

DATE05/26/2010

Columbia County Building Permit

PERMIT000028603

This Permit Must Be Prominently Posted on Premises During Construction

APPLICANTLEO HORNE

PHONE386.752.5848

ADDRESS170SW LIZARD DRIVE

FT. WHITEFL32038

OWNERLEO & ELIZABETH HORNE

PHONE386.752.5848

ADDRESS170SW LIZARD DRIVE

FT. WHITEFL32038

CONTRACTORWENDELL CREWS

PHONE352-351-6100

LOCATION OF PROPERTY

47-S TO WILSON SPRINGS RD,TL TO 4 WAY STOP.TO MONTANA,TL TO PARK,TR TO ROSE,TR TO STOP SIGN,TO LIZARD,TL 1ST. HOME ON R.

TYPE DEVELOPMENTM/H/UTILITY

ESTIMATED COST OF CONSTRUCTION0.00

HEATED FLOOR AREA

TOTAL AREA

HEIGHT

STORIES

FOUNDATION

WALLS

ROOF PITCH

FLOOR

LAND USE & ZONINGESA-2

MAX. HEIGHT

Minimum Set Back Requirments:

STREET-FRONT30.00

REAR25.00

SIDE25.00

NO. EX.D.U.1

FLOOD ZONEAE

DEVELOPMENT PERMIT NO.10-005

PARCEL ID12-7S-15-01439-735

SUBDIVISIONWILSON SPRINGS COMMUNITY

LOT5

BLOCK9

PHASE4

UNIT

TOTAL ACRES6.10

IH1025316

Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTING10-0226-E

BLK

HD

N

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS: MFE @ 36.00' .ELEVATION CERTIFICATE REQUIRED BEFORE POWER TO INCLUDE EQUIPMENT. UNIT CHARGED.... REPLACEMENT.....

Check # or Cash107

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power

Foundation

Monolithic

date/app. by

date/app. by

date/app. by

Under slab rough-in plumbing

Slab

Sheathing/Nailing

date/app. by

date/app. by

date/app. by

Framing

Insulation

date/app. by

date/app. by

Rough-in plumbing above slab and below wood floor

Electrical rough-in

date/app. by

date/app. by

Heat & Air Duct

Peri. beam (Lintel)

Pool

date/app. by

date/app. by

date/app. by

Permanent power

C.O. Final

Culvert

date/app. by

date/app. by

date/app. by

Pump pole

Utility Pole

M/H tie downs, blocking, electricity and plumbing

date/app. by

date/app. by

date/app. by

Reconnection

RV

Re-roof

date/app. by

date/app. by

date/app. by

BUILDING PERMIT FEE \$0.00

CERTIFICATION FEE \$0.00

SURCHARGE FEE \$0.00

MISC. FEES \$300.00

ZONING CERT. FEE \$50.00

FIRE FEE \$0.00

WASTE FEE \$

FLOOD DEVELOPMENT FEE \$50.00

FLOOD ZONE FEE \$25.00

CULVERT FEE \$

TOTAL FEE425.00

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



✓ "SRWMD"

✓ SEALED ZERO KISE

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

✓ W.C.L.

For Office Use Only (Revised 1-10-08) Zoning Official BLK 2605-10 Building Official ND 5-26-10  
AP# 100 5-46 Date Received 5/21 By JW Permit # 28603  
Flood Zone AE Development Permit YES Zoning ESA-2 Land Use Plan Map Category ESA  
Comments See map for existing structure  
FEMA Map# 0469 Elevation 35' Finished Floor 36' River Santa Fe In Floodway YES  
☒ Site Plan with Setbacks Shown ☐ EH # 10-0226-E ☒ EH Release NA Well letter ☐ Existing well  
☒ Recorded Deed or Affidavit from land owner ☒ Letter of Auth. from installer ☐ State Road Access  
☐ Parent Parcel # \_\_\_\_\_ ☐ STUP-MH \_\_\_\_\_ ☐ F W Comp. letter  
IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_ Road/Code \_\_\_\_\_  
School \_\_\_\_\_ = TOTAL \_\_\_\_\_ Impact Fees Suspended March 2009 LDQV ADDRESS

Property ID # 12-75-15-01439-735 Subdivision Lot 5 Blk 9 Wilson Springs Community

▪ New Mobile Home yes Used Mobile Home \_\_\_\_\_ MH Size 28x44 Year 2010

▪ Applicant Leo & Lij P. Horne Phone # 752-5848

▪ Address 170 SW Lizard Drive Fort White, FL 32038

▪ Name of Property Owner Leo & Lij P. Horne Phone # 386-752-5848

▪ 911 Address 170 SW Lizard Drive Fort White, FL 32038

▪ Circle the correct power company - FL Power & Light - Clay Electric  
(Circle One) - Suwannee Valley Electric - Progress Energy

▪ Name of Owner of Mobile Home Leo & Lij P. Horne Phone # 386-752-5848

Address 170 SW Lizard Drive Fort White FL 32038

▪ Relationship to Property Owner Self

▪ Current Number of Dwellings on Property 1

▪ Lot Size \_\_\_\_\_ Total Acreage 6

▪ Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)  
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)

▪ Is this Mobile Home Replacing an Existing Mobile Home yes pd

▪ Driving Directions to the Property 47 South to Wilson Springs Rd. on left on Wilson Springs Rd. to 46key stop sign. Turn left to Mountaint Rd. turn right into Wilson Springs Park. go down to Rose first Paved Rd to right. go to stop sign take a left to Lizard Drive. first

me on  
isat  
▪ Name of Licensed Dealer/Installer WENDELL COLEWS Phone # 352-351-6100

▪ Installers Address 4650 NE 35th Street, Ocala, FL 34479

▪ License Number IH0000629-010# Installation Decal # 44

NEW # IH 1025316

- CK#  
107

# PERMIT WORKSHEET

Page 1 of 2

## PERMIT NUMBER

Installer Jendell Crews License # TH0000629

Address of home being installed \_\_\_\_\_

Manufacturer Skyline Length x width 28x44

NOTE: If home is a single wide fill out one half of the blocking plan. If home is a triple or quad wide sketch in remainder of home.

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials WC

New Home ☒ Used Home ☐  
Home installed to the Manufacturer's Installation Manual  
Home is installed in accordance with Rule 15-C

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐  
Double wide ☒ Installation Decal # 44  
Triple/Quad ☐ Serial # TBD

## PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq ft)	16' x 16' (256)	16' 1/2" x 18' 1/2" (342)	20' x 20' (400)	22' x 22' (484)	24' x 24' (576)	28' x 28' (784)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4'	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'
2500 psf	7'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

\* Adapted from Rule 15-C-1 pier spacing table.

## PIER PAD SIZES

1-beam pier pad size 21x29  
Perimeter pier pad size N/A  
Other pier pad sizes (required by the mfg.) 16x16  
DOOS

## POPULAR PAD SIZES

Pad Size	Sq ft
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

## ANCHORS

4 ft ☒ 5 ft ☐

## FRAME TIES

within 2' of end of home spaced at 5' 4" oc ☒

## TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD) Manufacturer Oliver 1101V  
Longitudinal Stabilizing Device w/ Lateral Arms Manufacturer Oliver 1101V

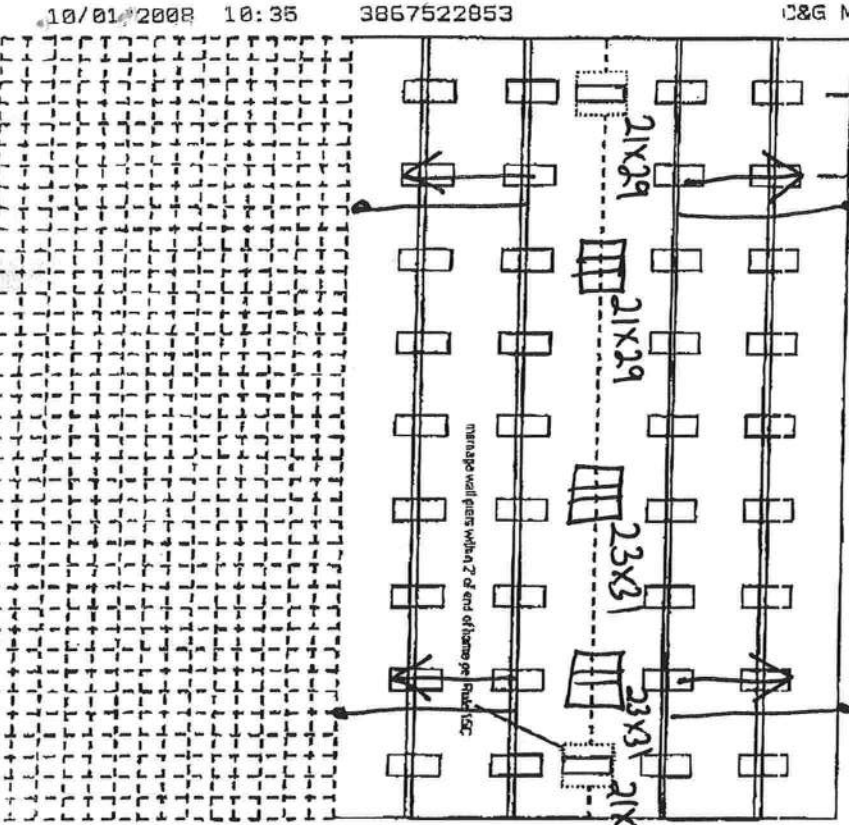
## OTHER TIES

Sidewall Longitudinal Marriage wall @locks  
Shearwall 1



Show locations of Longitudinal and Lateral Systems (use dark lines to show these locations)

marriage wall goes within 2' of end of home per Rule 15-C





## PERMIT NUMBER

## PERMIT WORKSHEET

## POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1000 psf or check here to declare 1000 lb soil without testing.

X        X        X       

## POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X        X        X       

## TORQUE PROBE TEST

The results of the torque probe test is        inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. hooking capacity.

       Installer's initials

## ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Wendell Crews

Date Tested

## Electrical

1. Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 39

## Plumbing

1. Connect all sewer drains to an existing sewer tap or septic tank. Pg. 39  
2. Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 40

## Site Preparation

Debris and organic material removed         
Water drainage: Natural        Swale        Pad        Other       

## Fastening multi-wide units

Floor: Type Fastener: Log Screws Length: 3/8"x5" Spacing: 16"  
Walls: Type Fastener: Screws Length: #8"x4" Spacing: 16"  
Roof: Type Fastener: Log Length: 3/8"x5" Spacing: 16"  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

## Gasket (weatherstripping) (permitted)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials       

## Installed:

Between Floors Yes         
Between Walls Yes         
Bottom of ridgebeam Yes       

Type gasket: foam  
Pg. 13

## Weatherproofing

The bottomboard will be repaired and/or taped. Yes        Pg. 13  
Sliding on units is installed to manufacturer's specifications. Yes         
Fireplace chimney installed so as not to allow intrusion of rain water. Yes       

## Miscellaneous

Skirting to be installed. Yes        No         
Dryer vent installed outside of skirting. Yes        N/A         
Range downflow vent installed outside of skirting. Yes        N/A         
Drain lines supported at 4 foot intervals. Yes         
Electrical crossovers protected. Yes         
Other:       

Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature

Wendell Crews Date 3-12-10



**SUBCONTRACTOR VERIFICATION FORM**

APPLICATION NUMBER 1005-46 CONTRACTOR Leo Horne PHONE 752-3494  
**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

**Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.**

<b>ELECTRICAL</b>	Print Name <u>Leo Horne</u> License #:	Signature <u>Leo Horne</u> Phone #: <u>386-752-3494</u>
<b>MECHANICAL/ A/C</b>	Print Name <u>Leo Horne</u> License #:	Signature <u>Leo Horne</u> Phone #: <u>386-752-3494</u>
<b>PLUMBING/ GAS</b>	Print Name <u>Leo Horne</u> License #:	Signature <u>Leo Horne</u> Phone #: <u>386-752-3494</u>
<b>ROOFING</b>	Print Name _____ License #:	Signature _____ Phone #:
<b>SHEET METAL</b>	Print Name _____ License #:	Signature _____ Phone #:
<b>FIRE SYSTEM/ SPRINKLER</b>	Print Name _____ License #:	Signature _____ Phone #:
<b>SOLAR</b>	Print Name _____ License #:	Signature _____ Phone #:

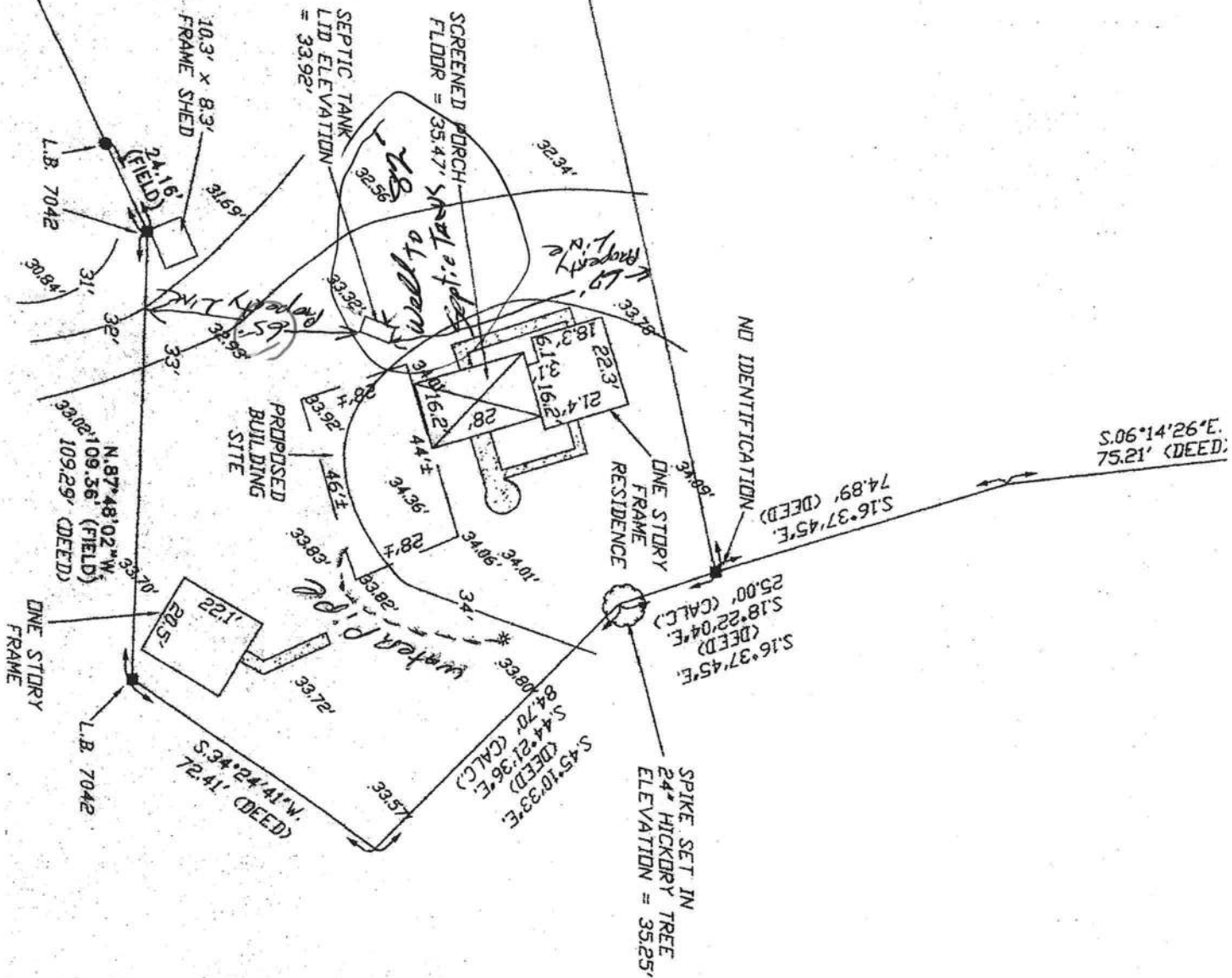
Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

**Columbia CHD**  
**APPROVED**

*[Handwritten signature]*

5/18/10







STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE DISPOSAL SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

10-  
PERMIT NO. 963  
DATE PAID: 5/1  
FEE PAID: 123  
RECEIPT #: 125

APPLICATION FOR:  
☐ New System  
☐ Repair

APPLICANT:

☒ Existing System  
☐ Abandonment

☐ Holding Tank  
☐ Temporary

☐ Innovative

AGENT:

MAILING ADDRESS:

TELEPHONE: 252-34

837 E Rural ST 32055 or  
P.O. Box 1645 LCFM 32056  
TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED  
BY A PERSON LICENSED PURSUANT TO 489.105(3)(M) OR 489.552, FLORIDA STATUTES.

PROPERTY INFORMATION

LOT: 8-9 BLOCK: 5 SUBDIVISION: Wilson Springs, Fla. PLATTED: Unrec.  
old. - 5  
PROPERTY ID #: 12-78-15-01439-735 ZONING: AE I/M OR EQUIVALENT: [ Y / N ]  
PROPERTY SIZE: 6.4 ACRES WATER SUPPLY: [ X ] PRIVATE PUBLIC [ ] <=2000GPD [ ] >2000GPD  
IS SEWER AVAILABLE AS PER 381.0065, FS? [ Y / N ] DISTANCE TO SEWER: 32038 FT

PROPERTY ADDRESS: 170 S.W. Legend Drive  
DIRECTIONS TO PROPERTY: 47 South to Wilson Springs Rd. Turn left go to -  
4 way stop. Turn left on Monument Rd. - Right. In to Wilson Springs Park  
go to front drive. To Right go to stop sign - left on  
BUILDING INFORMATION

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	
1	Mobile Home	2	1232	
2	"Cook house" with sink, bathroom	1	453	
3	one bedroom building w/ bath.	1	420	
4	total	3 BR	2105 SQ FT.	

[ ] COMMERCIAL  
Commercial/Institutional System Design  
Table 1, Chapter 64E-6, FAC  
No Original Source

1 Floor/Equipment Drains [ ] Other (Specify)  
NATURE: Leo Horn

DATE: 4-3-01



# COLUMBIA COUNTY

## 911 ADDRESSING / GIS DEPARTMENT

P. O. Box 1787, Lake City, FL 32056-1787  
Telephone: (386) 758-1125 \* Fax: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com



### ADDRESS ASSIGNMENT DATA

The Columbia County Board of County Commissioners has passed Ordinance 2001-9, which provides for a uniform numbering system. A copy of this ordinance is available in the Clerk of Court records, located in the courthouse. This new numbering system will increase the efficiency of POLICE, FIRE AND EMERGENCY MEDICAL vehicles responding to calls within Columbia County by immediately identifying the location of the caller.

#### A Residential or Other Structure(s) on Parcel Number:

12-7S-15-01439-735 (AKA LOT 5, BLOCK 9, WILSON SPRINGS COMMUNITY PHASE 4)

#### Address Assignment(s):

170 SW LIZARD DR, FORT WHITE, FL, 32038

*Leo Horne*

Any questions concerning this information should be referred to the Columbia County 911 Addressing / GIS Department at the address or telephone number above.



This Instrument Prepared by & return to:

Name: M bryan an employee of  
TITLE OFFICES, LLC  
Address: 343 NW COLE TERRACE, SUITE 105  
LAKE CITY, FLORIDA 32055  
07Y-07058BS

Parcel I.D. #: 01439-000 & 01440-000

Property Appraiser's

Parcel Identification Number(s): 01439-000

Inst:200712027221 Date:12/11/2007 Time:1:48 PM

Doc Stamp-Deed.210.00

DC, P. DeWitt Cason, Columbia County Page 1 of 2

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

**THIS SPECIAL WARRANTY DEED** Made the 5th day of December, A.D. 2007, by  
**WILSON SPRINGS, INC., A FLORIDA CORPORATION**, having its principal place of business at  
321 N. MARION AVE., LAKE CITY, FL 32055, hereinafter called the grantor, to **LEO HORNE**  
and **ELIZABETH P. HORNE, HIS WIFE**, whose post office address is \*, hereinafter called the  
\*928 SE Della Williams GLN, LAKE CITY, FL 32025  
grantees:

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument,  
singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and  
assigns of corporations, wherever the context so admits or requires.)

**Witnesseth:** That the grantor, for and in consideration of the sum of \$10.00 and other  
valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell,  
alien, remise, release, convey and confirm unto the grantees all that certain land situate in  
**Columbia County, State of Florida**, viz:

BLOCK 9 - LOT 5

COMMENCE at the Northeast corner of the Southeast 1/4 of Section 1, Township 7 South, Range 15  
East, Columbia County, Florida and run South 88°10'31" West along the North line of said  
Southeast 1/4 of Section 1, being also the North line of Wilson Springs Community Phase 2, a  
distance of 33.01 feet to a point on the West line of Wilson Springs Road as deeded to County, being  
also the East line of Wilson Springs Community Phase 2; thence North 00°15'08" West along said  
West line of Wilson Springs Road as deeded to County a distance of 32.85 feet; thence South  
44°23'06" West along the West line of Wilson Springs Community Phase 2 a distance of 19.06 feet;  
thence South 33°20'10" West along said West line a distance of 127.29 feet; thence South 13°50'26"  
West still along said West line a distance of 201.28 feet; thence South 36°15'19" West still along said  
West line a distance of 100.83 feet; thence South 45°36'37" West still along said West line a distance  
of 159.64 feet; thence South 65°38'07" West still along said West line a distance of 134.90 feet;  
thence South 69°45'13" West still along said West line a distance of 109.27 feet; thence South  
49°33'22" West still along said West line a distance of 427.38 feet; thence South 04°57'36" West still  
along said West line a distance of 321.03 feet; thence South 34°26'07" West still along said West line  
a distance of 94.18 feet; thence North 55°33'53" West still along said West line a distance of 30.00  
feet; thence South 34°26'07" West still along said West line a distance of 60.00 feet; thence South  
55°33'53" East still along said West line a distance of 30.00 feet; thence South 34°26'07" West still  
along said West line a distance of 219.29 feet; thence South 07°01'20" West still along said West line  
a distance of 243.27 feet to a point on the Westerly Right-of-Way line of SW Shellcracker Road;  
thence South 19°18'25" West along said Westerly Right-of-Way line of SW Shellcracker Road a  
distance of 66.18 feet; thence South 43°53'07" West still along said Westerly Right-of-Way line of  
SW Shellcracker Road a distance of 45.31 feet; thence South 57°24'59" West still along said  
Westerly Right-of-Way line of SW Shellcracker Road a distance of 150.14 feet; thence South  
52°12'58" West still along said Westerly Right-of-Way line of SW Shellcracker Road a distance of  
302.34 feet; thence South 56°49'27" West still along said Westerly Right-of-Way line of SW  
Shellcracker Road a distance of 176.26 feet; thence South 01°22'40" West still along said Westerly  
Right-of-Way line of SW Shellcracker Road a distance of 29.97 feet to a point on the Southerly  
Right-of-Way line of SW Monument Lane; thence North 85°22'39" West a distance of 125.33 feet;

thence North 85°18'07" West a distance of 48.89 feet; thence North 85°26'22" West a distance of 33.43 feet; thence South 30°43'35" West a distance of 115.59 feet; thence South 20°43'33" West a distance of 77.18 feet; thence South 06°14'26" East a distance of 75.21 feet; thence South 16°37'45" East a distance of 74.89 feet to the POINT OF BEGINNING; thence continue South 16°37'45" East a distance of 25.00 feet; thence South 45°10'33" East a distance of 84.70 feet; thence South 34°24'41" West a distance of 72.41 feet; thence North 87°48'02" West a distance of 109.29 feet; thence South 65°19'35" West a distance of 1064.19 feet to a point on the Northwesterly approximate mean highwater line of the Santa Fe River; thence Northerly along the meander line of said Northwesterly approximate mean highwater line of the Santa Fe River a distance of 400 feet, more or less; thence North 77°49'19" East a distance of 1068.41 feet to the POINT OF BEGINNING.

**SUBJECT TO TAXES FOR THE YEAR 2007 AND SUBSEQUENT YEARS, RESTRICTIONS, RESERVATIONS, COVENANTS AND EASEMENTS OF RECORD, IF ANY.**

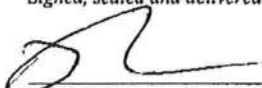
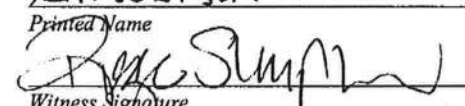
*Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.*

*To Have and to Hold the same in fee simple forever.*


*And the grantor hereby covenants with said grantees that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the said grantor.*

*In Witness Whereof, the said grantor has caused these presents to be executed in its name and its corporate seal to be hereunto affixed by its proper officers thereunto duly authorized, the day and year first above written.*

Signed, sealed and delivered in the presence of:

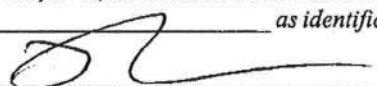
  
\_\_\_\_\_  
Witness Signature  
Kim Watson  
\_\_\_\_\_  
Printed Name  
  
\_\_\_\_\_  
Witness Signature  
Regina Simpkins  
\_\_\_\_\_  
Printed Name

WILSON SPRINGS, INC.

By:  L.S.  
Name: HUGH WILSON  
Title: President

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 5th day of December, 2007, by HUGH WILSON as Pres. of WILSON SPRINGS, INC., A FLORIDA CORPORATION. He (she) is personally known to me or has produced \_\_\_\_\_ as identification.

  
Notary Public

NOTARY PUBLIC-STATE OF FLORIDA  
Kim Watson  
Commission # DD685151  
Expires: AUG. 01, 2011  
BONDED THRU ATLANTIC BONDING CO., INC.



# Columbia County Property Appraiser

DB Last Updated: 5/6/2010

2009 Tax Roll Year

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

Print

Parcel: 12-7S-15-01439-735

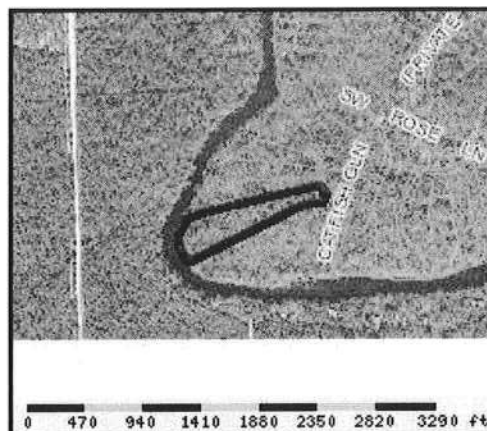
&lt;&lt; Next Lower Parcel

Next Higher Parcel &gt;&gt;

Search Result: 1 of 1

## Owner & Property Info

<b>Owner's Name</b>	HORNE LEO & ELIZABETH P		
<b>Mailing Address</b>	PO BOX 1645 LAKE CITY, FL 32056		
<b>Site Address</b>	170 SW LIZARD DR		
<b>Use Desc. (code)</b>	MOBILE HOM (000200)		
<b>Tax District</b>	3 (County)	<b>Neighborhood</b>	1715
<b>Land Area</b>	6.100 ACRES	<b>Market Area</b>	02
<b>Description</b>	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.  (AKA LOT 5, BLOCK 9, WILSON SPRINGS COMMUNITY PHASE 4 UNR) COMM AT NE COR OF SE1/4 OF SEC 01, RUN W 33.01 FT TO W R/W OF WILSONS SPRINGS RD, N ALONG R/W 32.85 FT, SW 19.06 FT, SW 127.29 FT, SW 201.28 FT, SW 100.83 FT, SW 159.64 FT, SW 134.90 FT, SW 109.27 FT, SW 427.38 FT, S 321.03 FT, SW 94.18 FT, NW 30 FT, SW 60 FT, SE 30 FT, SW 219.29 FT, SOUTH 243.27 FT TO W R/W OF SW SHELLCRACKER RD, SW ALONG ...more>>>		



## Property & Assessment Values

2009 Certified Values		
<b>Mkt Land Value</b>	cnt: (0)	\$25,085.00
<b>Ag Land Value</b>	cnt: (2)	\$0.00
<b>Building Value</b>	cnt: (1)	\$4,576.00
<b>XFOB Value</b>	cnt: (1)	\$2,800.00
<b>Total Appraised Value</b>		\$32,461.00
<b>Just Value</b>		\$32,461.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$32,461.00
<b>Exempt Value</b>		\$0.00
<b>Total Taxable Value</b>	Cnty: \$32,461 Other: \$32,461   Schl: \$32,461	

## 2010 Working Values

**NOTE:**  
2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

## Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
12/5/2007	1138/278	WD	V	U	03	\$30,000.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	1958	BELOW AVG. (03)	927	1607	\$4,386.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

## Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0294	SHED WOOD/	0	\$2,800.00	0000400.000	20 x 20 x 0	AP (050.00)

## Land Breakdown



**SUWANNEE  
RIVER  
WATER  
MANAGEMENT  
DISTRICT**

9225 CR 49  
LIVE OAK, FLORIDA 32060  
TELEPHONE: (386) 362-1001  
TELEPHONE: 800-226-1066  
FAX (386) 362-1056

**GENERAL PERMIT**

**PERMITTEE:**

LEO & LIZ HORNE  
837 E. DUVAL ST.  
LAKE CITY, FL 32055

**PERMIT NUMBER:** ERP10-0092

**DATE ISSUED:** 05/18/2010

**DATE EXPIRES:** 05/18/2013

**COUNTY:** COLUMBIA

**TRS:** S12/T7S/R15E

**PROJECT:** LEO HORNE DISTRICT FLOODWAY PROJECT

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

LEO & LIZ HORNE  
837 E. DUVAL ST.  
LAKE CITY, FL 32055

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

**This permit authorizes a single family residence within the regulatory floodway of the Santa Fe River. The project will be completed in a manner consistent with the application package received by the District from Brett Crews P.E. on May 19, 2010, and subject to conditions of District rule(s) 40B-4.3030, F.A.C.**

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing or mediation. Please refer to enclosed notice of rights.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A general permit authorizes the construction, operation, maintenance, alteration,



abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

Standard Conditions for All General Permits:

1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.
2. Water quality data representative of the water discharged from the permitted system, including, but not limited to, the parameters in chapter 62-302, F.A.C., shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Wastes" by the U.S. Environmental Protection Agency.
3. The operational and maintenance phase of an environmental resource permit will not become effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.
4. Off-site discharges during and after construction shall be made only through the facilities authorized by the permit. Water discharged from the project shall be through structures suitable for regulating upstream stage if so required by the District. Such discharges may be subject to operating schedules established by the District.
5. The permit does not convey to the permittee any property right nor any rights or privileges other than those specified in the permit and chapter 40B-1, F.A.C.

6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.
7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.
8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.
9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.
10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.
11. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.
12. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.
13. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.
14. All activities shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit.

15. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications, shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.
16. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.
17. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site-specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.
18. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than seven days after the construction activity in that portion of the site has temporarily or permanently ceased.
19. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District a Construction Commencement Notice Form No. 40B-1.901(14) indicating the actual start date and the expected completion date.
20. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an Annual Status Report Form No. 40B-1.901(15). These forms shall be submitted during June of each following year.
21. For those systems which will be operated or maintained by an entity requiring an easement or deed restriction in order to provide that entity with the authority necessary to operate or maintain the system, such easement or deed restriction, together with any other final operation or maintenance documents as are required by Paragraph 40B-4.2030(2)(g), F.A.C., and Rule 40B-4.2035, F.A.C., must be submitted to the District for approval. Documents meeting the requirements set forth in these subsections of District rules will be approved. Deed restrictions, easements and other



operation and maintenance documents which require recordation either with the Secretary of State or Clerk of the Circuit Court must be so recorded prior to lot or unit sales within the project served by the system, or upon completion of construction of the system, whichever occurs first. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local governmental entity. Failure to submit the appropriate final documents referenced in this paragraph will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system.

22. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to a local government or other responsible entity.

23. Within 30 days after completion of construction of the permitted system, or independent portion of the system, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, using the supplied As-Built Certification Form No. 40B-1.901(16) incorporated by reference in Subsection 40B-1.901(16), F.A.C. When the completed system differs substantially from the permitted plans, any substantial deviations shall be noted and explained and two copies of as-built drawings submitted to the District. Submittal of the completed form shall serve to notify the District that the system is ready for inspection. The statement of completion and certification shall be based on on-site observation of construction (conducted by the registered professional engineer, or other appropriate individual as authorized by law, or under his or her direct supervision) or review of as-built drawings for the purpose of determining if the work was completed in compliance with approved plans and specifications. As-built drawings shall be the permitted drawings revised to reflect any changes made during construction. Both the original and any revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor. The following information, at a minimum, shall be verified on the as-built drawings:

- a. Dimensions and elevations of all discharge structures including all weirs, slots, gates, pumps, pipes, and oil and grease skimmers;
- b. Locations, dimensions, and elevations of all filter, exfiltration, or underdrain systems including cleanouts, pipes, connections to control structures, and points of discharge to the receiving waters;
- c. Dimensions, elevations, contours, or cross-sections of all treatment storage areas sufficient to

determine stage-storage relationships of the storage area and the permanent pool depth and volume below the control elevation for normally wet systems, when appropriate;

d. Dimensions, elevations, contours, final grades, or cross-sections of the system to determine flow directions and conveyance of runoff to the treatment system;

e. Dimensions, elevations, contours, final grades, or cross-sections of all conveyance systems utilized to convey off-site runoff around the system;

f. Existing water elevation(s) and the date determined; and

g. Elevation and location of benchmark(s) for the survey.

24. The operation phase of this permit shall not become effective until the permittee has complied with the requirements of the condition in paragraph 23 above, the District determines the system to be in compliance with the permitted plans, and the entity approved by the District in accordance with Rule 40B-4.2035, F.A.C., accepts responsibility for operation and maintenance of the system. The permit may not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall request transfer of the permit to the approved responsible operation and maintenance operating entity if different from the permittee. Until the permit is transferred pursuant to Rule 40B-4.1130, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

25. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.

26. This permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and in this chapter and Chapter 40B-4, F.A.C.

27. The permittee is hereby advised that Section 253.77, F.S., states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary

Permit No.: ERP10-0092

Project: LEO HORNE DISTRICT FLOODWAY PROJECT

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authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

28. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered specifically approved unless a specific condition of this permit or a formal determination under 40B-400.046, F.A.C., provides otherwise.

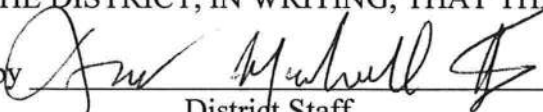
29. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rule 40B-4.1130, F.A.C. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance or other transfer.

30. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the District.

31. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by

  
District Staff

Date Approved

5/18/10

  
Clerk



Executive Director





#### NOTICE OF RIGHTS

1. A person whose substantial interests are or may be determined has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District), or may choose to pursue mediation as an alternative remedy under Section 120.569 and 120.573, Florida Statutes, before the deadline for filing a petition. Choosing mediation will not adversely affect the right to a hearing if mediation does not result in a settlement. The procedures for pursuing mediation are set forth in Sections 120.569 and 120.57 Florida Statutes. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). A petition must comply with Chapter 28-106, Florida Administrative Code.
2. If the Governing Board takes action which substantially differs from the notice of District decision to grant or deny the permit application, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may chose to pursue mediation as an alternative remedy as described above. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). Such a petition must comply with Chapter 28-106, Florida Administrative Code.
3. A substantially interested person has the right to a formal administrative hearing pursuant to Section 120.569 and 120.57(1), Florida Statutes, where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, Florida Administrative Code.
4. A substantially interested person has the right to an informal hearing pursuant to Section 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.
5. A petition for an administrative hearing is deemed filed upon receipt of the petition by the Office of the District Clerk at the District Headquarters in Live Oak, Florida.
6. Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing pursuant to Rule 28-106.111, Florida Administrative Code.

7. The right to an administrative hearing and the relevant procedures to be followed is governed by Chapter 120, Florida Statutes, and Chapter 28-106, Florida Administrative Code.

8. Pursuant to Section 120.68, Florida Statutes, a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.

9. A party to the proceeding before the District who claims that a District order is inconsistent with the provisions and purposes of Chapter 373, Florida Statutes, may seek review of the order pursuant to Section 373.114, Florida Statutes, by the Florida Land and Water Adjudicatory Commission, by filing a request for review with the Commission and serving a copy of the Department of Environmental Protection and any person named in the order within 20 days of adoption of a rule or the rendering of the District order.

10. For appeals to the District Courts of Appeal, a District action is considered rendered after it is signed on behalf of the District, and is filed by the District Clerk.


11. Failure to observe the relevant time frames for filing a petition for judicial review, or for Commission review, will result in waiver of the right to review.

#### CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing Notice of Rights has been sent by U.S. Mail to:

LEO & LIZ HORNE  
837 E. DUVAL ST.  
LAKE CITY, FL 32055

At 4:00 p.m. this 20 day of May, 2018.

  
Jon M. Dinges  
Deputy Clerk  
Suwannee River Water Management District  
9225 C.R. 49  
Live Oak, Florida 32060

Permit No.: ERP10-0092

Project: LEO HORNE DISTRICT FLOODWAY PROJECT

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386.362.1001 or 800.226.1066 (Florida only)

cc: File Number: ERP10-0092





12-7S-15-01439-735  
HORNE LEO & ELIZABETH P  
6.1AC | 12/5/2007 - \$30,000 - V/U

## Columbia County Property Appraiser

J. Doyle Crews - Lake City, Florida | 386-758-1083

### PARCEL: 12-7S-15-01439-735 - MOBILE HOM (000200)

(AKA LOT 5, BLOCK 9, WILSON SPRINGS COMMUNITY PHASE 4 UNR) COMM AT NE COR OF SE1/4 OF SEC 01, RUN W 33.01 FT TO W R/W OF WILSONS SPRINGS RD, N ALONG R/

Name: HORNE LEO & ELIZABETH P

Site: 170 SW LIZARD DR

Mail: PO BOX 1645

LAKE CITY, FL 32056

Sales Info: 12/5/2007

\$30,000.00 V / U

#### 2009 Certified Values

Land	\$25,085.00
Bldg	\$4,576.00
Assd	\$32,461.00
Exmpt	\$0.00
Taxbl	Cnty: \$32,461
	Other: \$32,461   Schl: \$32,461

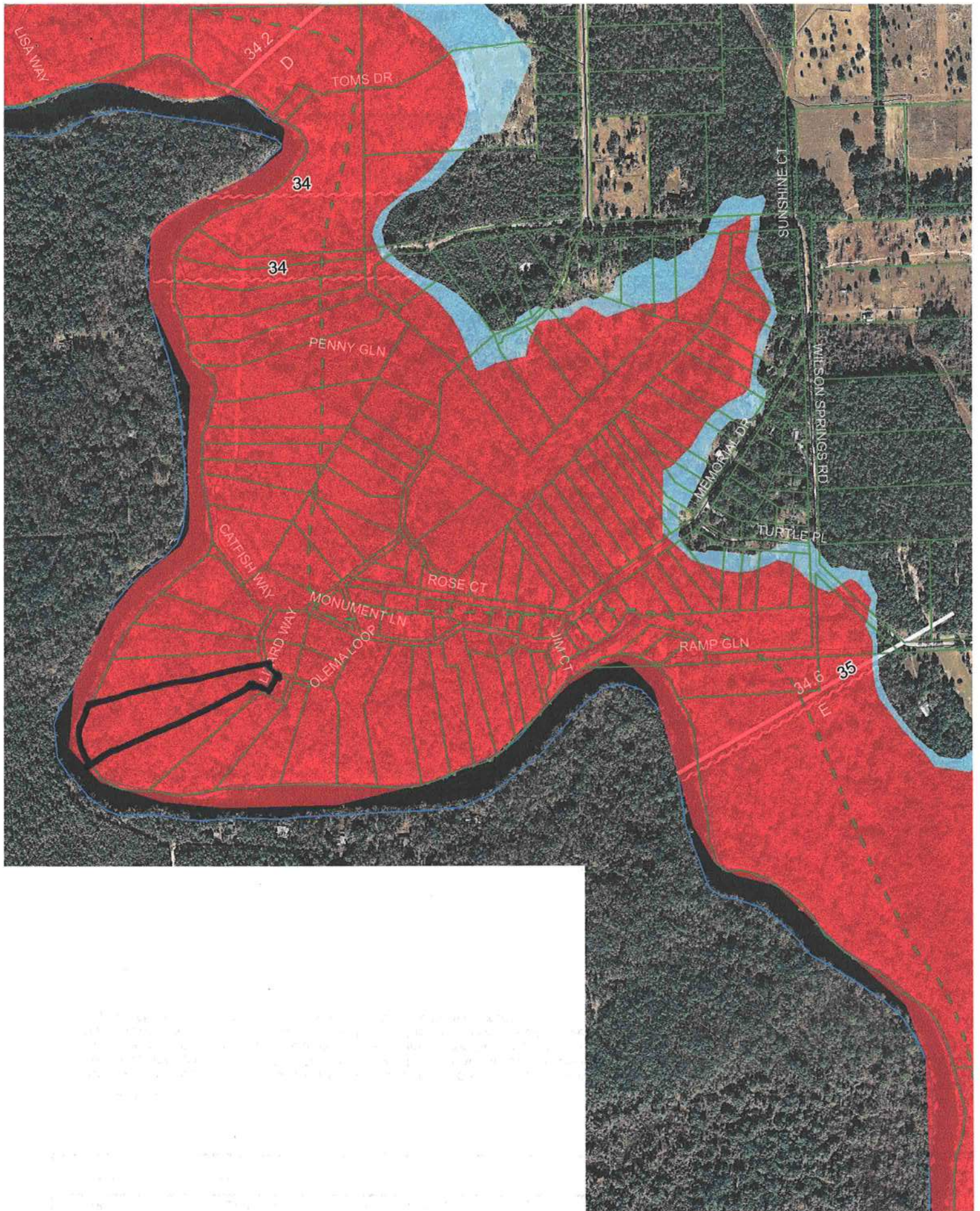
#### NOTES:



This information, GIS Map Updated: 5/6/2010, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

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1005-46



20  
13  
24  
19

EXISTING BUILDING

WATER TOWER  
TOP OF SINK

40

PROPOSED BUILDING  
28'x44' MOBILE HOME  
MIN. FEE = 1000

EXISTING BUILDING

EXISTING BUILDING

19'

37'

BENCHMARK  
NAIL ST. IN ROCK  
ELEV. 15.25

PROPERTY BOUNDARY



1/2  
1/2  
1/2





COLEMBIA COUNTY BUILDING DEPARTMENT  
125 NE Hernando Ave. Suite B-21, Lake City, FL 32055  
Phone 386-758-1008 Fax 386-758-2160

### MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

I, Wendell Crews, give this authority for the job address show below  
Installer / License Holder Name

only 170 SW LIZARD DRIVE #1626, 32038 and I do certify that  
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control and is/are authorized to purchase permits, call for inspections and sign on my behalf

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is (Check one)
<u>Leo Horne</u>	<u>[Signature]</u>	<input checked="" type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits.

Wendell Crews  
License Holders Signature (Notarized)

TH00019  
License Number

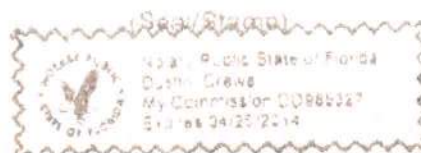
5-20-10  
Date

#### NOTARY INFORMATION

STATE OF Florida COUNTY OF Marion

The above license holder, whose name is Wendell Crews, personally appeared before me and is known by me or has produced identification (type of ID) \_\_\_\_\_ on this 20 day of May 2010

[Signature]  
NOTARY'S SIGNATURE



**Columbia County Building Department  
Flood Development Permit**

**Development Permit  
F 023- 10-005**

DATE 05/26/2010 BUILDING PERMIT NUMBER 000028603  
APPLICANT LEO HORNE PHONE 386.752.5848  
ADDRESS 1170 SW LIZARD DRIVE FT. WHITE FL 32038  
OWNER LEO & ELIZABETH HORNE PHONE 386.752.5848  
ADDRESS 170 SW LIZARD DRIVE FT. WHITE FL 32038  
CONTRACTOR WENDELL CREWS PHONE 352-351-6100  
ADDRESS 4650 NE 35TH STREET OCALA FL 34479  
SUBDIVISION WILSON SPRINGS COMMUNITY Lot 5 Block 9 Unit      Phase 4  
TYPE OF DEVELOPMENT M/H/UTILITY PARCEL ID NO. 12-7S-15-01439-735

FLOOD ZONE AE BY BLK 2-4-2009 FIRM COMMUNITY # 120070 - PANEL # 0469-B  
FIRM 100 YEAR ELEVATION 35.00' PLAN INCLUDED YES or NO  
REQUIRED LOWEST HABITABLE FLOOR ELEVATION 36.00'  
IN THE REGULATORY FLOODWAY YES or NO RIVER SANTA FE  
SURVEYOR / ENGINEER NAME BRETT A. CREWS LICENSE NUMBER 65592

     ONE FOOT RISE CERTIFICATION INCLUDED

✓ ZERO RISE CERTIFICATION INCLUDED

✓ SRWMD PERMIT NUMBER ERP 10-0092  
(INCLUDING THE ONE FOOT RISE CERTIFICATION)

DATE THE FINISHED FLOOR ELEVATION CERTIFICATE WAS PROVIDED                     

INSPECTED DATE              BY               
COMMENTS 2 WAITS Finish Floor Elevation Certificate.  
N/ Equipment notation.

135 NE Hernando Ave., Suite B-21  
Lake City, Florida 32055  
Phone: 386-758-1008  
Fax: 386-758-2160





Crews Engineering Services, LLC  
P.O. Box 970  
Lake City, FL 32056  
Ph: 386.623.4413  
brett@crewsengineeringservices.com

May 21, 2010

## **Zero Rise Certification**

Client / Owner: Elizabeth & Leo Horne

Property Description: Lot 5, Block 9, Wilson Springs Community Phase 4  
Section 12, Township 7 South, Range 15 East  
Columbia County, FL

Structure in Floodway: 28' x 44' Mobile Home

River Mile: 12.2

Elevation of 100 yr flood: 35

Community Panel: 120070 0469 B

I hereby certify that construction of the proposed residence will not obstruct flow or cause more than a 0.01 ft rise in the 100-year flood elevation of the Santa Fe River.

A handwritten signature in blue ink, appearing to read "Brett A. Crews". Below the signature, the date "5-21-2010" is handwritten in blue ink.

Brett A. Crews, PE 65592



Crews Engineering Services, LLC  
P.O. Box 970  
Lake City, FL 32056  
Ph: 386.623.4413  
brett@crewsengineeringservices.com

April 29, 2010

## **Zero Rise Certification**

Client / Owner: Elizabeth & Leo Horne

Property Description: Lot 5, Block 9, Wilson Springs Community Phase 4  
Section 12, Township 7 South, Range 15 East  
Columbia County, FL

Structure in Floodway: 28' x 44' Mobile Home

River Mile: 12.2

Elevation of 100 yr flood: 35

Community Panel: 120070 0469 B

I hereby certify that construction of the proposed residence will not obstruct flow or cause more than a 0.01 ft rise in the 100-year flood elevation of the Santa Fe River.

A handwritten signature in black ink, appearing to read "Brett A. Crews". Below the signature is the date "4-29-2010" written in the same ink.

4-29-2010

Brett A. Crews, PE 65592



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### Columbia County Property Appraiser

J. Doyle Crews - Lake City, Florida | 386-758-1083

#### PARCEL: 12-7S-15-01439-735 - MOBILE HOM (000200)

(AKA LOT 5, BLOCK 9, WILSON SPRINGS COMMUNITY PHASE 4 UNR) COMMAT NE COR OF SE1/4 OF SEC 01, RUN W 33.01 FT TO W R/W OF WILSONS SPRINGS RD, N ALONG R/

Name: HORNE LEO & ELIZABETH P

Site: 170 SW LIZARD DR

Mail: PO BOX 1645

LAKE CITY, FL 32056

Sales Info 12/5/2007

\$30,000.00 V / U

#### 2009 Certified Values

Land \$25,085.00

Bldg \$4,576.00

Assd \$32,461.00

Exmpt \$0.00

Taxbl Cnty: \$32,461

Other: \$32,461 | Schl: \$32,461



This information, GIS Map Updated: 3/29/2010, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the

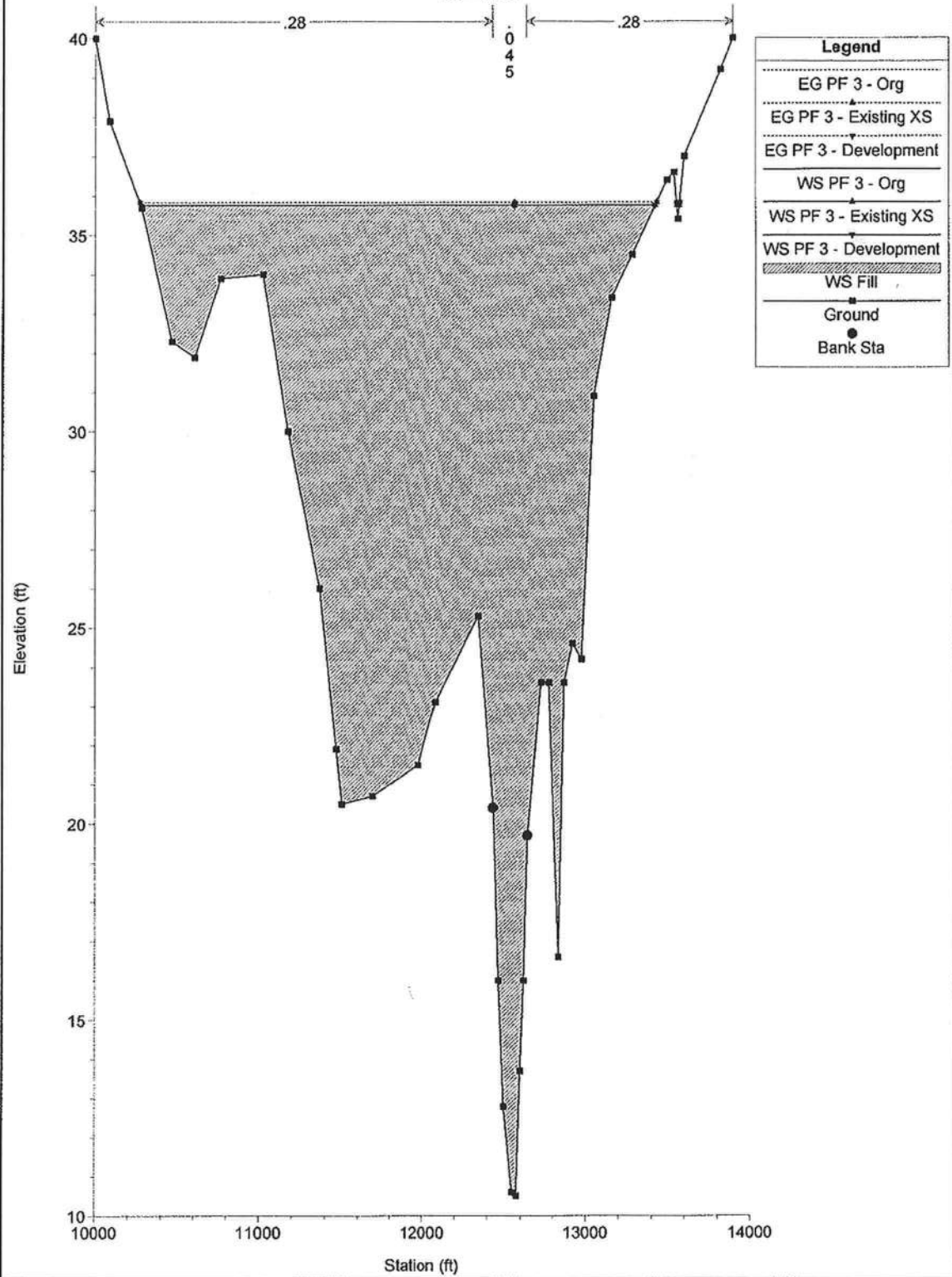
powered by

HEC-RAS River: RIVER-1 Reach: Reach-1 Profile: PF 3

Reach	River Sta	Profile	Plan	Q Total (cfs)	Min Ch El (ft)	W.S. Elev (ft)	Crt W.S. (ft)	E.G. Elev (ft)	E.G. Slope (ft/ft)	Vel Chnl (ft/s)	Flow Area (sq ft)	Top Width (ft)	Froude # Chl
Reach-1	15.08	PF 3	Org	16359.00	6.52	36.22		36.28	0.000078	2.26	26455.47	2538.02	0.09
Reach-1	15.08	PF 3	Existing XS	16359.00	6.52	36.22		36.28	0.000078	2.26	26455.05	2538.01	0.09
Reach-1	15.08	PF 3	Development	16359.00	6.52	36.22		36.28	0.000078	2.26	26453.26	2537.96	0.09
Reach-1	14.08	PF 3	Org	16359.00	10.50	35.75		35.82	0.000096	2.51	28530.05	3172.27	0.09
Reach-1	14.08	PF 3	Existing XS	16359.00	10.50	35.75		35.82	0.000096	2.51	28529.48	3172.23	0.09
Reach-1	14.08	PF 3	Development	16359.00	10.50	35.75		35.82	0.000096	2.51	28527.01	3172.04	0.09
Reach-1	13.03	PF 3	Org	16359.00	-5.45	35.42		35.46	0.000047	2.08	40390.76	3897.64	0.07
Reach-1	13.03	PF 3	Existing XS	16359.00	-5.45	35.42		35.46	0.000047	2.08	40390.00	3897.63	0.07
Reach-1	13.03	PF 3	Development	16359.00	-5.45	35.42		35.46	0.000047	2.08	40386.75	3897.60	0.07
Reach-1	12.2	PF 3	Existing XS	16359.00	0.23	35.26		35.30	0.000040	1.90	36940.13	3503.34	0.06
Reach-1	12.2	PF 3	Development	16359.00	0.23	35.26		35.30	0.000040	1.89	36872.41	3471.82	0.06
Reach-1	11.3	PF 3	Org	16359.00	7.00	35.11		35.14	0.000035	1.71	33330.25	2516.29	0.06
Reach-1	11.3	PF 3	Existing XS	16359.00	7.00	35.11		35.14	0.000035	1.71	33330.25	2516.29	0.06
Reach-1	11.3	PF 3	Development	16359.00	7.00	35.11		35.14	0.000035	1.71	33330.25	2516.29	0.06
Reach-1	10.06	PF 3	Org	16359.00	1.81	34.76		34.83	0.000070	2.44	21708.98	2585.63	0.08
Reach-1	10.06	PF 3	Existing XS	16359.00	1.81	34.76		34.83	0.000070	2.44	21708.98	2585.63	0.08
Reach-1	10.06	PF 3	Development	16359.00	1.81	34.76		34.83	0.000070	2.44	21708.98	2585.63	0.08
Reach-1	8.43	PF 3	Org	16359.00	-1.00	34.25		34.32	0.000059	2.35	35550.68	5680.96	0.08
Reach-1	8.43	PF 3	Existing XS	16359.00	-1.00	34.25		34.32	0.000059	2.35	35550.68	5680.96	0.08
Reach-1	8.43	PF 3	Development	16359.00	-1.00	34.25		34.32	0.000059	2.35	35550.68	5680.96	0.08
Reach-1	7.64	PF 3	Org	16359.00	2.75	33.98		34.05	0.000076	2.46	36043.38	5157.06	0.09
Reach-1	7.64	PF 3	Existing XS	16359.00	2.75	33.98		34.05	0.000076	2.46	36043.38	5157.06	0.09
Reach-1	7.64	PF 3	Development	16359.00	2.75	33.98		34.05	0.000076	2.46	36043.38	5157.06	0.09

Home Zero Rise Plan: 1) Org 4/28/2010 2) Existing XS 4/29/2010 3) Development 4/29/2010

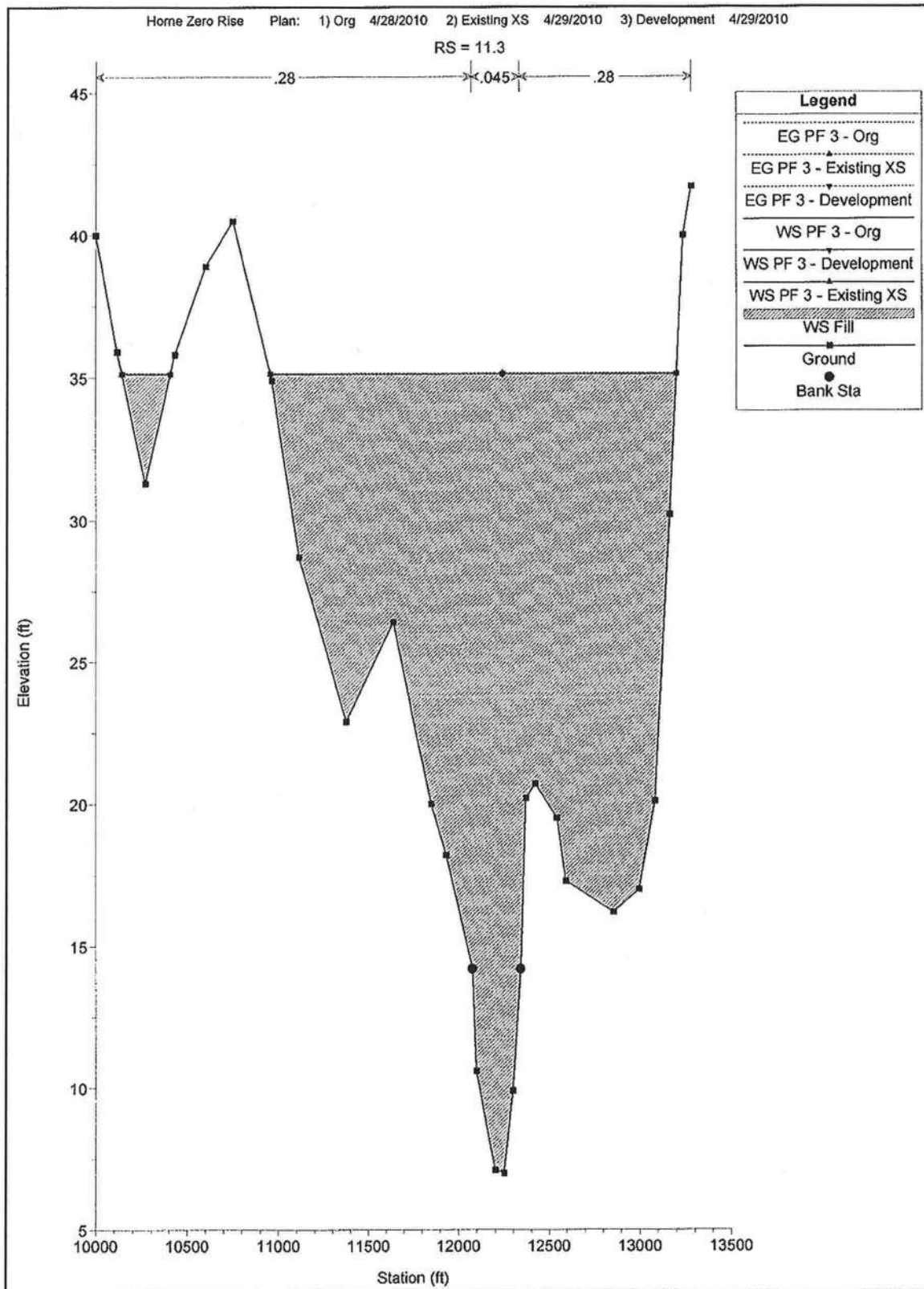
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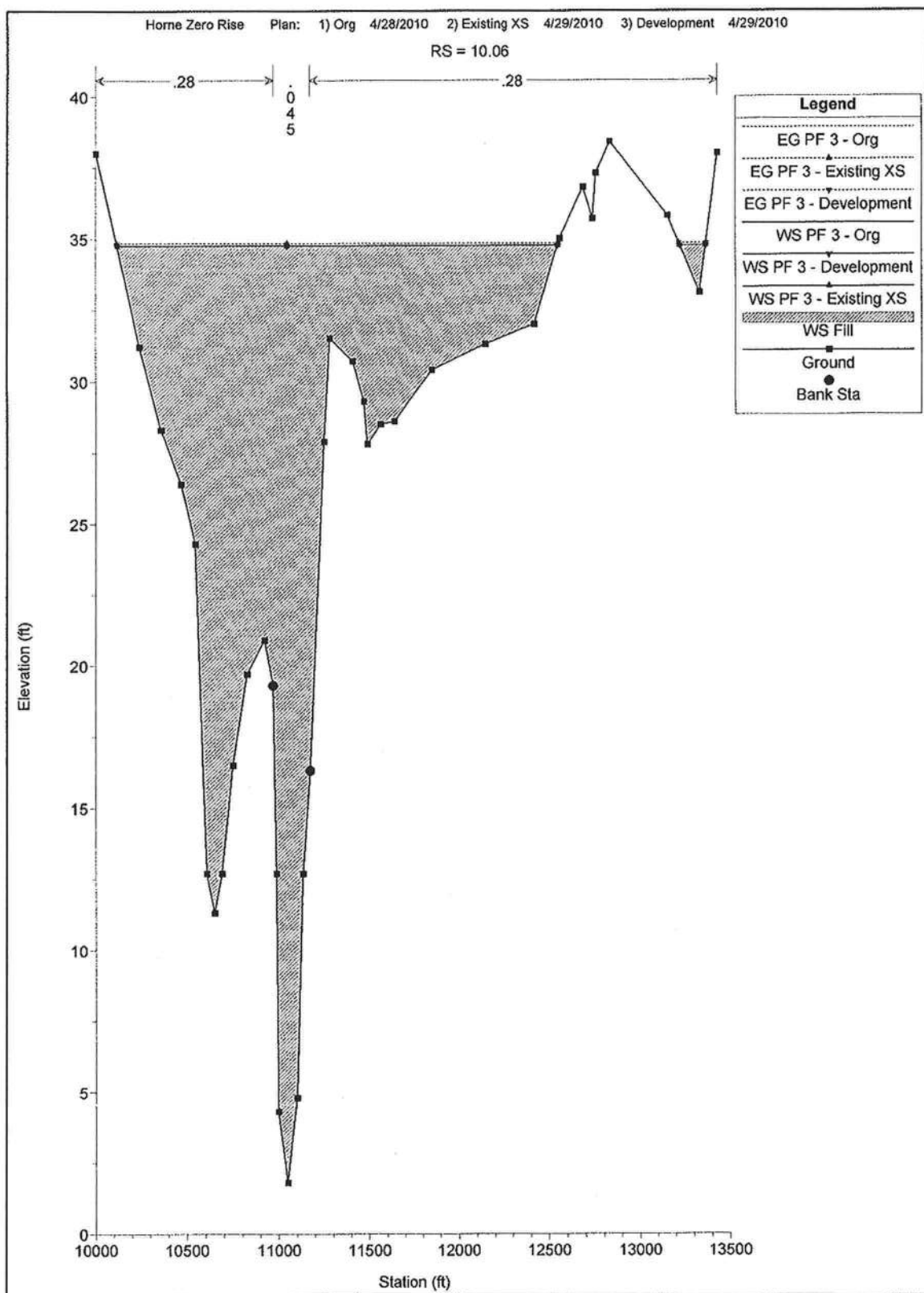














**COLUMBIA COUNTY  
OFFICE  
CLERK**

**M/H OCCUPANCY**

**COLUMBIA COUNTY, FLORIDA**

## Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 12-7S-15-01439-735

Building permit No. 000028603

Permit Holder WENDELL CREWS

Owner of Building LEO & ELIZABETH HORNE

Location: 170 SW LIZARD DRIVE

Date: 06/15/2010

*Fanny Bricker*

Building Inspector

POST IN A CONSPICUOUS PLACE  
(Business Places Only)





District No. 1 - Ronald Williams  
 District No. 2 - Dewey Weaver  
 District No. 3 - Jody DuPree  
 District No. 4 - Stephen E. Bailey  
 District No. 5 - Scarlet P. Frisina



## BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

### MEMO OF REVIEW FOR CORRECTNESS AND COMPLETION

In accordance with participation in the NFIP/CRS program, all elevation certificates are required to be reviewed for correctness and completion prior to acceptance by the community. This completed form shall be attached to all elevation certificates maintained on file and provided with requested copies of elevation certificates.

- ☐ The attached elevation certificate requires corrections by the surveyor of section(s) \_\_\_\_\_ prior to acceptance by the community.
- ☒ The attached elevation certificated is complete and correct.
- ☐ Minor corrections have been made in the below marked sections by the authorized Community Official.

#### SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name	For Insurance Company Use:
	Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.	Company NAIC Number
City	State
	ZIP Code
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.)	
A5. Latitude/Longitude: Lat. _____ Long. _____ Horizontal Datum: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.	
A7. Building Diagram Number _____	
A8. For a building with a crawl space or enclosure(s), provide:	
a) Square footage of crawl space or enclosure(s) _____ sq ft	
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade _____	
c) Total net area of flood openings in A8.b _____ sq in	
A9. For a building with an attached garage, provide:	
a) Square footage of attached garage _____ sq ft	
b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade _____	
c) Total net area of flood openings in A9.b _____ sq in	

#### SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number		B2. County Name		B3. State	
B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	B7. FIRM Panel Effective/Revised Date	B8. Flood Zone(s)	B9. Base Flood Elevation(s) (Zone AO, use base flood depth)
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.					
<input type="checkbox"/> FIS Profile <input type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?					
Designation Date _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA <input type="checkbox"/> Yes <input type="checkbox"/> No					

#### COMMENTS:

Date of Review:

25 JUNE 2010

BOARD MEETS FIRST THURSDAY AT 7:00 P.M.

AND THIRD MONDAY AT 9:00 P.M.

Community Official

All elevation certificates shall be maintained by the community and copies with the attached memo made available upon request.

P.O. BOX 1529

LAKE CITY, FLORIDA 32056-1529

PHONE (386) 735-4100

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

SECTION A - PROPERTY INFORMATION		For Insurance Company Use:
A1. Building Owner's Name <u>Leo Horne</u>		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <u>170 SW Lizard Drive</u> City <u>Ft. White</u> State <u>FL</u> ZIP Code <u>32038</u>		Company NAIC Number
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <u>12-7S-15-01439-735</u>		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>		
A5. Latitude/Longitude: Lat. <u>29°53.966</u> Long. <u>082°45.931</u>		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <u>5</u>		
A8. For a building with a crawlspace or enclosure(s): a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u> c) Total net area of flood openings in A8.b <u>N/A</u> sq in d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		A9. For a building with an attached garage: a) Square footage of attached garage <u>N/A</u> sq ft b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u> c) Total net area of flood openings in A9.b <u>N/A</u> sq in d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number <u>Columbia 120070</u>		B2. County Name <u>Columbia</u>		B3. State <u>FL</u>	
B4. Map/Panel Number <u>12032C0469C</u>	B5. Suffix <u>C</u>	B6. FIRM Index Date <u>Feb 4 2009</u>	B7. FIRM Panel Effective/Revised Date <u>Feb 4 2009</u>	B8. Flood Zone(s) <u>AE</u>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <u>34.50</u>
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings\* ☐ Building Under Construction\* ☒ Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE.  
Benchmark Utilized See Comments Vertical Datum NAVD 88  
Conversion/Comments None

Check the measurement used.

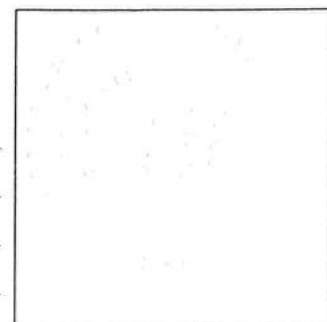
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>37.16</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>37.0</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade next to building (LAG)	<u>34.2</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade next to building (HAG)	<u>34.5</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

☒ Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No

Certifier's Name <u>L. Scott Britt</u>	License Number <u>PSM 5757</u>
Title <u>Chief Surveyor</u>	Company Name <u>Britt Surveying &amp; Associates, Inc.</u>
Address <u>830 W. Duval St.</u>	City <u>Lake City</u> State <u>FL</u> ZIP Code <u>32055</u>
Signature <u>[Signature]</u>	Date <u>06/10/2010</u> Telephone <u>386-752-7163</u>





<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 170 SW Lizard Drive	Policy Number
City Ft. White State FL ZIP Code 32038	Company NAIC Number

### SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments L-20349A  
See Attached comments sheet

  
Signature L. Scott Britt

Date 06/10/2010

☒ Check here if attachments

### SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).  
a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.  
b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

### SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name

Address	City	State	ZIP Code
Signature	Date	Telephone	
Comments			

☐ Check here if attachments

### SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_
- G10. Community's design flood elevation \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_

Local Official's Name	Title
Community Name	Telephone
Signature	Date
Comments	

☐ Check here if attachments

## Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 170 SW Lizard Drive	For Insurance Company Use: Policy Number
City Ft. White State FL ZIP Code 32038	Company NAIC Number
If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page on the reverse.	

Front View





# Building Photographs

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 170 SW Lizard Drive	For Insurance Company Use: Policy Number
City Ft. White State FL ZIP Code 32038	Company NAIC Number
If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."	

Rear View

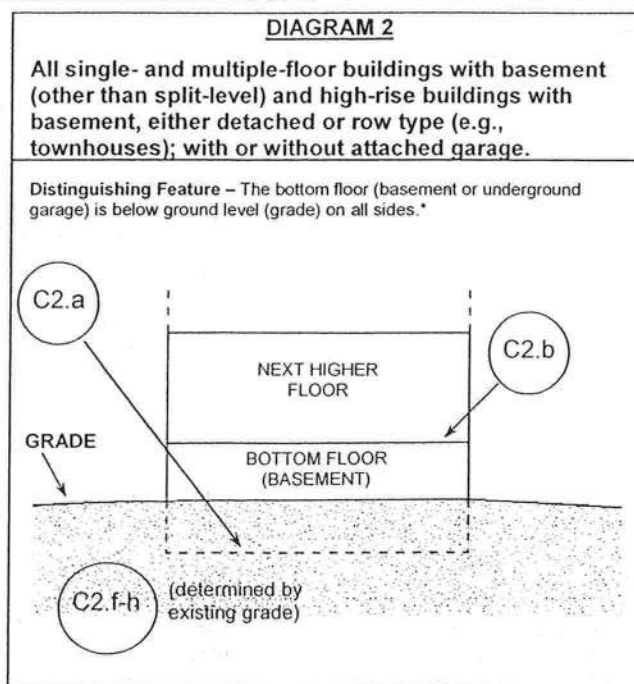
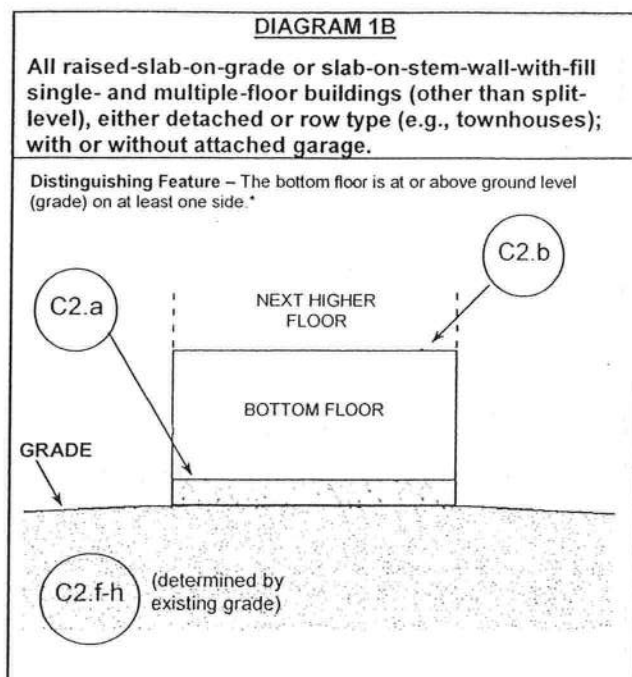
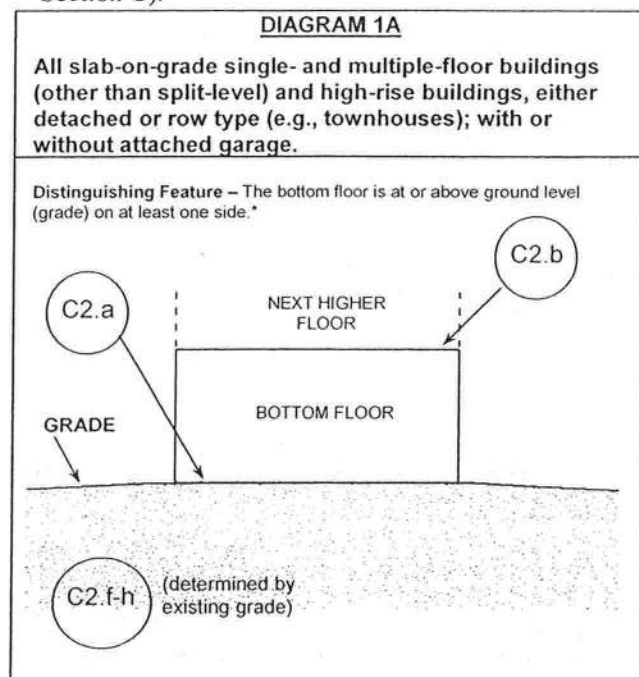




## BUILDING DIAGRAMS

The following diagrams illustrate various types of buildings. Compare the features of the building being certified with the features shown in the diagrams and select the diagram most applicable. Enter the diagram number in Item A7, the square footage of crawlspace or enclosure(s) and the area of flood openings in square inches in Items A8.a-c, the square footage of attached garage and the area of flood openings in square inches in Items A9.a-c, and the elevations in Items C2.a-h.

In A zones, the floor elevation is taken at the top finished surface of the floor indicated; in V zones, the floor elevation is taken at the bottom of the lowest horizontal structural member (see drawing in instructions for Section C).

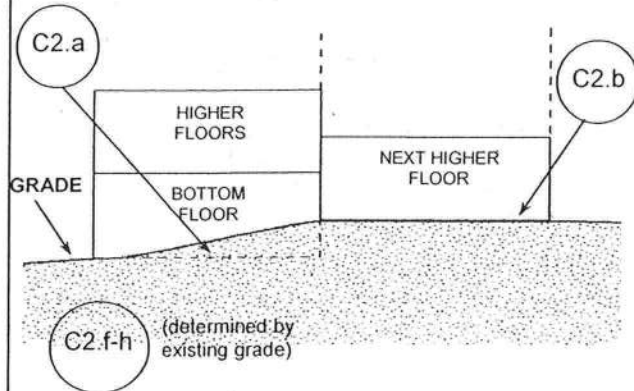


\* A floor that is below ground level (grade) on all sides is considered a basement even if the floor is used for living purposes, or as an office, garage, workshop, etc

**DIAGRAM 3**

All split-level buildings that are slab-on-grade, either detached or row type (e.g., townhouses); with or without attached garage.

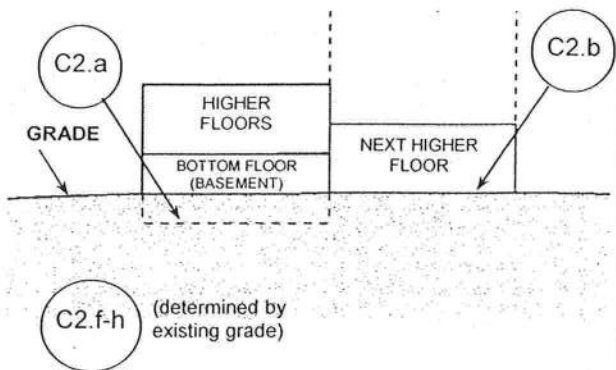
**Distinguishing Feature** – The bottom floor (excluding garage) is at or above ground level (grade) on at least one side.\*



**DIAGRAM 4**

All split-level buildings (other than slab-on-grade), either detached or row type (e.g., townhouses); with or without attached garage.

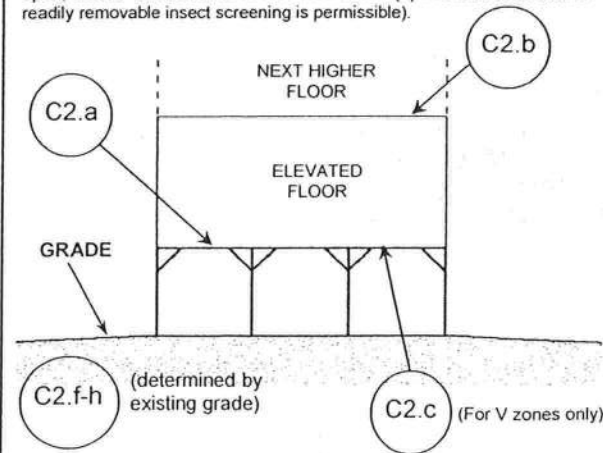
**Distinguishing Feature** – The bottom floor (basement or underground garage) is below ground level (grade) on all sides.\*



**DIAGRAM 5**

All buildings elevated on piers, posts, piles, columns, or parallel shear walls. No obstructions below the elevated floor.

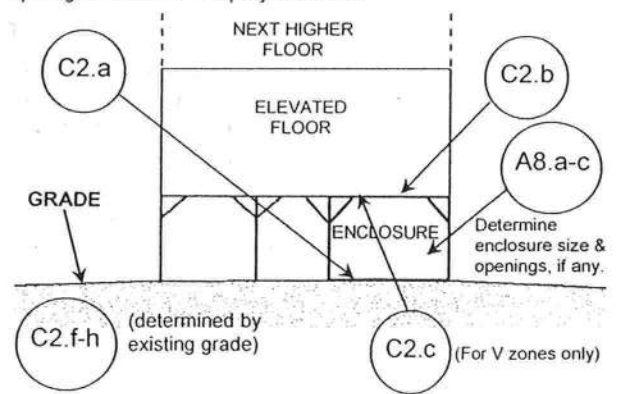
**Distinguishing Feature** – For all zones, the area below the elevated floor is open, with no obstruction to flow of flood waters (open lattice work and/or readily removable insect screening is permissible).



**DIAGRAM 6**

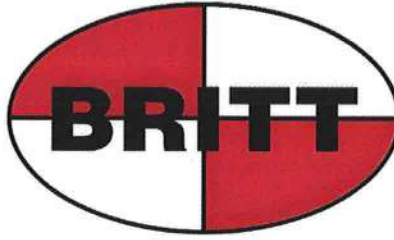
All buildings elevated on piers, posts, piles, columns, or parallel shear walls with full or partial enclosure below the elevated floor.

**Distinguishing Feature** – For all zones, the area below the elevated floor is enclosed, either partially or fully. In A Zones, the partially or fully enclosed area below the elevated floor is with or without openings\*\* present in the walls of the enclosure. Indicate information about enclosure size and openings in Section A – Property Information.



\* A floor that is below ground level (grade) on all sides is considered a basement even if the floor is used for living purposes, or as an office, garage, workshop, etc.

\*\* An "opening" is a permanent opening that allows for the free passage of water automatically in both directions without human intervention. Under the NFIP, a minimum of two openings is required for enclosures or crawlspaces. The openings shall provide a total net area of not less than one square inch for every square foot of area enclosed, excluding any bars, louvers, or other covers of the opening. Alternatively, an Individual Engineered Flood Openings Certification or an Evaluation Report issued by the International Code Council Evaluation Service (ICC ES) must be submitted to document that the design of the openings will allow for the automatic equalization of hydrostatic flood forces on exterior walls. A window, a door, or a garage door is not considered an opening; openings may be installed in doors. Openings shall be on at least two sides of the enclosed area. If a building has more than one enclosed area, each area must have openings to allow floodwater to directly enter. The bottom of the openings must be no higher than one foot above the higher of the exterior or interior grade or floor immediately below the opening. For more guidance on openings, see NFIP Technical Bulletin 1.



## **BRITT SURVEYING**

***Land Surveyors and Mappers***

**LAKE CITY • VENICE • SARASOTA**

### Section A

- A1 No additional comment
- A2 This address is taken from the public records
- A3 – A4 No additional comment
- A5 Hand Held GPS coordinate at the center of building along the front wall
- A6 No additional comment
- A7 No additional comment
- A8 None
- A9 None

### Section B

- B1 – B7 No additional comment
- B8 This building appears to be in Zone A as per the attached flood report.
- B9 – B10 The BFE as shown hereon is based on the BFE shown in the FIRM and prorated accordingly.
- B11 – B12 No additional comment

### Section C

- C1 No additional comment
- C2 There is a benchmark set in a 24" Hickory at an elevation of 36.00 feet NGVD 29 and converted to 35.25 feet NAVD 88 datum. See attached conversion sheet.
- C2 a Premanufactured Home
- C2 b - c No additional comment
- C2 d No Attached Garage
- C2 e Air conditioning unit located in the rear of the residence
- C2 f - h No additional comment

### Section D

No additional comment

### Section E

No additional comment

### Section F

No additional comment

### Section G

No additional comment

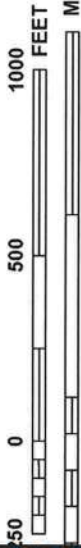
### Photographs

The attached photographs were taken by Britt Surveying & Associates, Inc. Rear view photo was obstructed by dense vegetation in the rear of the lot adjacent to residence.





MAP SCALE 1" = 500'



NFIP

## FIRM

FLOOD INSURANCE RATE MAP  
COLUMBIA COUNTY,  
FLORIDA  
AND INCORPORATED AREAS

PANEL 469 OF 552

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY COLUMBIA COUNTY  
NUMBER 120070  
PANEL 0469  
SUFFIX C

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER  
12023C0469C

EFFECTIVE DATE  
FEBRUARY 4, 2009

Federal Emergency Management Agency

NATIONAL FLOOD INSURANCE PROGRAM

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at [www.msc.fema.gov](http://www.msc.fema.gov)



# **Britt Surveying and Associates, Inc.**

**L-20349**

10 June 2010

## **INPUT**

Geographic, NAD83  
Vertical - NGVD29 (Vertcon94), U.S. Feet

## **OUTPUT**

Geographic, NAD83  
Vertical - NAVD88, U.S. Feet

---

### **Spike in 24" Hickory**

1/1

**Latitude:** 29 53.966  
**Longitude:** 82 45.931  
**Elevation/Z:** 36.00

**Latitude:** 29 53 57.96000  
**Longitude:** 82 45 55.86000  
**Elevation/Z:** 35.249

---

Remark:

District No. 1 - Ronald Williams  
District No. 2 - Dewey Weaver  
District No. 3 - Jody DuPree  
District No. 4 - Stephen E. Bailey  
District No. 5 - Scarlet P. Frisina

28603



## BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

### MEMO OF REVIEW FOR CORRECTNESS AND COMPLETION

In accordance with participation in the NFIP/CRS program, all elevation certificates are required to be reviewed for correctness and completion prior to acceptance by the community. This completed form shall be attached to all elevation certificates maintained on file and provided with requested copies of elevation certificates.

- ☐ The attached elevation certificate requires corrections by the surveyor of section(s) \_\_\_\_\_ prior to acceptance by the community.
- ☒ The attached elevation certificated is complete and correct.
- ☐ Minor corrections have been made in the below marked sections by the authorized Community Official.

#### SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name	For Insurance Company Use:
	Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.	Company NAIC Number
City	State
	ZIP Code
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.)	
A5. Latitude/Longitude: Lat. _____ Long. _____ Horizontal Datum: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.	
A7. Building Diagram Number _____	
A8. For a building with a crawl space or enclosure(s), provide:	
a) Square footage of crawl space or enclosure(s) _____ sq ft	
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade _____	
c) Total net area of flood openings in A8.b _____ sq in	
A9. For a building with an attached garage, provide:	
a) Square footage of attached garage _____ sq ft	
b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade _____	
c) Total net area of flood openings in A9.b _____ sq in	

#### SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number		B2. County Name		B3. State	
B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	B7. FIRM Panel Effective/Revised Date	B8. Flood Zone(s)	B9. Base Flood Elevation(s) (Zone AO, use base flood depth)
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Designation Date _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA <input type="checkbox"/> Yes <input type="checkbox"/> No					

COMMENTS: \_\_\_\_\_

Date of Review: 25 JUNE 2010

BOARD MEETS FIRST THURSDAY AT 7 00 P.M.

AND THE COMMUNITY OFFICIAL

All elevation certificates shall be maintained by the community and copies with the attached memo made available upon request.

P. O. BOX 1529

LAKE CITY, FLORIDA 32056-1529

PHONE (386) 733-4100

# ELEVATION CERTIFICATE

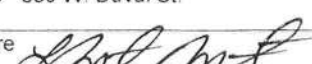
OMB No. 1660-0008  
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

SECTION A - PROPERTY INFORMATION		For Insurance Company Use:
A1. Building Owner's Name <u>Leo Horne</u>		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <u>170 SW Lizard Drive</u> City <u>Ft. White</u> State <u>FL</u> ZIP Code <u>32038</u>		Company NAIC Number
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <u>12-7S-15-01439-735</u>		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>		
A5. Latitude/Longitude: Lat. <u>29°53.966</u> Long. <u>082°45.931</u>		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <u>5</u>		
A8. For a building with a crawlspace or enclosure(s): a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u> c) Total net area of flood openings in A8.b <u>N/A</u> sq in d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		A9. For a building with an attached garage: a) Square footage of attached garage <u>N/A</u> sq ft b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u> c) Total net area of flood openings in A9.b <u>N/A</u> sq in d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number <u>Columbia 120070</u>		B2. County Name <u>Columbia</u>		B3. State <u>FL</u>	
B4. Map/Panel Number <u>12032C0469C</u>	B5. Suffix <u>C</u>	B6. FIRM Index Date <u>Feb 4 2009</u>	B7. FIRM Panel Effective/Revised Date <u>Feb 4 2009</u>	B8. Flood Zone(s) <u>AE</u>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <u>34.50</u>
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)	
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input checked="" type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.	
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE. Benchmark Utilized <u>See Comments</u> Vertical Datum <u>NAVD 88</u> Conversion/Comments <u>None</u>	
Check the measurement used.	
a) Top of bottom floor (including basement, crawlspace, or enclosure floor) <u>37.16</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor <u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only) <u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab) <u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) <u>37.0</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade next to building (LAG) <u>34.2</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade next to building (HAG) <u>34.5</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support <u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION			
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.			
<input checked="" type="checkbox"/> Check here if comments are provided on back of form.		Were latitude and longitude in Section A provided by a licensed land surveyor? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Certifier's Name <u>L. Scott Britt</u>		License Number <u>PSM 5757</u>	
Title <u>Chief Surveyor</u>		Company Name <u>Britt Surveying &amp; Associates, Inc.</u>	
Address <u>830 W. Duval St.</u>		City <u>Lake City</u>	State <u>FL</u> ZIP Code <u>32055</u>
Signature 		Date <u>06/10/2010</u>	Telephone <u>386-752-7163</u>



<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 170 SW Lizard Drive	Policy Number
City Ft. White State FL ZIP Code 32038	Company NAIC Number

### SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments L-20349A

See Attached comments sheet

  
Signature L. Scott Britt

Date 06/10/2010

☒ Check here if attachments

### SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

### SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

☐ Check here if attachments

### SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_

G10. Community's design flood elevation \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_

Local Official's Name Title

Community Name Telephone

Signature Date

Comments

☐ Check here if attachments

## Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 170 SW Lizard Drive	For Insurance Company Use:
City Ft. White State FL ZIP Code 32038	Policy Number
If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page on the reverse.	

Front View



# Building Photographs

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 170 SW Lizard Drive	For Insurance Company Use: Policy Number  Company NAIC Number
City Ft. White State FL ZIP Code 32038	
If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."	

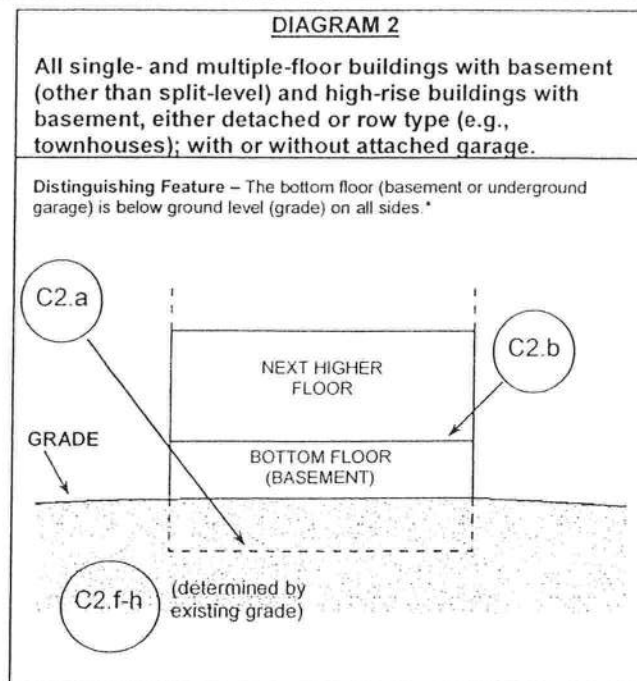
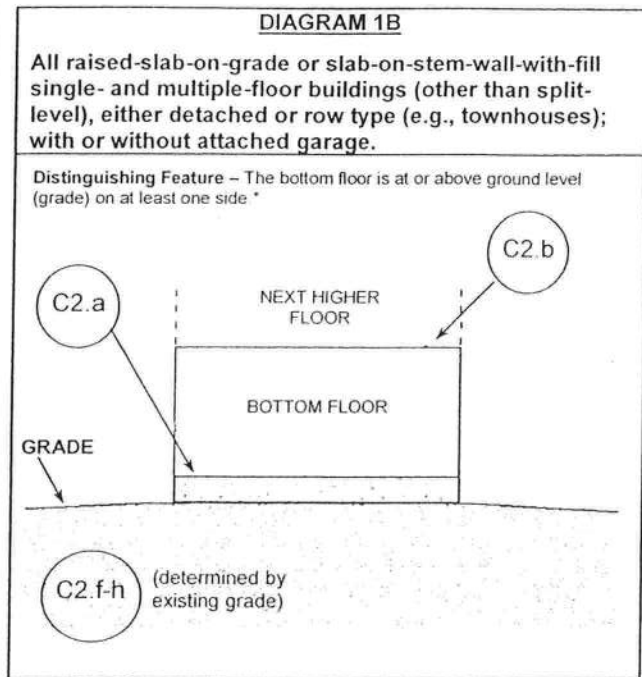
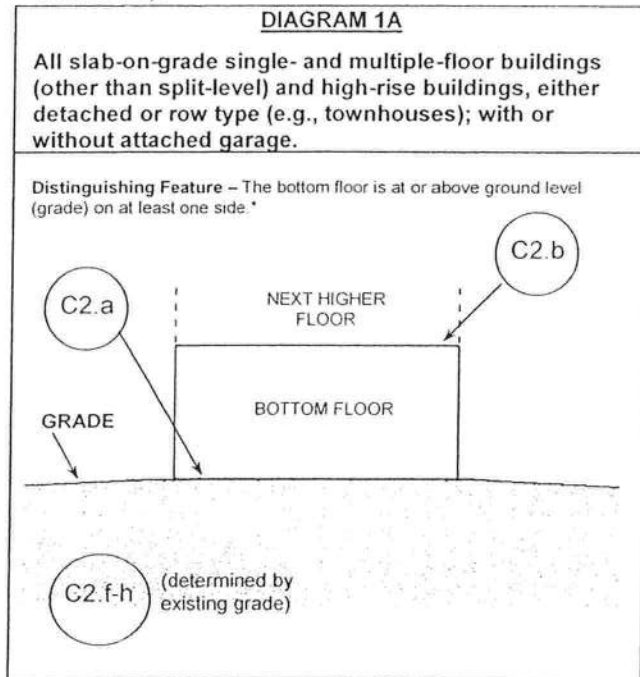
Rear View



## BUILDING DIAGRAMS

The following diagrams illustrate various types of buildings. Compare the features of the building being certified with the features shown in the diagrams and select the diagram most applicable. Enter the diagram number in Item A7, the square footage of crawlspace or enclosure(s) and the area of flood openings in square inches in Items A8.a-c, the square footage of attached garage and the area of flood openings in square inches in Items A9.a-c, and the elevations in Items C2.a-h.

In A zones, the floor elevation is taken at the top finished surface of the floor indicated; in V zones, the floor elevation is taken at the bottom of the lowest horizontal structural member (see drawing in instructions for Section C).



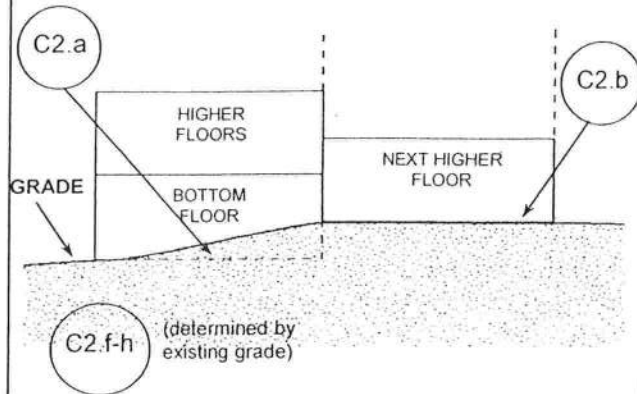
\* A floor that is below ground level (grade) on all sides is considered a basement even if the floor is used for living purposes, or as an office, garage, workshop, etc



**DIAGRAM 3**

All split-level buildings that are slab-on-grade, either detached or row type (e.g., townhouses); with or without attached garage.

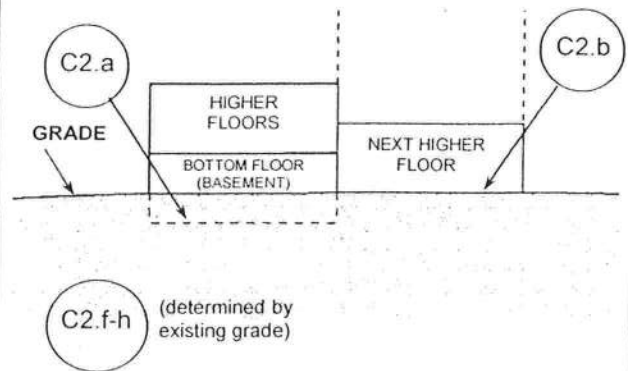
**Distinguishing Feature** – The bottom floor (excluding garage) is at or above ground level (grade) on at least one side.\*



**DIAGRAM 4**

All split-level buildings (other than slab-on-grade), either detached or row type (e.g., townhouses); with or without attached garage.

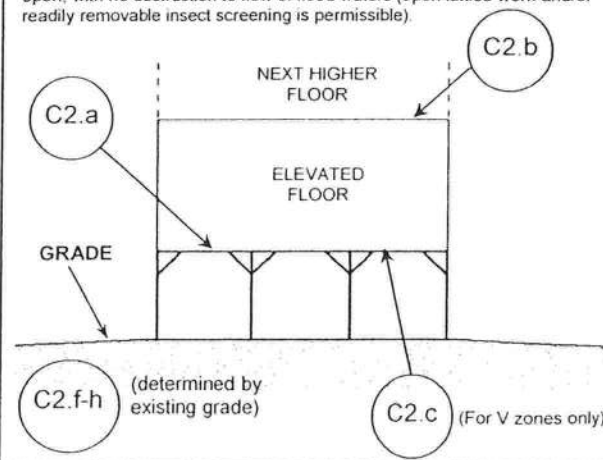
**Distinguishing Feature** – The bottom floor (basement or underground garage) is below ground level (grade) on all sides.\*



**DIAGRAM 5**

All buildings elevated on piers, posts, piles, columns, or parallel shear walls. No obstructions below the elevated floor.

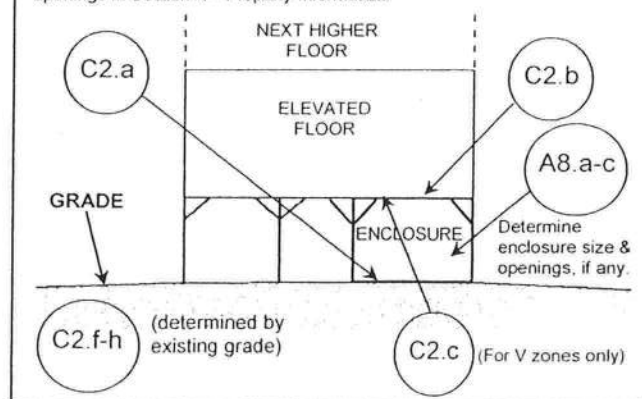
**Distinguishing Feature** – For all zones, the area below the elevated floor is open, with no obstruction to flow of flood waters (open lattice work and/or readily removable insect screening is permissible).



**DIAGRAM 6**

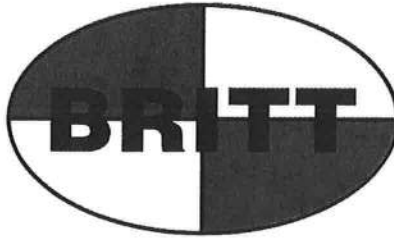
All buildings elevated on piers, posts, piles, columns, or parallel shear walls with full or partial enclosure below the elevated floor.

**Distinguishing Feature** – For all zones, the area below the elevated floor is enclosed, either partially or fully. In A Zones, the partially or fully enclosed area below the elevated floor is with or without openings\*\* present in the walls of the enclosure. Indicate information about enclosure size and openings in Section A – Property Information.



\* A floor that is below ground level (grade) on all sides is considered a basement even if the floor is used for living purposes, or as an office, garage, workshop, etc.

\*\* An "opening" is a permanent opening that allows for the free passage of water automatically in both directions without human intervention. Under the NFIP, a minimum of two openings is required for enclosures or crawlspaces. The openings shall provide a total net area of not less than one square inch for every square foot of area enclosed, excluding any bars, louvers, or other covers of the opening. Alternatively, an Individual Engineered Flood Openings Certification or an Evaluation Report issued by the International Code Council Evaluation Service (ICC ES) must be submitted to document that the design of the openings will allow for the automatic equalization of hydrostatic flood forces on exterior walls. A window, a door, or a garage door is not considered an opening; openings may be installed in doors. Openings shall be on at least two sides of the enclosed area. If a building has more than one enclosed area, each area must have openings to allow floodwater to directly enter. The bottom of the openings must be no higher than one foot above the higher of the exterior or interior grade or floor immediately below the opening. For more guidance on openings, see NFIP Technical Bulletin 1.



**BRITT SURVEYING**  
***Land Surveyors and Mappers***

**LAKE CITY • VENICE • SARASOTA**

Section A

- A1 No additional comment
- A2 This address is taken from the public records
- A3 – A4 No additional comment
- A5 Hand Held GPS coordinate at the center of building along the front wall
- A6 No additional comment
- A7 No additional comment
- A8 None
- A9 None

Section B

- B1 – B7 No additional comment
- B8 This building appears to be in Zone A as per the attached flood report.
- B9 – B10 The BFE as shown hereon is based on the BFE shown in the FIRM and prorated accordingly.
- B11 – B12 No additional comment

Section C

- C1 No additional comment
- C2 There is a benchmark set in a 24" Hickory at an elevation of 36.00 feet NGVD 29 and converted to 35.25 feet NAVD 88 datum. See attached conversion sheet.
- C2 a Premanufactured Home
- C2 b - c No additional comment
- C2 d No Attached Garage
- C2 e Air conditioning unit located in the rear of the residence
- C2 f - h No additional comment

Section D

No additional comment

Section E

No additional comment

Section F

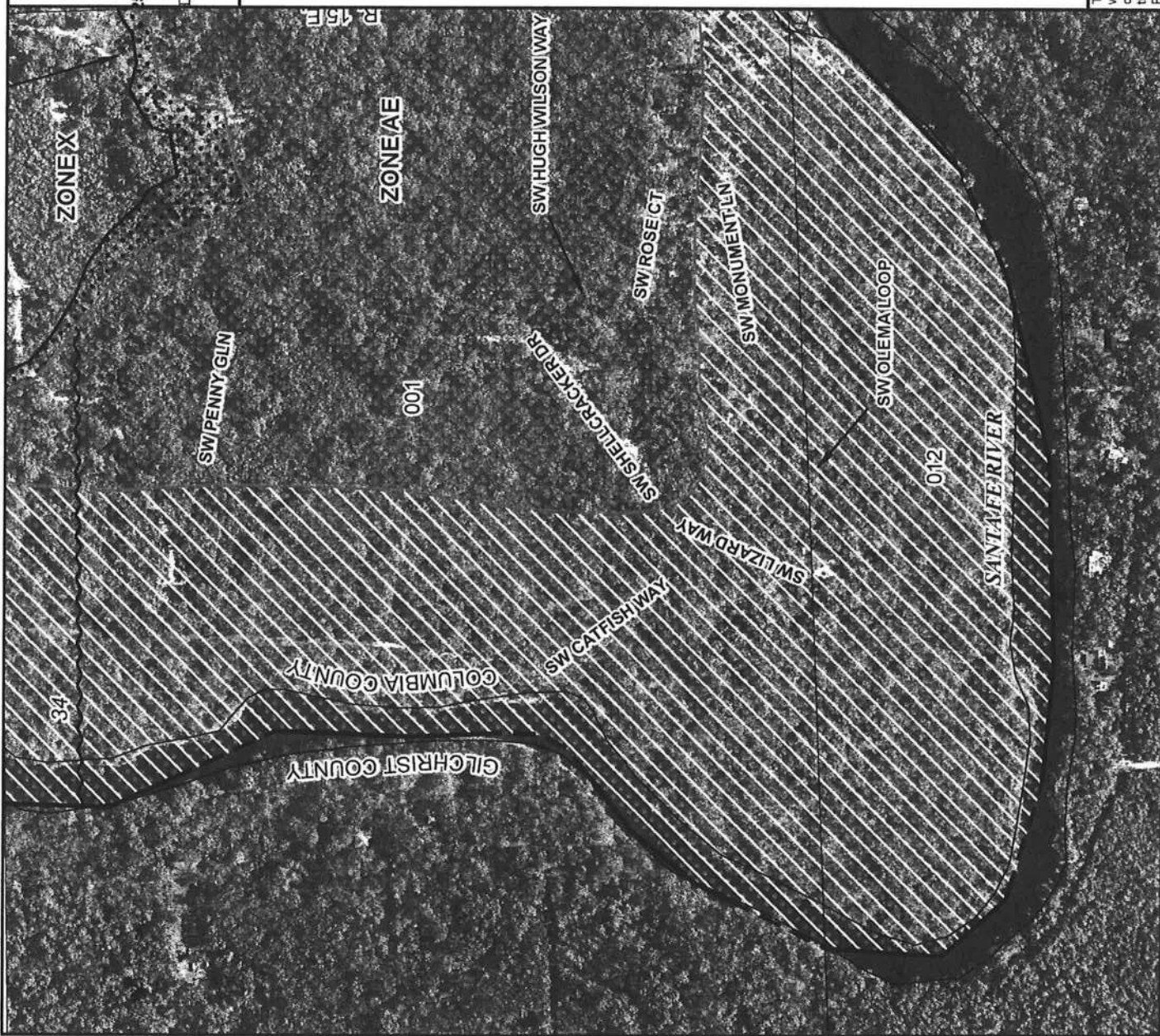
No additional comment

Section G

No additional comment

Photographs

The attached photographs were taken by Britt Surveying & Associates, Inc. Rear view photo was obstructed by dense vegetation in the rear of the lot adjacent to residence.



MAP SCALE 1" = 500'



NFIP

PANEL 0469C

## FIRM

FLOOD INSURANCE RATE MAP  
COLUMBIA COUNTY,  
FLORIDA  
AND INCORPORATED AREAS

PANEL 469 OF 552

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

### CONTAINS

COMMUNITY COLUMBIA COUNTY  
NUMBER 120070  
PANEL 0469  
SUFFIX C

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER  
12023C0469C

EFFECTIVE DATE  
FEBRUARY 4, 2009

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at [www.msc.fema.gov](http://www.msc.fema.gov)



# **Britt Surveying and Associates, Inc.**

**L-20349**

10 June 2010

## **INPUT**

Geographic, NAD83  
Vertical - NGVD29 (Vertcon94), U.S. Feet

## **OUTPUT**

Geographic, NAD83  
Vertical - NAVD88, U.S. Feet

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### **Spike in 24" Hickory**

1/1

**Latitude:** 29 53.966  
**Longitude:** 82 45.931  
**Elevation/Z:** 36.00

**Latitude:** 29 53 57.96000  
**Longitude:** 82 45 55.86000  
**Elevation/Z:** 35.249

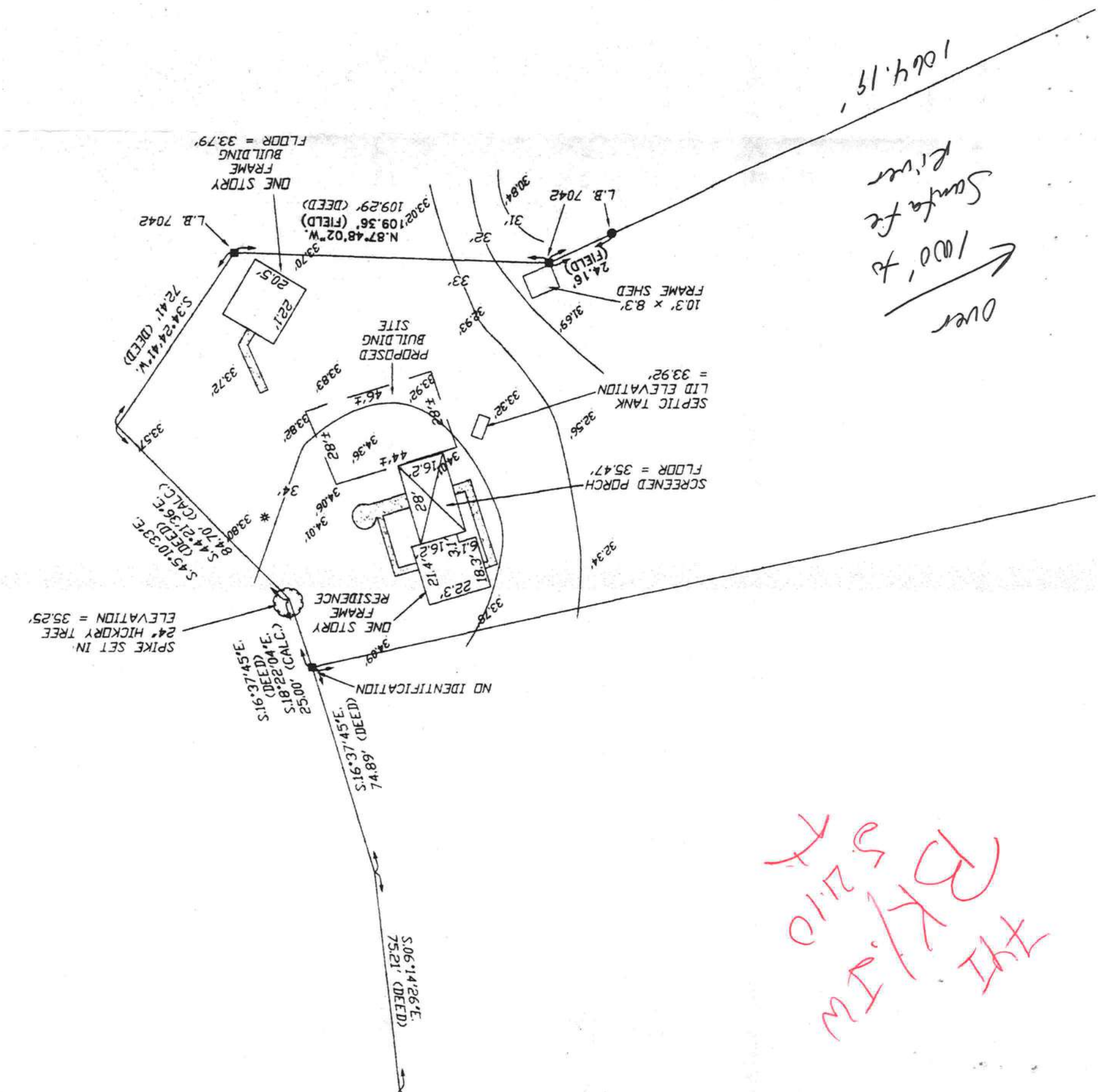
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**Remark:**





THE BK/IM  
5.2.10



DESCRIPTION:  
LOT 9 - LOT 5  
BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 7 SOUTH, RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA AND  
A DISTANCE OF 33.01 FEET TO A POINT ON THE WEST LINE OF WILSON SPRINGS ROAD AS DEEDED TO COUNTY, BEING ALSO THE EAST LINE OF  
SON SPRINGS COMMUNITY PHASE 2, THENCE N.00°15'08"W, ALONG THE WEST LINE OF WILSON SPRINGS ROAD AS DEEDED TO COUNTY A DISTANCE OF  
95 FEET, THENCE S.44°23'06"W, ALONG THE WEST LINE OF WILSON SPRINGS ROAD AS DEEDED TO COUNTY, BEING ALSO THE EAST LINE OF  
NG SAID WEST LINE A DISTANCE OF 127.29 FEET, THENCE S.13°50'26"W, STILL ALONG THE WEST LINE A DISTANCE OF 201.28 FEET, THENCE  
6.1519"W, STILL ALONG SAID WEST LINE A DISTANCE OF 100.83 FEET, THENCE S.45°36'37"W, STILL ALONG SAID WEST LINE A DISTANCE OF 159.64  
ET, THENCE S.65°38'07"W, STILL ALONG SAID WEST LINE A DISTANCE OF 134.90 FEET, THENCE S.69°45'13"W, STILL ALONG SAID WEST LINE A  
TANCE OF 109.27 FEET, THENCE S.49°33'22"W, STILL ALONG SAID WEST LINE A DISTANCE OF 427.38 FEET, THENCE S.04°57'36"W, STILL ALONG  
D WEST LINE A DISTANCE OF 321.03 FEET, THENCE S.34°26'07"W, STILL ALONG SAID WEST LINE A DISTANCE OF 94.18 FEET, THENCE N.55°33'53"W,  
LL ALONG SAID WEST LINE A DISTANCE OF 30.00 FEET, THENCE S.34°26'07"W, STILL ALONG SAID WEST LINE A DISTANCE OF 60.00 FEET, THENCE  
S.33°53'E, STILL ALONG SAID WEST LINE A DISTANCE OF 30.00 FEET, THENCE S.34°26'07"W, STILL ALONG SAID WEST LINE A DISTANCE OF 219.29  
ET, THENCE S.07°01'20"W, STILL ALONG SAID WEST LINE A DISTANCE OF 243.27 FEET TO A POINT ON THE WEST LINE OF WILSON SPRINGS ROAD AS DEEDED TO COUNTY,  
LLCRACKER ROAD, THENCE S.19°18'25"W, ALONG SAID WEST LINE OF SW SHELLCRACKER ROAD A DISTANCE OF 66.18 FEET, THENCE  
NCE S.43°53'07"W, STILL ALONG SAID WEST LINE OF SW SHELLCRACKER ROAD A DISTANCE OF 45.31 FEET, THENCE  
7°24'59"W, STILL ALONG SAID WEST LINE OF SW SHELLCRACKER ROAD A DISTANCE OF 150.14 FEET, THENCE S.52°12'58"W, STILL  
NG SAID WEST LINE OF SW SHELLCRACKER ROAD A DISTANCE OF 302.34 FEET, THENCE S.56°49'27"W, STILL ALONG SAID WEST LINE  
HT-OF-WAY LINE OF SW SHELLCRACKER ROAD A DISTANCE OF 176.26 FEET, THENCE S.01°22'40"W, STILL ALONG SAID WEST LINE  
SW SHELLCRACKER ROAD A DISTANCE OF 29.97 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SW MONUMENT LANE, THENCE  
5°22'39"W, A DISTANCE OF 125.33 FEET, THENCE N.85°18'07"W, A DISTANCE OF 48.89 FEET, THENCE N.85°26'22"W, A DISTANCE OF 33.43 FEET,  
NCE S.30°43'35"W, A DISTANCE OF 115.59 FEET, THENCE S.20°43'33"W, A DISTANCE OF 77.18 FEET, THENCE S.06°14'26"E, A DISTANCE OF 75.21  
ET, THENCE S.16°37'45"E, A DISTANCE OF 74.89 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S.16°37'45"E, A DISTANCE OF 25.00 FEET,  
NCE S.45°10'33"E, A DISTANCE OF 84.70 FEET, THENCE S.34°24'41"W, A DISTANCE OF 72.41 FEET, THENCE N.87°48'02"W, A DISTANCE OF 109.29  
ET, THENCE S.65°19'35"W, A DISTANCE OF 106.419 FEET TO A POINT ON THE NORTHWESTERLY MEAN HIGHWATER LINE OF THE SANTA FE  
ER, THENCE NORTHERLY ALONG THE MEANER LINE OF SAID NORTHWESTERLY MEAN HIGHWATER LINE OF THE SANTA FE RIVER A DISTANCE OF 400  
ET MORE OR LESS, THENCE N.77°49'19"E, A DISTANCE OF 106.41 FEET TO THE POINT OF BEGINNING.



DESCRIPTION:  
BLOCK 9 - LOT 5  
COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 7 SOUTH, RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA AND  
RUN S.88°10'31"W, ALONG THE NORTH LINE OF SAID SOUTHEAST 1/4 OF SECTION 1, BEING ALSO THE NORTH LINE OF WILSON SPRINGS COMMUNITY PHASE  
2, A DISTANCE OF 33.01 FEET TO A POINT ON THE WEST LINE OF WILSON SPRINGS ROAD AS DEEDED TO COUNTY, BEING ALSO THE EAST LINE OF  
WILSON SPRINGS COMMUNITY PHASE 2, THENCE N.00°15'08"W, ALONG SAID WEST LINE OF WILSON SPRINGS ROAD AS DEEDED TO COUNTY A DISTANCE OF  
32.85 FEET, THENCE S.44°23'06"W, ALONG THE WEST LINE OF WILSON SPRINGS COMMUNITY PHASE 2, A DISTANCE OF 19.06 FEET, THENCE S.33°20'10"W,  
ALONG SAID WEST LINE A DISTANCE OF 127.29 FEET, THENCE S.13°50'26"W, STILL ALONG THE WEST LINE A DISTANCE OF 201.28 FEET, THENCE  
S.36°15'19"W, STILL ALONG SAID WEST LINE A DISTANCE OF 100.83 FEET, THENCE S.45°36'37"W, STILL ALONG SAID WEST LINE A DISTANCE OF 159.64  
FEET, THENCE S.65°38'07"W, STILL ALONG SAID WEST LINE A DISTANCE OF 134.90 FEET, THENCE S.69°45'13"W, STILL ALONG SAID WEST LINE A  
DISTANCE OF 109.27 FEET, THENCE S.49°33'22"W, STILL ALONG SAID WEST LINE A DISTANCE OF 427.38 FEET, THENCE S.04°57'36"W, STILL ALONG  
SAID WEST LINE A DISTANCE OF 321.03 FEET, THENCE S.34°26'07"W, STILL ALONG SAID WEST LINE A DISTANCE OF 94.18 FEET, THENCE N.55°33'53"W,  
STILL ALONG SAID WEST LINE A DISTANCE OF 30.00 FEET, THENCE S.34°26'07"W, STILL ALONG SAID WEST LINE A DISTANCE OF 60.00 FEET, THENCE  
S.55°33'53"E, STILL ALONG SAID WEST LINE A DISTANCE OF 30.00 FEET, THENCE S.34°26'07"W, STILL ALONG SAID WEST LINE A DISTANCE OF 219.29  
FEET, THENCE S.07°01'20"W, STILL ALONG SAID WEST LINE A DISTANCE OF 243.27 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SW  
SHELLCRACKER ROAD, THENCE S.19°18'25"W, ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF SW SHELLCRACKER ROAD A DISTANCE OF 45.31 FEET, THENCE  
THENCE S.43°53'07"W, STILL ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF SW SHELLCRACKER ROAD A DISTANCE OF 150.14 FEET, THENCE S.52°12'58"W, STILL  
S.57°24'59"W, STILL ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF SW SHELLCRACKER ROAD A DISTANCE OF 302.34 FEET, THENCE S.56°49'27"W, STILL ALONG SAID WESTERLY  
ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF SHELLCRACKER ROAD A DISTANCE OF 176.26 FEET, THENCE S.01°22'40"W, STILL ALONG SAID WESTERLY  
RIGHT-OF-WAY LINE OF SW SHELLCRACKER ROAD A DISTANCE OF 29.97 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SW MONUMENT LANE, THENCE  
OF SW SHELLCRACKER ROAD A DISTANCE OF 125.33 FEET, THENCE N.85°18'07"W, A DISTANCE OF 48.89 FEET, THENCE N.85°26'22"W, A DISTANCE OF 33.43 FEET,  
N.85°22'39"W, A DISTANCE OF 115.59 FEET, THENCE S.20°43'33"W, A DISTANCE OF 77.18 FEET, THENCE S.06°14'26"E, A DISTANCE OF 75.21  
FEET, THENCE S.30°43'35"W, A DISTANCE OF 115.59 FEET, THENCE S.20°43'33"W, A DISTANCE OF 77.18 FEET, THENCE S.06°14'26"E, A DISTANCE OF 75.21  
FEET, THENCE S.16°37'45"E, A DISTANCE OF 74.89 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S.16°37'45"E, A DISTANCE OF 25.00 FEET,  
THENCE S.45°10'33"E, A DISTANCE OF 84.70 FEET, THENCE S.34°24'41"W, A DISTANCE OF 72.41 FEET, THENCE N.87°48'02"W, A DISTANCE OF 109.29  
FEET, THENCE S.65°19'35"W, A DISTANCE OF 106.49 FEET TO A POINT ON THE NORTHWESTERLY APPROXIMATE MEAN HIGHWATER LINE OF THE SANTA FE  
RIVER, THENCE NORTHERLY ALONG THE MEANDER LINE OF SAID NORTHWESTERLY MEAN HIGHWATER LINE OF THE SANTA FE RIVER A DISTANCE OF 400  
FEET MORE OR LESS, THENCE N.77°49'19"E, A DISTANCE OF 106.41 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S NOTES:

1. THIS IS NOT A BOUNDARY SURVEY.
2. THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
3. BEARINGS ARE BASED ON A DEED OF RECORD AS PROVIDED THIS OFFICE.
4. THIS PARCEL IS IN THE FLOODWAY OF ZONE "AE" AND IS SUBJECT TO FLOODING. A BASE FLOOD ELEVATION IS ESTABLISHED TO BE 34.5 FEET AS PER FLOOD INSURANCE RATE MAP, DATED 4 FEBRUARY, 2009 FIRM PANEL NO. 12023C 0469C. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
5. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
6. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
7. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
8. THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

CERTIFIED TO:

LEO HORNE

FIELD BOOK: SEE PAGE(S): FILE

JOB NUMBER: L-20349

SURV

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE IN ACCORDANCE WITH THE TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA ADMINISTRATIVE CODE IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE.

04/21/10

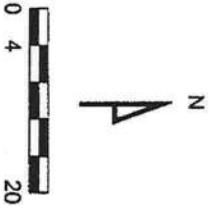
FIELD SURVEY DATE

04/22/10

DRAWING DATE

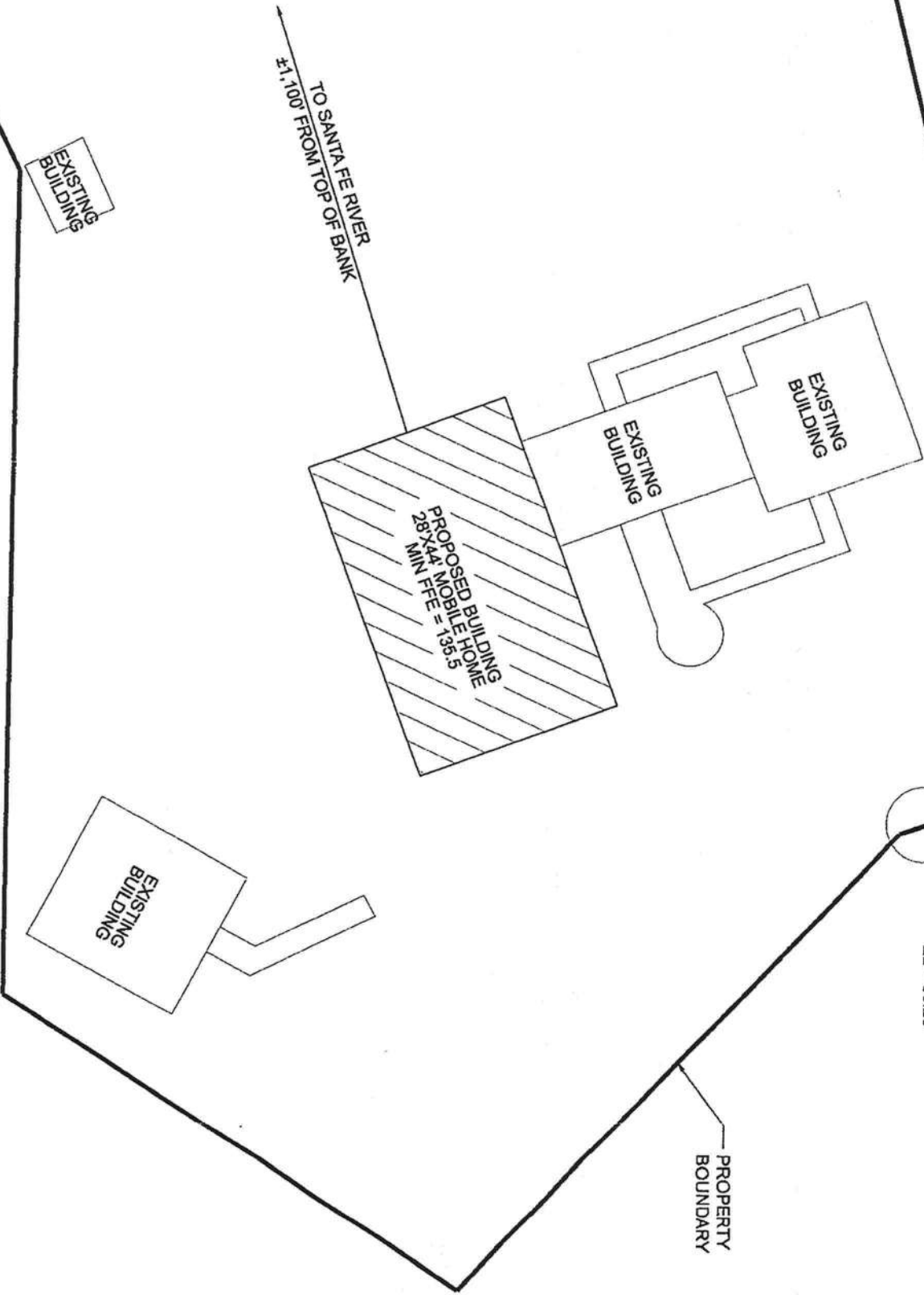
NOTE: UNLESS IT BEARS THE SIGNATURE AND SEAL OF THE SURVEYOR, THIS DRAWING, SKETCH, PLAT OR MAP IS NOT VALID.

SHEET  
1 OF 1



BENCHMARK  
NAIL SET IN TREE  
EL = 35.25

PROPERTY  
BOUNDARY



EXISTING TOPOGRAPHICAL INFORMATION BASED ON SURVEY  
PREPARED BY BRITT SURVEYING AND ASSOCIATES DATED 4-22-2010

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

<b>CES</b> Crews Engineering Services, LLC	CERTIFICATE OF AUTHORIZATION NO. 28022		DRAWN BY: <b>BC</b>	APPROVED BY: <b>BC</b>	<b>HORNE RIVER LOT</b>	CES PROJECT NO.: 2010-012
	P.O. BOX 970 LAKE CITY, FL 32056 PHONE: 386/754,4085					
BRETT A. CREWS, P.E. 65592			SHEET: SIT1			