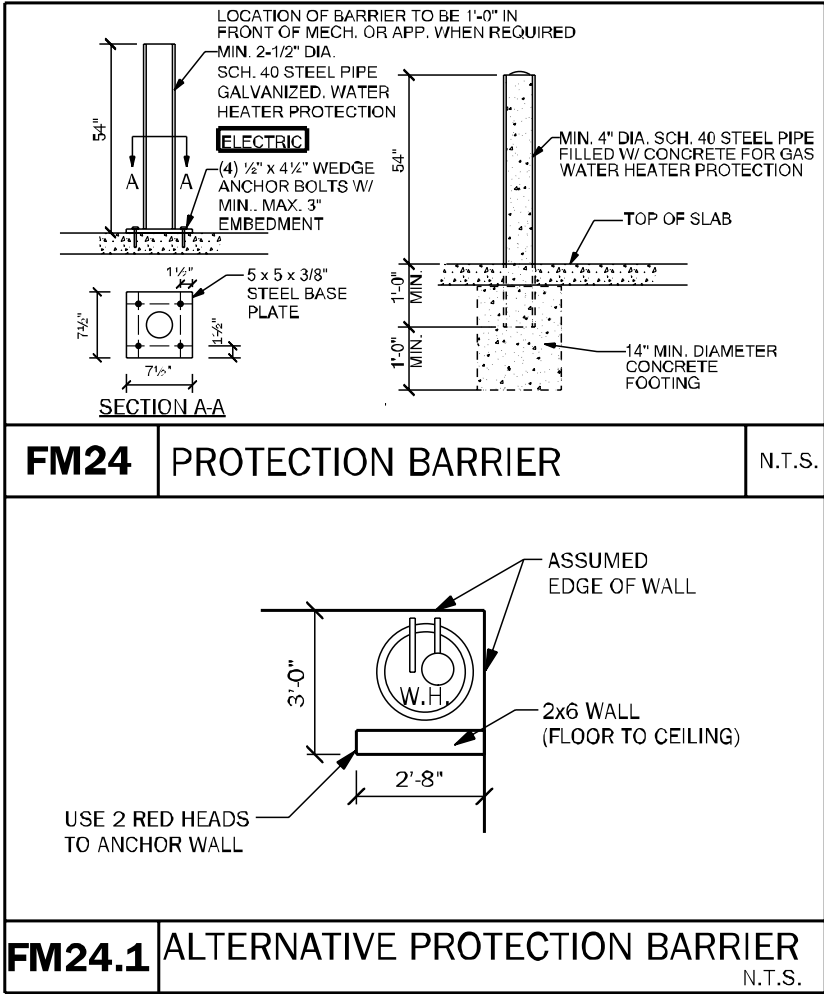
Plan Issue Date:
Monday, September 30, 2024

KA PROJECT NUMBER:
24-10572

Sheet:
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Of:

FLOOR PLAN

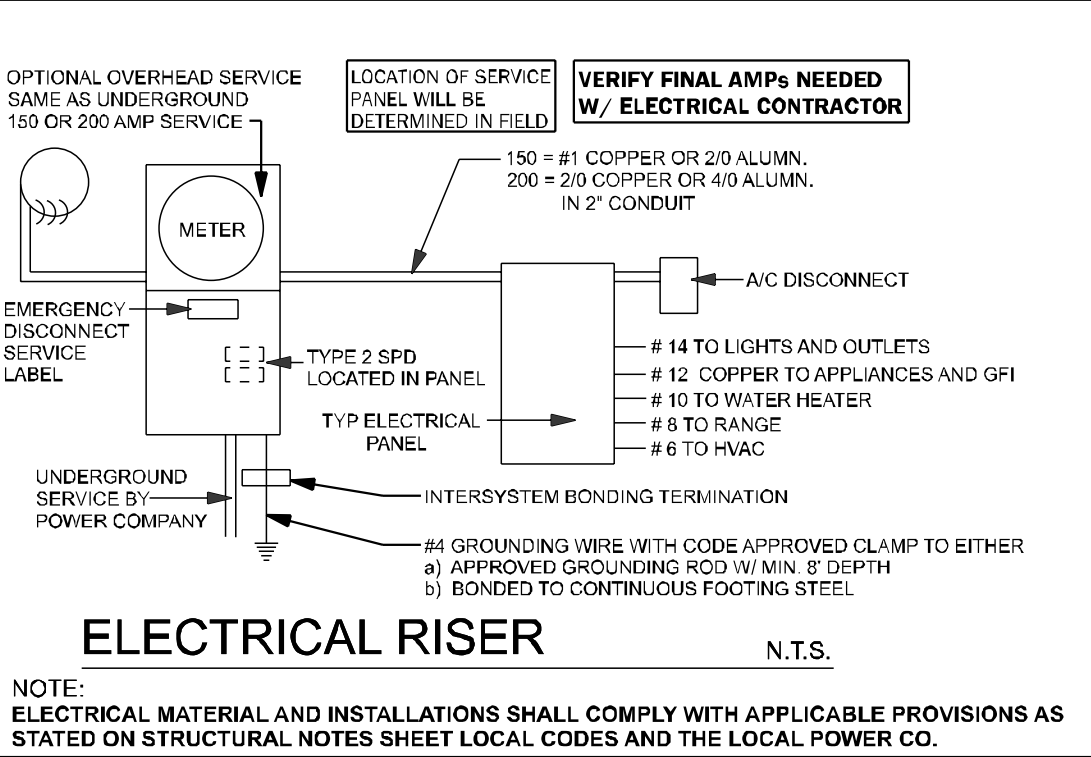
LOAD CALCULATIONS		
COOLING GREATER THAN HEATING		
GENERAL LIGHTING & RECEPTACLES		
3 WATTS PER SQUARE FOOT OF LIVING		
S.F. LIVING	2264 X3	
	=	6792
APPLIANCE CIRCUITS		
1 RANGE		8500
0 OVEN		0
0 PEP TANK		0
1 MICRO / HOOD		1000
1 WATER HEATER		4500
0 WHIRL POOL		0
1 WASHER		1500
1 DRYER		5000
1 DISHWASHER		1500
1 WELL PUMP		1500
0 IRRIGATION PUMP		0
1 DISPOSAL		600
SMALL APPLIANCE CIRCUITS		4500
2 BATH FANS (100 WATTS / EACH)		200
GENERAL LIGHT'G & RECEPT. + APP. CIR.		35592
SUBTRACT 100% OF FIRST 10,000		-10000
	A	25592
HVAC CIRCUITS		
1 A/C (AIR HANDLER & COMP.)		10000
1 A/C (AUXILIARY HEAT STRIP)		10000
	B	20000
CIRCUIT CALCULATIONS		
FIRST 10,000 AMPS @ 100%		10000
+ 40% OF "A" = (.40 X A)		= 10236.8
+ 100% OF 20000		= 20000
TOTAL WATTAGE		= 40236.8
WATTS DIVIDED BY 240 = AMPS		
CALCULATED SERVICE AMP		= 167.6533
NOTE: FINAL CALCULATIONS TO BE DETERMINED BY LICENSED PROFESSIONAL		



ELECTRICAL NOTES: UNLESS OTHERWISE NOTED.

1. ELECTRICAL OUTLET HEIGHTS AS MEASURED FROM FINISHED FLOOR TO CENTER LINE OF THE BOX TO BE: 16" AFF (GENERAL), IN A FLOOD ZONE, ALL ELECTRICAL EQUIPMENT TO BE AT OR ABOVE DFE.
2. ALL TRIM PLATES AND DEVICES TO BE GANGED, WHERE POSSIBLE.
3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE ABOVE FINISHED FLOOR.
4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC), LATEST EDITION, BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL WIRING & ACCESSORIES.
5. SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314 AND SHALL BE LISTED IN ACCORDANCE WITH UL 217, COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.
6. PROVIDE AFCI'S (ARC-FAULT CIRCUIT INTERRUPTERS) COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUITS IN ALL DWELLING UNITS PER NFPA 70 (CURRENT EDITION) AND THE NEC AND AS DEFINED IN UL 1699.
7. PROVIDE TAMPER RESISTANT RECEPTACLES AS REQUIRED BY THE NFPA 70 (CURRENT EDITION).
8. CARBON MONOXIDE PROTECTION: CARBON MONOXIDE ALARMS OR DETECTORS SHALL BE INSTALLED IN ALL DWELLING UNITS IN ACCORDANCE WITH IFB R315 AND NFPA 70. SUCH DEVICES SHALL BE LISTED BY THE APPROPRIATE STANDARD, EITHER ANSI/UL 2034, STANDARD FOR SINGLE AND MULTIPLE STATION CO ALARMS OR UL 2075, GAS AND VAPOR DETECTOR SENSOR, ACCORDING TO THE INSTALLATION.
9. RES. I.2 COMBINATION ALARMS: COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED AND LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.
10. KEEP ALL SMOKE DETECTORS MINIMUM OF 36" FROM BATHROOM DOORS.
11. IN NEW CONSTRUCTION, SMOKE DETECTORS SHALL BE HARDWIRED INTO AN A/C ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP.
12. BATHROOM EXHAUST FANS MUST VENT TO THE EXTERIOR OF THE BUILDING, VENTILATION TO ATTIC SPACE AND SOFFITS IS NOT ACCEPTABLE.
13. CHAPTER 45 PRIVATE SWIMMING POOLS — OUTDOOR SWIMMING POOLS SHALL BE PROVIDED WITH A BARRIER COMPLYING WITH R4501.17.1.1 THROUGH R4501.17.1.14.
14. ADD GFCI PROTECTION TO RECEPTACLES IN LAUNDRY ROOMS AND UTILITY ROOMS OF DWELLINGS WHERE INSTALLED WITHIN 6' OF THE OUTSIDE EDGE OF A SINK. THIS WOULD INCLUDE THE RECEPTACLE INSTALLED FOR A WASHING MACHINE. RECEPTACLE OUTLETS SHALL NOT BE REQUIRED ON A WALL DIRECTLY BEHIND A RANGE OR SINK TO FULFILL THE REQUIREMENT OF AN OUTLET EVERY 24". THE WIDTH OF THE SINK OR RANGE IS NOT TO BE INCLUDED IN THE SPACING OF THE OUTLETS UNLESS THE DISTANCE FROM THE SINK OR RANGE IS GREATER THAN 12" FOR STRAIGHT COUNTER TOPS AND 18" FOR SINKS AND RANGES INSTALLED IN CORNER COUNTERS.
15. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM.
16. FOR ONE- AND TWO-FAMILY DWELLING UNITS, ALL SERVICE CONDUCTORS SHALL TERMINATE IN DISCONNECTING MEANS HAVING A SHORT-CIRCUIT CURRENT RATING EQUAL TO OR GREATER THAN THE AVAILABLE FAULT CURRENT, INSTALLED IN A READILY ACCESSIBLE OUTDOOR LOCATION. EACH DISCONNECT SHALL BE ONE OF THE FOLLOWING:
(1) SERVICE DISCONNECTS MARKED AS FOLLOWS:
EMERGENCY DISCONNECT,
SERVICE DISCONNECT,
(2) METER DISCONNECTS INSTALLED PER 230.82(3) AND MARKED AS FOLLOWS:
EMERGENCY DISCONNECT,
METER DISCONNECT,
NOT SERVICE EQUIPMENT
(3) OTHER LISTED DISCONNECT SWITCHES OR CIRCUIT BREAKERS ON THE SUPPLY SIDE OF EACH SERVICE DISCONNECT THAT ARE SUITABLE FOR USE AS SERVICE EQUIPMENT AND MARKED AS FOLLOWS:
EMERGENCY DISCONNECT,
NOT SERVICE EQUIPMENT
MARKINGS SHALL COMPLY WITH 110.24(B).
17. ALL PERMANENTLY INSTALLED LUMINAIRES, EXCLUDING THOSE IN KITCHEN APPLIANCES, SHALL HAVE AN EFFICACY OF AT LEAST 45 LUMENS/PERWATT OR SHALL UTILIZE LAMPS WITH AN EFFICACY OF NOT LESS THAN 65 LUMENS/PERWATT.

ELECTRICAL LEGEND	
\$ SINGLE POLE SWITCH	SMOKE DETECTOR
\$2 DOUBLE POLE SWITCH	CARBON MONOXIDE/ SMOKE DETECTOR COMBO UNIT
\$3 THREE-WAY SWITCH	FLOOD LIGHT
\$4 FOUR-WAY SWITCH	FLUORESCENT LIGHTING
\$DM DIMMER SWITCH	TRACK LIGHTING
CEILING MOUNTED FIXTURE	CEILING FAN
SCOUNCE (WALL MOUNTED) FIXTURE	CHIMES
110 VOLT DUPLEX OUTLET	DISP
110 VOLT SPLIT SWITCHED OUTLET	DISP
GROUND FAULT INTERRUPT	DISPOSAL
WP WATER PROOF W/ GROUND FAULT	DISCONNECT SWITCH
220 VOLT OUTLET	PREWIRE SPEAKER
SPECIAL SERVICES OUTLET	JUNCTION BOX
T.V. CABLE OUTLET	THERMOSTAT
TELEPHONE CABLE OUTLET	LOW VOLTAGE LIGHTING
RECESSED LIGHTING	INTERCOM SYSTEM
WP WATER PROOF RECESSED LIGHTING	GARAGE DOOR PUSH BUTTON
BATH FAN	
BATH FAN W/ LIGHT	
L.E.D. DISC LIGHT	



ELECTRICAL PLAN -CR-

SCALE: 1/4" = 1'-0"

COUNTY SEAL

Monday, September 30, 2024

To the best of the Engineer's knowledge, information, and belief, the design complies with applicable codes and regulations, and the Engineer is not providing any warranty or representation other than that the design complies with the applicable codes and regulations. The Engineer is not responsible for any errors or omissions in the design or for any consequences arising from the use of the design. The Engineer is not responsible for any errors or omissions in the design or for any consequences arising from the use of the design.

FDS ENGINEERS ASSOCIATES

2250 N. GULF BLVD., SUITE 200
PENSACOLA, FL 32503
904.433.1234
www.fdseng.com

Professional Engineer
No. 12581
State of Florida

Carl A. Brown, P.E.
Scott A. Lewkowksi, P.E.
Then Bao Duong, P.E.

FL # 96126
FL # 78750
FL # 94452

keesee associates

ARCHITECTURE | DESIGN | PLANNING

2240 N. GULF BLVD., SUITE 200
PENSACOLA, FL 32503
904.433.1234
www.keesee.com

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DAMS HOMES

FLORIDA CONTRACTORS LICENSE NO. CRC1330146

**100 WEST GARDEN STREET
PENSACOLA FL 32502**

DIVISION LOCATION:
GAINESVILLE

Job Information:

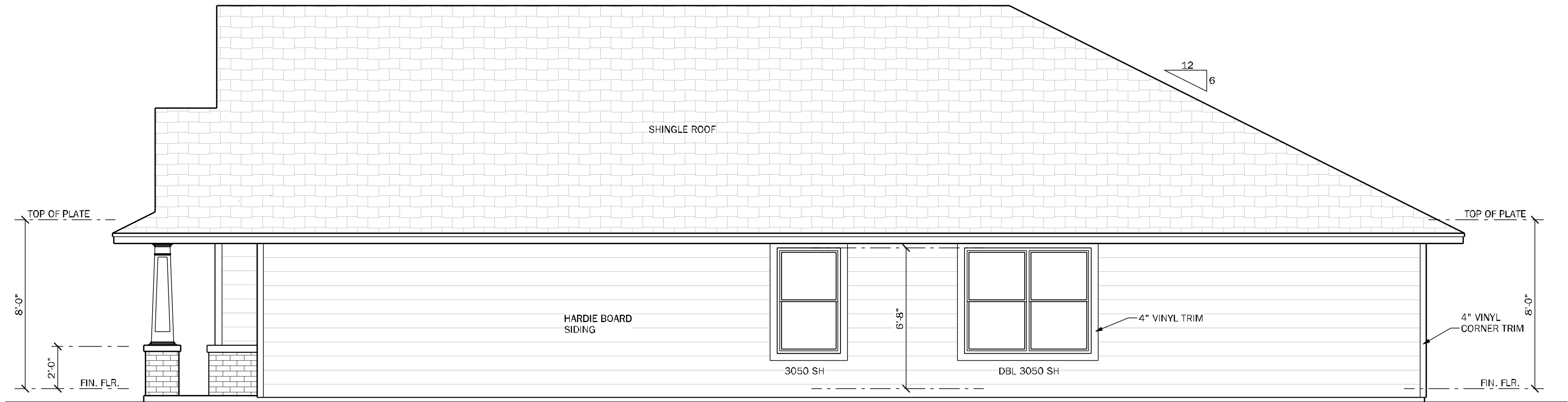
INVENTORY	
LOT: 90	
BLK:	
SEC:	
SUB: Preserve at Laurel Lake	
281 S.W. Silver Palms Dr	
Lake City	

Model Name / Number:	
1635	
Plan Issue Date:	
Monday, September 30, 2024	
KA PROJECT NUMBER:	
24-10572	
Sheet:	4
ELECTRICAL	

VENTILATION CALCULATION

Formula = $SF / 300 / 2 * 144$ = net sq inches of venting needed equally for intake and exhaust

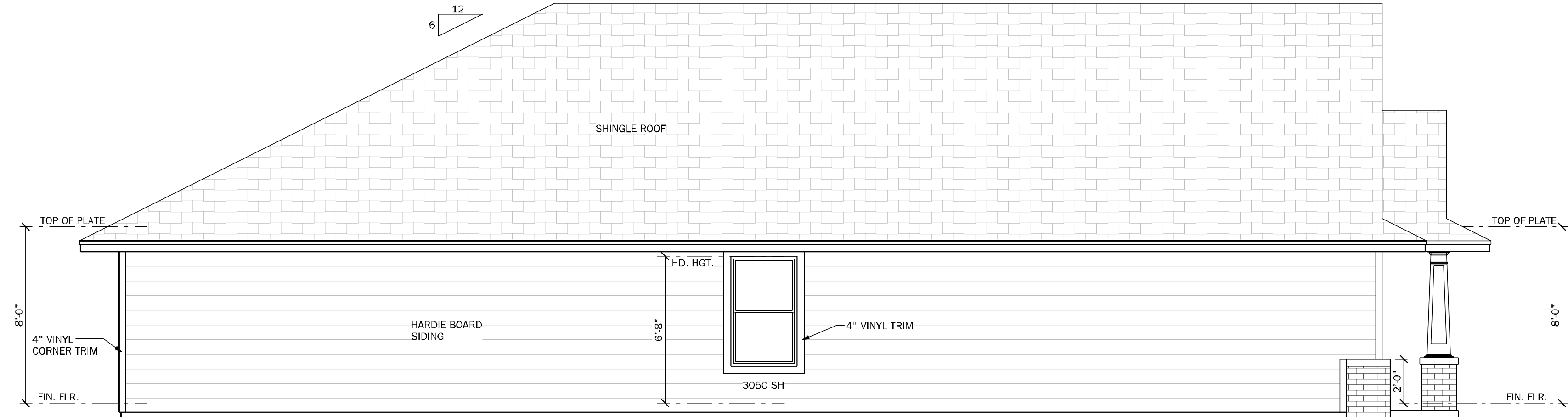
Soffit product provides	4.12 net sq in / sf
Ridge vent provides	18.00 net sq in / lf
Off ridge vent provides	138.00 net sq in / sf
Overhang distance	2.00 ft
S.F. of Area to be vented (SF)	2087 s.f.
Total needed for exhaust for upper 1/3	501 net sq inches
Total needed for intake (soffit area, lower)	501 net sq inches
Number of Off Ridge Vents for upper 1/3 needed	4
L.F. of Ridge Vent needed (can be used in combo with ORV)	28
Lineal Feet of Soffit needed to meet required	61
Lineal S.F. provided by plan	155



SEE SHT (P1) FOR COVERED PATIO INFO

RIGHT ELEVATION -CR-

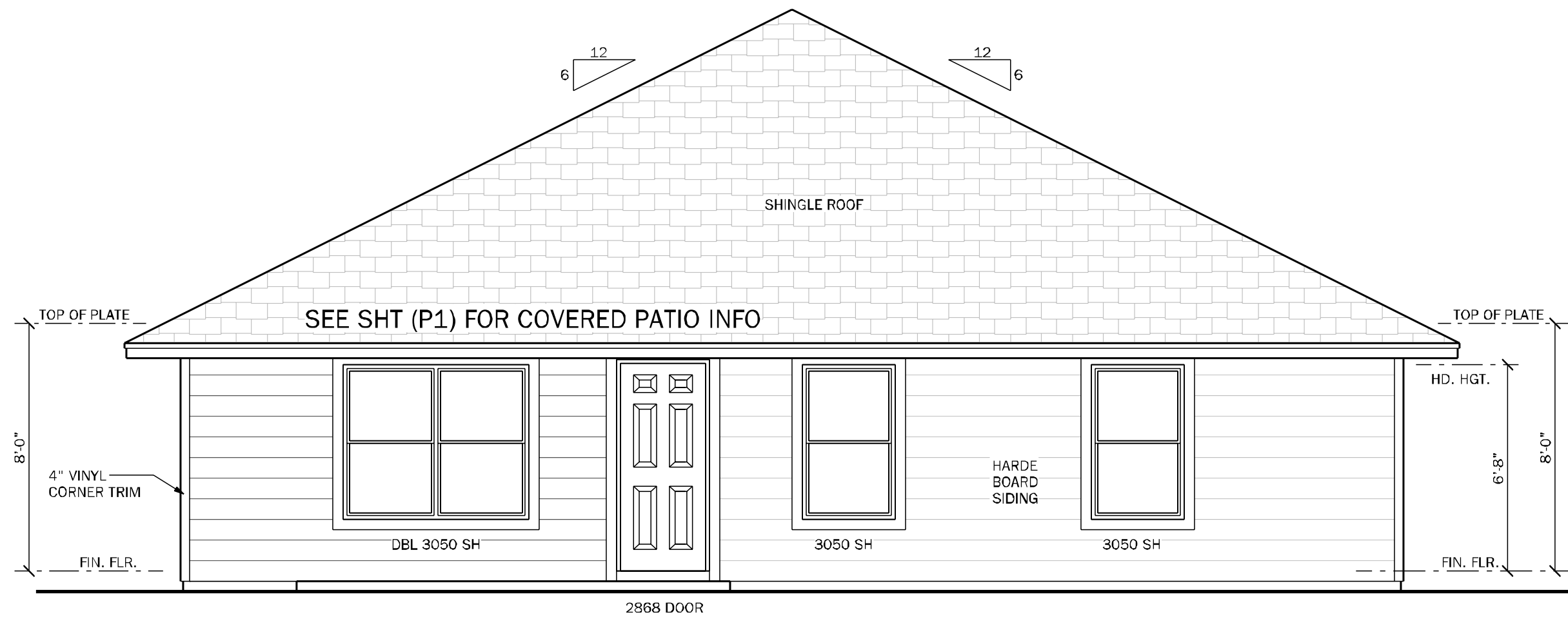
SCALE: 1/4" = 1'-0"



SEE SHT (P1) FOR COVERED PATIO INFO

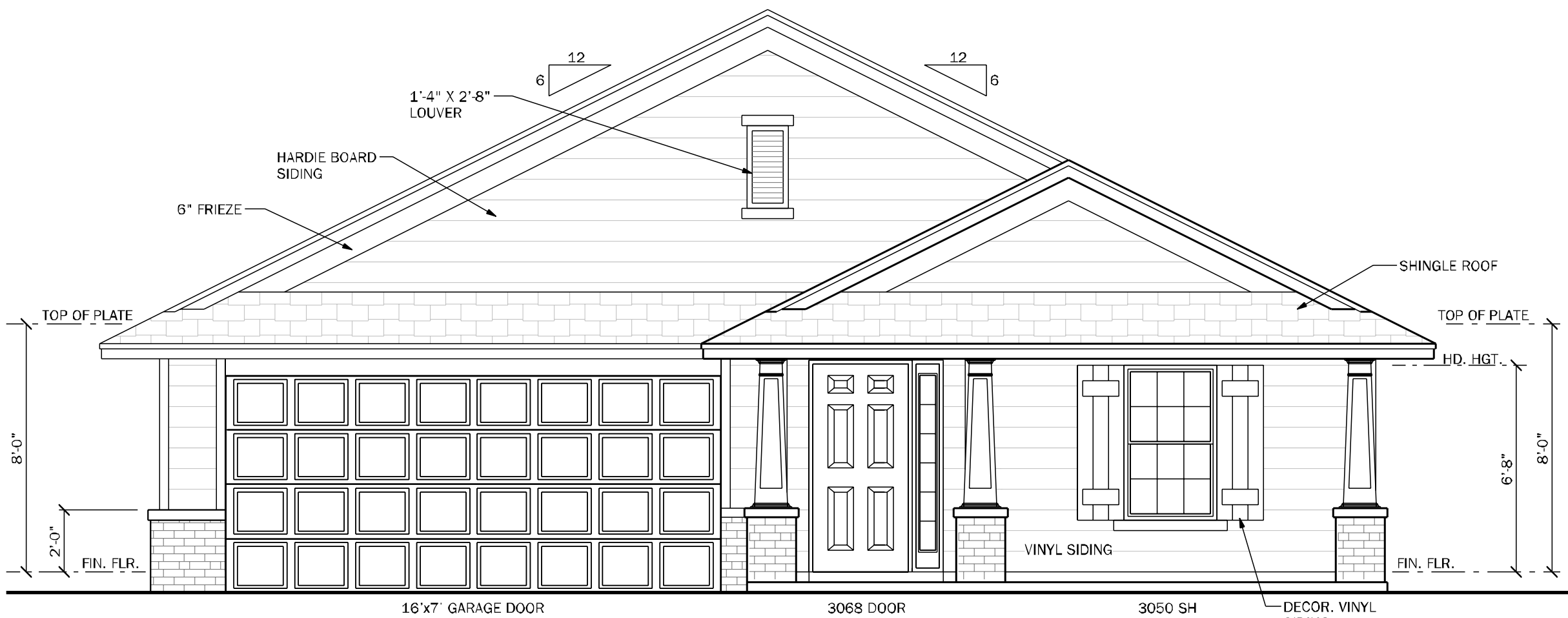
LEFT ELEVATION -CR-

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION -CR-

SCALE: 1/4" = 1'-0"

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ARCHITECTURE | DESIGN | PLANNING
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Pensacola, FL 32507
904.780.1335
www.keese.com

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ENGINEERING ASSOCIATES
0 (CA), 0 (FL), 0 (GA), 0 (NC), 0 (SC), 0 (VA)
288 S. Central Ave., Suite 200
Pensacola, FL 32507
904.780.1335
www.fdseng.com

☐ CARL A. BROWN, P.E.
☐ SCOTT A. LEWOWSKI, P.E.
☐ THIEN BAO DUONG, P.E.

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FDS
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DAMS HOMES
FLORIDA CONTRACTORS LICENSE NO. CRC1330146
100 WEST GARDEN STREET
PENSACOLA FL 32502

DIVISION LOCATION:
GAINESVILLE

Job Information:

INVENTORY

LOT: 90
BLK:
SEC:
SUB: Preserve at Laurel Lake
281 S.W. Silver Palms Dr
Lake City

Model Name / Number:

1635

Plan Issue Date:


Monday, September 30, 2024

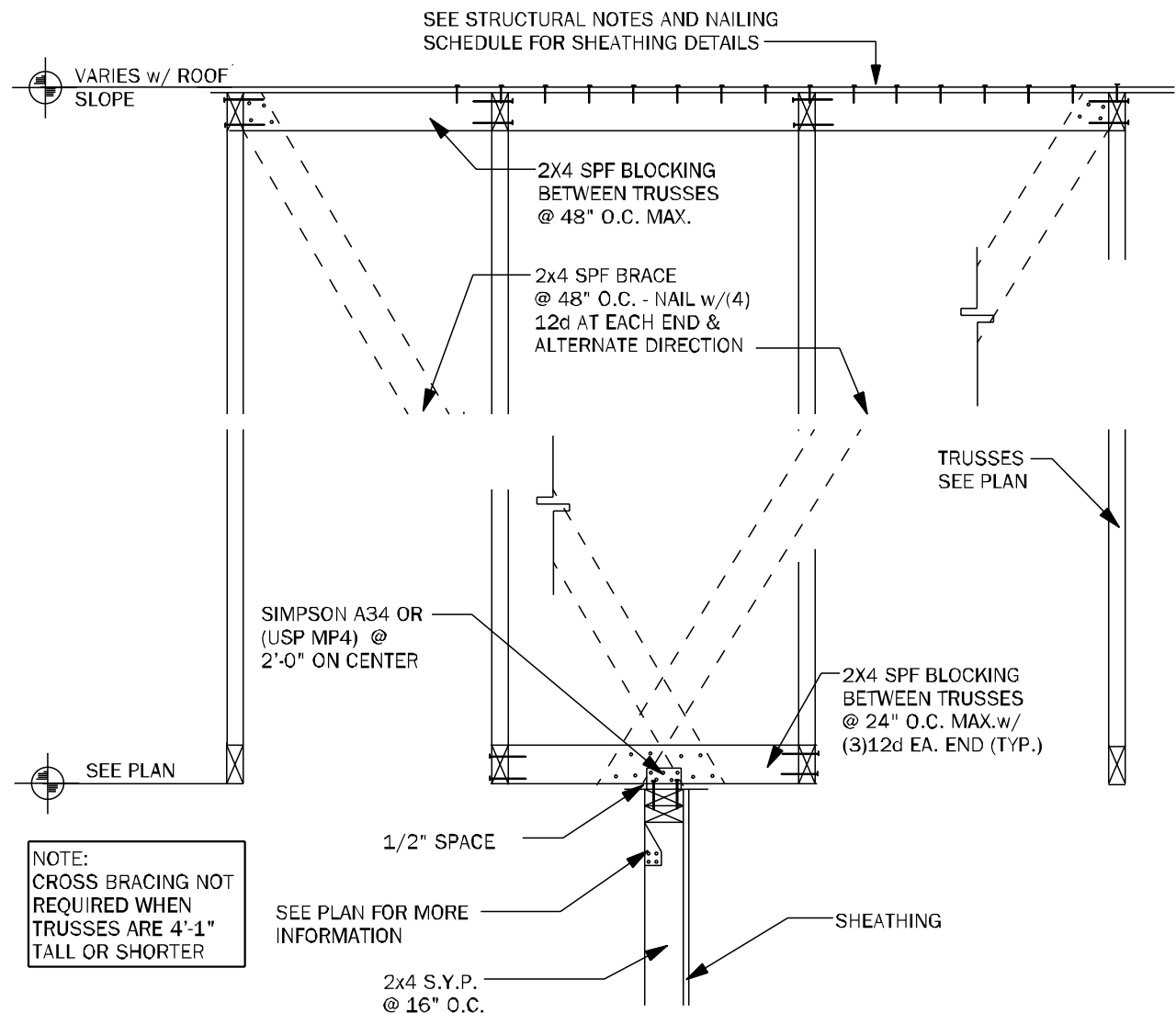
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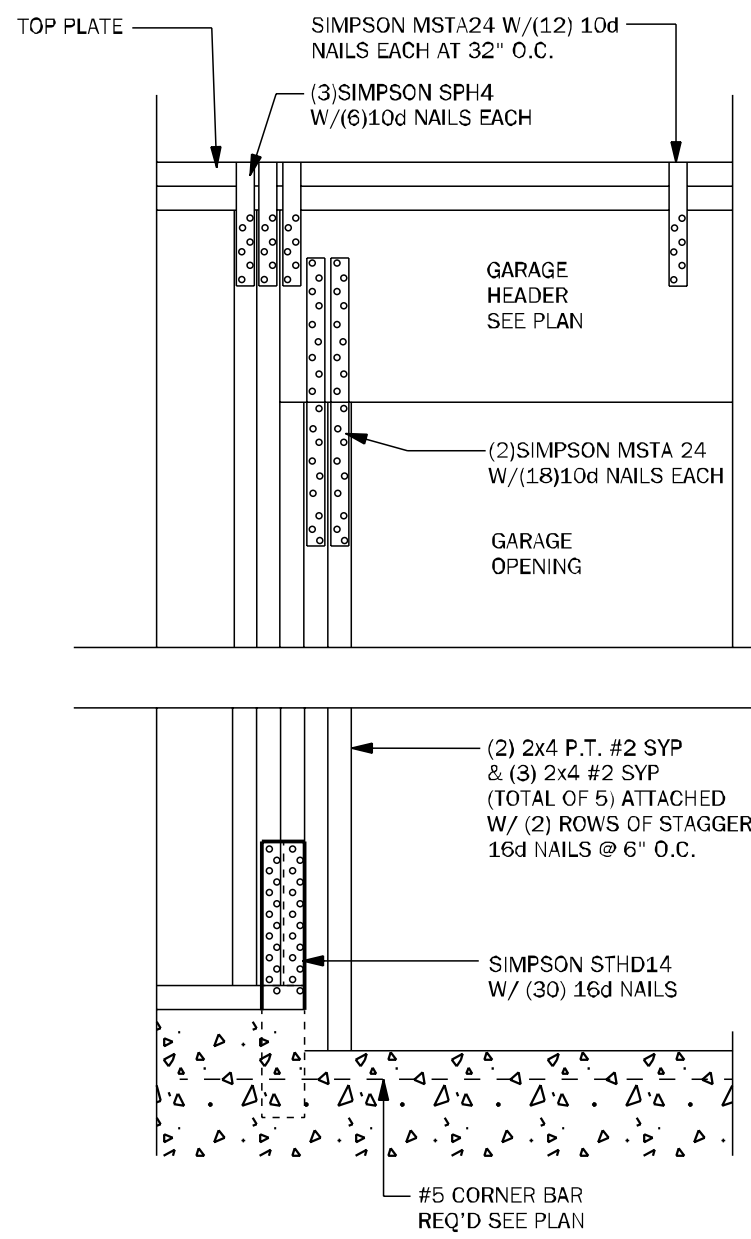
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ELEVATIONS

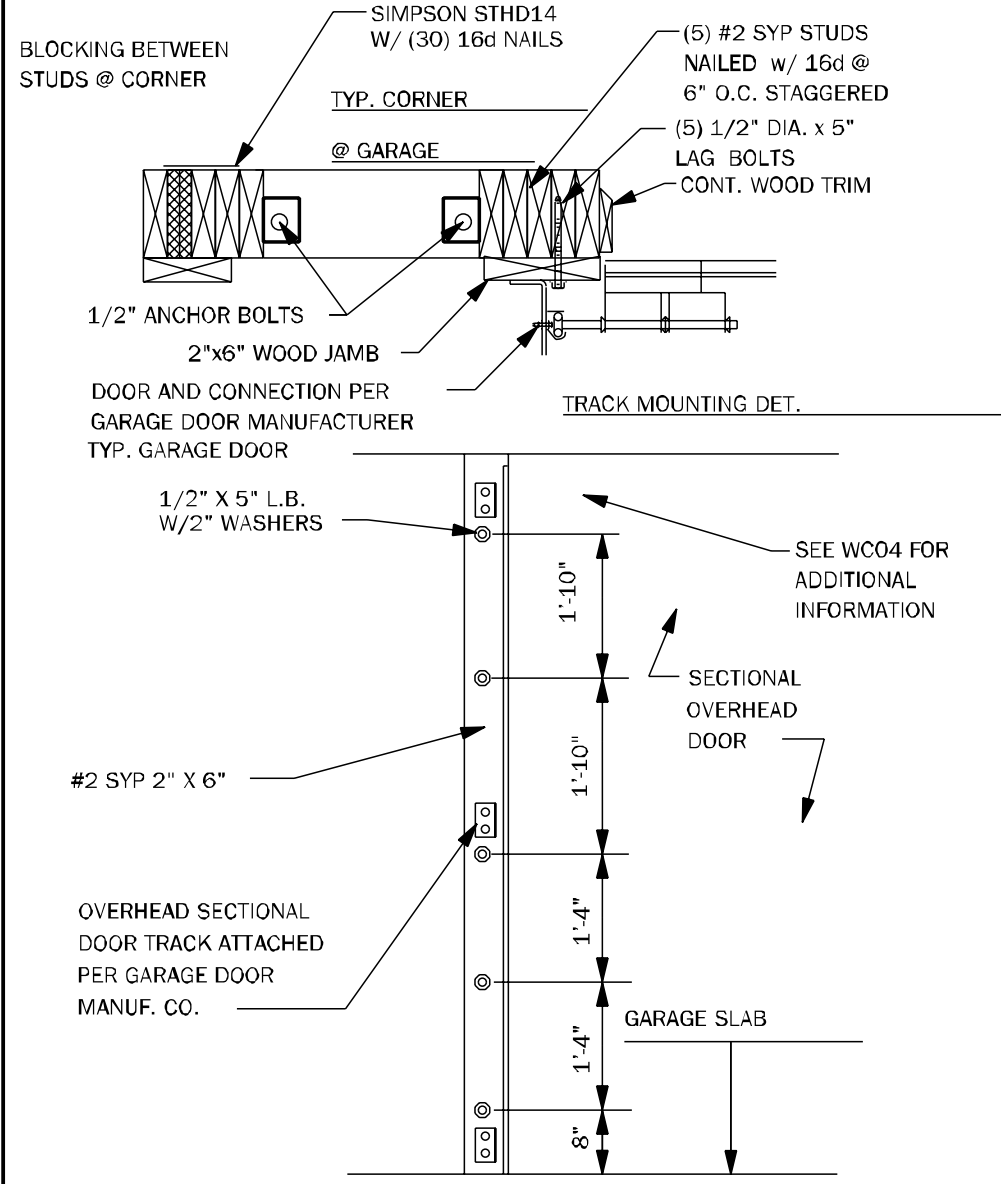
	
FLORIDA CONTRACTORS' LICENSE NO. CRC1330146	
100 WEST GARDEN STREET PENSACOLA FL 32502	
DIVISION LOCATION:	
GAINESVILLE	
▼ Job Information:	<div> <div>INVENTORY</div> <div> LOT: 90 BLK: SEC: SUB: </div> <div> Preserve at Laurel Lake 281 S.W. Silver Palms Dr Lake City </div> </div>
▼ Model Name / Number:	1635
▼ Plan Issue Date:	Monday, September 30, 2024
▼ KA PROJECT NUMBER:	24-10572
Sheet:	<div> <div>S-1</div> <div>of:</div> </div>
ROOF PLAN	



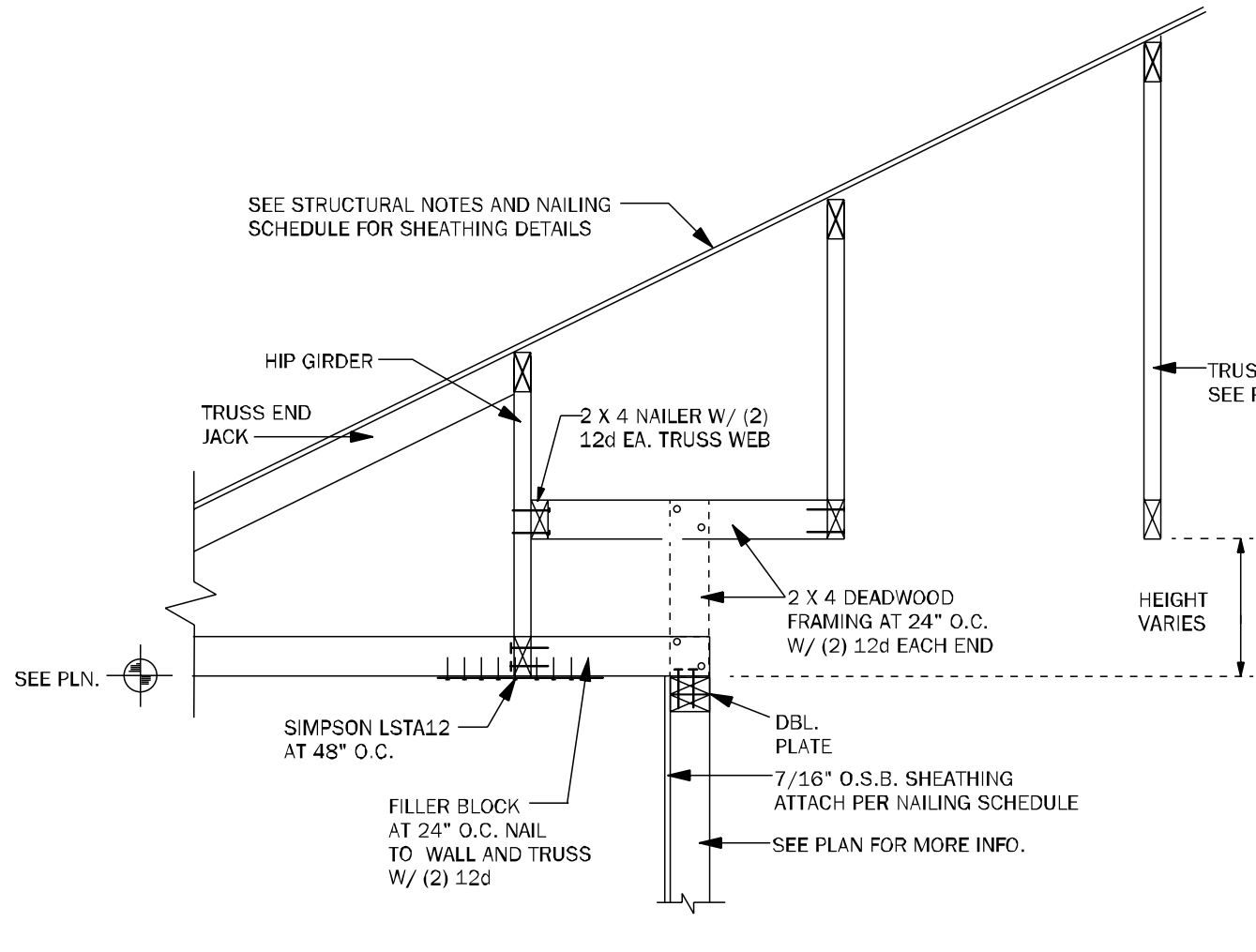
TB15 EXTERIOR NON-BEARING WALL DETAIL N.T.S.



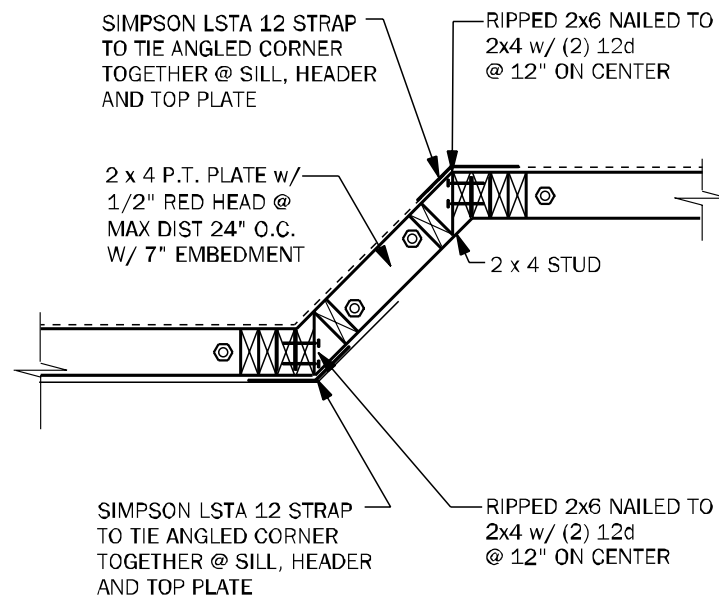
WC04 GARAGE HEADER ANCHOR 3/4" = 1'-0"



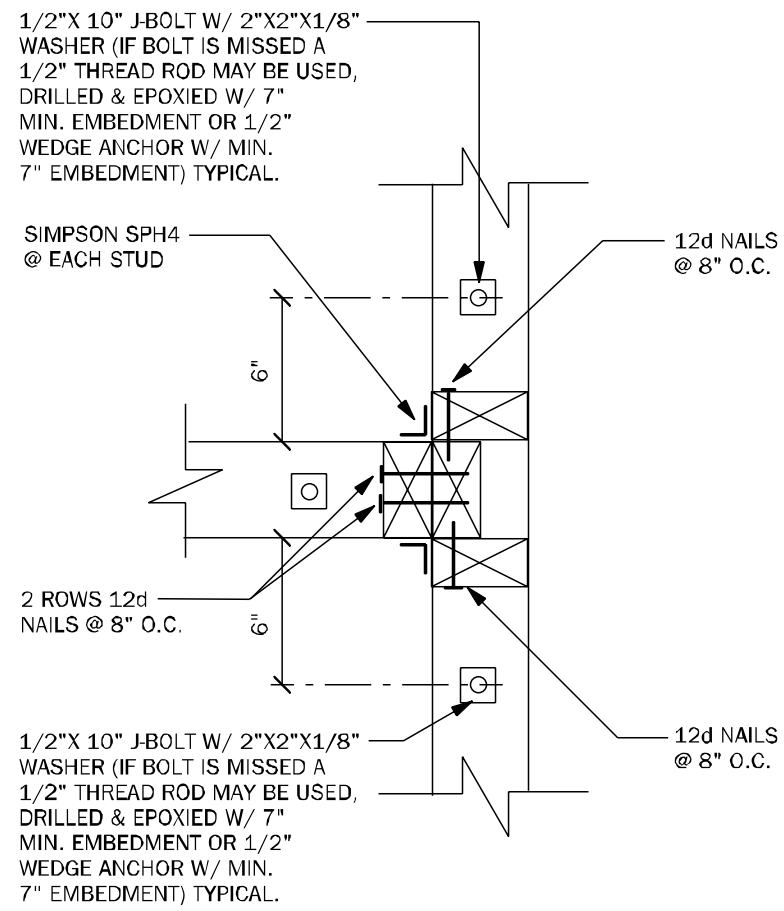
WC05 SECT. OVERHEAD GAR. DOOR INSTALL N.T.S.



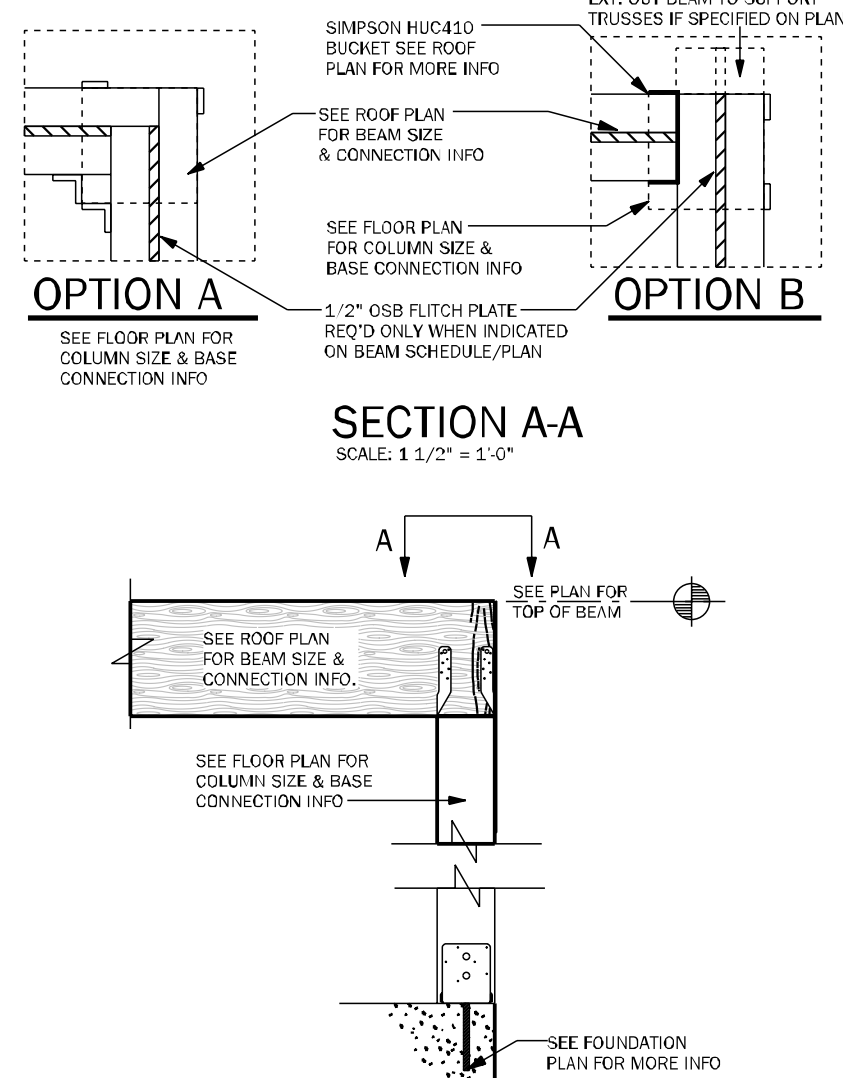
WF64 EXTERIOR NON BRG. WALL DETAIL N.T.S.



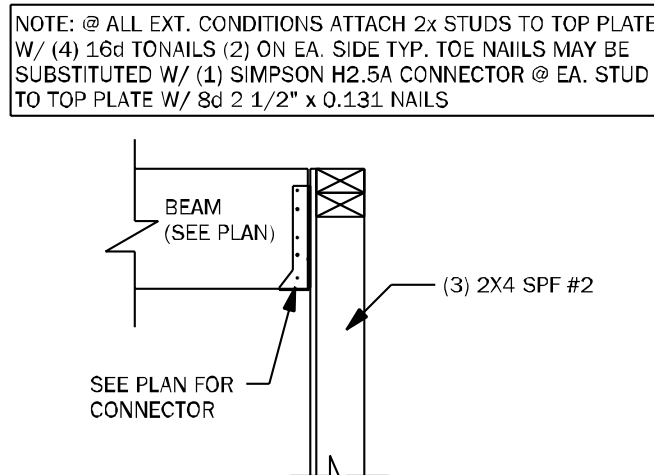
WF43 EXTERIOR ANGLED WALL DETAIL N.T.S.



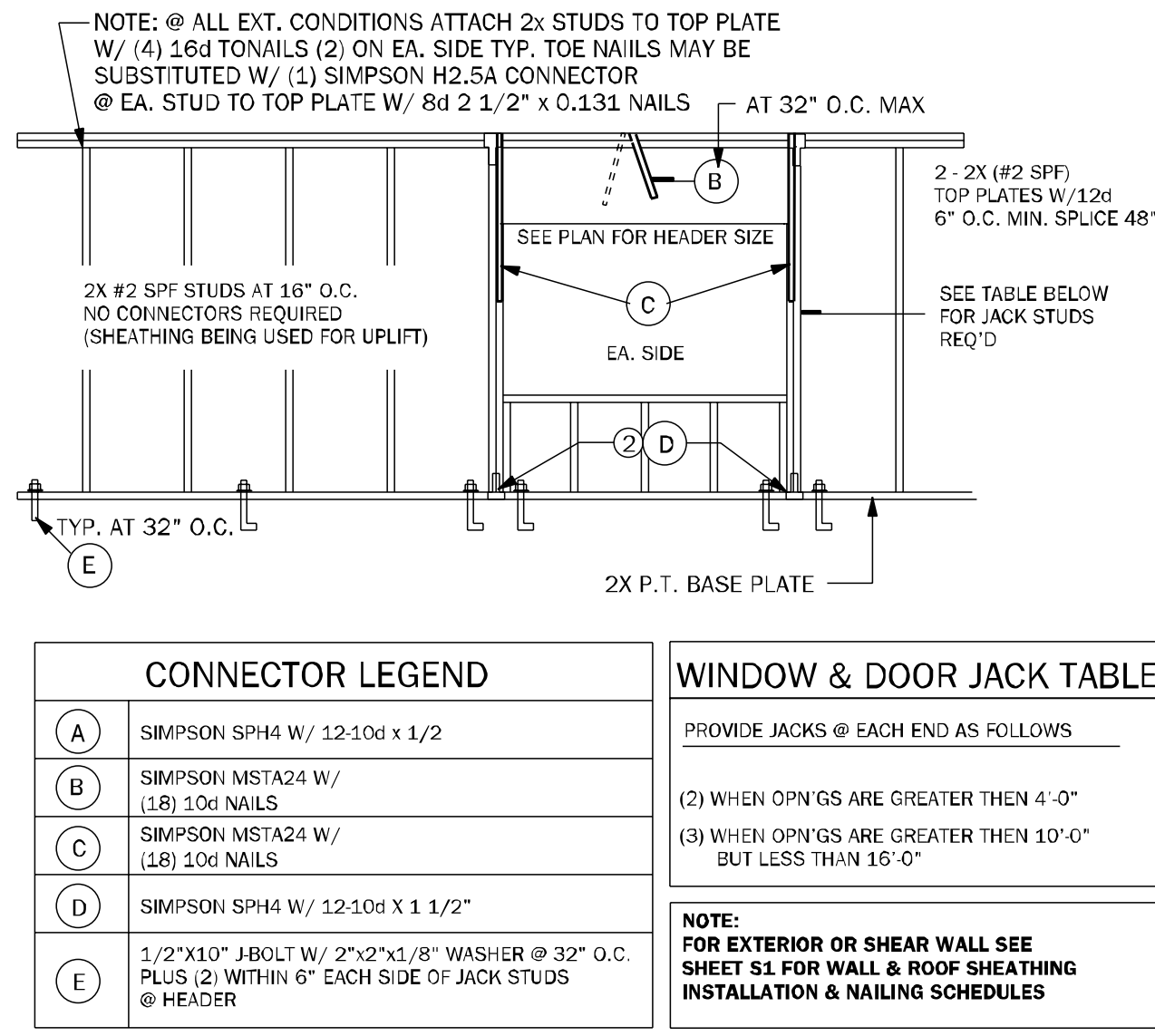
WC03 WALL TO WALL CONN. @ END OF SHEARWALL 1 1/2" = 1'-0"



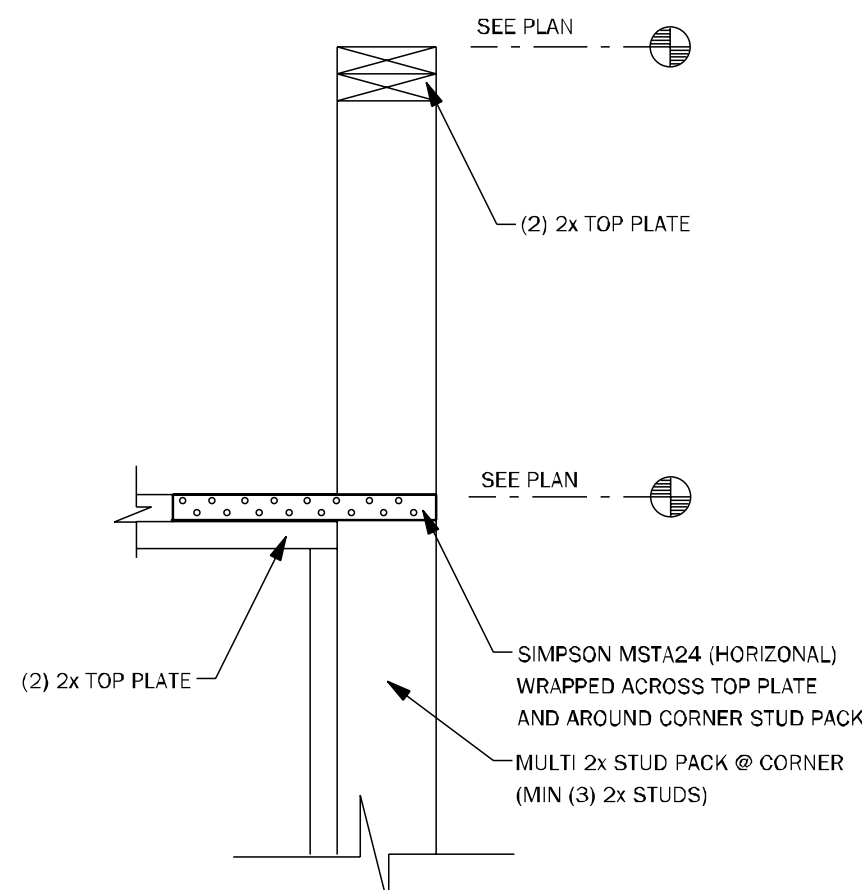
CD11 COMMON BEAM ATTACHMENT N.T.S.



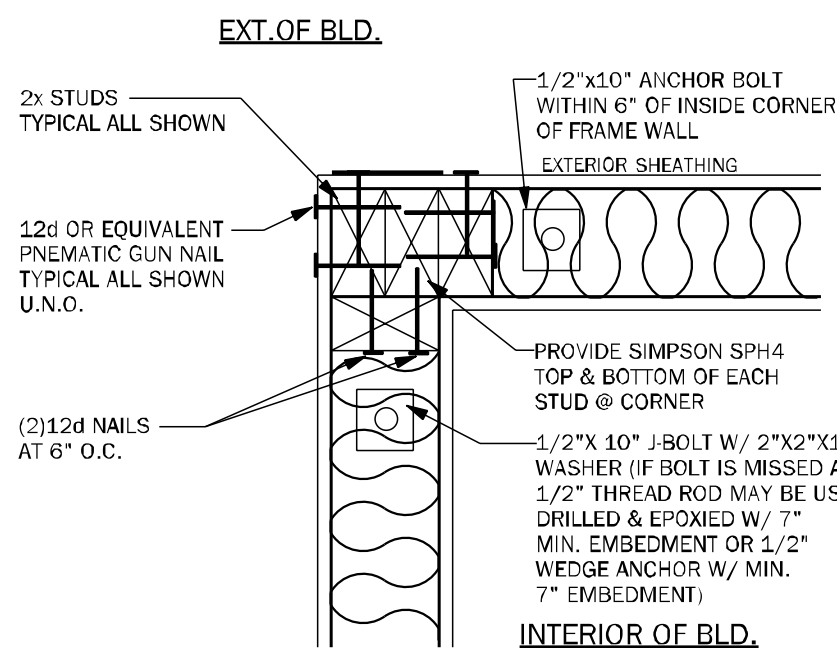
CD25 BEAM TO WALL CONNECTION N.T.S.



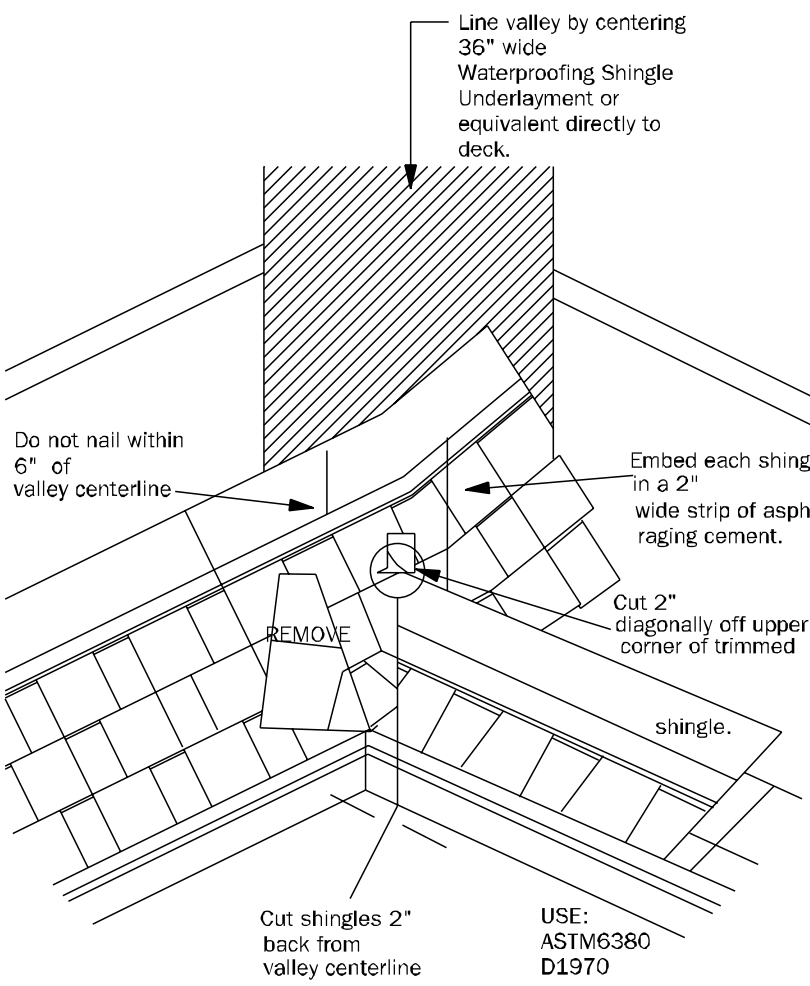
WF66 TYPICAL BEARING WALL N.T.S.



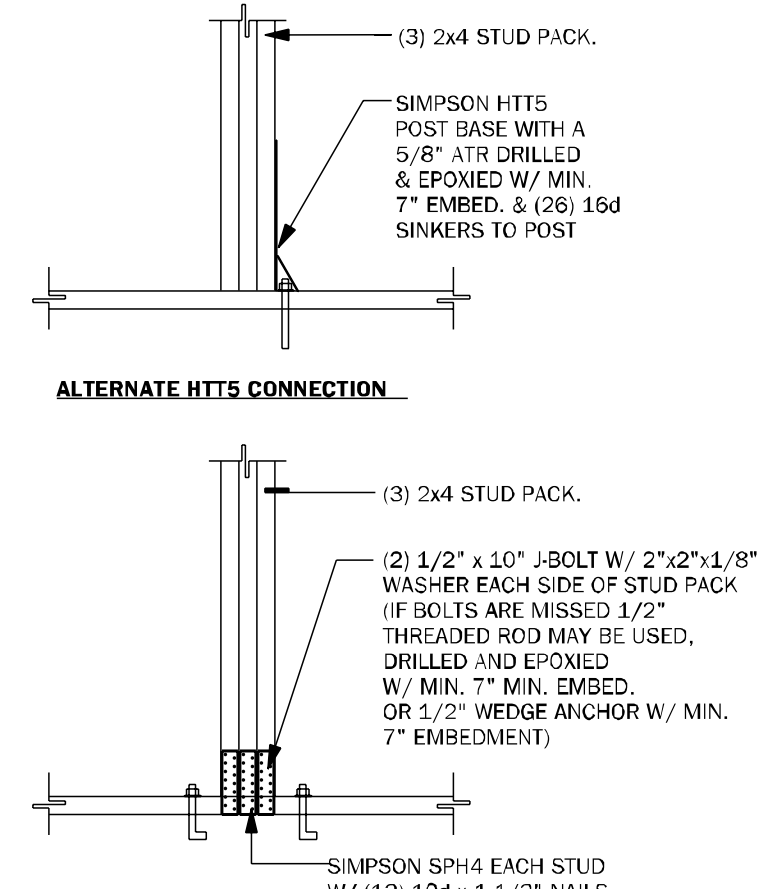
WC09 WALL STEP @ CORNER N.T.S.



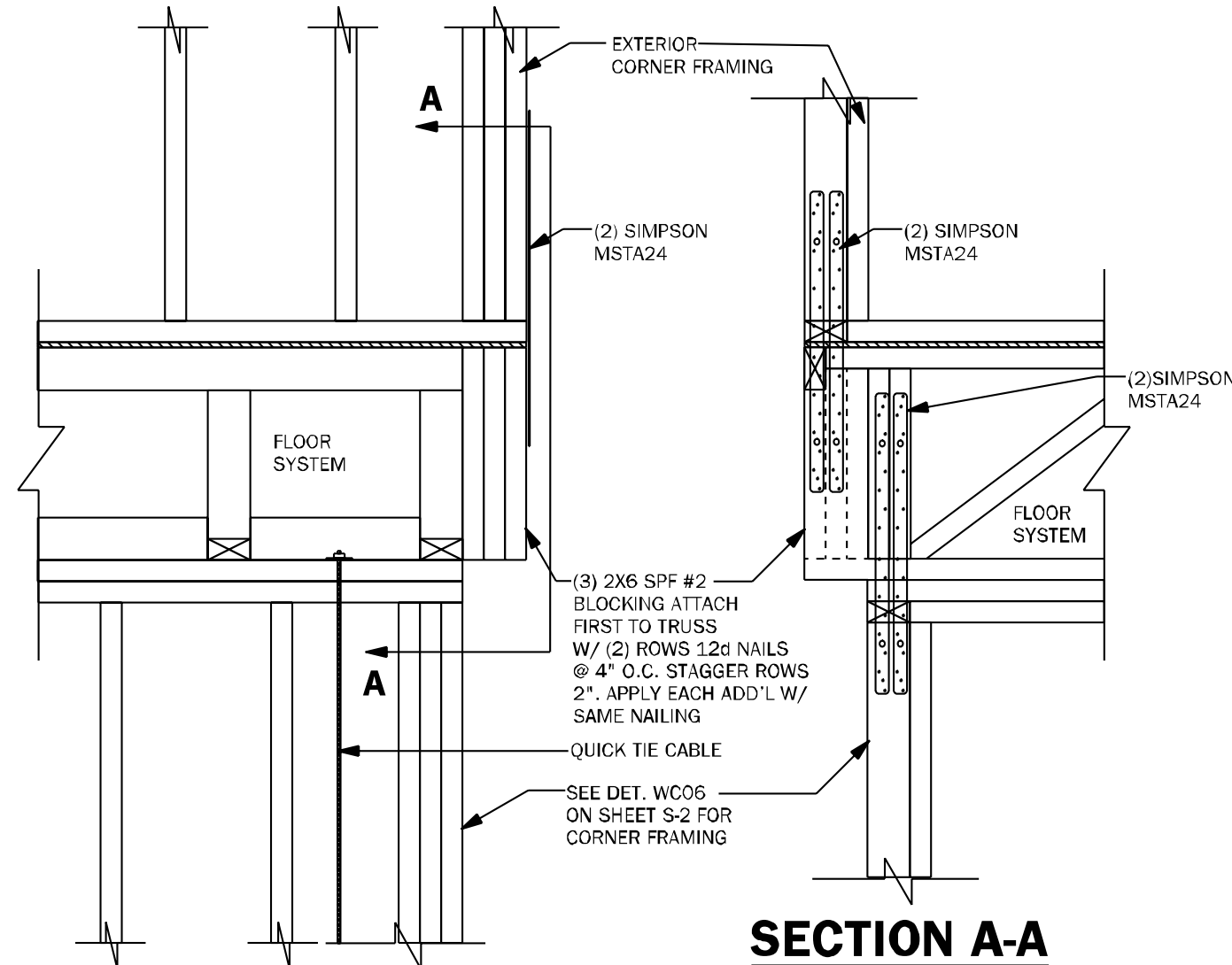
WC06 EXTERIOR FRAME CORNER 3/4" = 1'-0"



RD01 VALLEY FLASHING DETAIL N.T.S.



CD26 GIRDER BASE CONNECTION 1/2" = 1'-0"



WF68 CORNER CONNECTION N.T.S.

COUNTY SEAL

FDS ENGINEERS & ARCHITECTS

255 Seaboard Lane, Suite 200
Ft. Lauderdale, Florida 33304
Tel: 954.586.2904
Fax: 954.586.2905
www.fdseng.com

Keese Associates

ARCHITECTURE | DESIGN | PLANNING
2407 YSBO 2325
Gainesville, FL 32609
www.keese.com

FL # 9452
FL # 78750
P.E. CARL A. BROWN, P.E.
P.E. SCOTT A. LEWIS, P.E.
P.E. THIEN BAO DUONG, P.E.

DAMS HOMES

FLORIDA CONTRACTORS LICENSE NO. CRC1330146
100 WEST GARDEN STREET
PENSACOLA FL 32502

DIVISION LOCATION:
GAINESVILLE

Job Information:

INVENTORY

LOT: 90
BLK:
SEC:
SUB: Preserve at Laurel Lake
281 S.W. Silver Palms Dr
Lake City

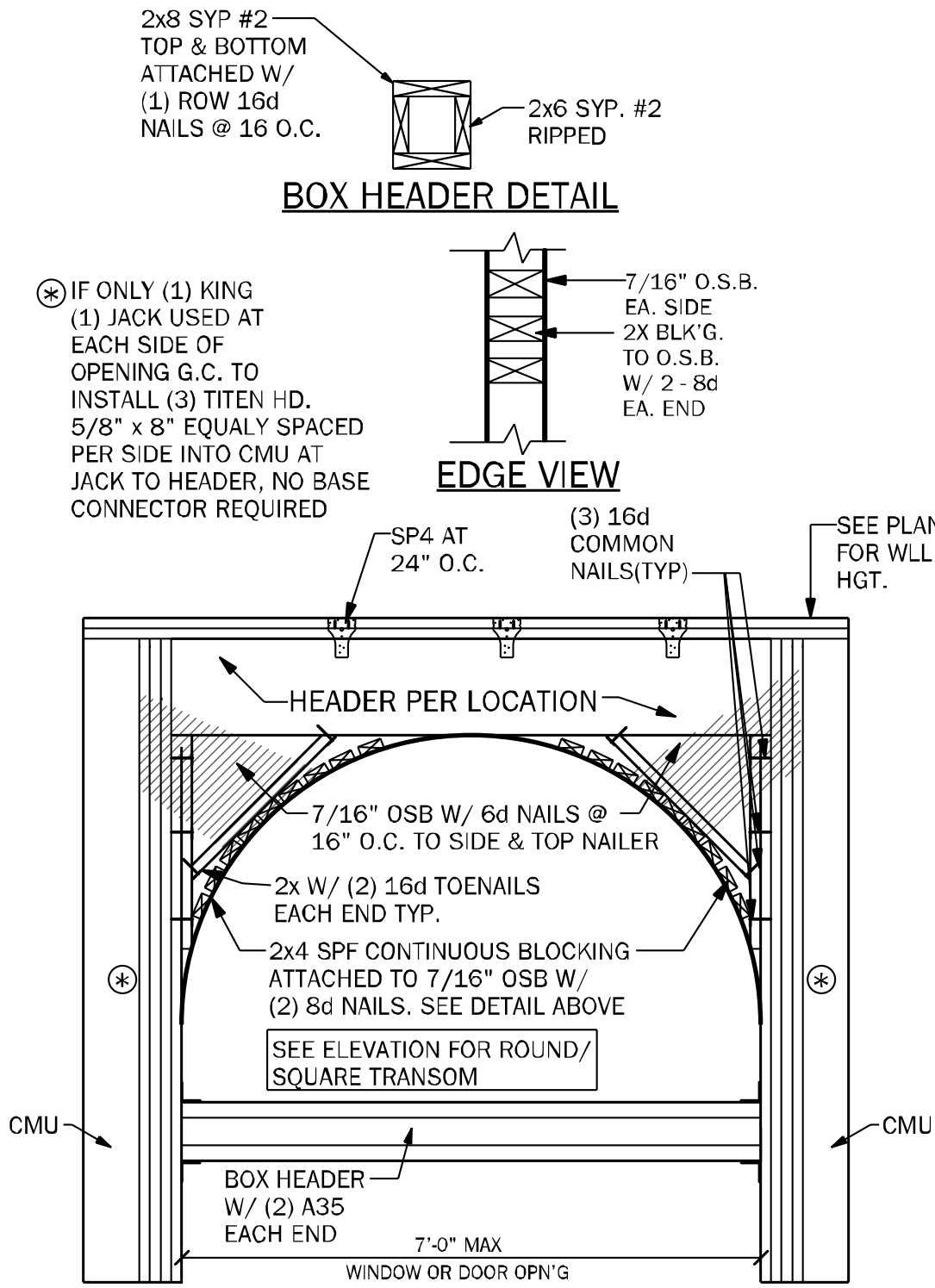
Model Name / Number:
1635

Plan Issue Date:
Monday, September 30, 2024

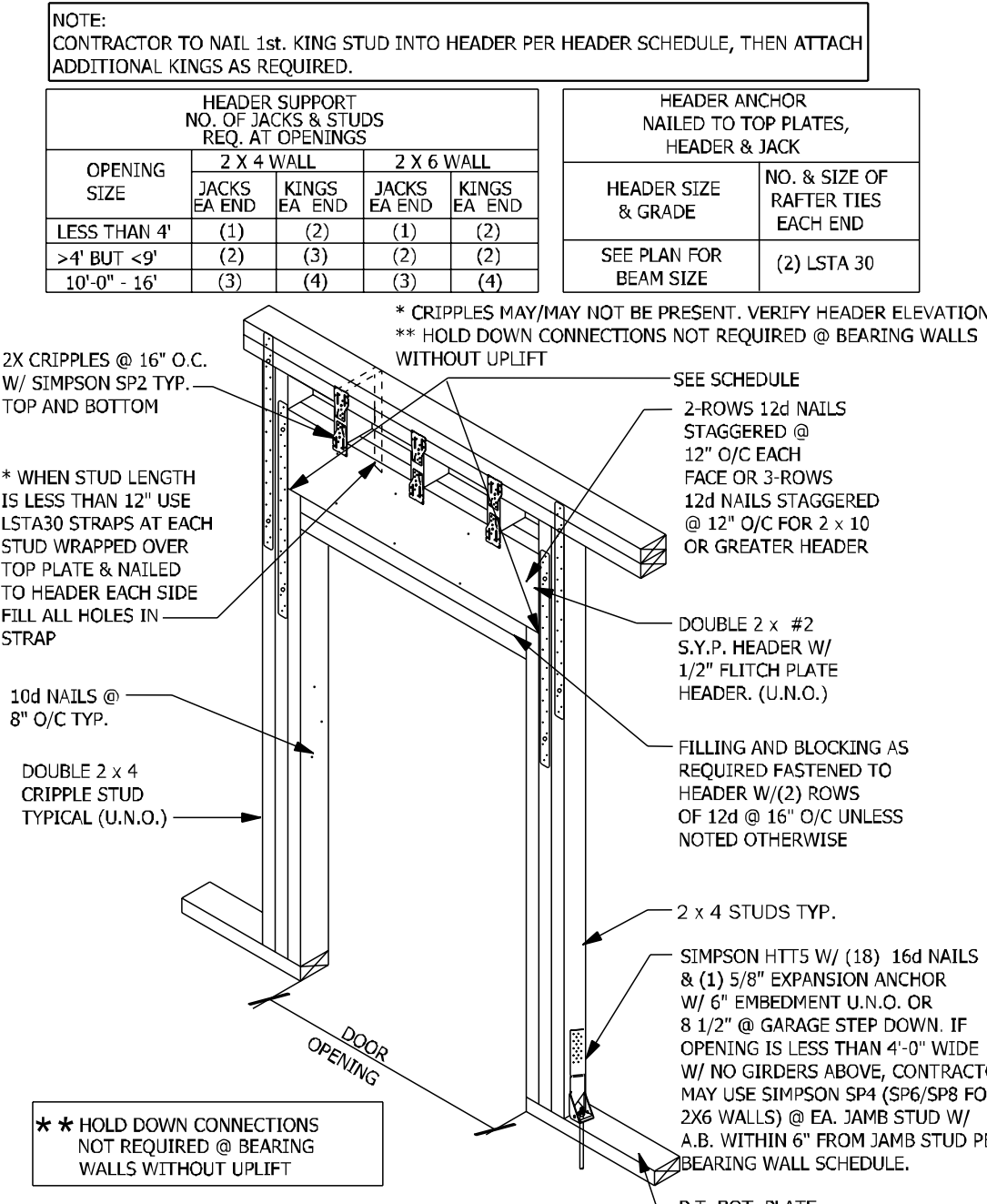
KA PROJECT NUMBER:
24-10572

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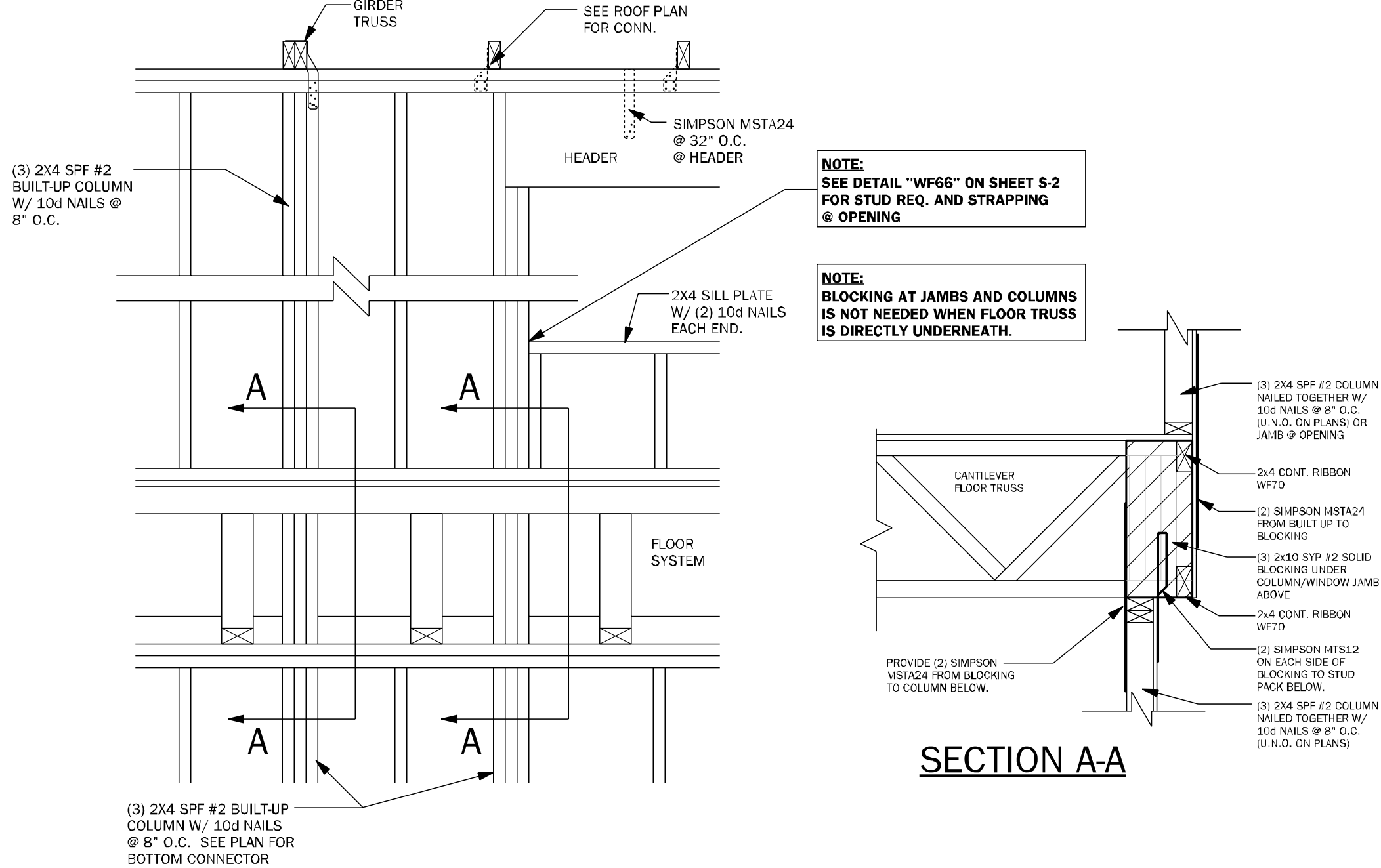
TYPICAL FRAMING DETAILS



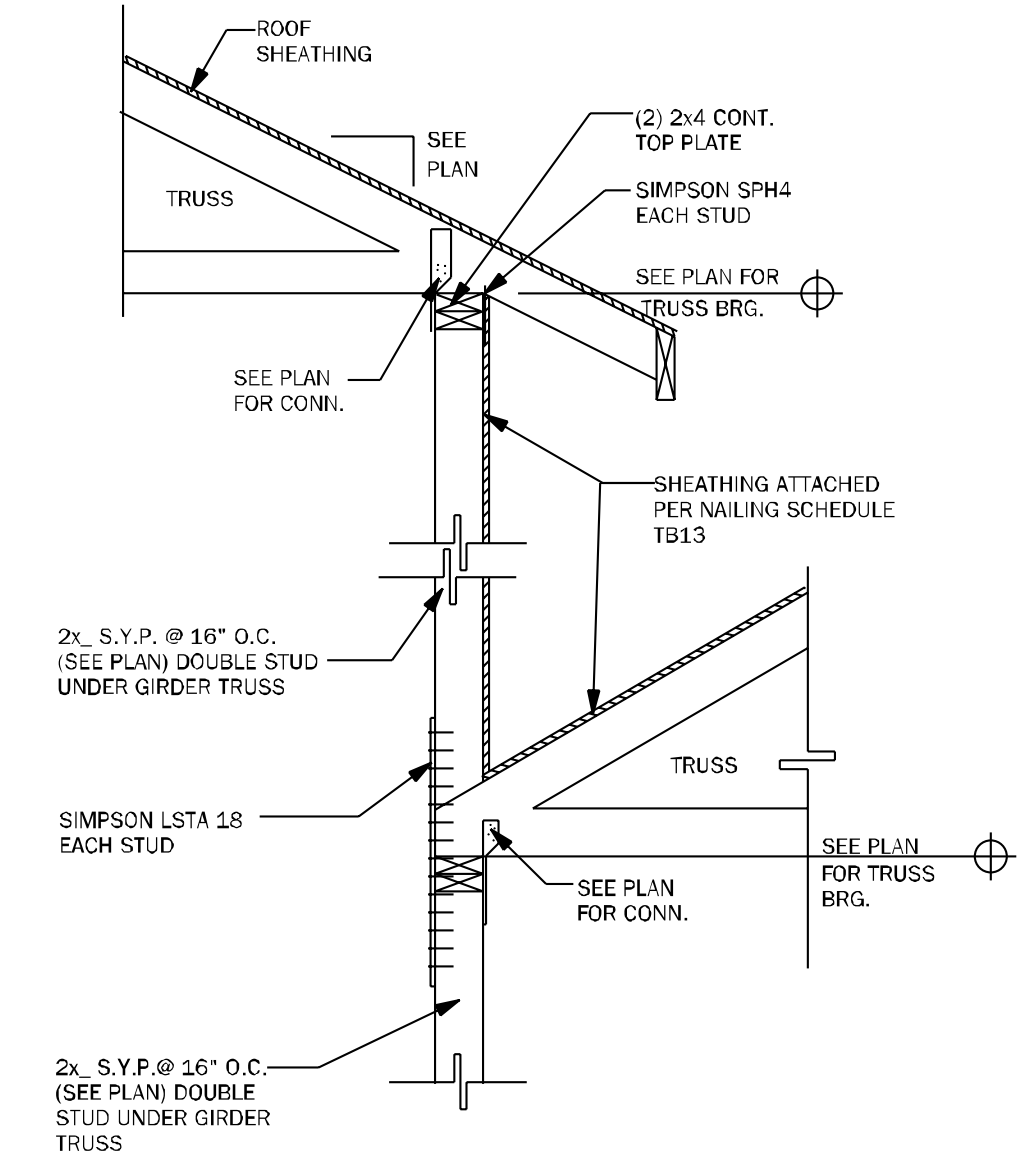
WF39 TRANSOM DETAIL AT ENTRY 1/2" = 1'-0"



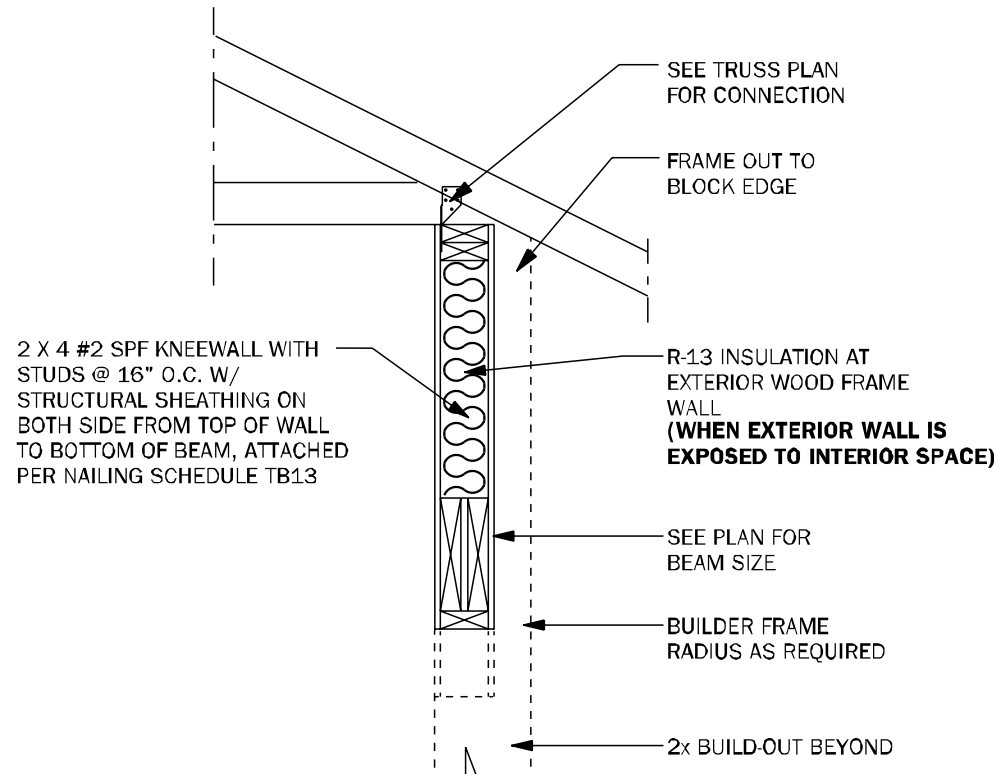
WF09 WALL HEADER DETAIL N.T.S.



WF67 WALL FRAMING 3/4" = 1'-0"



WF22 SECTION @ DOUBLE BEARING 3/4" = 1'-0"



WF38 KNEEWALL @ ENTRY FRONT WALL N.T.S.

To the best of the Engineer's knowledge, information, and belief, the preparation of these drawings and specifications complies with the minimum requirements of the applicable building codes and standards, and the design is based on the information provided by the client. The Engineer does not warrant the accuracy or completeness of the information provided by the client, nor does the Engineer warrant the accuracy or completeness of the design or the construction of the project. The Engineer's responsibility is limited to the design and specifications shown on these drawings and specifications.

FDS ENGINEERING ASSOCIATES
255 Seaboard Lane, Suite 200
Maitland, Florida 32751
Tel: 407.960.2355
Fax: 407.960.2356
www.fdseng.com

FL # 66226
FL # 78750
FL # 94452

□ CARL A. BROWN, P.E.
□ SCOTT A. LEWIS, P.E.
□ THEN DAO DUONG, P.E.

AA20003115

keese
associates
ARCHITECTURE | DESIGN | PLANNING
2407 YSBO 2355
Gainesville, FL 32609
www.keese.com

DAMS HOMES
FLORIDA CONTRACTORS LICENSE NO. CRC1330146
100 WEST GARDEN STREET
PENSACOLA FL 32502

DIVISION LOCATION:
GAINESVILLE

Job Information:

INVENTORY

LOT: 90
BLK:
SEC:
SUB: Preserve at Laurel Lake
281 S.W. Silver Palms Dr
Lake City

Model Name / Number:
1635

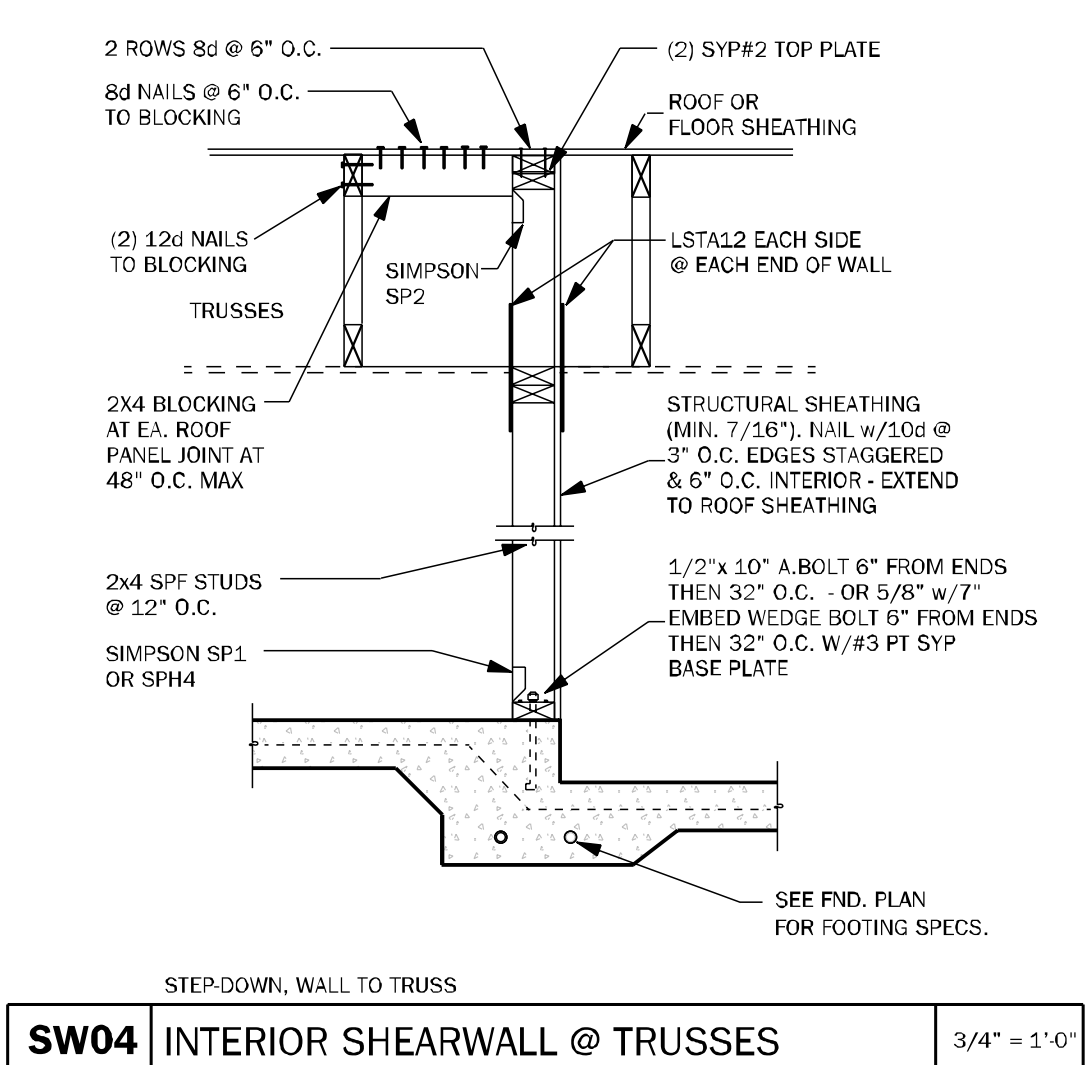
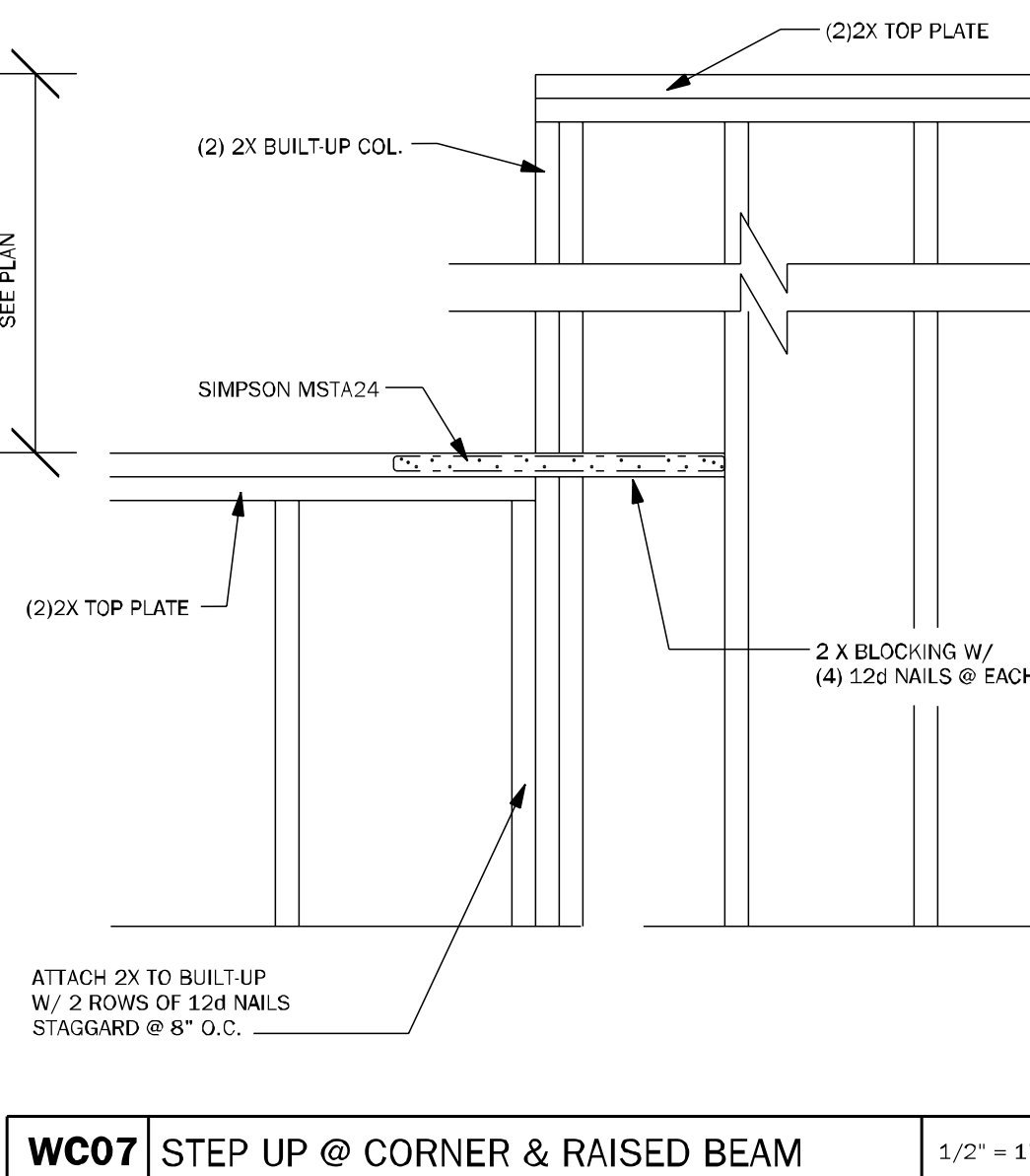
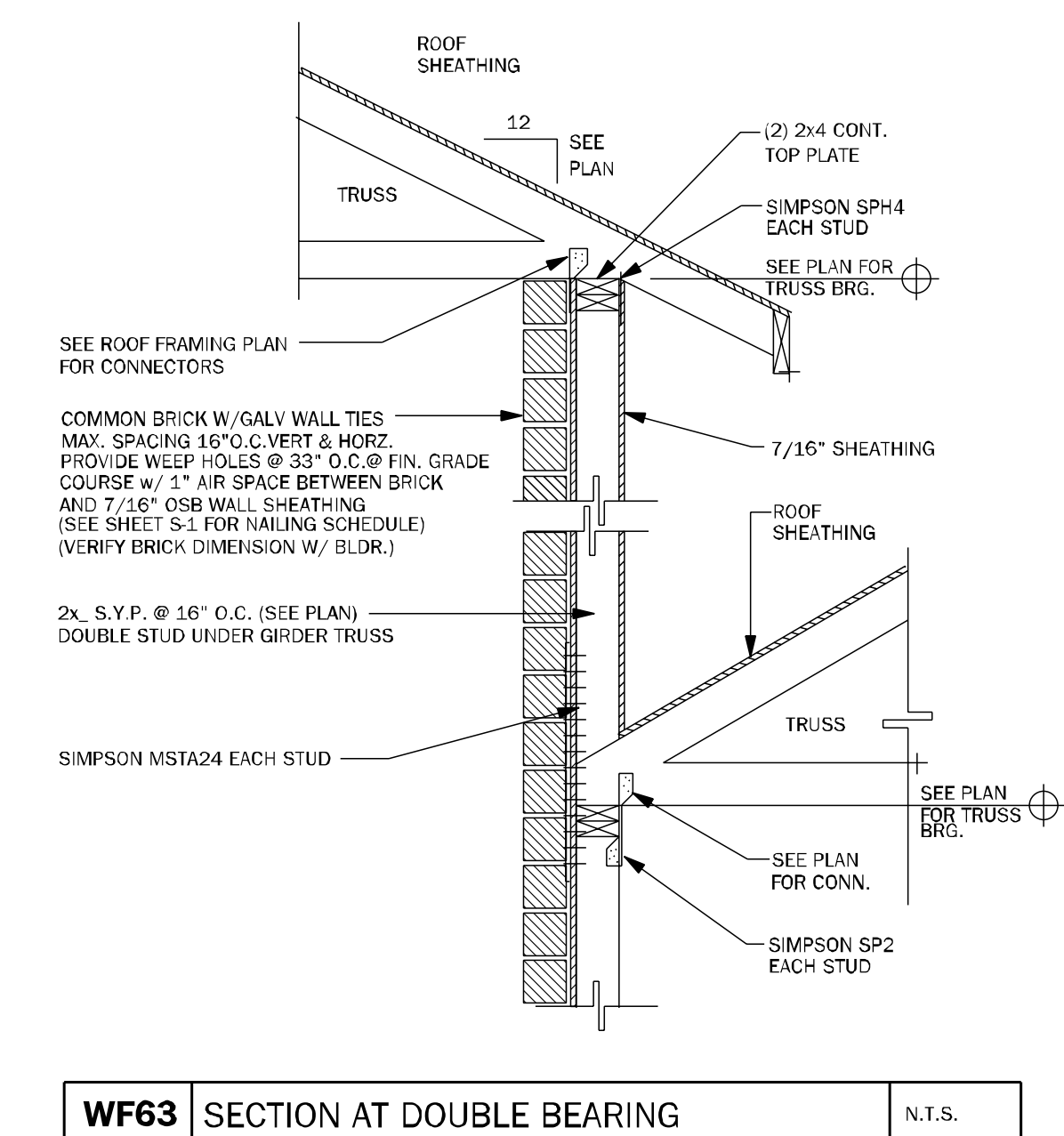
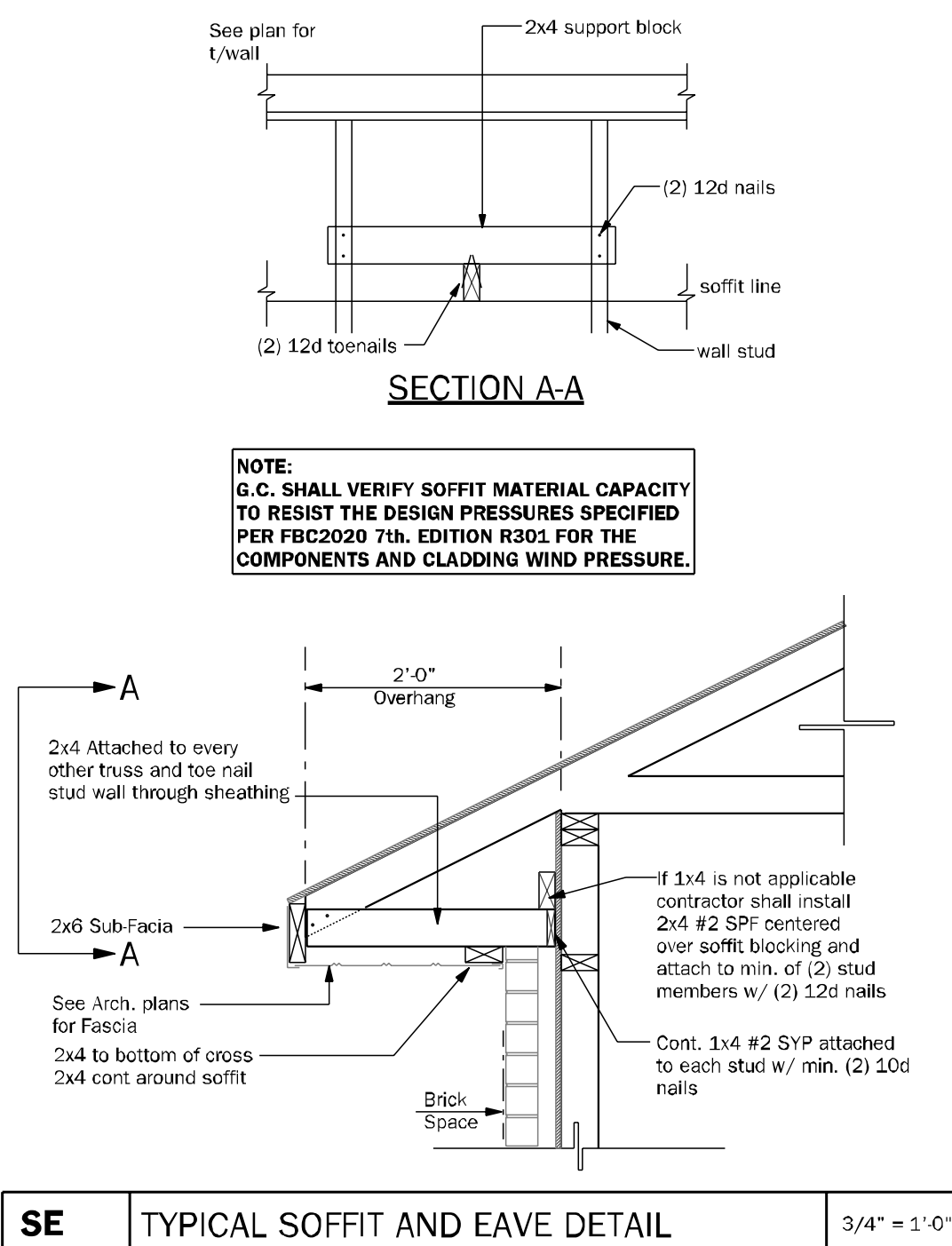
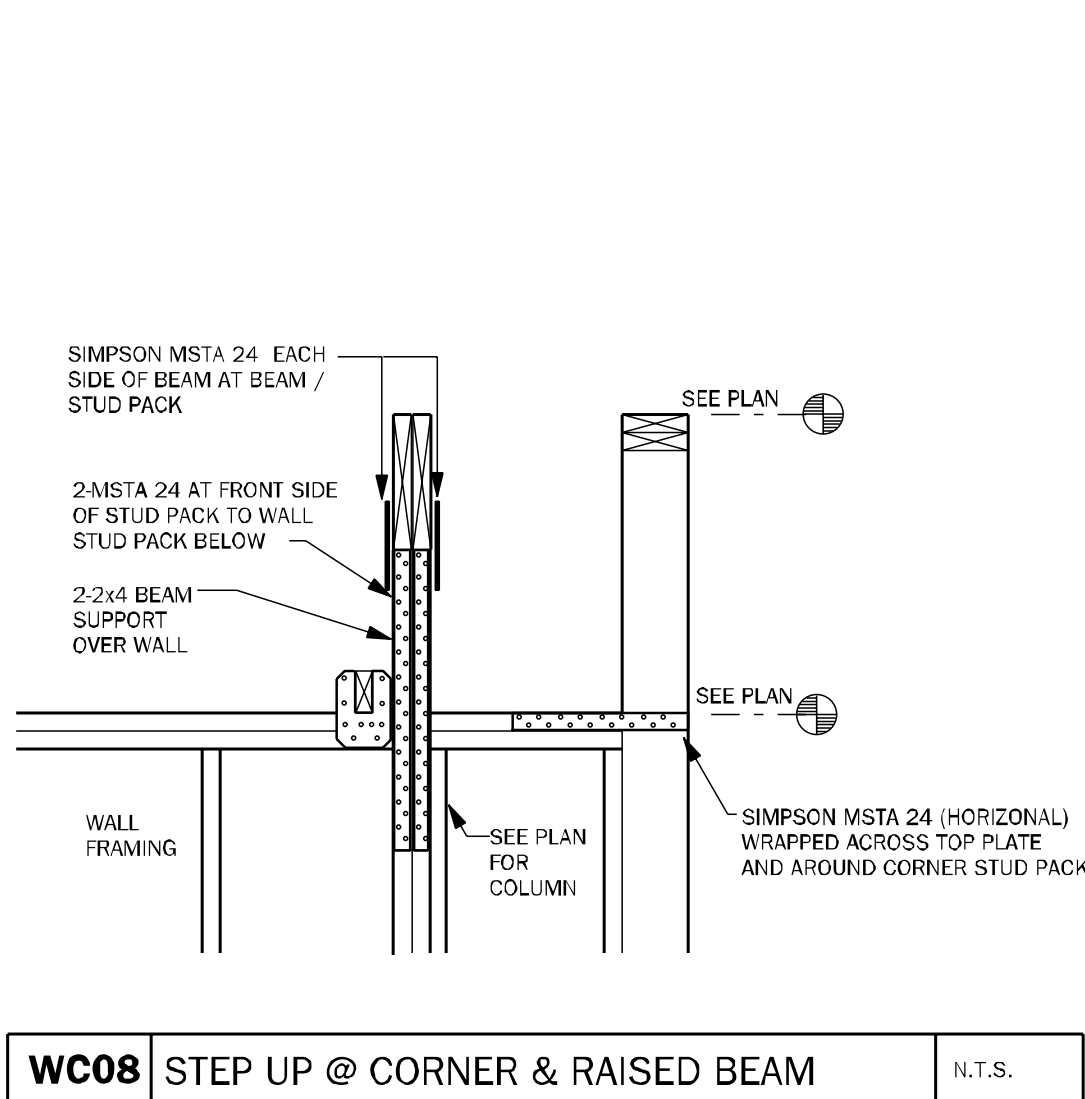
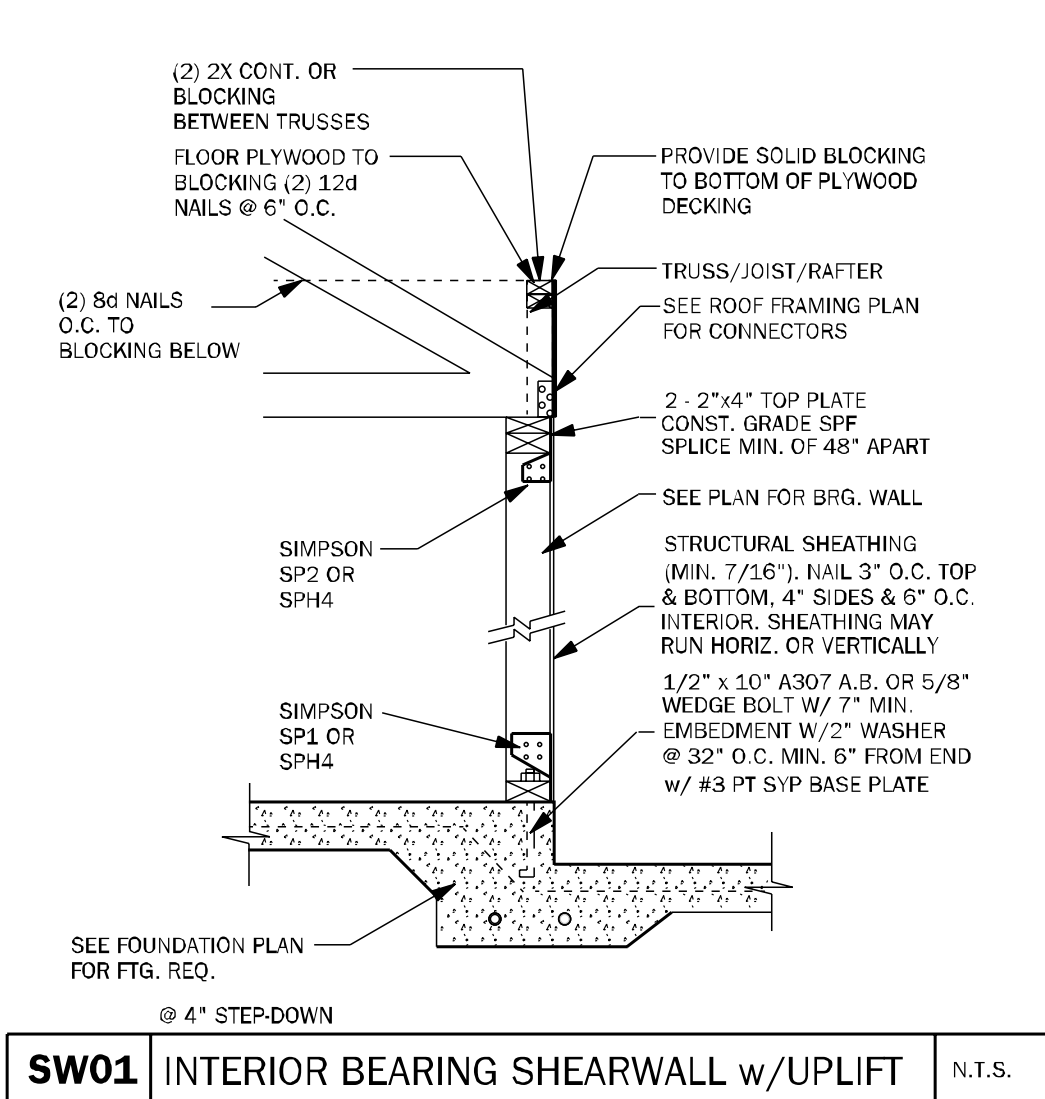
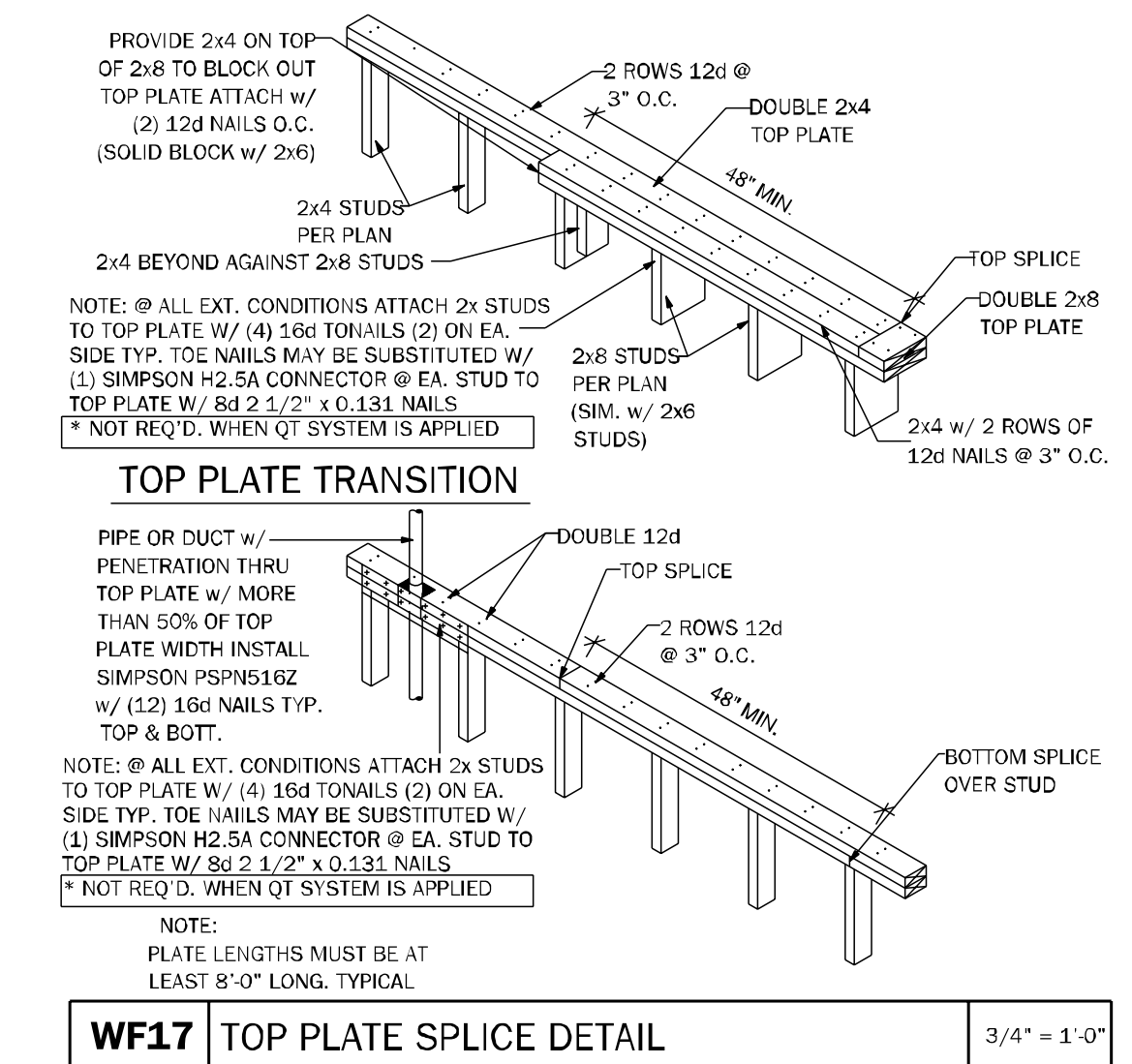
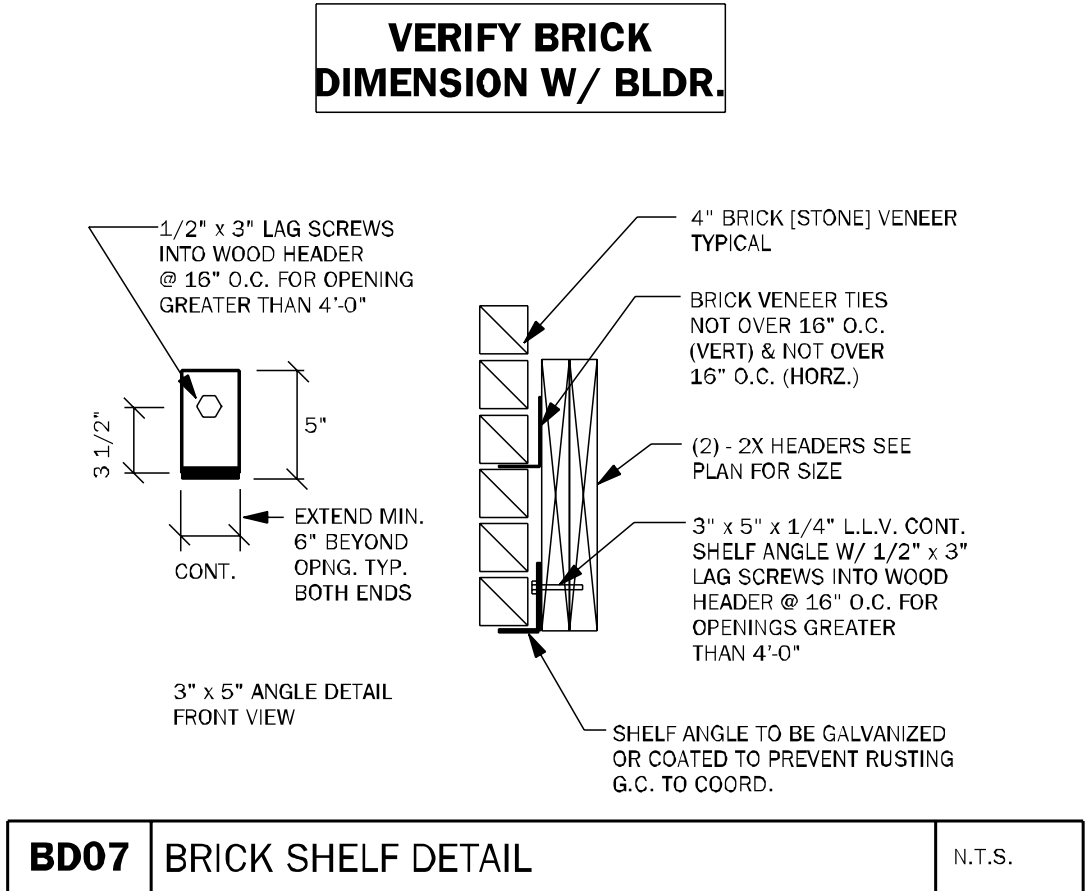
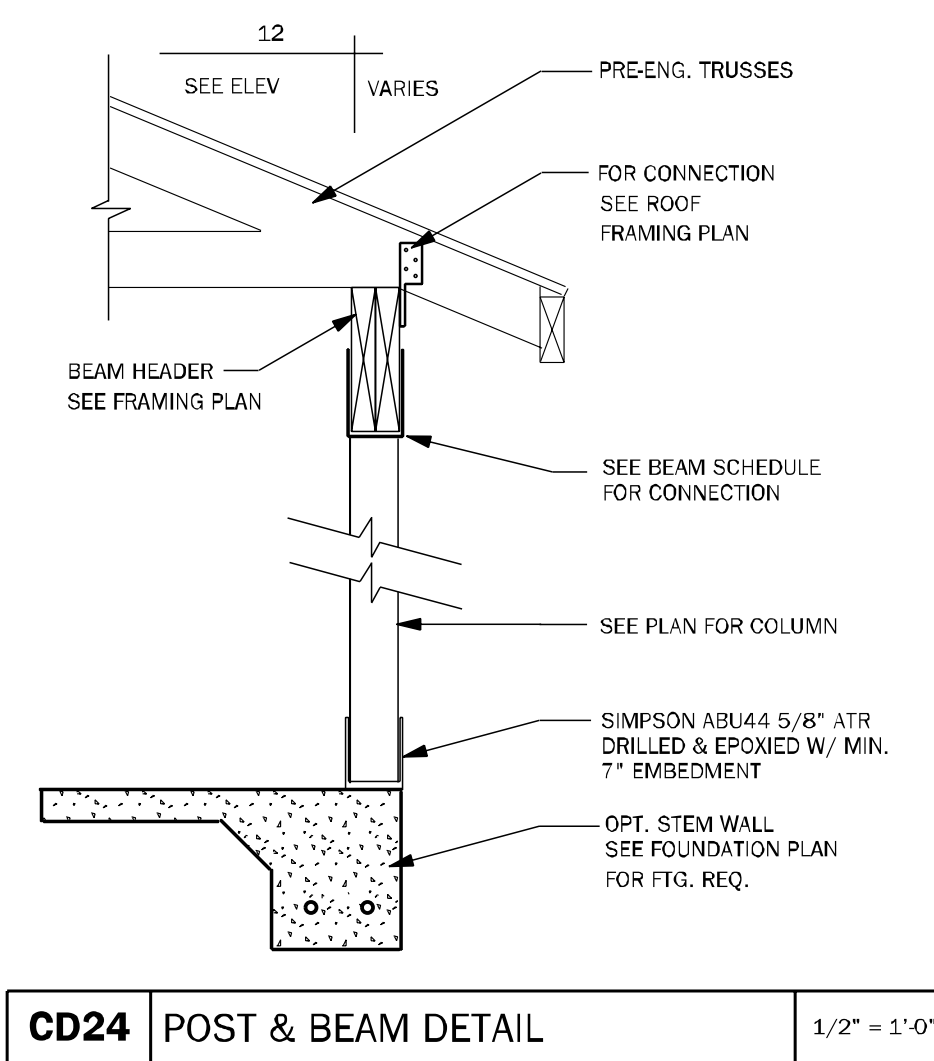
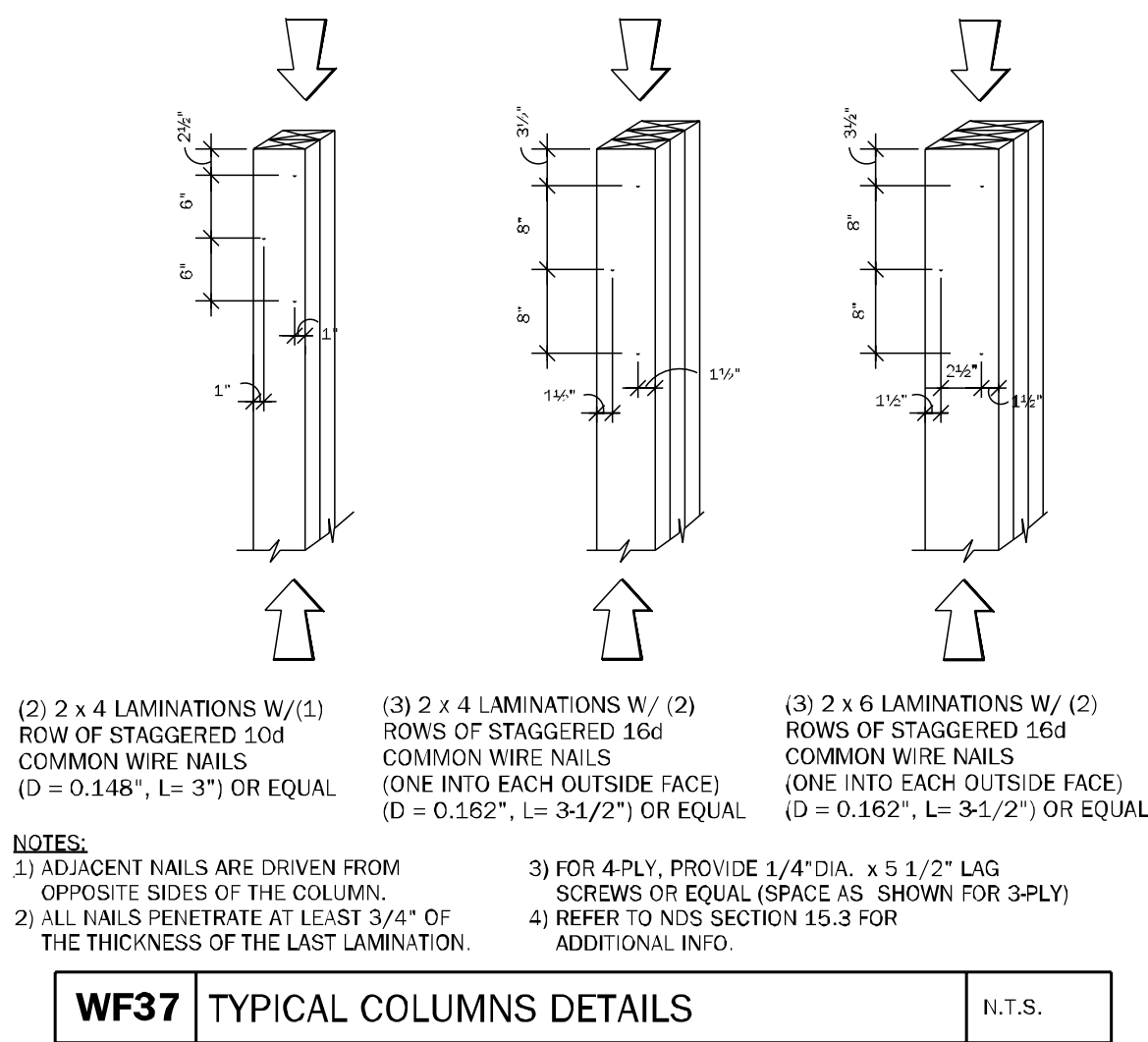
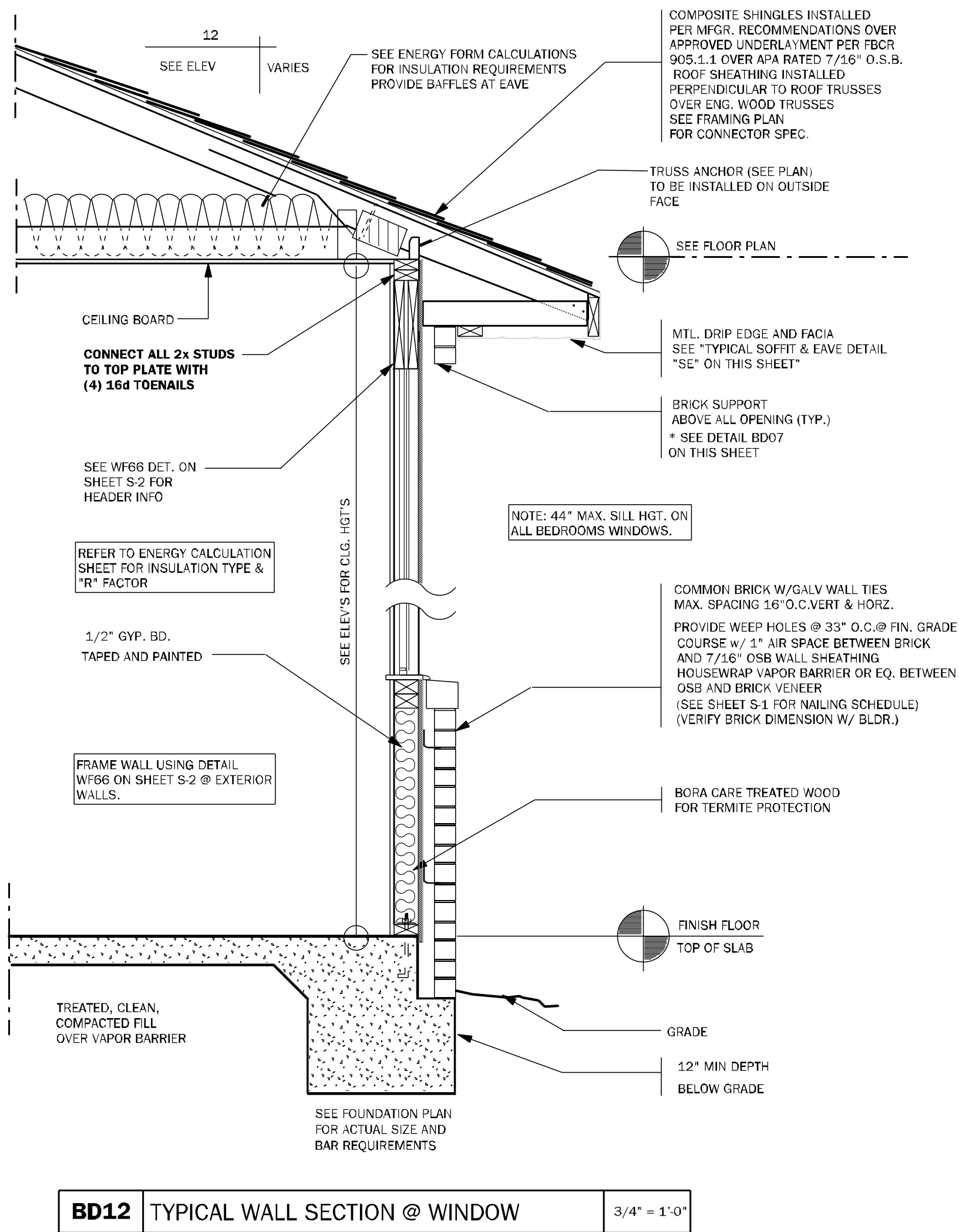
Plan Issue Date:
Monday, September 30, 2024

KA PROJECT NUMBER:
24-10572

Sheet:
S-2.1

of:

**TYPICAL FRAMING
DETAILS**



COUNTY
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Monday, September 30, 2024

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Pensacola, FL 32502
904.750.2355
goveekee.com

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ENGINEERING ASSOCIATES
225 S. Duval Street, Suite 200
Pensacola, FL 32502
904.750.2355
Certificate of Authorization No. 9481

AA2003115
SCOTT A. LEWIS, P.E.
CARL A. BROWN, P.E.
THEN BAO DUONG, P.E.

FL # 66126
FL # 78750
FL # 94452

DAMS HOMES
FLORIDA CONTRACTORS LICENSE NO. CRC1330148
100 WEST GARDEN STREET
PENSACOLA FL 32502

DIVISION LOCATION:
GAINESVILLE

INVENTORY
LOT: 90
BLK:
SEC:
SUB: Preserve at Laurel Lake
281 S.W. Silver Palms Dr
Lake City

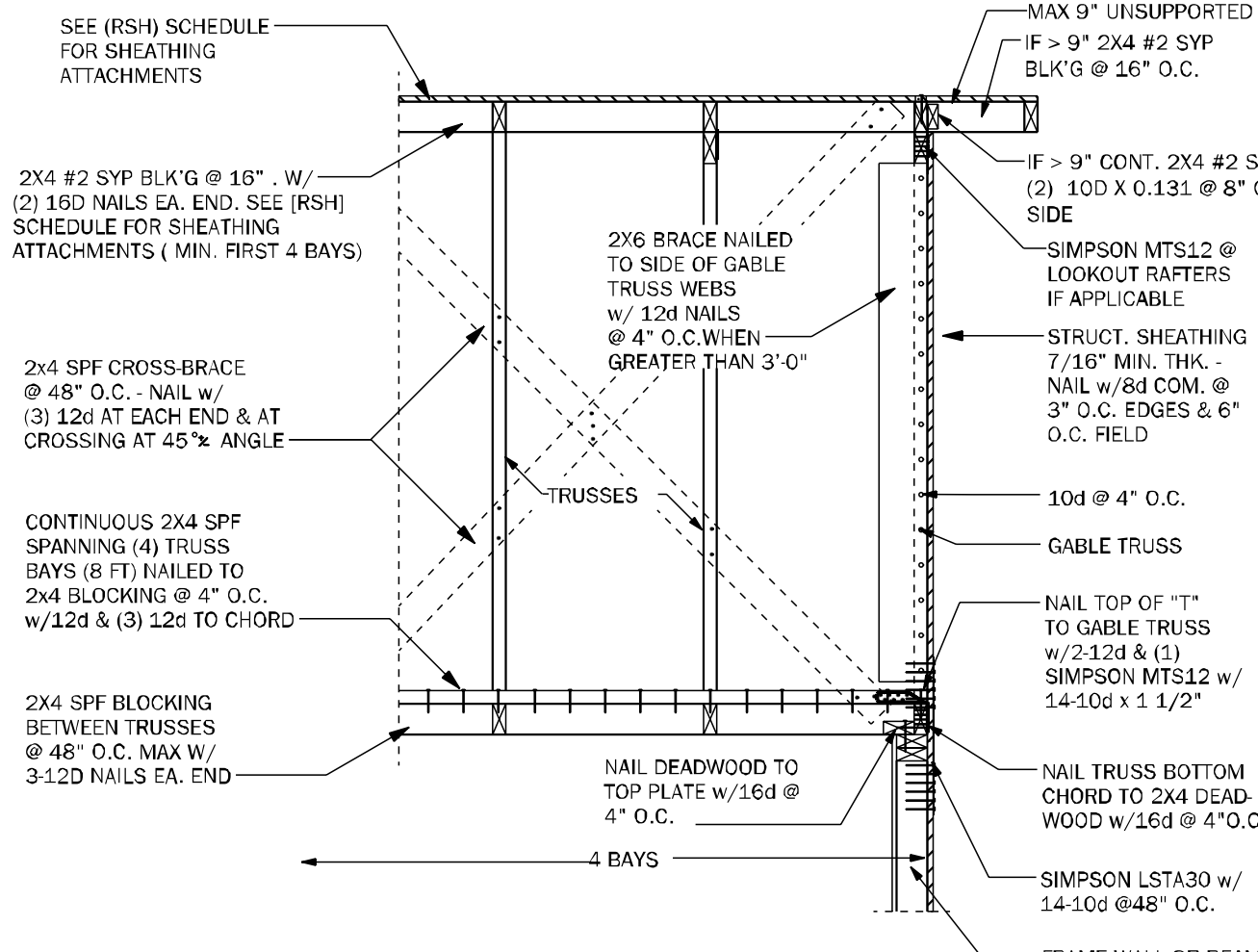
Model Name / Number:
1635

Plan Issue Date:
Monday, September 30, 2024

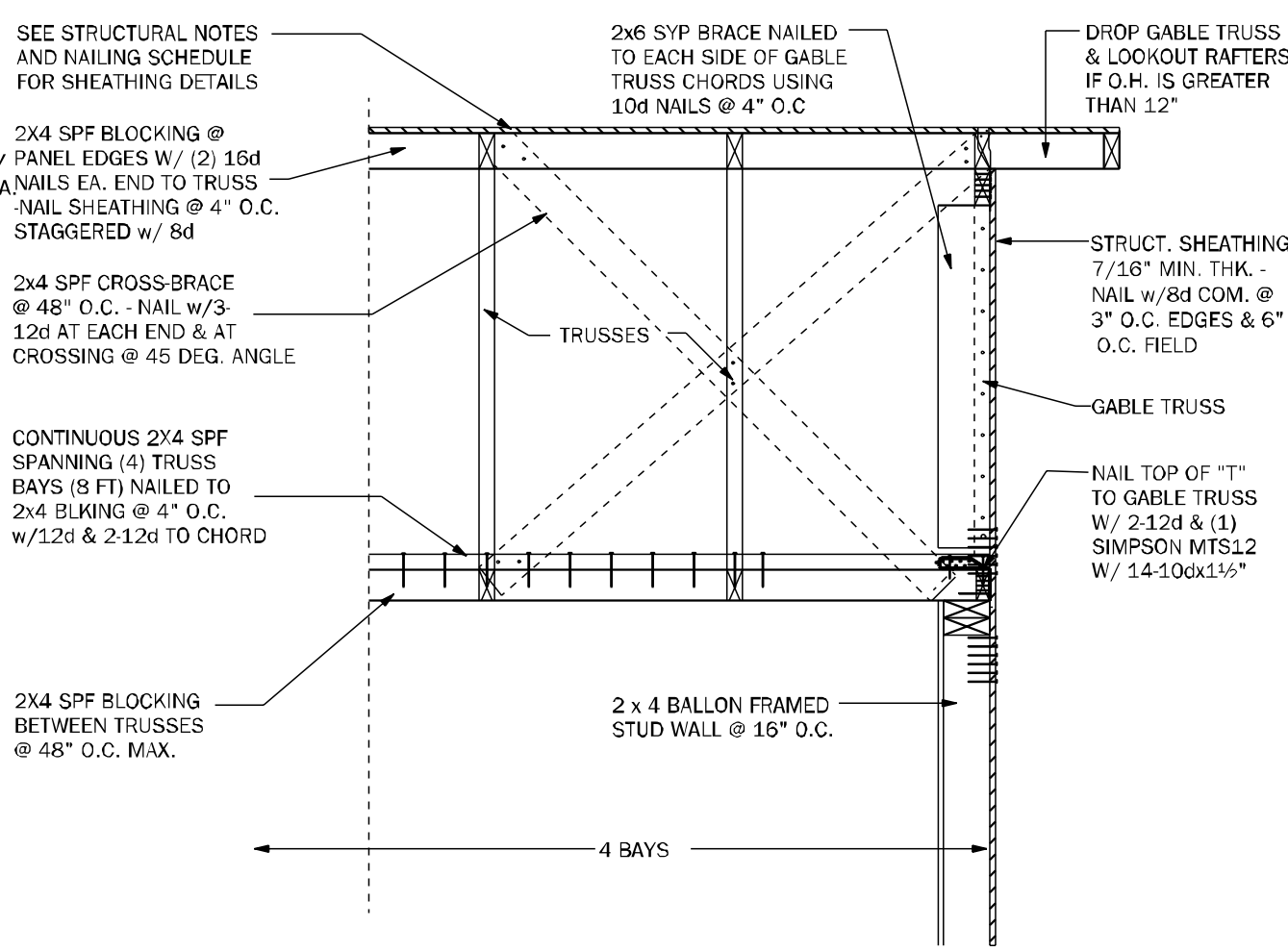
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24-10572

Sheet: **S-3** Of:

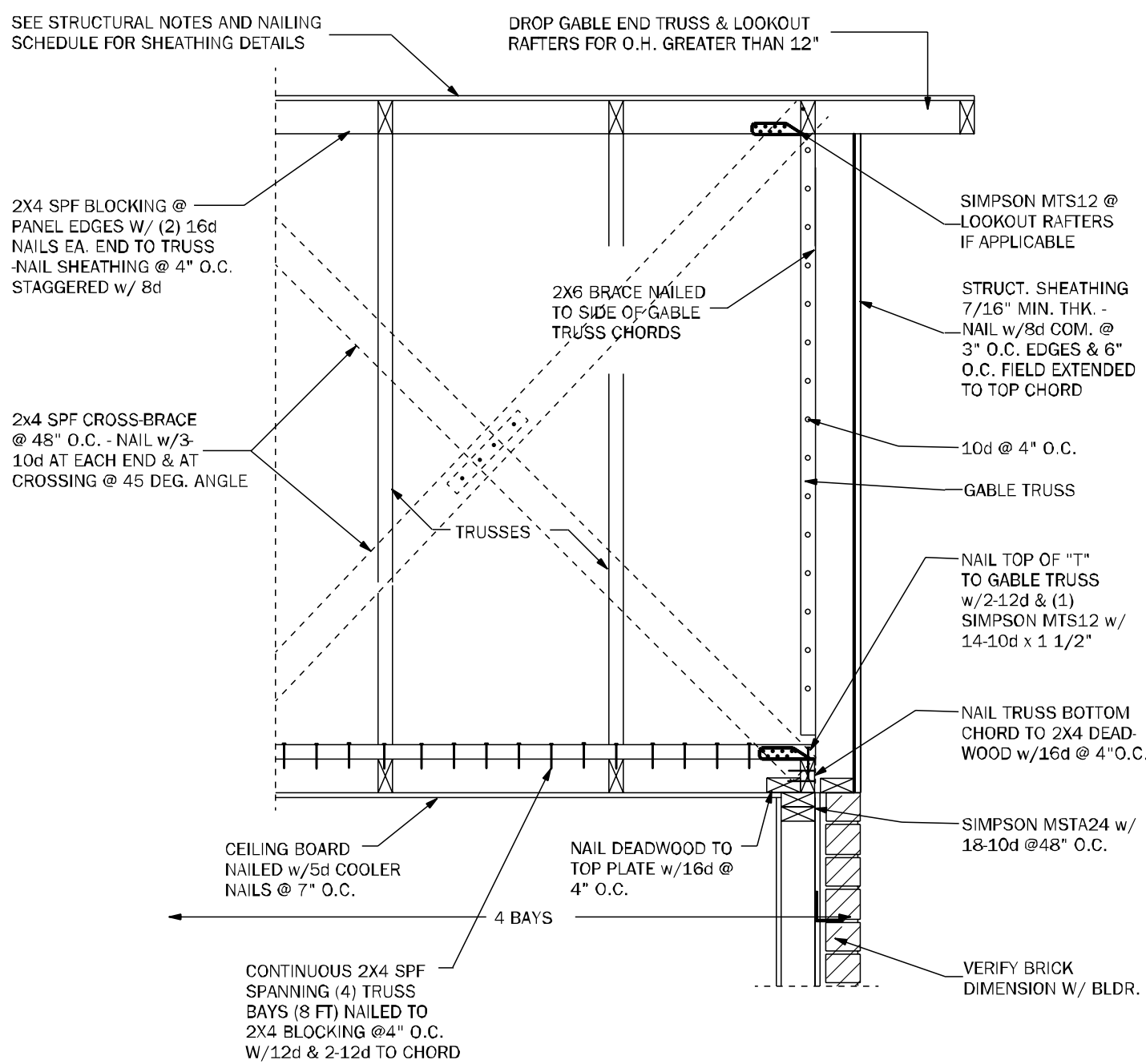
TYPICAL WALL DETAILS



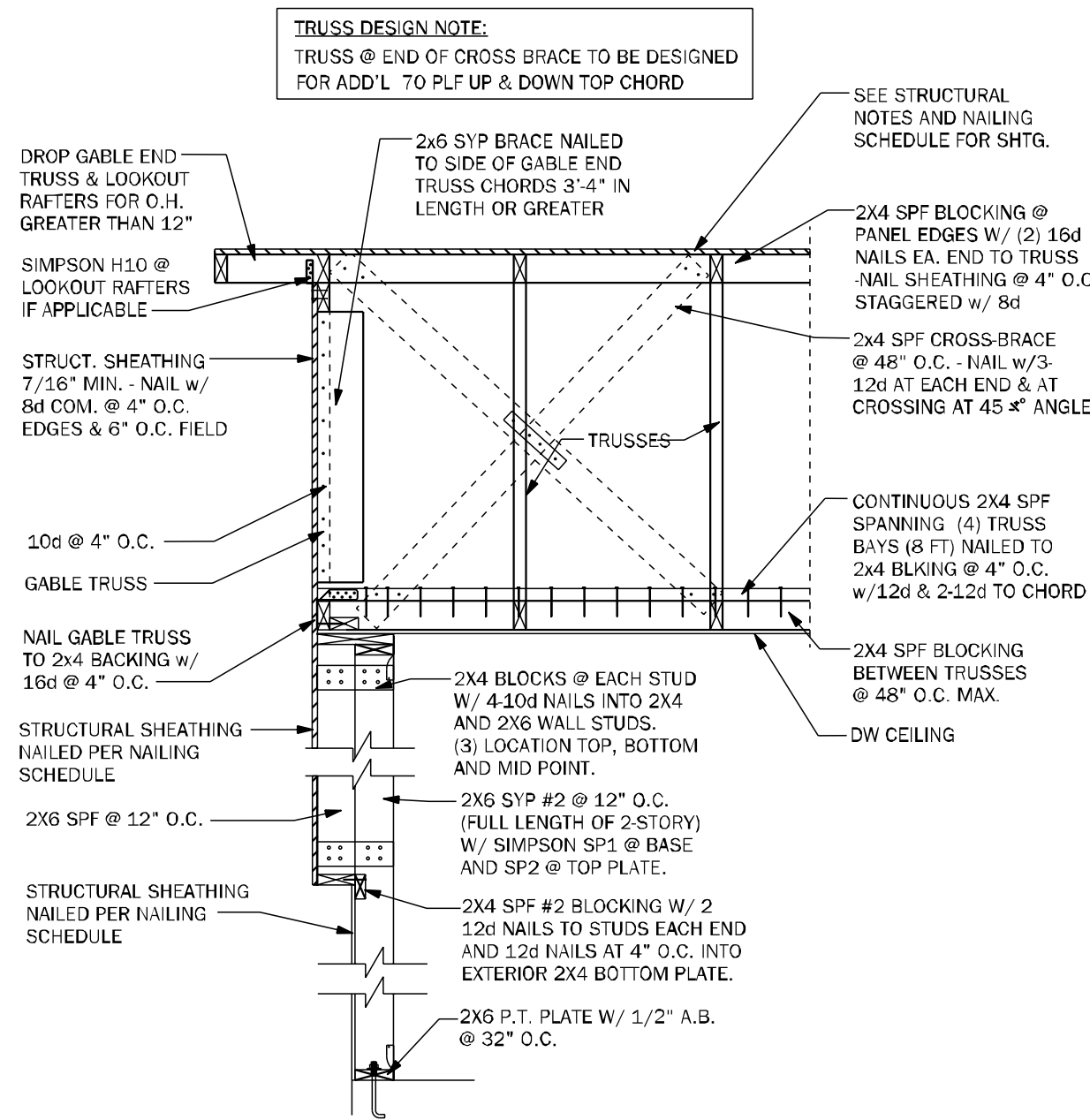
GE05 GABLE END BRACING - FRAME WALL N.T.S.



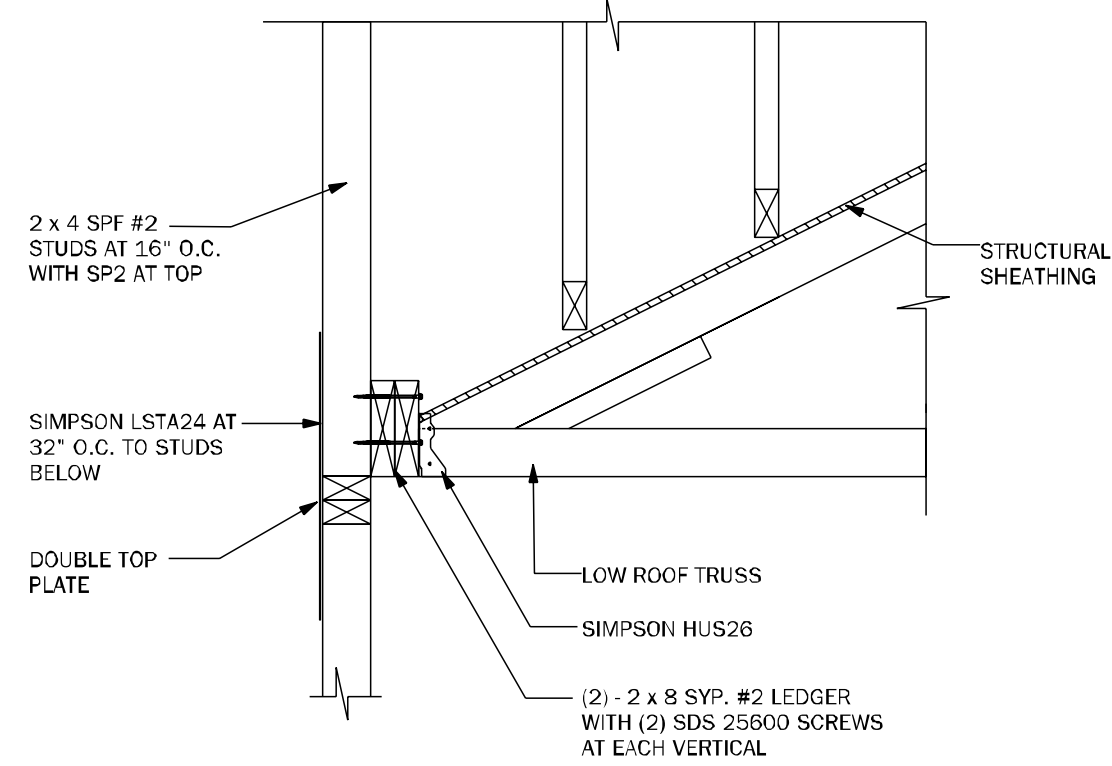
GE22 GABLE END BRACING w/ VOL CEILING 1/2"=1'-0"



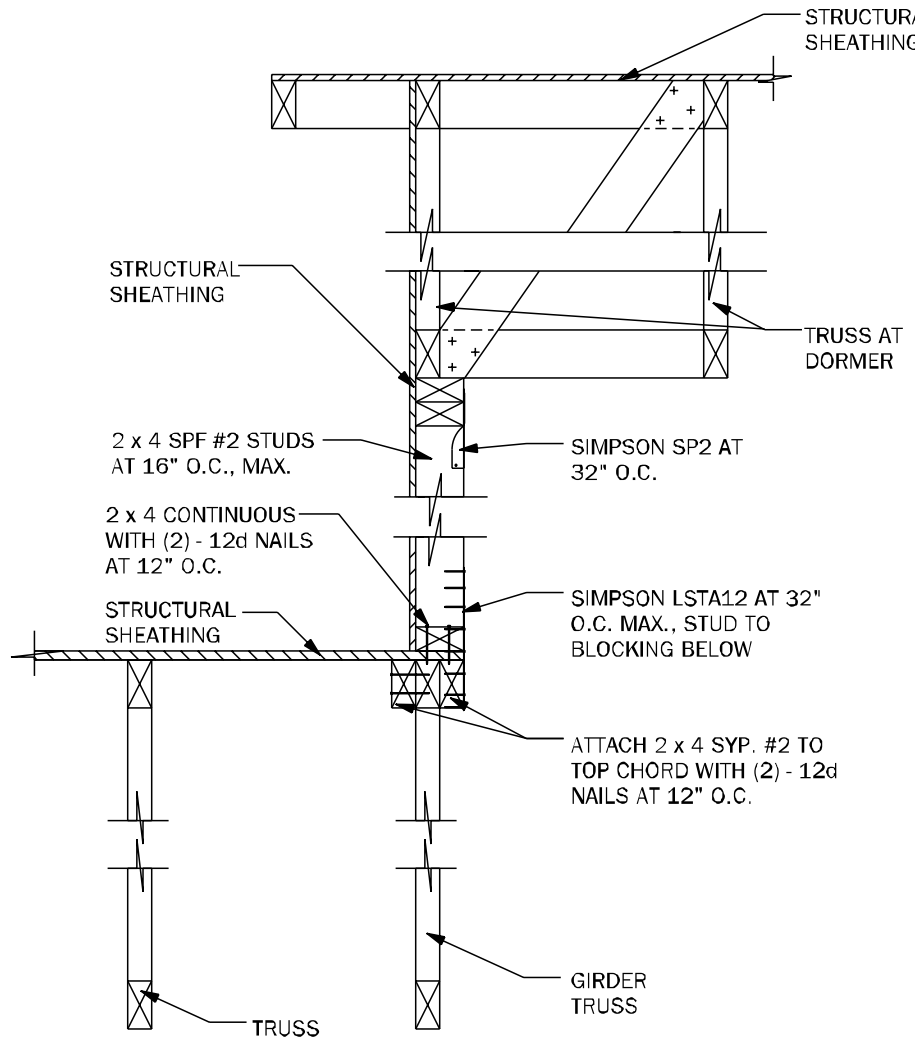
GE23 GABLE END BRACING w/o VOLUME CEILING 1/2"=1'-0"



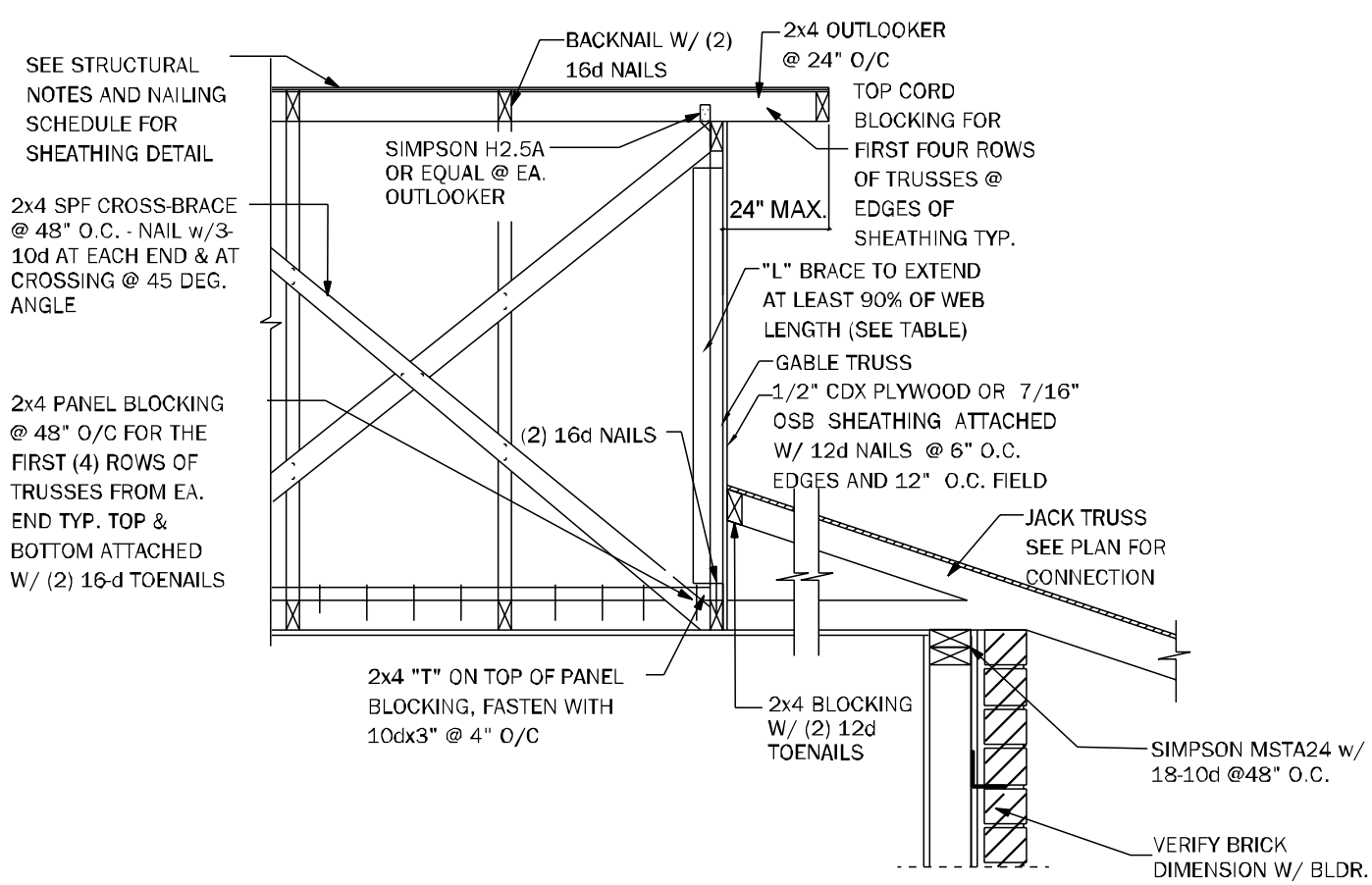
GE24 GABLE @ VAULT N.T.S.



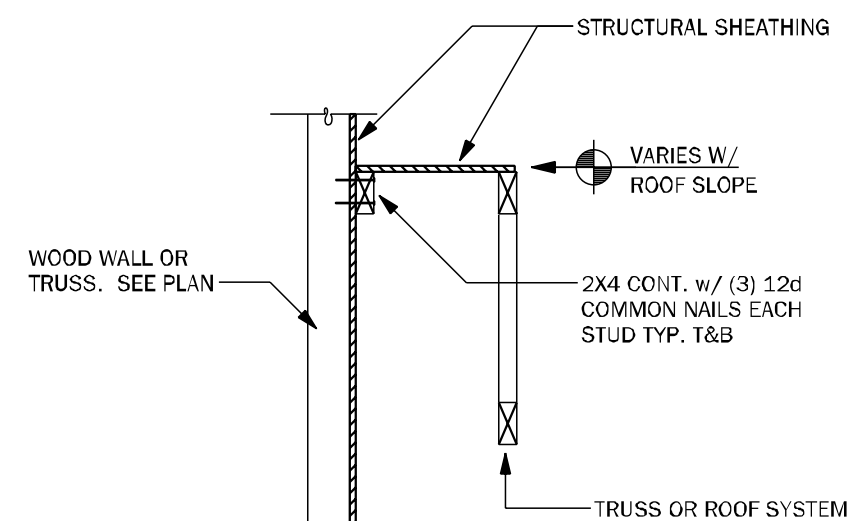
WF72 LEDGER N.T.S.



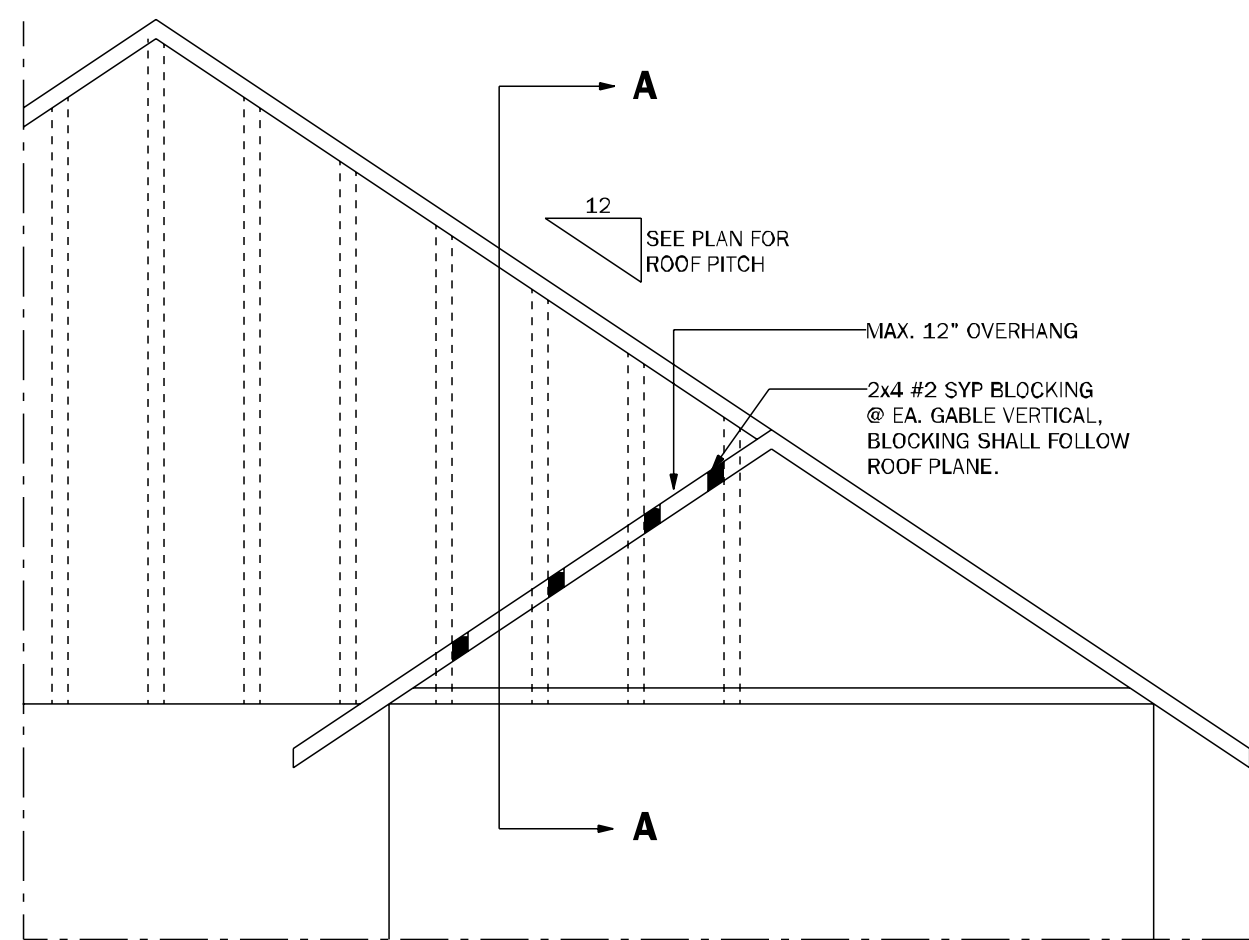
WF73 KNEEWALL @ DORMER N.T.S.



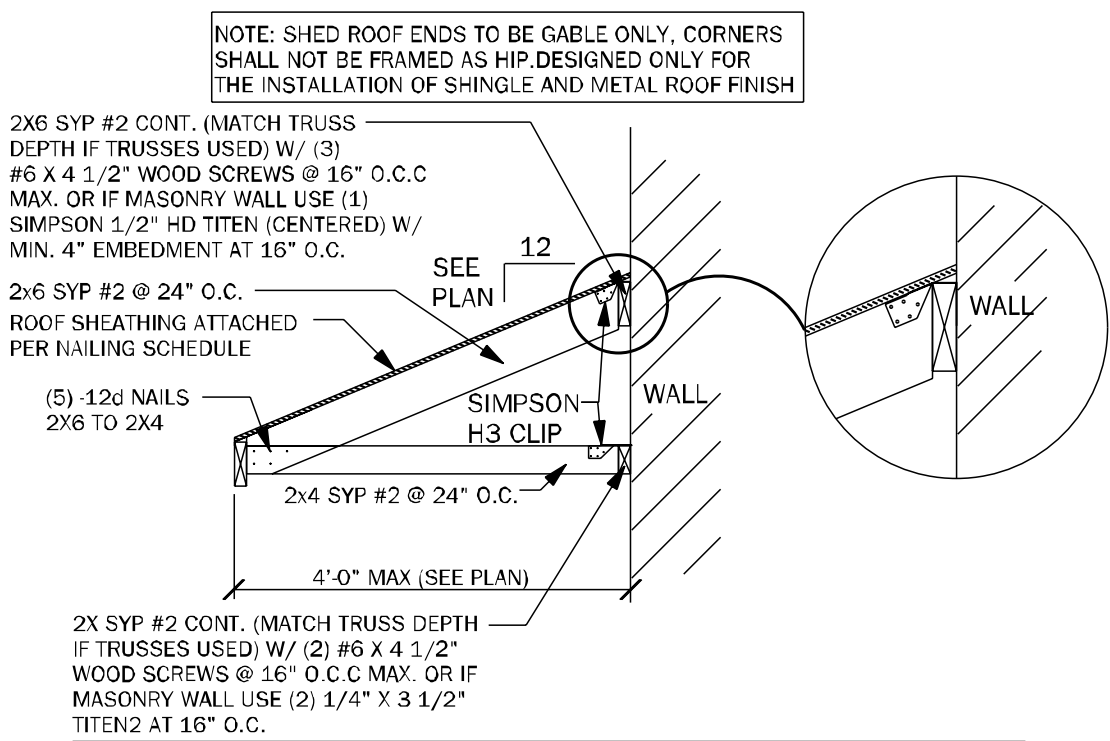
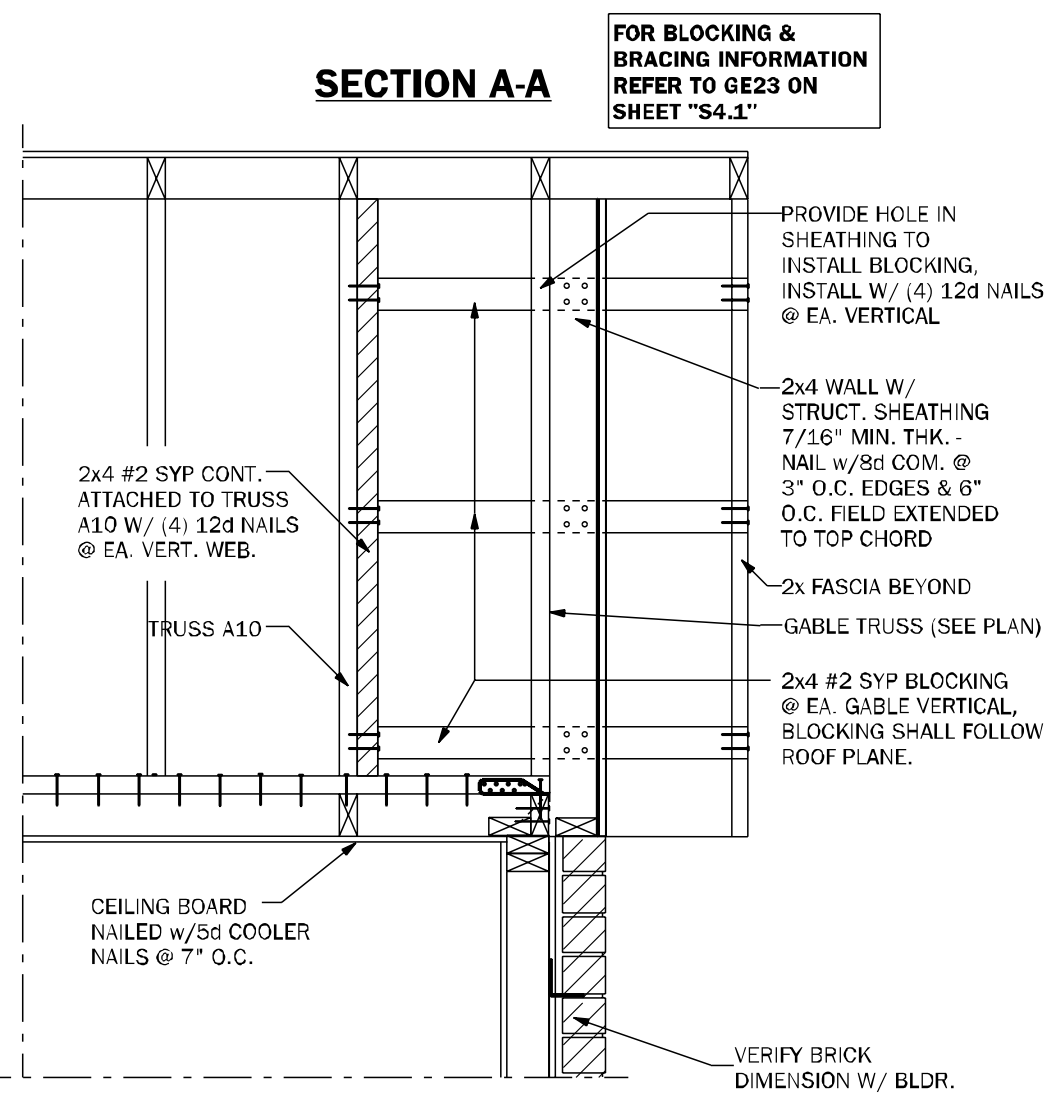
GE21 SECTION @ DUTCH GABLE 3/4"=1'-0"



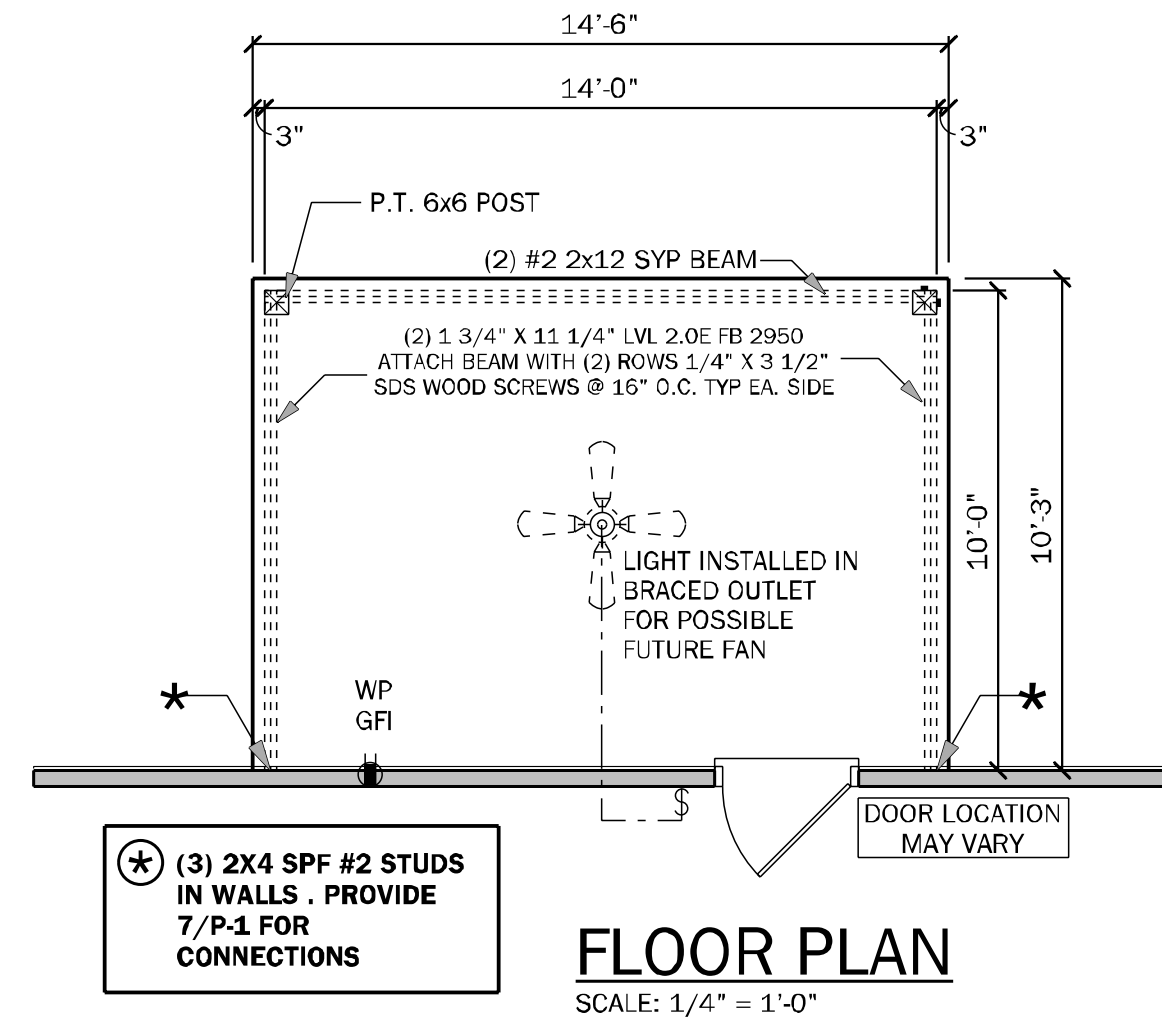
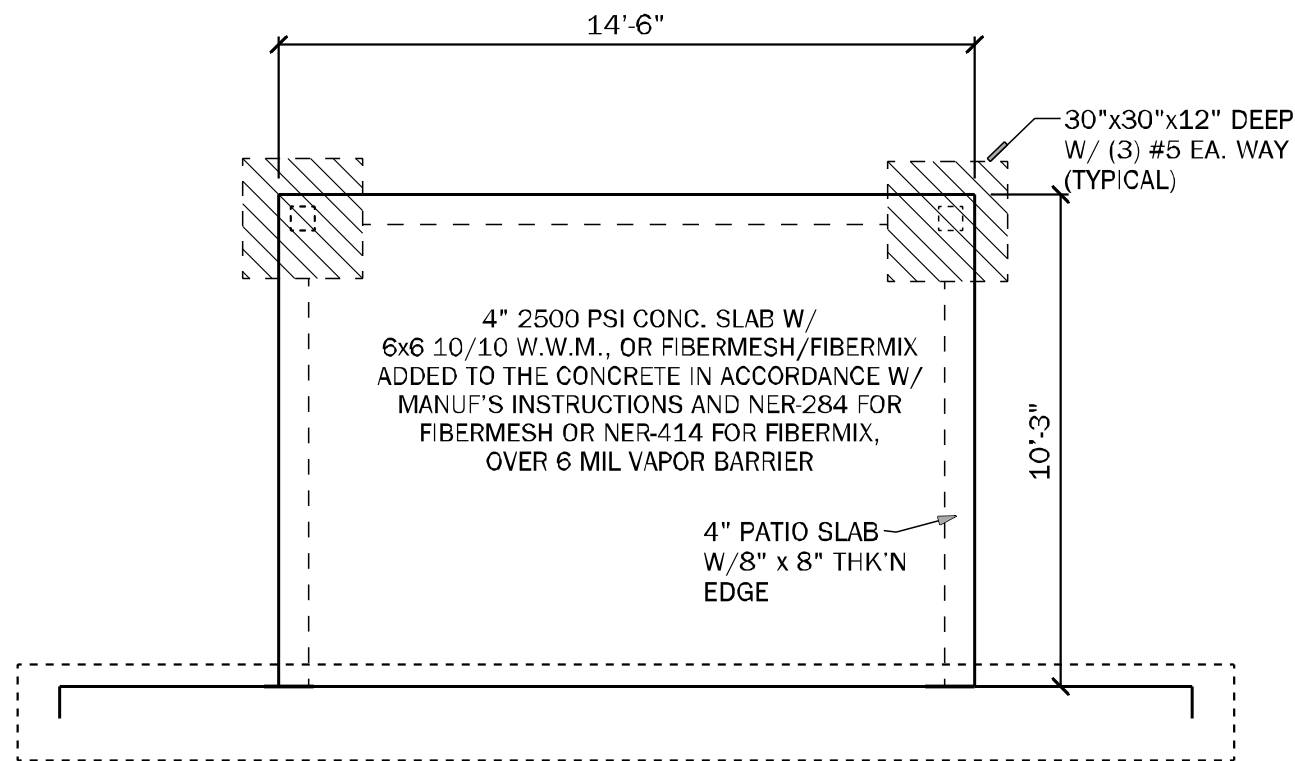
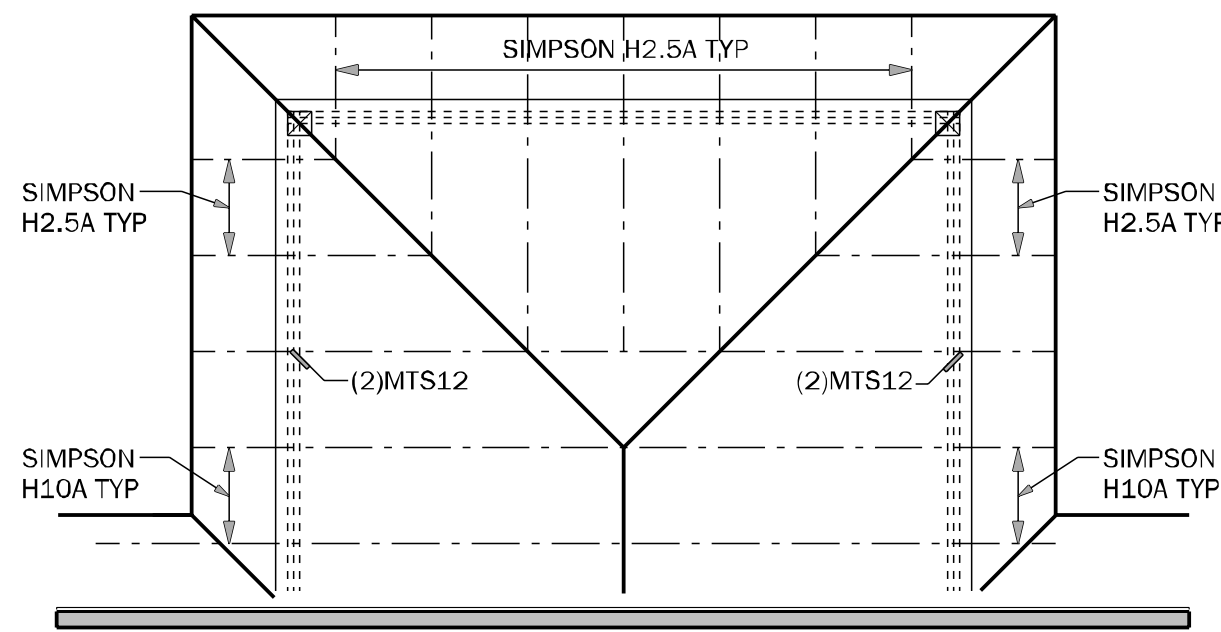
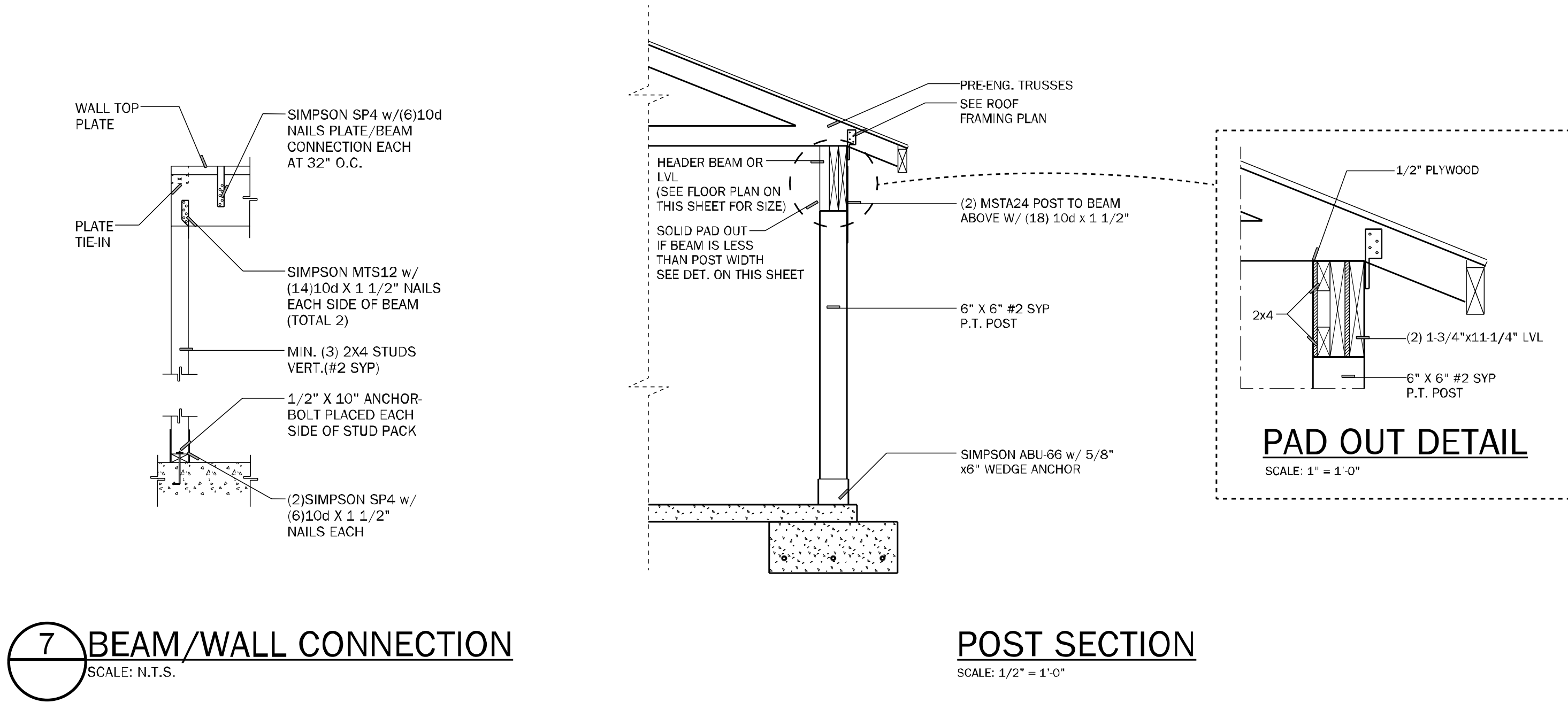
LD02 SHEAR TRANSFER EXTERIOR WALL N.T.S.



GE23.1 GABLE END OVERHANG 1/2"=1'-0"



SR01 SECTION AT SHED ROOF 3/4"=1'-0"



COUNTY
SEAL

Monday, September 30, 2024

To the best of the Engineer's knowledge, information, and belief, the design and construction of the above project complies with the Florida Building Code, Engineering and standards only for the jurisdiction of the State of Florida. The Engineer does not accept any liability for the design or construction of the project.

FDS ENGINEERS ASSOCIATES
255 South Main Lane, Suite 200
Tallahassee, Florida 32301
Phone: 904.225.2904
Fax: 904.225.2905
www.fdseng.com

Professional Engineer
Certificate of Authorization No. 3431

Carl A. Brown, P.E.
Scott A. Lewkovski, P.E.
Then Bao Duong, P.E.

FL # 56126
FL # 78750
FL # 94452

keese
associates
ARCHITECTURE | DESIGN | PLANNING
255 South Main Lane, Suite 200
Tallahassee, Florida 32301
Phone: 904.225.2904
Fax: 904.225.2905
www.keese.com

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AD

DAMS HOMES
FLORIDA CONTRACTORS LICENSE NO. CRC1330146
100 WEST GARDEN STREET
PENSACOLA FL 32502

DIVISION LOCATION:
GAINESVILLE

Job Information:

INVENTORY

LOT: 90
BLK:
SEC:
SUB: Preserve at Laurel Lake
281 S.W. Silver Palms Dr
Lake City

Model Name / Number:

1635

Plan Issue Date:

Monday, September 30, 2024

KA PROJECT NUMBER:

24-10572

Sheet: **P1** Of:

14x10 PORCH