



A & A ENGINEERING
CIVIL • STRUCTURAL
SINCE 1996

5911 Renaissance Pl., Suite B
Toledo, Ohio 43623
Tel: (419) 292-1983
Fax: (419) 292-0955



Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Airy, NC 27030

1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION:

FLORIDA

DRAWING NO.:

TNT-FL

DATE:

9/23/2011

PROJECT NUMBER:

039-11-0817

DRAWN BY:

JMS

CHECKED BY:

OA

DRAWING TITLE:

COVER

SHEET NO.:

1 OF 9

SEAL:

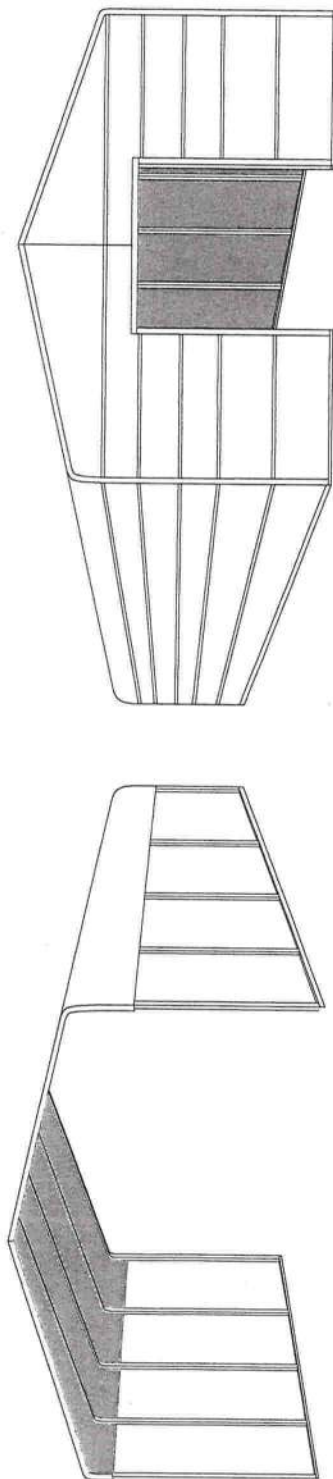


LICENSE EXPIRES: 02/28/2013

DATE SIGNED: 9/23/2011



REGULAR / A-FRAME - VERTICAL / HORIZ.
12' THRU 30' CARPORTS
(STATE OF FLORIDA)
AS PER DESIGN CRITERIA



DESIGN NOTES	DESIGN CRITERIA	DRAWING INDEX
1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2006, OSHA, AISC, ASCE7-05, AWS D 1.1 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS. 2. SHELTER BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON SHEET 9 3. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL. 4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS. 5. ALL FIELD CONNECTIONS SHALL BE TEKS #12 (1/4"x1"). 6. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80KSI) OR EQ. (FLORIDA APPROVAL #FLI 2794) 7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL. 8. STRUCTURAL TUBE T52 1/2"x2 1/2" - 14GA. IS EQUIVALENT TO T52 1/4"x2 1/4" - 12GA. 9. STRUCTURAL TUBE T52 1/4"x2 1/4" - 12GA. SHOULD BE ACCEPTED IN LIEU OF T52 1/4"x2 1/4" - 14GA. FOR IT IS A BETTER STRUCTURAL TUBING.	PREVAILING CODE: FBC 2007 / 2009 AMENDMENTS USE GROUP: U (CARPORTS, BARN) BASIC WIND VELOCITY: 90 TO 150 MPH (SEE SCHEDULE) EXPOSURE CATEGORY: C ROOF DEAD LOAD: 2.0 PSF ROOF LIVE LOAD: AS PER GROUND SNOW MIN. 20 PSF GROUND SNOW LOAD: 0 TO 30 PSF (SEE SCHEDULE) IMPORTANCE FACTOR = SNOW 0.8 WIND 0.87 SEISMIC 1.0 SEISMIC DESIGN CATEGORY: A LOAD COMBINATIONS: DL+LL, 0.6DL+WL DL+0.75LL+0.75WL	1.....COVER SHEET 2.....FLOOR PLAN 3.....REGULAR / AFRAME BLDG. SECTIONS 4.....SIDE ELEVATIONS 5.....SECTION DETAILS 6.....END WALL DETAILS 7.....OPENING DETAILS 8.....LEAN-TO OPTION 9.....ANCHORAGE
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DRAWN BY: JMS

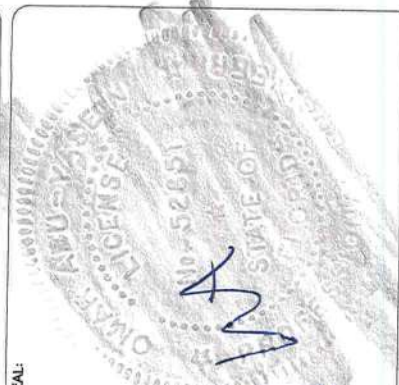
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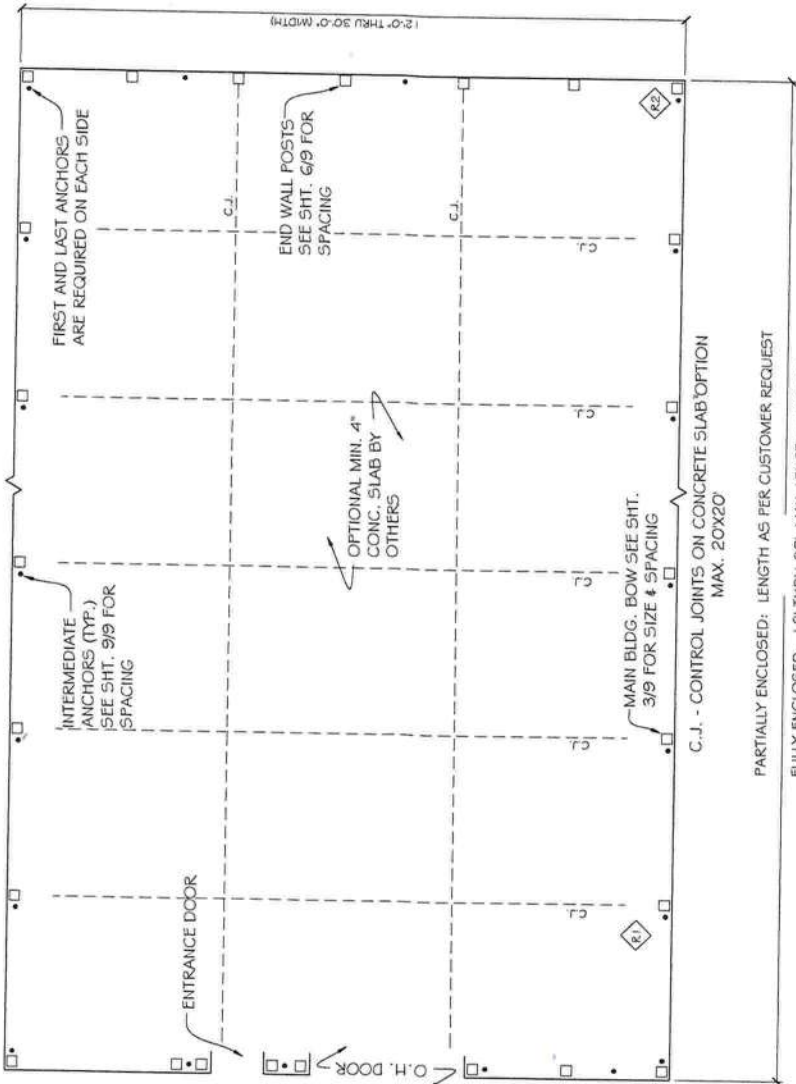
FLOOR PLAN

SHEET NO.: 2 OF 9

SEAL:



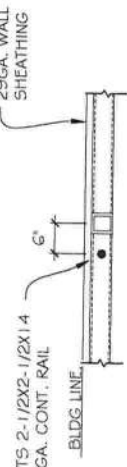
DATE SIGNED: 9/23/2011



WINDOW/DOOR SIZES AND LOCATIONS
PER CUSTOMER REQUEST

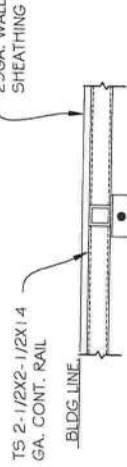
FLOOR PLAN

(SCALE: NTS)



BASE ANCHOR

(SCALE: NTS)



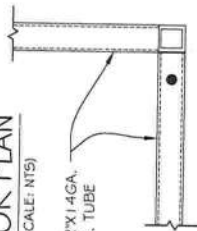
ALTERNATE ANCHOR

(SCALE: NTS)

ANCHOR, SEE OPTIONS
AND SPACING SHEET 9/9

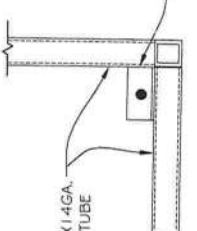
ANCHOR SPACING

WIND SPEED (MPH)	CARPENTRY WIDTH
90 - 100	1/2 THRU 20 BLDGS NEXT TO EVERY OTHER BOW - MIN. 4
110 - 150	22 THRU 30 BLDGS NEXT TO EVERY BOW



BASE CORNER ANCHOR

(SCALE: NTS)



ALTERNATE CORNER ANCHOR

(SCALE: NTS)

FIRST AND LAST ANCHORS
ARE REQUIRED IN EACH SIDE



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DRAWING TITLE:

TYP BLDG. SECTION

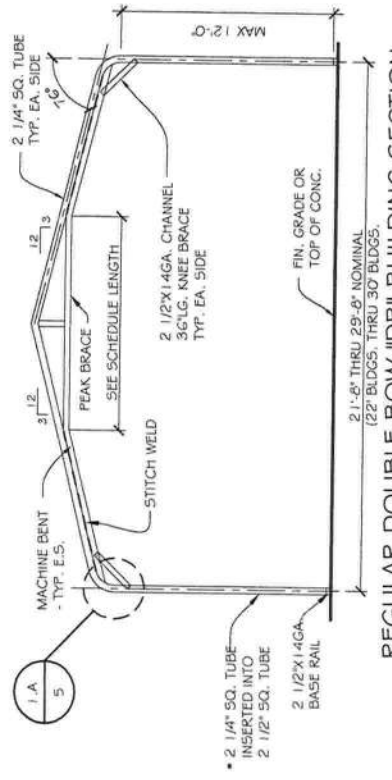
SHEET NO.:

3 OF 9

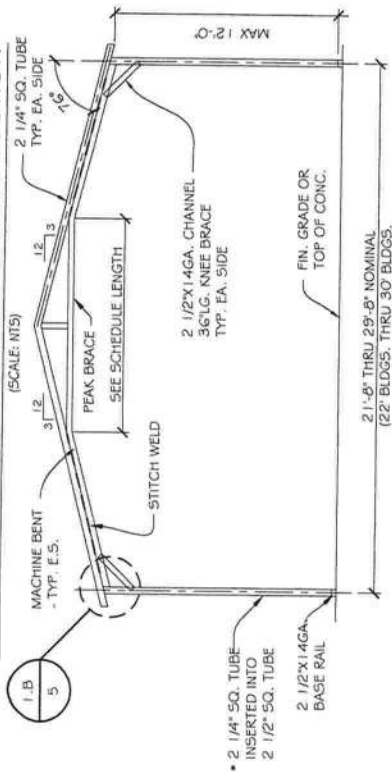
SEAL:



DATE SIGNED: 9/23/2011



REGULAR DOUBLE BOW "DB" BUILDING SECTION
(SCALE: NTS)



REGULAR SINGLE BOW "SB" BUILDING SECTION
(SCALE: NTS)

A-FRAME DOUBLE BOW "DB" BUILDING SECTION
(SCALE: NTS)

A-FRAME SINGLE BOW "SB" BUILDING SECTION
(SCALE: NTS)

* INSERT TO BE FULL HEIGHT, FIELD BOLT W/ TEKS
1/2\"/>

S.B. = SINGLE BOW
D.B. = DOUBLE BOW
F = FULLY ENCLOSED (CLOSED)
P = PARTIALLY ENCLOSED (OPEN)
G.S. = GROUND SNOW
L.L. = LIVE LOAD

PEAK BRACE SCHEDULE

WIDTH	SIZE	LENGTH
12	2 1/2\"/>	2'-0"
14	2 1/2\"/>	4'-0"
16	2 1/2\"/>	6'-0"
18	2 1/2\"/>	6'-0"
20-22	2\"/>	10'-0"
24-26	2\"/>	14'-0"
28-30	2\"/>	16'-0"

BOW SCHEDULE (TOP & COLUMN MEMBERS GAUGE AND SPACING)

WIND (MPH)	90 - 100						110 - 120						130 - 150					
	BLDG. & WIDTH						BLDG. & WIDTH						BLDG. & WIDTH					
	12-20		22-26		28-30		12-20		22-26		28-30		12-20		22-26		28-30	
G5 / LL	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"
	P	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"	P	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"	P	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"
20 / 20	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"
	P	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"	P	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"	P	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"
30 / 20	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"
	P	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"	P	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"	P	14GA. S.B. @ 60"	12GA. S.B. @ 60"	12GA. S.B. @ 54"	14GA. D.B. @ 54"	14GA. D.B. @ 60"



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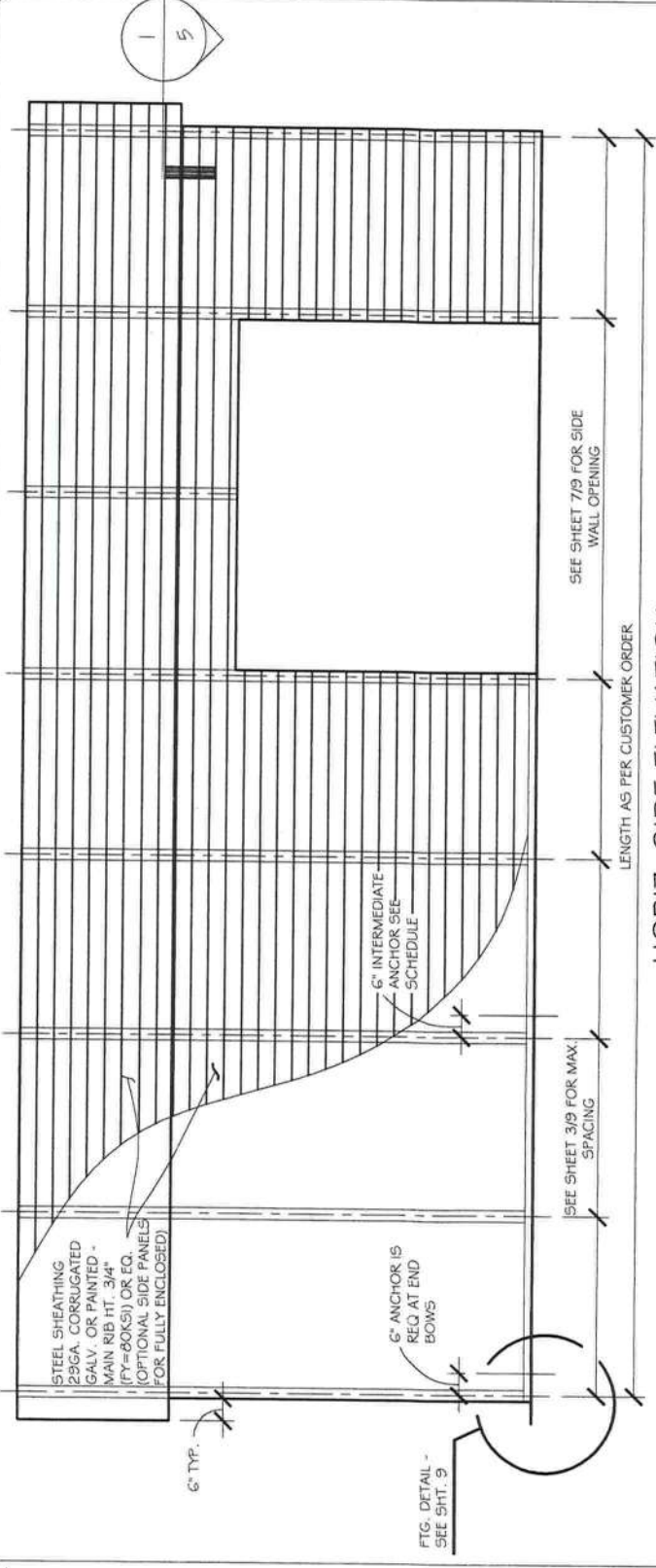
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SIDE ELEVATIONS

SHEET NO.: 4 OF 9

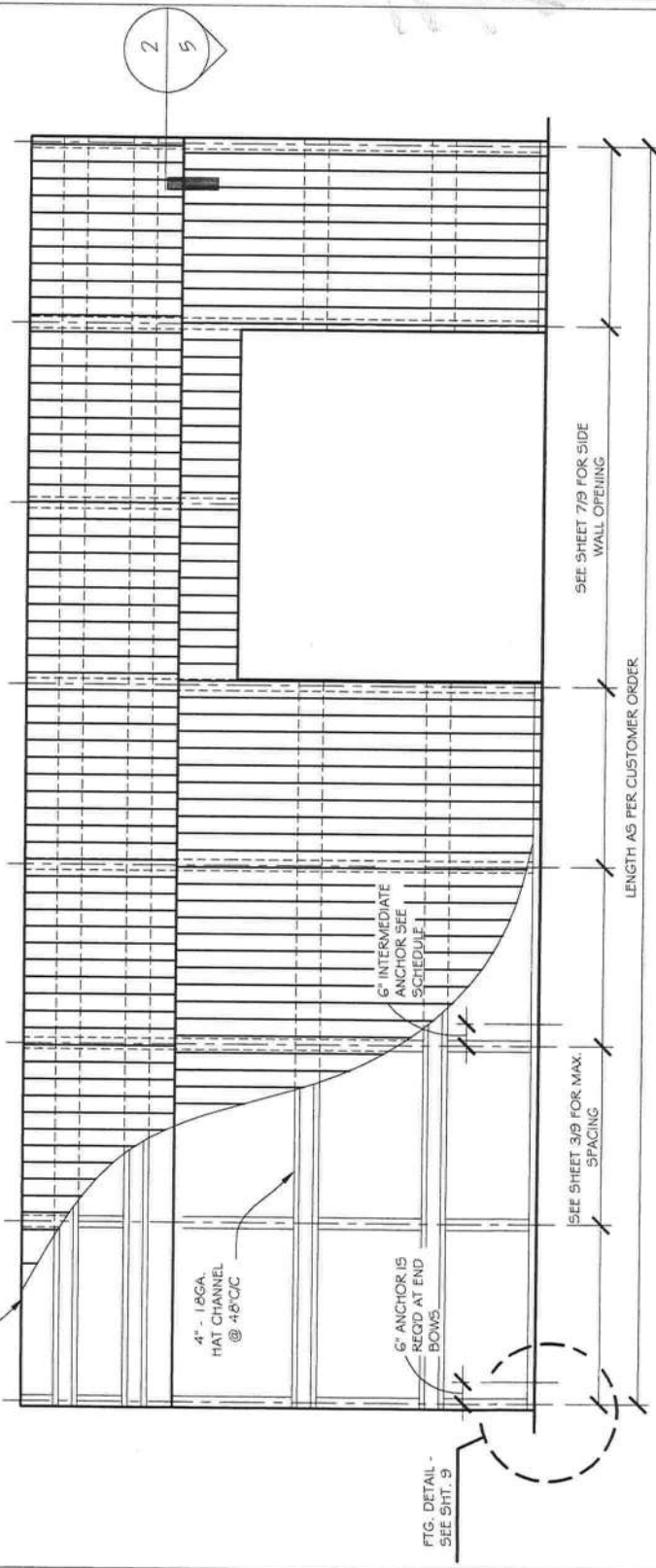
SEAL:

DATE SIGNED: 9/23/2011



HORIZ. SIDE ELEVATION

(SCALE: NT'S)



VERTICAL SIDE ELEVATION

(SCALE: NT'S)



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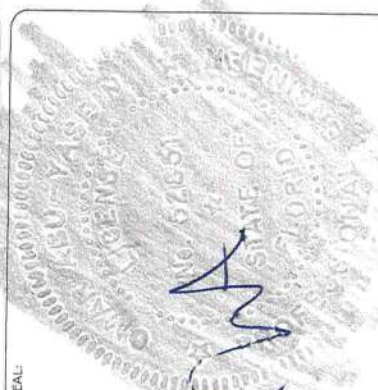
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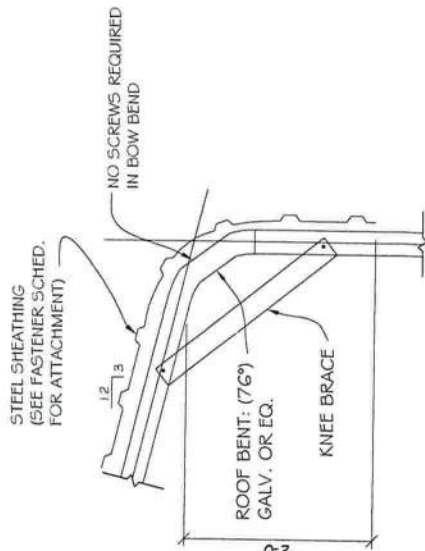
SECTION DETAILS

SHEET NO.: **5 OF 9**

SCALE:

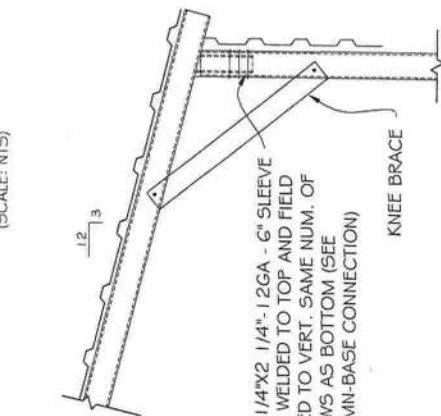


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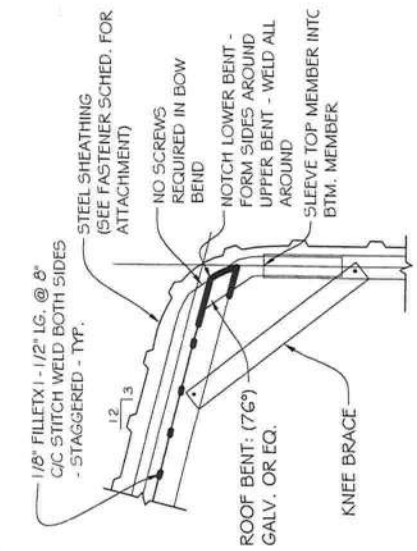
REGULAR SINGLE BOW
SECTION DETAIL
(SCALE: NTS)

2.A
3



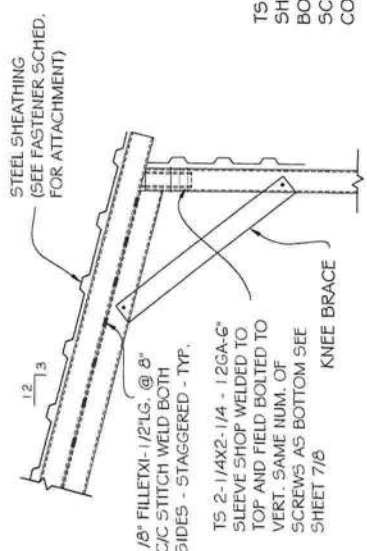
A-FRAME SINGLE BOW
SECTION DETAIL
(SCALE: NTS)

2.B
3



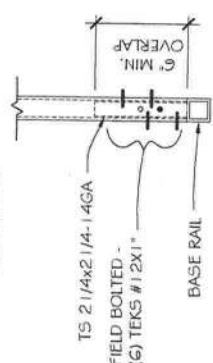
REGULAR DOUBLE BOW
SECTION DETAIL
(SCALE: NTS)

1.A
3



A-FRAME DOUBLE BOW
SECTION DETAIL
(SCALE: NTS)

1.B
3

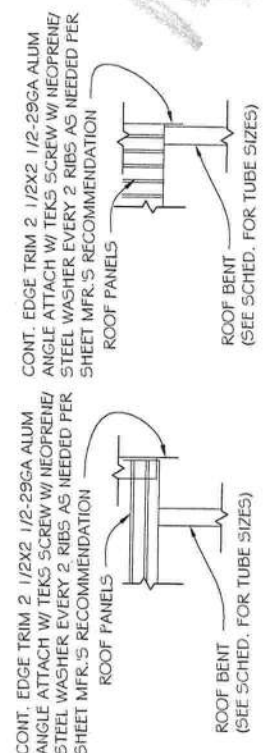


COLUMN BASE RAIL DETAIL
(SCALE: NTS)

FASTENER SCHED.:
TYPE: TEK'S #12X1 1/2" SCREWS W/
NEOPRENE/STEEL WASHER @ 6"C/C OF CORNER
PANEL AND 8"C/C ELSEWHERE.
MIN. ONE FAST. PER SPAN AT SIDE LAP PANELS
MIN. 4" C/C AT EDGE LAP PANELS W/ SILICON
CAULK IN BETWEEN PANELS.

PURLIN SCHD.	
SNOW LOAD	HAT CHANNEL SPACING
20	48" C/C

TYPICAL A-FRAME VERTICAL
SECTION DETAIL
(SCALE: NTS)



EDGE DETAIL
SECTION DETAIL
(SCALE: NTS)

1
4

EDGE DETAIL
SECTION DETAIL
(SCALE: NTS)

2
4



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DRAWING TITLE:

END WALL DETAILS

SHEET NO.:

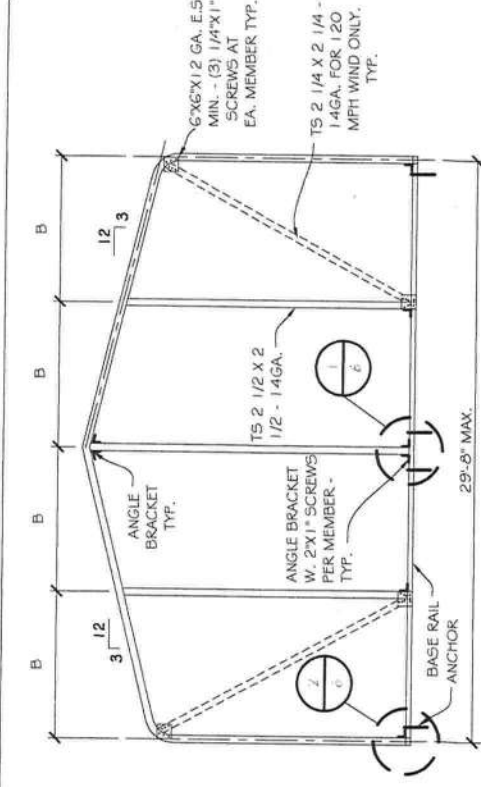
6 OF 9

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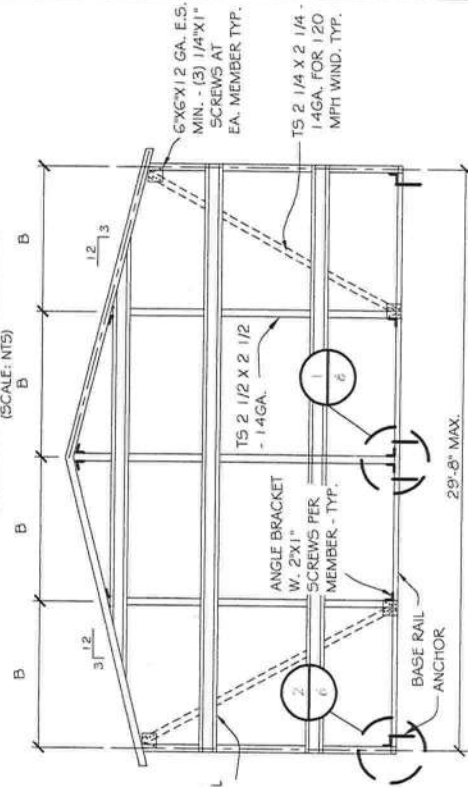


DATE SIGNED:

9/23/2011



REGULAR END WALL
(SCALE: NTS)



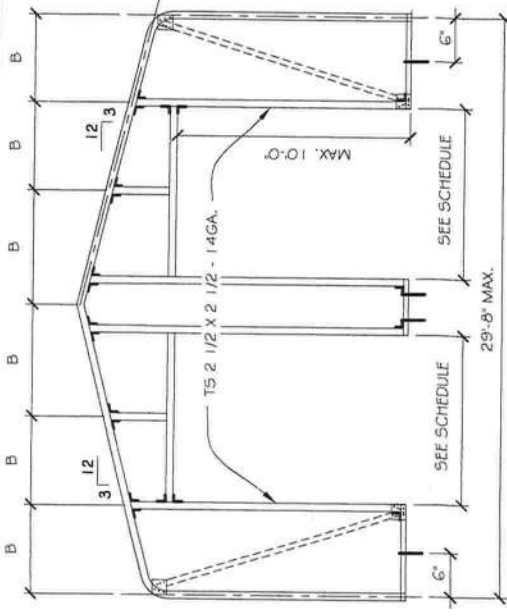
A-FRAME END WALL
(SCALE: NTS)

MAX. END WALL OPENING

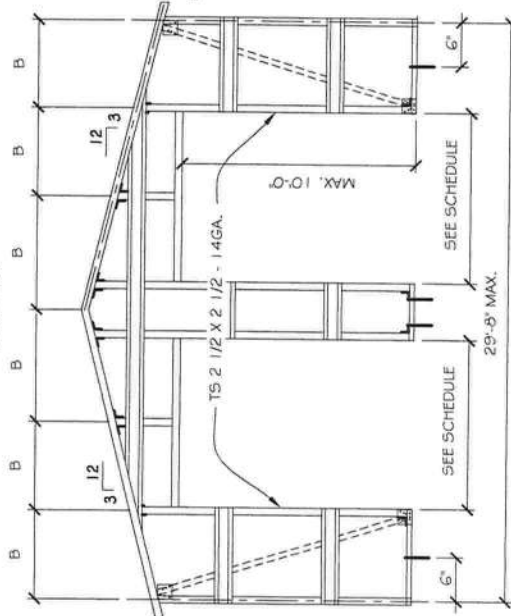
CARPORT WIDTH	MAX. DOOR WIDTH	HEADER SIZE
12'-16'	8'	TS 2 1/4 X 2 1/4 - 12GA.
18'	10'	TS 2 1/4 X 2 1/4 - 12GA.
20'-22'	12'	TS 2 1/4 X 2 1/4 - 12GA.
24'-30'	14'	DBL TS 2 1/4 X 2 1/4 - 14GA.

MAX. POST SPACING "B"

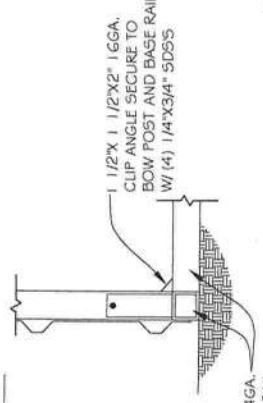
END WALL SCHEDULE		
WIND	POST SPACING "B"	ANCHORS
90 - 120	5'-0" C/C	EVERY OTHER BAY "B"
130 - 150	4'-0" C/C	EVERY BAY "B"



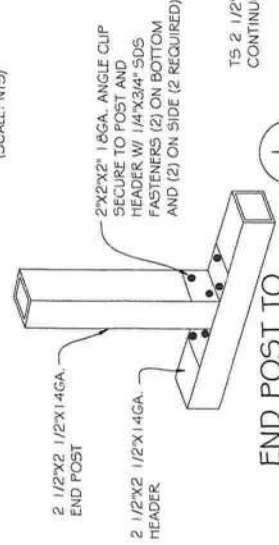
REGULAR END WALL W/ OPENING
(SCALE: NTS)



A-FRAME END WALL W/ OPENING
(SCALE: NTS)



END BOW/BASE RAIL CONNECTION
(SCALE: NTS)



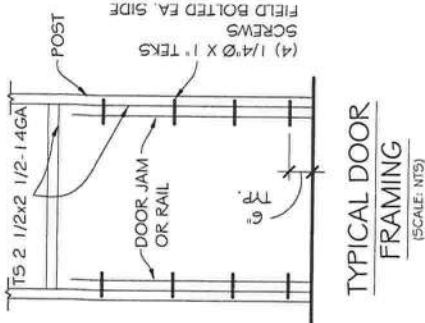
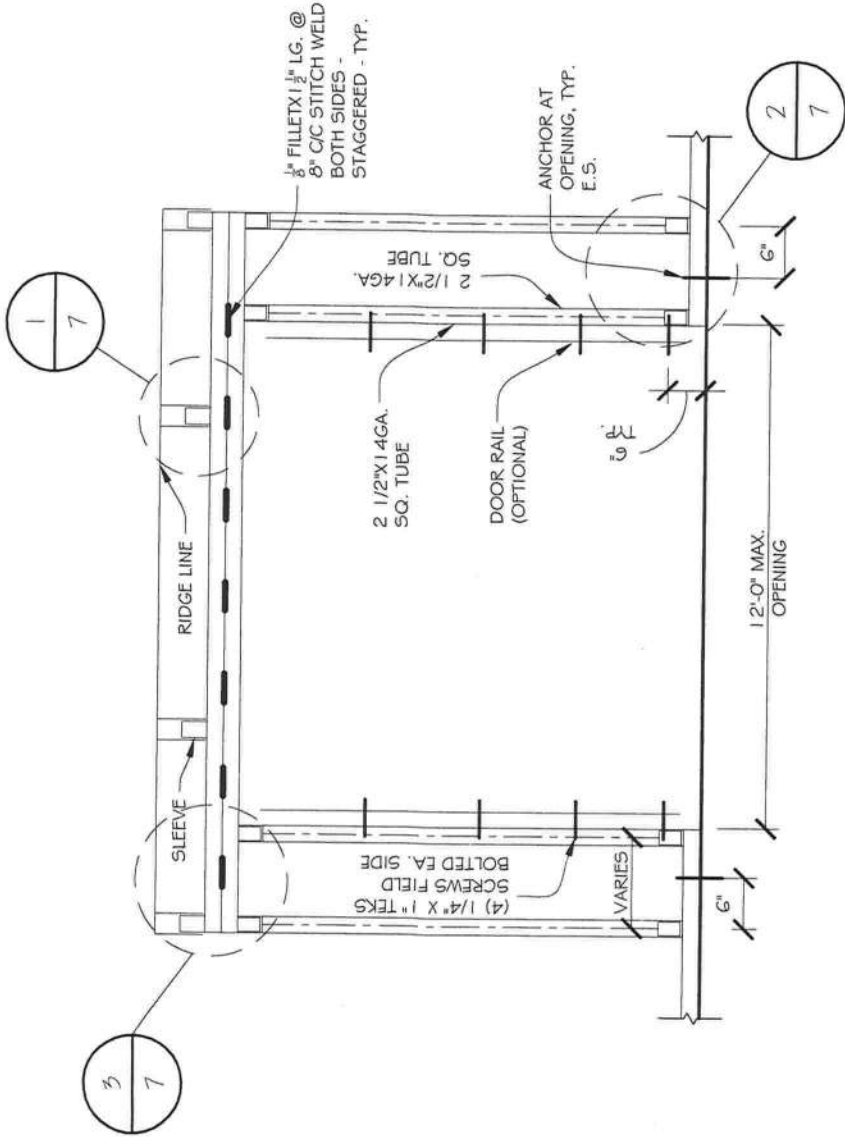
END POST TO HEADER/RAIL CONN.
(SCALE: NTS)



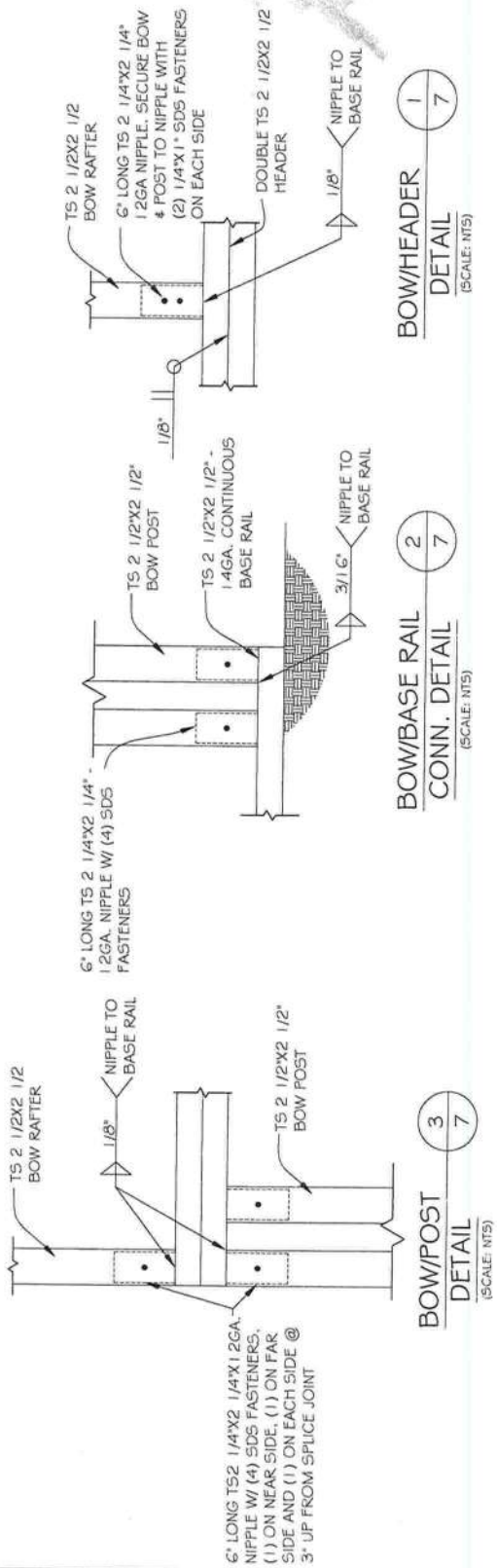
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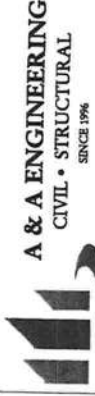
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DRAWN BY: **JMS**
CHECKED BY: **OA**
DRAWING TITLE:
**SIDE WALL
OPENING DETAILS**
SHEET NO.: **7 OF 9**

SEAL: [Stamp]
DATE SIGNED: **9/23/2011**



TYPICAL FRAMING AT SIDE OPENINGS
(SCALE: NTS)





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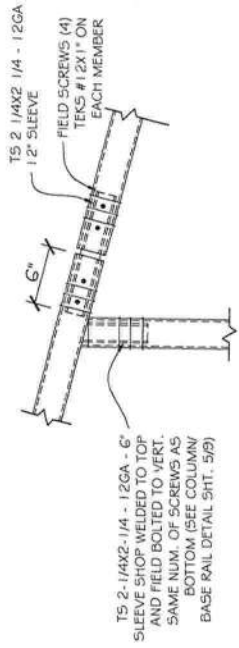
DRAWING TITLE: **LEAN-TO OPTION**

SHEET NO.: **8 OF 9**

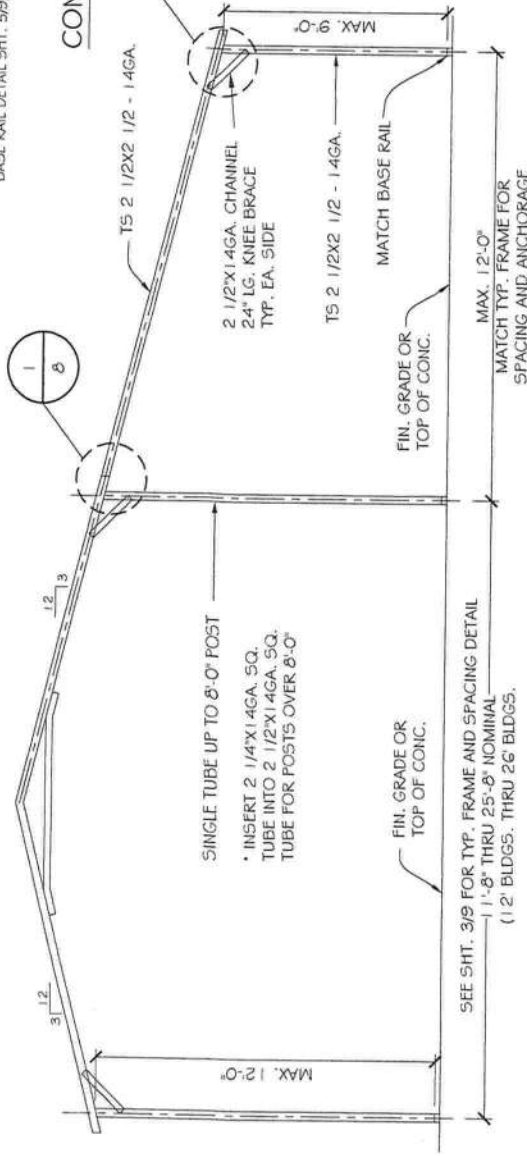
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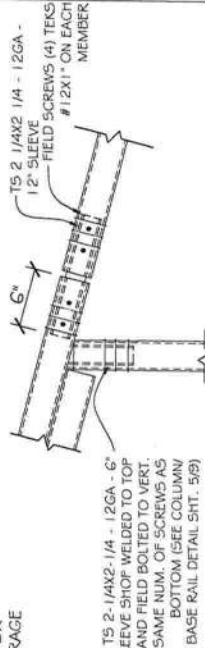
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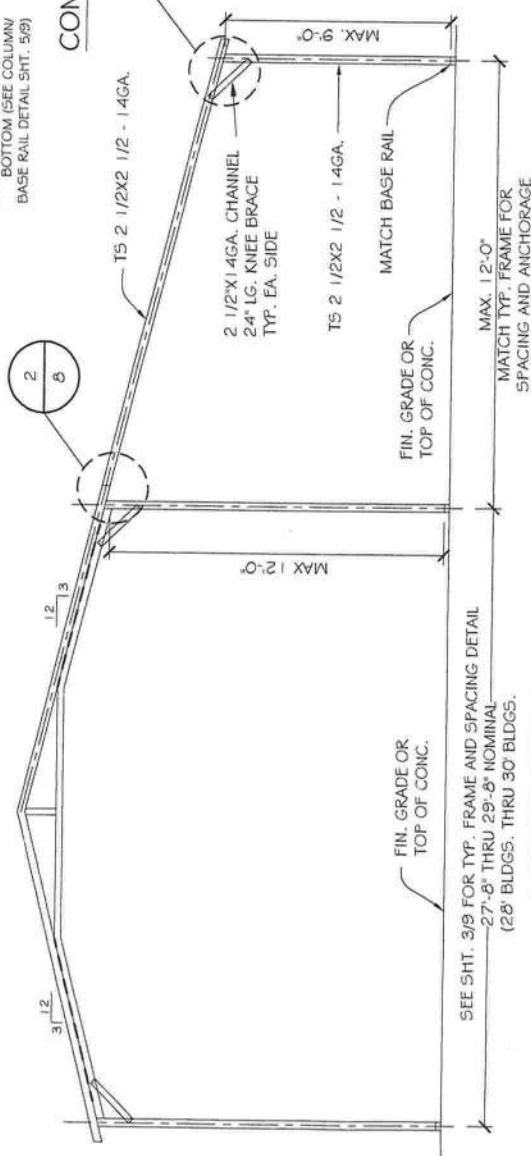
CONNECTION DETAIL 1/8
(SCALE: NTS)



A-FRAME OR REGULAR "SB" LEAN-TO OPTION
(SCALE: NTS)



CONNECTION DETAIL 2/8
(SCALE: NTS)



A-FRAME OR REGULAR "DB" LEAN-TO OPTION
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OA

DRAWING TITLE:

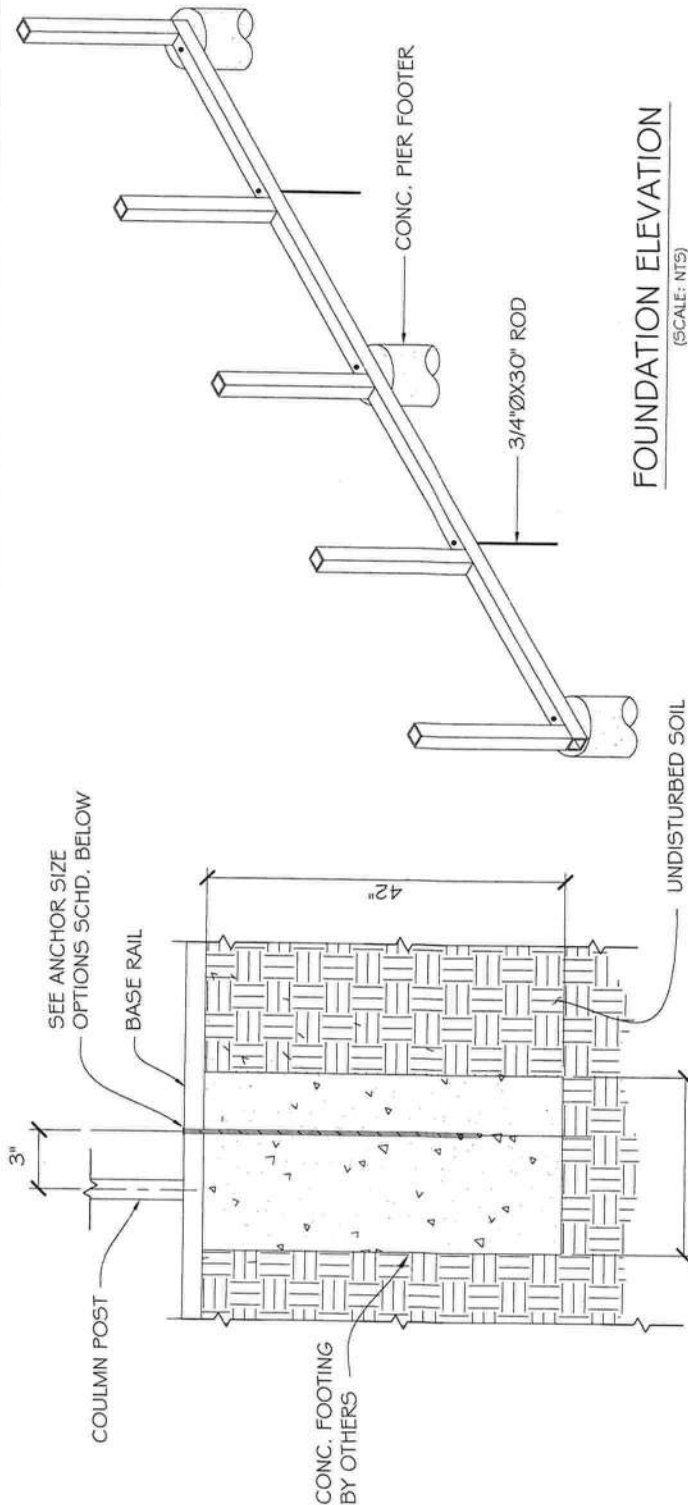
**ANCHOR OPTION
PIER FOOTER**

SHEET NO.:

9 OF 9

SEAL:

DATE SIGNED: 9/23/2011



FOUNDATION ELEVATION

(SCALE: NTS)

18"Ø FOR 12' THRU 20' BLDG.
24"Ø FOR 22' THRU 30' BLDG.

PIN ANCHOR DETAIL ON CONCRETE PIER FOOTING

(SCALE: NTS)

NOTE:
ON LEVEL GRADE DIG A 18"Ø/24"Ø HOLE 42" DEEP AT EACH
ANCHOR POINT. REPOSITION BASE RAILS OVER HOLES AND
DROP A GROUND ANCHOR THROUGH EACH HOLE IN BASE
RAILS. FILL EACH HOLE WITH 2500 PSI CONCRETE

NOTES:

1. CONCRETE PIERS SHALL BE REQUIRED AT ALL CORNER POSTS
AND AT EVERY OTHER POST BUT SHALL NOT EXCEED 10.0'C/C
SPACING IN ANY DIRECTION
2. ALL OTHER POSTS WITH NO CONCRETE PIER ANCHOR SHALL BE
ANCHORED TO THE GROUND WITH 3/4"X30"LG. ROD. RODS
SHALL HAVE A WELDED NUT AT TOP AND ONE COAT OF RUST
PROVE PRIMER PAINT.
3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
4. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

ANCHOR SIZE OPTIONS SCHEDULE

	WIND SPEED (MPH)		REMARKS	CARPORT WIDTH
	90 - 120	130 - 150		
1	5/8"ØX20"	3/4"ØX20"	THRD. ROD EMBED IN CONC	ALL SIZES
2	5/8"ØX7"	3/4"ØX10"	INSERT W/ EPOXY IN CONC.	ALL SIZES
3	5/8"ØX7"	3/4"ØX10"	EXPANSION BOLTS	ALL SIZES
4	5/8"ØX7"	3/4"ØX10"	WEDGE ANCHORS IN CONC.	ALL SIZES



A & A ENGINEERING
CIVIL • STRUCTURAL
SINCE 1996

5911 Renaissance Pl., Suite B
Toledo, Ohio 43623
Tel: (419) 292-1983
Fax: (419) 292-0955



Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Airy, NC 27030
1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION: FLORIDA

DRAWING NO.: TNT-FL

DATE: 9/23/2011

PROJECT NUMBER:

039-11-0817

DRAWN BY: JMS

CHECKED BY: OA

DRAWING TITLE:

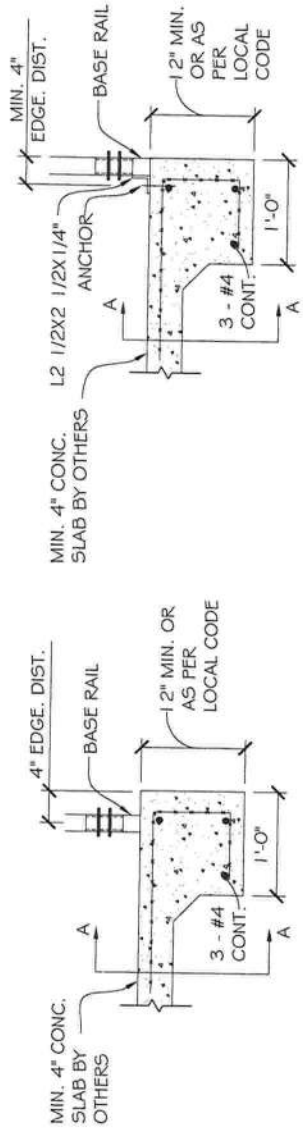
CONC. SLAB
ANCHORAGE

SHEET NO.: 9 OF 9

SEAL:

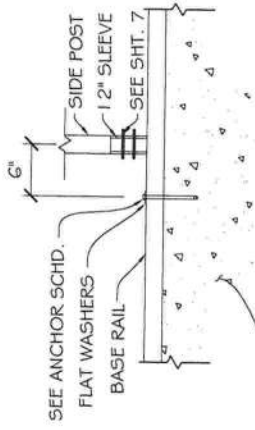


DATE SIGNED: 9/23/2011



BASE ANCHOR
ON CONC. SLAB SECTION
(SCALE: NTS)

ALTERNATE, FRAME
FLUSH W/ CONC.
(SCALE: NTS)



CONC. SLAB OR FOOTER W/ MIN. 12" WIDE
X DEPTH AS PER LOCAL CODE (12" DEEP
MIN.) RAT WALL ALL AROUND (BY OTHERS)

SECTION A-A
(SCALE: NTS)

ANCHOR SIZE OPTIONS SCHEDULE

	WIND SPEED (MPH)			BASE ANCHOR			ALTERNATE ANCHOR			REMARKS	CARPORT WIDTH
	90 - 120	130 - 150	160 - 180	90 - 120	130 - 150	160 - 180	90 - 120	130 - 150	160 - 180		
1	5/8"	3/4"	3/4"	7"	10"	10"	5"	7"	7"	INSERT W/ EPOXY IN CONC.	ALL SIZES
2	5/8"	3/4"	3/4"	7"	10"	10"	5"	7"	7"	EXPANSION BOLTS	ALL SIZES
3	5/8"	3/4"	3/4"	7"	10"	10"	5"	7"	7"	WEDGE ANCHORS IN CONC.	ALL SIZES

NOTE:

1. PROVIDE A MIN. OF (1) ANCHOR AT ±6" FROM CENTER OF EACH POST
2. ALL ANCHORS SHALL BE A307 OR BETTER
3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
4. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS



A & A ENGINEERING
CIVIL • STRUCTURAL
SINCE 1986

5911 Renaissance Pl., Suite B
Toledo, Ohio 43623
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Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Airy, NC 27030
1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION: FLORIDA

DRAWING NO.: TNT-FL

DATE: 9/23/2011

PROJECT NUMBER:

039-11-0817

DRAWN BY: JMS

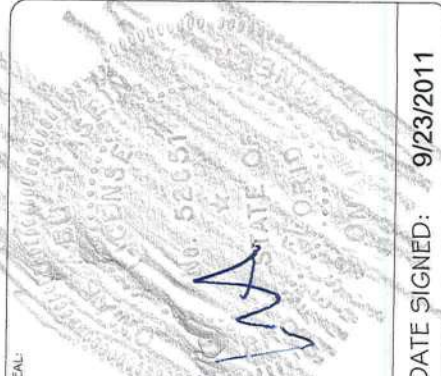
CHECKED BY: OA

DRAWING TITLE:

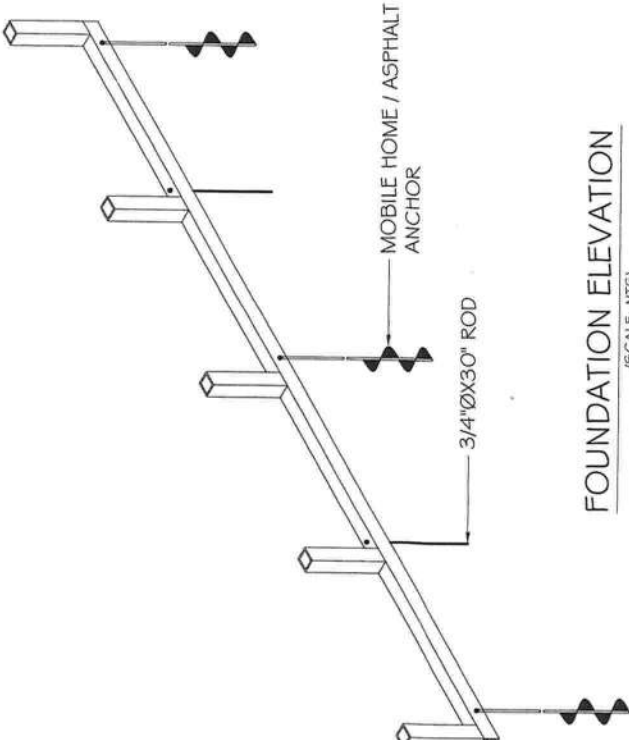
ANCHORAGE

SHEET NO.: 9 OF 9

SEAL:



DATE SIGNED: 9/23/2011



FOUNDATION ELEVATION

(SCALE: NTS)

NOTES:

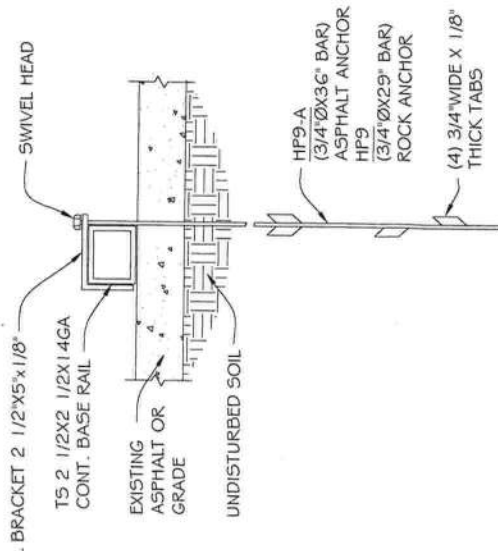
- MOBILE HOME ANCHORS SHALL BE REQUIRED AT ALL CORNER POSTS AND AT EVERY OTHER POST BUT SHALL NOT EXCEED 10'-0" C SPACING IN ANY DIRECTION.
- ALL OTHER POSTS WITH NO MOBILE HOME ANCHOR SHALL BE ANCHORED TO THE GROUND WITH 3/4"x30"LG. ROD. RODS SHALL HAVE A WELDED NUT AT TOP AND ONE COAT OF RUST PROVE PRIMER PAINT.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
- CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

SOIL CLASSIFICATIONS:

SOIL CLASS	SOIL DESCRIPTION
2	VERY DENSE # / OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, COLLICHE, PRELOADED SILT AND CLAYS
3	MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS
4	LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL AND VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL.

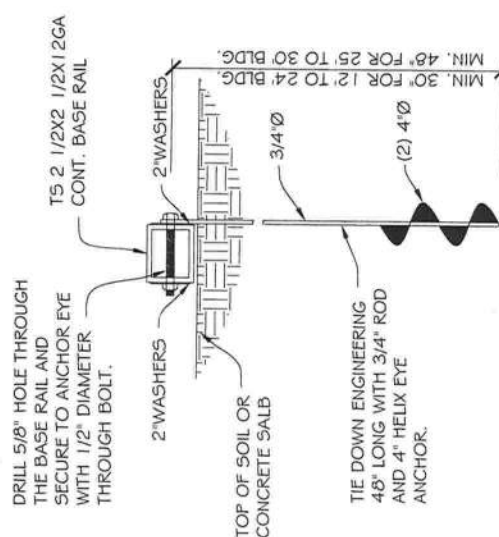
HELICAL ANCHOR SHALL BE APPROVED FOR USE IN SOIL CLASSIFICATIONS 2,3, AND 4.

*TAKEN FROM HUD "STANDARD FOR INSTALLATION OF MOBILE HOMES"



OPTIONAL ASPHALT/ ROCK ANCHOR DETAIL

(SCALE: NTS)



OPTIONAL MOBILE HOME ANCHOR FOR SAND/CLAY

(SCALE: NTS)

NOTE:

HELICAL ANCHORS ARE NOT TO BE USED IF DRIVING TORQUE INTO GROUND IS LESS THAN 150 FT-LBS OR DONT MEET ONE OF THE FOLLOWING SOIL CLASSIFICATIONS.

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____ CONTRACTOR _____ PHONE _____

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C _____	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR	Owner	James Wilkinson sr	James I. Wilkinson Jr.

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Site Plan



25-4S-16-03121-033
WILKINSON JAMES L & KATHLEEN L
10/26/1993 - \$12,000 - V/Q

Columbia County Property Appraiser J. Doyle Crews - Lake City, Florida 32055 386-758-1083		
PARCEL: 25-4S-16-03121-033 - SINGLE FAM (000100) LOT 7 BLOCK C PICCADILLY PARK SOUTH S/D. ORB 781-1728		
2010 Certified Values		
Other: \$114,820 Schl: \$139,820		
Name: WILKINSON JAMES L & KATHLEEN L	Land \$19,926.00	NOTES:
Site: 292 SW BRIARBROOK PL	Bldg \$155,499.00	
Mail: 2550 SW MAIN BLVD LAKE CITY, FL 32025	Assd \$164,820.00	
Sales Info: 10/26/1993 \$12,000.00 V / Q	Exmpt \$50,000.00	
	Taxbl Cnty: \$114,820	

This information, GIS Map Updated: 10/3/2011, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

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GrizzlyLogic.com



1111-09

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

SK 0781 PG 1728

OFFICIAL RECORDS

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Grantee #1 S.S. No. [REDACTED]

Grantee #2 S.S. No. [REDACTED]

Property Appraiser's
Parcel Identification No.
03121-033

DOCUMENTARY STAMP \$ 84.00
INTANGIBLE TAX 0
P. DEWITT CASON, CLERK OF
COURTS, COLUMBIA COUNTY
BY *Paul R. [Signature]*

WARRANTY DEED

THIS INDENTURE, made this 26 day of October, 1993, between
NORTON HOME IMPROVEMENT COMPANY, INC., a corporation existing under
the laws of the State of Florida, whose post office address is Post
Office Box 31, Lake City, FL 32056, and having its principal place
of business in the County of Columbia, State of Florida, party of
the first part, and JAMES L. WILKINSON and his wife, KATHLEEN L.
WILKINSON, whose post office address is 760 South Walden
ST, LAKE CITY, FL 32055, party of the second part,

WITNESSETH: that the said party of the first part, for and in
consideration of the sum of Ten Dollars (\$10.00), to it in hand
paid, the receipt whereof is hereby acknowledged, has granted,
bargained, sold, aliened, remised, released, conveyed and
confirmed, and by these presents doth grant, bargain, sell, alien,
remise, release, convey and confirm unto the said party of the
second part, and their and assigns forever, all that certain parcel
of land lying and being in the County of Columbia and State of
Florida, more particularly described as follows:

Lot 7, Block C, PICCADILLY PARK SOUTH, a subdivision
according to the plat thereof recorded in Plat Book 4,
Page 73 of the public records of Columbia County,
Florida.

SUBJECT TO: Restrictions, easements and outstanding
mineral rights of record, if any, and taxes for the
current year.

TOGETHER with all the tenements, hereditaments and
appurtenances, with every privilege, right, title, interest and
estate, reversion, remainder and easement thereto belong or in
anywise appertaining:

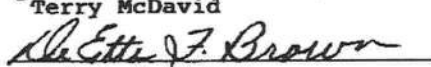
TO HAVE AND TO HOLD the same in fee simple forever.

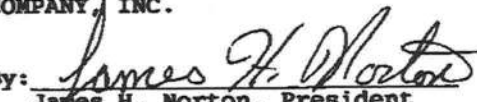
And the said party of the first part doth covenant with said party of the second part that it is lawfully seized of said premises; that they are free of all encumbrances, and that it has good right and lawful authority to sell the same; and the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the party of the first part has caused these presents to be signed in its name by its President, and its corporate seal to be affixed the day and year above written.

Signed, sealed and delivered
in our presence:

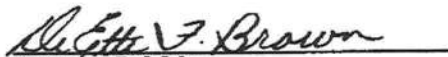
NORTON HOME IMPROVEMENT
COMPANY, INC.


Terry McDavid

DeEtte F. Brown

By: 
James H. Norton, President

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 26th day of October, 1993, by James H. Norton, President of NORTON HOME IMPROVEMENT COMPANY, INC., a State of Florida corporation, on behalf of the corporation. He is personally known to me and did not take an oath.


Notary Public
My Commission Expires: _____

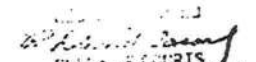
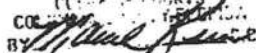


DEETTE F. BROWN
MY COMMISSION # 001057801 EXPIRES
October 22, 1994

93-12509

FILED IN PUBLIC
RECORDS COUNTY FL

1333 OCT 27 PM 1:27


CLERK OF COURTS
COUNTY OF COLUMBIA
BY 

EX 0781 PG 1729

OFFICIAL RECORDS



HOME

News Releases

Record Search

GIS Map

Sales Report

TAX Estimator

General Info

Exemptions

Amendment 1

Amendment 10

AG Classification

Tax Rates

T P P

HB 909

F A Q

Homestead Fraud

Download Data

Download Forms

Important Dates !

Links

Contact Us

Columbia County Property Appraiser - Interactive Record Search & GIS Mapping System -

New Search

Search Results

Parcel Details

GIS Map

Columbia County Property Appraiser

DB Last Updated: 10/3/2011

2010 Tax Year

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

Print

Parcel: 25-4S-16-03121-033

<< Next Lower Parcel

Next Higher Parcel >>

Owner & Property Info

Owner's Name	WILKINSON JAMES L & KATHLEEN L		
Mailing Address	2550 SW MAIN BLVD LAKE CITY, FL 32025		
Site Address	292 SW BRIARBROOK PL		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	2 (County)	Neighborhood	25416
Land Area	0.000 ACRES	Market Area	06
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. LOT 7 BLOCK C PICCADILLY PARK SOUTH S/D. ORB 781-1728		

Property & Assessment Values

2010 Certified Values	
Mkt Land Value	cnt: (0) \$19,926.00
Ag Land Value	cnt: (1) \$0.00
Building Value	cnt: (1) \$155,499.00
XFOB Value	cnt: (5) \$13,293.00
Total Appraised Value	\$188,718.00
Just Value	\$188,718.00
Class Value	\$0.00
Assessed Value	\$164,820.00
Exempt Value	(code: HX) \$50,000.00
Total Taxable Value	Cnty: \$114,820 Other: \$114,820 Schl: \$139,820

2011 Working Values

NOTE:

2011 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
10/26/1993	781/1728	WD	V	Q		\$12,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1994	COMMON BRK (19)	2542	3490	\$147,104.00
Note: All S.F. calculations are based on exterior building dimensions.						

http://g2.columbia.floridapa.com/GIS/Search_F.asp

11/8/2011



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

292 SW Briarbrook Place, Lake City, FL 32024

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

25-45-16-63121-033

Clerk's Office Stamp

Inst. 201112017315 Date: 11/8/2011 Time: 3:45 PM
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1224 P: 1719

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Picadilly Park South Lot 7 Block C.
a) Street (job) Address: 292 SW BIRCHBROOK PLACE LAKE CITY FL 32024
2. General description of improvements: Metal Garage
3. Owner Information
a) Name and address: JAMES L. WILKINSON SR. 292 SW BIRCHBROOK PL. LA. 32024
b) Name and address of fee simple titleholder (if other than owner):
c) Interest in property: OWNER
4. Contractor Information
a) Name and address: OWNER/BUILDER
b) Telephone No.: 386 735 1812 Fax No. (Opt.):
5. Surety Information
a) Name and address:
b) Amount of Bond:
c) Telephone No.: Fax No. (Opt.):
6. Lender
a) Name and address:
b) Phone No.:
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address:
b) Telephone No.: Fax No. (Opt.):
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:
a) Name and address:
b) Telephone No.: Fax No. (Opt.):
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. James L. Wilkinson Sr.
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
James L. Wilkinson Sr.
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 8 day of November, 20 11, by:
Owner as Owner Builder (type of authority, e.g. officer, trustee, attorney
fact) for James L. Wilkinson Sr. (name of party on behalf of whom instrument was executed).

Personally Known ☐ OR Produced Identification ☒ Type FL DL

Notary Signature Laurie Hodson Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief

James L. Wilkinson Sr.
Signature of Natural Person Signing (in line #10 above.)

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

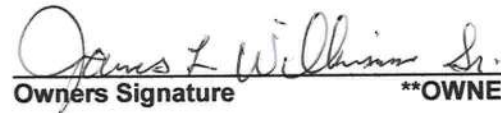
NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)


Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

_____ Contractor's Signature (Permitee)	Contractor's License Number _____ Columbia County Competency Card Number _____
--	--

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20____.
Personally known _____ or Produced Identification _____

State of Florida Notary Signature (For the Contractor) SEAL:

Columbia County Building Permit Application

For Office Use Only		Application # <u>1111-09</u>	Date Received <u>11-8-11</u>	By <u>UH</u>	Permit # <u>29771</u>
Zoning Official <u>BLK</u>	Date <u>14 Nov. 2011</u>	Flood Zone <u>A</u>	Land Use <u>Res. Low Den</u>	Zoning <u>RSF-2</u>	
FEMA Map # <u>0381C</u>	Elevation <u>N/A</u>	MFE <u>N/A</u>	River <u>N/A</u>	Plans Examiner <u>J.C.</u>	Date <u>11-10-11</u>
Comments <u>Non Inhabitable Structure accessory use</u>					
☒ NOC	☒ EH	☒ Deed or PA	☒ Site Plan	☒ State Road Info	☒ Well letter
☐ Dev Permit # _____	☐ In Floodway	☐ Letter of Auth. from Contractor	☒ 911 Sheet	☐ Parent Parcel # _____	☒ F W Comp. letter
IMPACT FEES: EMS _____ Fire _____ Corr _____			☒ Sub VF Form		
Road/Code _____		School _____	= TOTAL (Suspended) ☒ App Fee Paid		

Septic Permit No. 11-093 IL Box Fax _____

Name Authorized Person Signing Permit James L. Wilkinson SR. Phone 386 755-1812

Address 292 SW Briar Brook Place Lake City FL 32024

Owners Name Same Phone _____

911 Address 292 SW BRIARBROOK PLACE LAKE CITY FL 32024

Contractors Name OWNER Phone _____

Address Same as above

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address A & A ENGINEERING 1 800 597 3597

Mortgage Lenders Name & Address 170 Holly Springs Rd. Mt. Airy NC 27030

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 25-45-16-03121-033 Estimated Cost of Construction 7125.00

Subdivision Name Picadilly Park South Lot _____ Block _____ Unit _____ Phase _____

Driving Directions SR 47 Rt. CR 242 Lft. Mocking Bird LN Rt. Briar Brook Pl.
at end on left at corner of Whippoorwillway & Briarbrook Pl

Number of Existing Dwellings on Property 1

Construction of Metal Garage Total Acreage 5 Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____

Actual Distance of Structure from Property Lines - Front 102 Side 60 Side 300+ Rear 500+

Number of Stories _____ Heated Floor Area _____ Total Floor Area _____ Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.** Page 1 of 2 (Both Pages must be submitted together.) Revised 1-11

Left Message with wife 11/14/11

Cash

DATE 11/15/2011

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000029771

APPLICANT JAMES WILKINSON SR PHONE 386-755-1812
ADDRESS 292 SW BRIARBROOK PLACE LAKE CITY FL 32024
OWNER JAMES WILKINSON SR PHONE 386-755-1812
ADDRESS 292 SW BRIARBROOK PLACE LAKE CITY FL 32024
CONTRACTOR OWNER BUILDER PHONE
LOCATION OF PROPERTY 47 S, R 242, L MOCKING BIRD LN, R BRIAR BROOK PL, ON LEFT
AT END ON CORNER OF WHIPPOORWILL WAY & BRIAR BROOK
TYPE DEVELOPMENT METAL GARAGE ESTIMATED COST OF CONSTRUCTION 7125.00
HEATED FLOOR AREA TOTAL AREA HEIGHT 12.00 STORIES 1
FOUNDATION NONE WALLS METAL ROOF PITCH 1'12 FLOOR DIRT
LAND USE & ZONING RSF-2 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 10.00 SIDE 10.00
NO. EX.D.U. 1 FLOOD ZONE A DEVELOPMENT PERMIT NO.

PARCEL ID 25-4S-16-03121-033 SUBDIVISION PICADILLY PARK SOUTH
LOT 7 BLOCK C PHASE UNIT TOTAL ACRES 5.00

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X11-093 BK TC N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE

NON INHABITABLE STRUCTURE ACCESSORY USE

Check # or Cash 6444

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by
Framing Insulation
date/app. by date/app. by
Rough-in plumbing above slab and below wood floor Electrical rough-in
date/app. by date/app. by
Heat & Air Duct Peri. beam (Lintel) Pool
date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
date/app. by date/app. by date/app. by
Reconnection RV Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 40.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 90.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.