

DATE 01/09/2008

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000026594

APPLICANT WENDY GRENNELL PHONE 288-2428
ADDRESS 3104 SW OLD WIRE ROAD FT. WHITE FL 32038
OWNER JUDITH REA PHONE 813 310-3859
ADDRESS 2105 SW NWARK DR FT. WHITE FL 32038
CONTRACTOR TERRY THRIFT PHONE 623-0115

LOCATION OF PROPERTY 47S, TR ON 27, TL ON RIVERSIDE AVE, TL ON UTAH, TR ON
NEWARK, 2 MILES ON LEFT, 9TH LOT PAST COPPERHEAD

TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION 0.00

HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES

FOUNDATION WALLS ROOF PITCH FLOOR

LAND USE & ZONING A-3 MAX. HEIGHT

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 36-6S-15-01380-000 SUBDIVISION 3 RIVERS EST

LOT 143 BLOCK PHASE UNIT 21 TOTAL ACRES 1.83

IH0000036
Culvert Permit No. Culvert Waiver Contractor's License Number
EXISTING 08-00017 CS JH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD, OLD MH HAS BEEN REMOVED

Check # or Cash CASH

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 300.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 57.78 WASTE FEE \$ 150.75

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 583.53

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 9-22-06) Zoning Official aps 1/9/08 Building Official OK JTH 1-9-08

AP# 0801-04 Date Received 1/3 By JW Permit # 26594

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments Old MH already removed per W. Grennell

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks Shown ☐ EH Signed Site Plan ☒ EH Release ☒ Well letter ☒ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner ☐ Letter of Authorization from installer

☒ State Road Access ☐ Parent Parcel # _____ ☐ STUP-MH _____

08-17

Property ID # 00-00-00-01380-000 Subdivision Three Rivers Estates Lots 143+144
New River Unit 21

▪ New Mobile Home _____ Used Mobile Home ☒ Year 05

▪ Applicant Wendy Grennell Phone # 386-288-2428

▪ Address 3104 SW Old Wire Road Ft White FL 32038

▪ Name of Property Owner Judith Rea Phone# 813-310-3859

▪ 911 Address 2105 SW Newark Drive Fort White FL 32038

▪ Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Progress Energy

▪ Name of Owner of Mobile Home Judith + Joyce Rea Phone # 813-310-3859

▪ Address 4614 Harvey Avenue Tampa FL 33603

▪ Relationship to Property Owner Same

▪ Current Number of Dwellings on Property 0

▪ Lot Size _____ Total Acreage 1.836

▪ Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
 (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)

▪ Is this Mobile Home Replacing an Existing Mobile Home Yes ~~No~~

▪ Driving Directions to the Property Hwy 47 South to US 27 turn (R) to Three Rivers Estates turn (L) take an immediate (L) on Utah to Newark turn (R) approx 2 miles property on (L) (about 4 lots past Copperhead) 4th lot.

▪ Name of Licensed Dealer/Installer Terry Thrift Phone # 386-623-0115

▪ Installers Address 448 NW Nye Hunter Lake City FL 32055

▪ License Number TH0000036 Installation Decal # 166832

JW called Wendy 1.9.08

COLUMBIA COUNTY 9-1-1 ADDRESSING /

GIS DEPARTMENT

P. O. Box 1787, Lake City, FL 32056-1787

Telephone: (386) 758-1125 * Fax: (386) 758-1365 * E-mail: ron_croft@columbiacountyfla.com

ADDRESS ASSIGNMENT DATA

The Columbia County Board of County Commissioners has passed Ordinance 2001-9, which provides for a uniform numbering system. A copy of this ordinance is available in the Clerk of Court records, located in the courthouse. This new numbering system will increase the efficiency of POLICE, FIRE AND EMERGENCY MEDICAL vehicles responding to calls within Columbia County by immediately identifying the location of the caller.

Residential or Other Structure on Parcel Number:

00-00-00-01380-000 (LOTS 143 & 144 UNIT 21 THREE RIVERS ESTATES)

Address Assignment

2105 SW NEWARK DR, FORT WHITE, FL, 32038

Note: This is an existing address for the property, no change required.

Any questions concerning this information should be referred to the Columbia County

9-1-1 Addressing / GIS Department or the Division of Information Technology Services

Prepared by:

Elaine R. Davis / Megan Marable
American Title Services of Lake City, Inc.
321 SW Main Boulevard, Suite 105
Lake City, Florida 32025

File Number: 07-445

Inst: 200712028157 Date: 12/21/2007 Time: 1:34 PM
Doc Stamp-Deed: 385.00
54 DC, P. DeWitt Cason, Columbia County Page 1 of 1

Warranty Deed

Made this December 20, 2007 A.D.

By **Dennis Sandlin and Dorothy Sandlin, husband and wife**, 860 SW Washington Ave, Fort White, Florida 32038, hereinafter called the grantor,

to **Judith A. Rea**, whose post office address is: 4614 Harvey Avenue, Tampa, Florida 33603, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

Lots 143 and 144 THREE RIVER ESTATES, UNIT 21, a subdivision according to the plat thereof as recorded in Plat Book 6, Page 15, Public Records of Columbia County, Florida.

Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon.

Parcel ID Number: 01380-000

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2006.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Elaine R. Davis
Witness Printed Name Elaine R. Davis

Megan Marable
Witness Printed Name Megan Marable

State of Florida
County of Columbia

Dennis Sandlin (Seal)
Dennis Sandlin
Address: 860 SW Washington Ave, Fort White, Florida 32038

Dorothy Sandlin (Seal)
Dorothy Sandlin
Address:

The foregoing instrument was acknowledged before me this 20th day of December, 2007, by Dennis Sandlin and Dorothy Sandlin, husband and wife, who is/are personally known to me or who has produced drivers house as identification.



Megan M. Marable
Notary Public
Print Name: _____
My Commission Expires: _____

Columbia County Property Appraiser

DB Last Updated: 11/15/2007

*Previous Owner
SEE DEED*

2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 00-00-00-01380-000

Owner & Property Info

<< Prev

Search Result: 7 of 13

Next >>

Owner's Name	SANDLIN DENNIS & DOROTHY		
Site Address			
Mailing Address	860 SW WASHINGTON AVE FORT WHITE, FL 32038		
Use Desc. (code)	MISC RES (000700)		
Neighborhood	100000.21	Tax District	3
UD Codes	MKTA02	Market Area	02
Total Land Area	1.836 ACRES		
Description	LOTS 143 & 144 UNIT 21 THREE RIVERS ESTATES. ORB 703-833, 904-2599 & 906- 503. WD 1066-1413. DC(FREDDIE) 1066-1421, WD 1122-1688		

GIS Aerial**Property & Assessment Values**

Mkt Land Value	cnt: (2)	\$38,000.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (1)	\$500.00
Total Appraised Value		\$38,500.00

Just Value	\$38,500.00
Class Value	\$0.00
Assessed Value	\$38,500.00
Exempt Value	\$0.00
Total Taxable Value	\$38,500.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
6/11/2007	1122/1688	WD	V	Q		\$45,000.00
11/23/2005	1066/1413	WD	V	U	08	\$24,000.00
7/14/2000	906/503	WD	V	Q		\$17,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0040	BARN,POLE	2001	\$500.00	1.000	0 x 0 x 0	(.00)

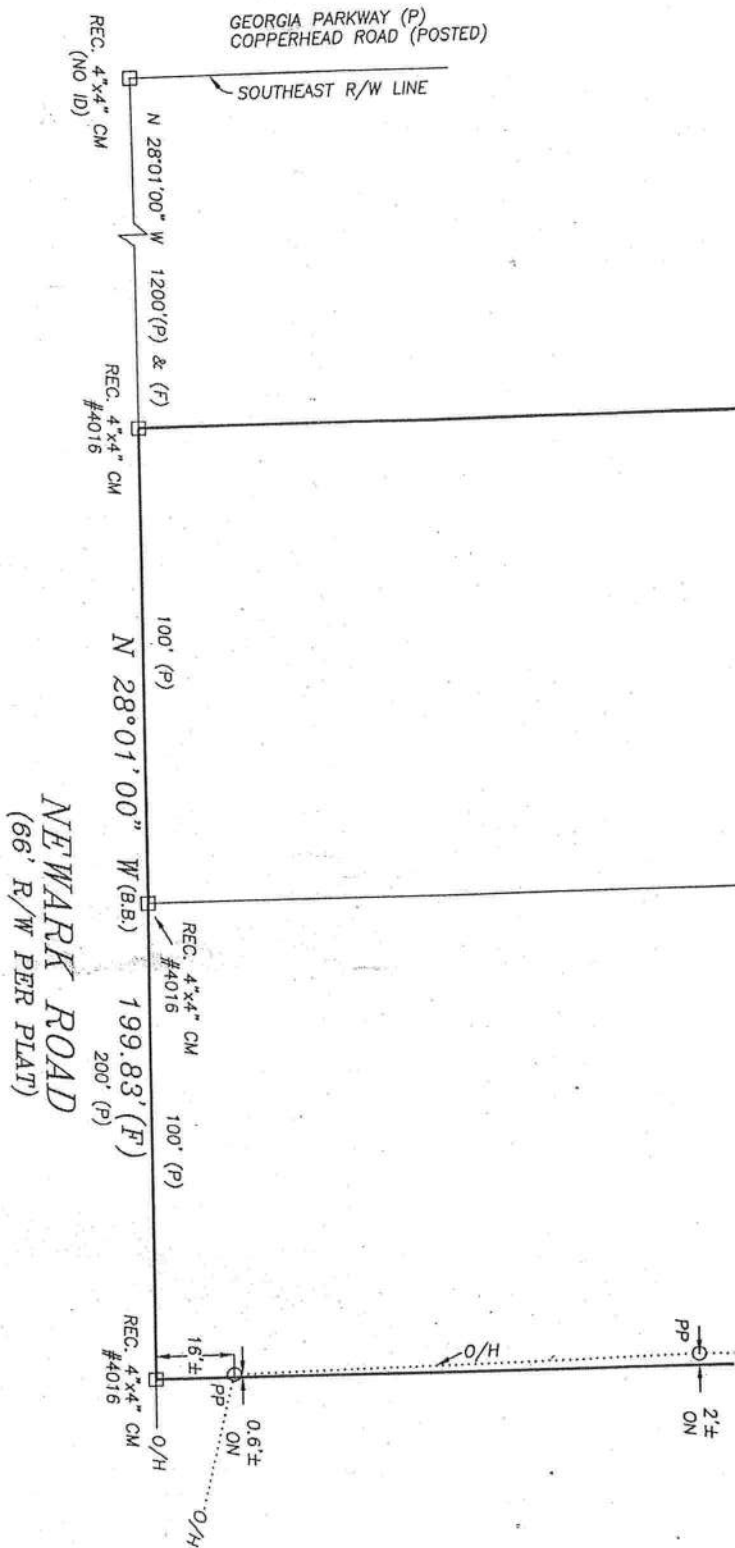
Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000700	MISC RES (MKT)	2.000 LT - (1.836AC)	1.00/1.00/1.00/1.00	\$18,000.00	\$36,000.00
009945	WELL/SEPT (MKT)	1.000 UT - (.000AC)	1.00/1.00/1.00/1.00	\$2,000.00	\$2,000.00

Columbia County Property Appraiser

DB Last Updated: 11/15/2007

[illegible]



GRUSENMEYER-SCOTT & ASSOC., INC. - LAND SURVEYORS

5400 E. COLONIAL DR. ORLANDO, FL. 32807 (407)-277-3232 FAX (407)-658-1436

- NOTES: 1. THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61017-6 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472-027 FLORIDA STATUTES.
2. UNLESS EMBOSSED WITH SURVEYOR'S SEAL, THIS SURVEY IS NOT VALID AND IS PRESENTED FOR INFORMATIONAL PURPOSES ONLY.
3. THIS SURVEY WAS PREPARED FROM TITLE INFORMATION FURNISHED TO THE SURVEYOR. THERE MAY BE OTHER RESTRICTIONS OR EASEMENTS THAT AFFECT THIS PROPERTY.
4. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED UNLESS OTHERWISE SHOWN.
5. THIS SURVEY IS PREPARED FOR THE LOCATION OF IMPROVEMENTS HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
6. DIMENSIONS SHOWN FOR THE LOCATION OF IMPROVEMENTS HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
7. ELEVATIONS, IF SHOWN, ARE BASED ASSUMED DATUM AND ON THE LINE SHOWN AS BASE BEARING (B.B.)
8. ELEVATIONS, IF SHOWN, ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929, UNLESS OTHERWISE NOTED.
9. CERTIFICATE OF AUTHORIZATION No. 4596.

CERTIFIED BY:

James H. Berry #6262

TOM X. GRUSENMEYER, R.L.S. # 4714
JAMES W. SCOTT, R.L.S. # 4801
VERNON H. BERRY JR., R.L.S. # 6262

DATE
BOUNDARY: 10-08-05

SCALE 1" = 40'

DRAWN BY:

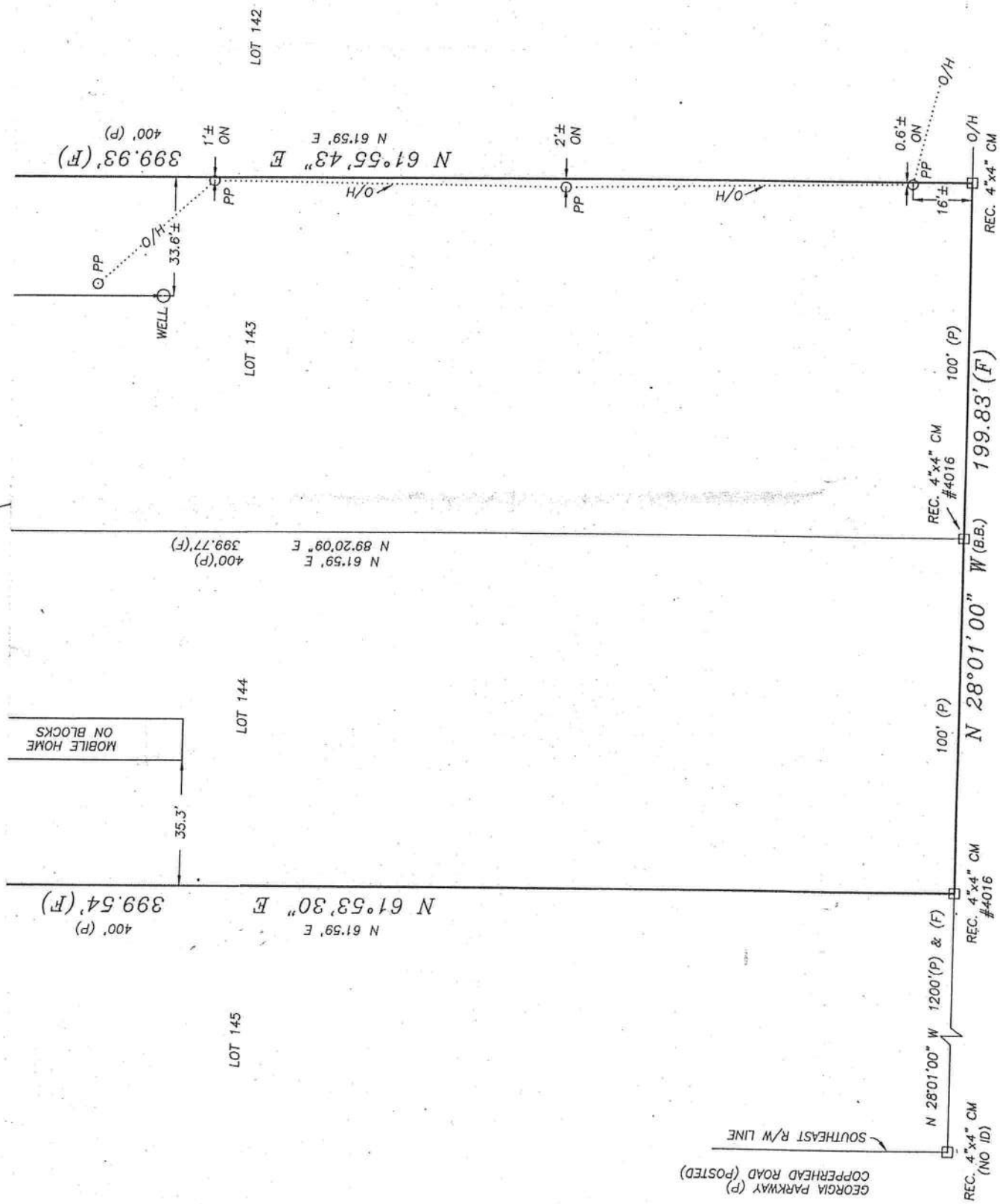
ORDER No.
CLYDIE

- LEGEND -
- PLAT
 - FIELD
 - IRON PIPE
 - CONCRETE MONUMENT
 - 1/2" I.R. W/ #18 4596
 - RECOVERED
 - POINT OF BEGINNING
 - POINT OF COMMENCEMENT
 - CENTERLINE
 - NAIL & DISK
 - RIGHT-OF-WAY
 - EASEMENT
 - DRAINAGE
 - CHAIN LINK FENCE
 - WOOD FENCE
 - CONCRETE BLOCK
 - POINT OF CURVATURE
 - POINT OF TANGENCY
 - DESCRIPTION
- LEGEND -
- RADIUS
 - ARC LENGTH
 - DELTA
 - CHORD BEARING
 - POINT ON LINE
 - TYPICAL
 - REVERSE CURVATURE
 - POINT OF COMPOUND CURVATURE
 - RADIAL
 - NON-RADIAL
 - WITNESS POINT
 - CALCULATED
 - PERMANENT MONUMENT
 - FINISHED FLOOR ELEVATION
 - BUILDING SETBACK LINE
 - BENCHMARK
 - BASE BEARING



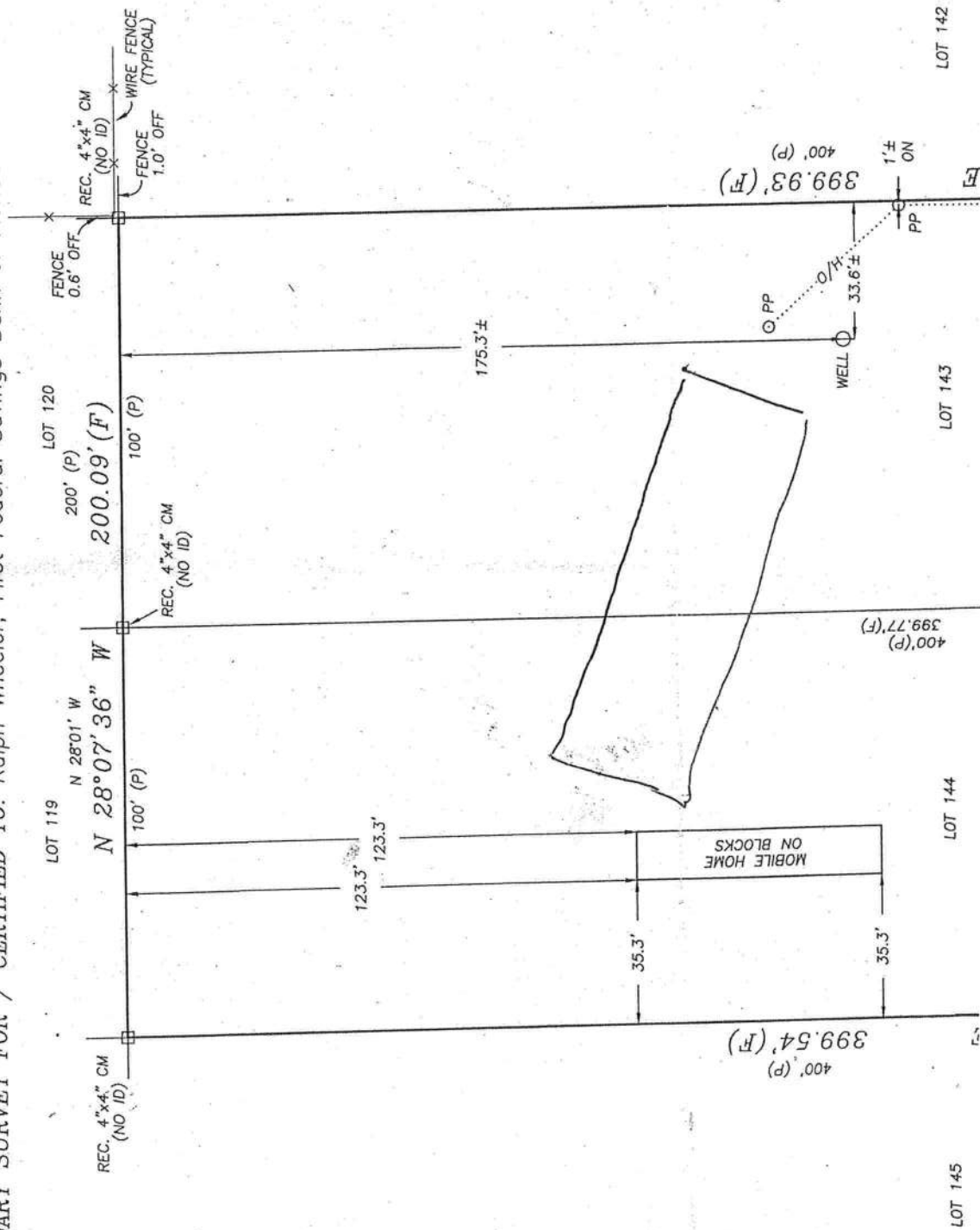
THIS BUILDING/PROPERTY DOES NOT LIE WITHIN THE ESTABLISHED 100 YEAR FLOOD PLANE AS PER "IRM" ZONE "X"

PANEL #120070 0255 B (01-06-88)



DESCRIPTION AS FURNISHED: Lots 143 and 144, THREE RIVERS ESTATES - UNIT NO. 21, as recorded in Plat Book 6,
Page 15 of the Public Records of Columbia County, Florida.

BOUNDARY SURVEY FOR / CERTIFIED TO: Ralph Wheeler; First Federal Savings Bank of Florida



LETTER OF AUTHORIZATION

Date: 12/20/07

Columbia County Building Department
P.O. Box 1529
Lake City, FL 32056

I TERRY L THRIFT, License No. 1H-0000036 do hereby

Authorize Wendy Grennell to pull and sign permits on my
behalf.

Sincerely,

Terry L. Thrift

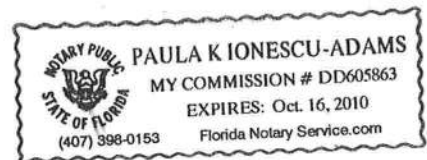
Sworn to and subscribed before me this 27 day of December, 2007

Notary Public: Paula K. Ionescu-Adams

My commission expires: 10/16/2010

Personally Known

Produced Valid Identification: DR. License



MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said license shall be renewed annually, and each licensee shall pay a fee of \$150.

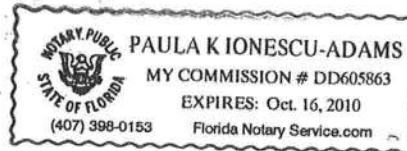
I, TERRY L. THREFF, license number IH 0000036
Please Print
do hereby state that the installation of the manufactured home for Rea
Applicant
at 2105 SW NEWARK DR.
911 Address
will be done under my supervision.

Terry L. Threff
Signature

Sworn to and subscribed before me this 27 day of December,
2007

Notary Public: Paula K. Ionescu-Adams
Signature
Paula K. Ionescu-Adams

My Commission Expires:
10/16/2010



AFFIDAVIT

I certify that the following described mobile home being placed on the referenced parcel is not a Wind Zone 1 mobile home.

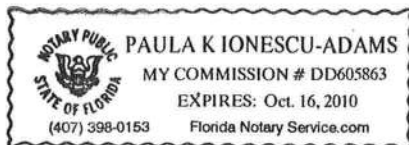
Customer's Name: Judith + Joyce Rea
Property ID: Sec: 00 Twp: 00 Rge: 00 Tax Parcel No: 01380-000
Lot: 143+144 Block: _____ Subdivision: Three Rivers Estates
Mobile Home Year/Make: 05 Homes of Merit Size: 32x76

Terry L. Thrift
Signature of Mobile Home Installer

Sworn to and subscribed before me this 27 day of December, 20 07
by Terry Thrift

Paula K. Ionescu-Adams
Notary's name printed/typed

Paula K. Ionescu-Adams
Notary Public, State of Florida
Commission No. DD605863
Personally Known: _____
Produced ID (type) DR. License



PERMIT WORKSHEET

page 1 of 2

PERMIT NUMBER

Installer

Terry L. Thrift License # 1A-0000036

Address of home
being installed2105 SW Newaek Dr
Ft White FL 32038

Manufacturer

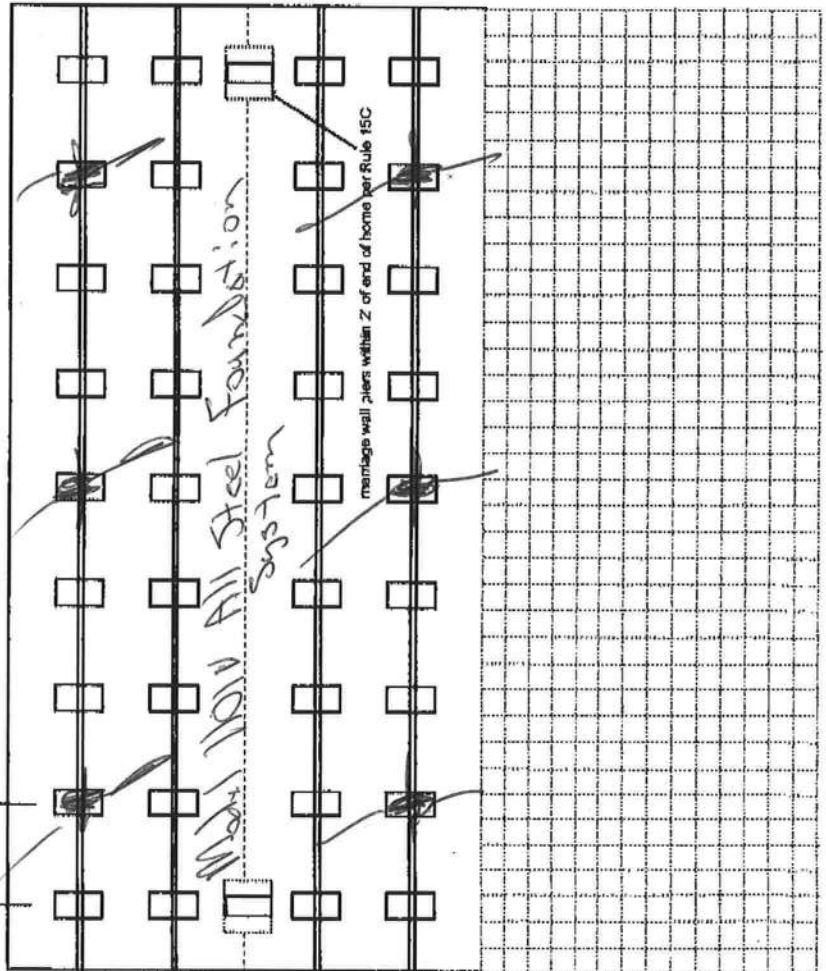
MORT Length x width 76' x 32'

NOTE: if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of homeI understand Lateral Arm Systems cannot be used on any home (new or used)
where the sidewall ties exceed 5 ft 4 in.

Installer's initials

TLT

Typical pier spacing

Show locations of Longitudinal and Lateral Systems
(use dark lines to show these locations)New Home ☐ Used Home ☒Home installed to the Manufacturer's Installation Manual ☐Home is installed in accordance with Rule 15-C ☒Single wide ☐ Wind Zone II ☒ Wind Zone III ☐Double wide ☒ Installation Decal # 166822Triple/Quad ☐ Serial # 29527

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16' x 16" (256)	18 1/2' x 18 1/2" (342)	20' x 20" (400)	22' x 22" (484)*	24' x 24" (576)*	26' x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size

15" x 25"

Perimeter pier pad size

15" x 16"

Other pier pad sizes (required by the mfg.)

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

12'-4"

15" x 25"

13'-4"

15" x 25"

9'-8"

15" x 25"

TEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer

OTHER TIES

Number

Sidewall

Longitudinal

Marriage wall

Shearwall

ANCHORS

4 ft

5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

PERMIT WORKSHEET

page 2 of 2

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

X 1500 250 X 1500 250

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1500 250 X 1500 250

TORQUE PROBE TEST

The results of the torque probe test is 285 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft. anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg.

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Site Preparation

Debris and organic material removed Swale Pad Other

Fastening multi wide units

Floor: Type Fastener: Length: 6" Spacing: 24" x 32" = 2
Walls: Type Fastener: Length: 10" Spacing: 32" = 2
Roof: Type Fastener: Length: 10" Spacing: 32" = 2
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket Pg. Form TAP
Installed:
Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No
Dryer vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other :

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Date

12/19/07

Applicant shall provide layout from manufacturer specific to the model installed. This form may be used if the layout from the manufacturer is not available.

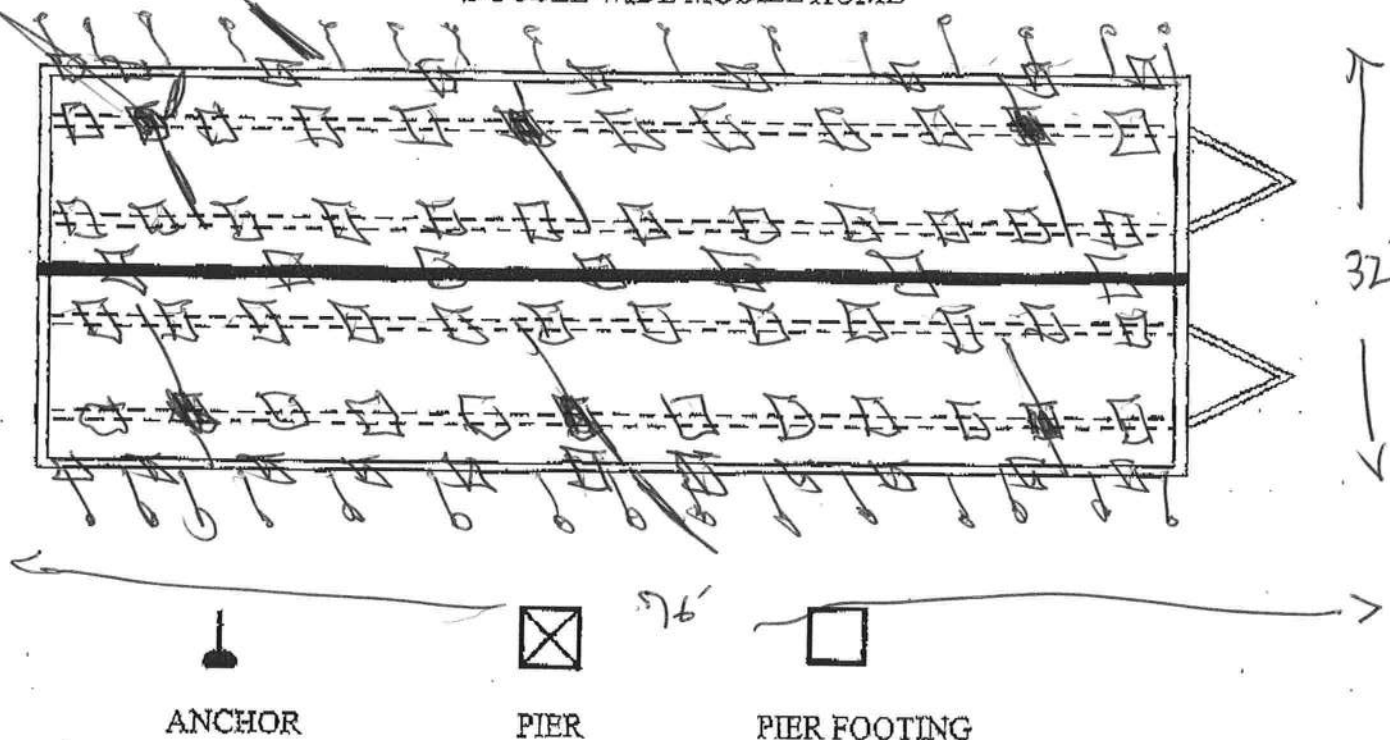
SINGLE WIDE MOBILE HOME

PSF- 1500 on 17"x25" Pads at 6' 0" <
 Torque- 285 with 3150 4x4 anchors at 5' 4" 0<
 Perimeter Block on 16"x16" Pads at 8' 0<

Model 110V All Steel
 Foundation System

Used Merit 32'x72' Box (Ray)

DOUBLE WIDE MOBILE HOME



Show all pier (with size of piers & pads) and anchor location, with maximum spacing and distance from end walls, as required in the manufacturer's specifications. Any special pier footing required (over 16 x 16 inches) shall be noted separately with required dimensions per the manufacturer's specifications. To determine footing size and spacing, a soil bearing capacity test shall be used. Pier footings to be poured-in-place, whether required by manufacturer's specifications or by preference, must be inspected by the Building Department prior to pouring.

BUILDING + CONING PERMITS: 386-758-0160

JAN 03 2008 10:06PM

DATE RECEIVED 1/3 BY Jim IS THE M/H ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? NO
OWNER NAME Judith + Joyce Rea PHONE 813-310-3859 CELL 813-695-9054
ADDRESS 2105 SW Newmark Drive Fort White FL
MOBILE HOME PARK NA SUBDIVISION Three Rivers Estates
DRIVING DIRECTIONS TO MOBILE HOME Hwy 90 west to 253 B (L) to Deputy J. Lane
R. to C+G Homes on (L) x see Sherrie x
MOBILE HOME INSTALLER Terry Thrift PHONE 386-752 4210 CELL 386-623 6115

MOBILE HOME INFORMATION

MAKE Homes of Merit YEAR 2005 SIZE 32 x 76 ^{box} COLOR Gray
SERIAL NO 29527
WIND ZONE 11 Must be wind zone 11 or higher NO WIND ZONE 1 ALLOWED

INSPECTION STANDARDS

INTERIOR:

(P or F) P = PASS F = FAILED

SMOKE DETECTOR () OPERATIONAL () MISSING

FLOORS () SOLID () WEAK () HOLES DAMAGED LOCATION _____

DOORS () OPERABLE () DAMAGED

WALLS () SOLID () STRUCTURALLY UNSOUND

WINDOWS () OPERABLE () INOPERABLE

PLUMBING FIXTURES () OPERABLE () INOPERABLE () MISSING

CEILING () SOLID () HOLES () LEAKS APPARENT

ELECTRICAL (FIXTURES/OUTLETS) () OPERABLE () EXPOSED WIRING () OUTLET COVERS MISSING () LIGHT FIXTURES MISSING

EXTERIOR:

WALLS / SIDING () LOOSE SIDING () STRUCTURALLY UNSOUND () NOT WEATHERTIGHT () NEEDS CLEANING

WINDOWS () CRACKED / BROKEN GLASS () SCREENS MISSING () WEATHERTIGHT

ROOF () APPEARS SOLID () DAMAGED

STATUS:

APPROVED / WITH CONDITIONS: _____

NOT APPROVED _____ NEED REINSPECTION FOR FOLLOWING CONDITIONS: _____

SIGNATURE

[Signature]

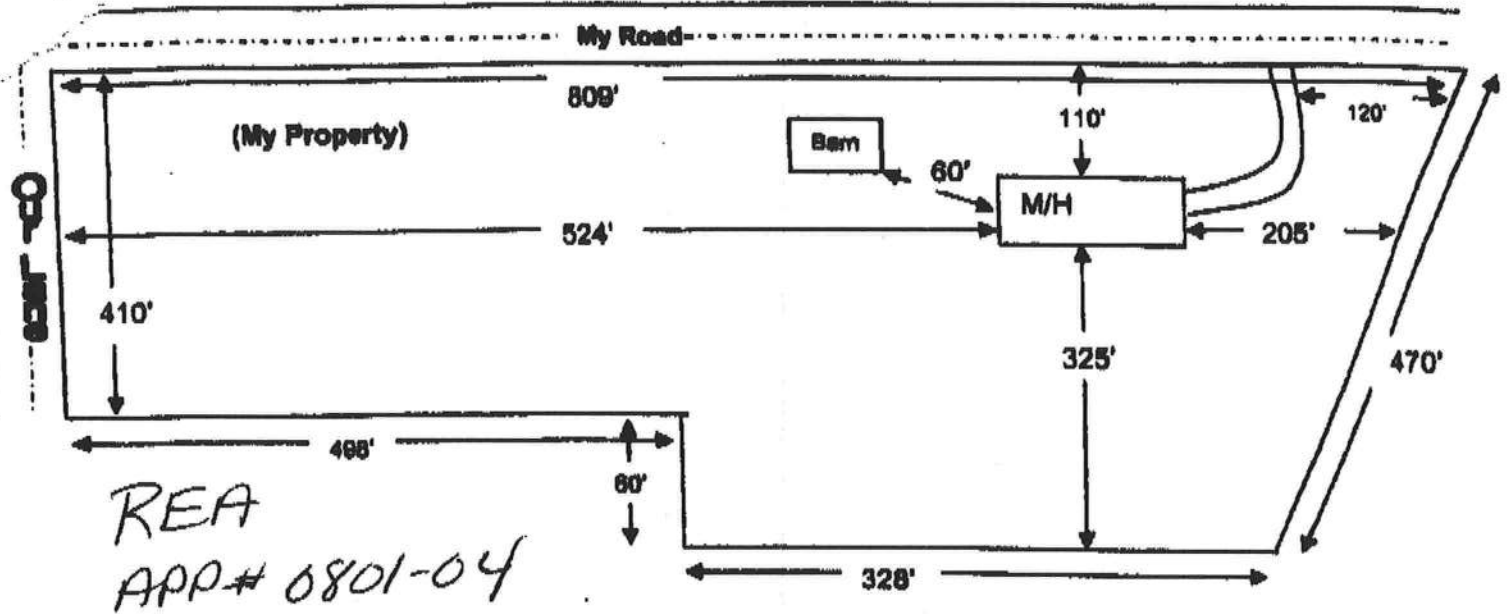
ID NUMBER

402

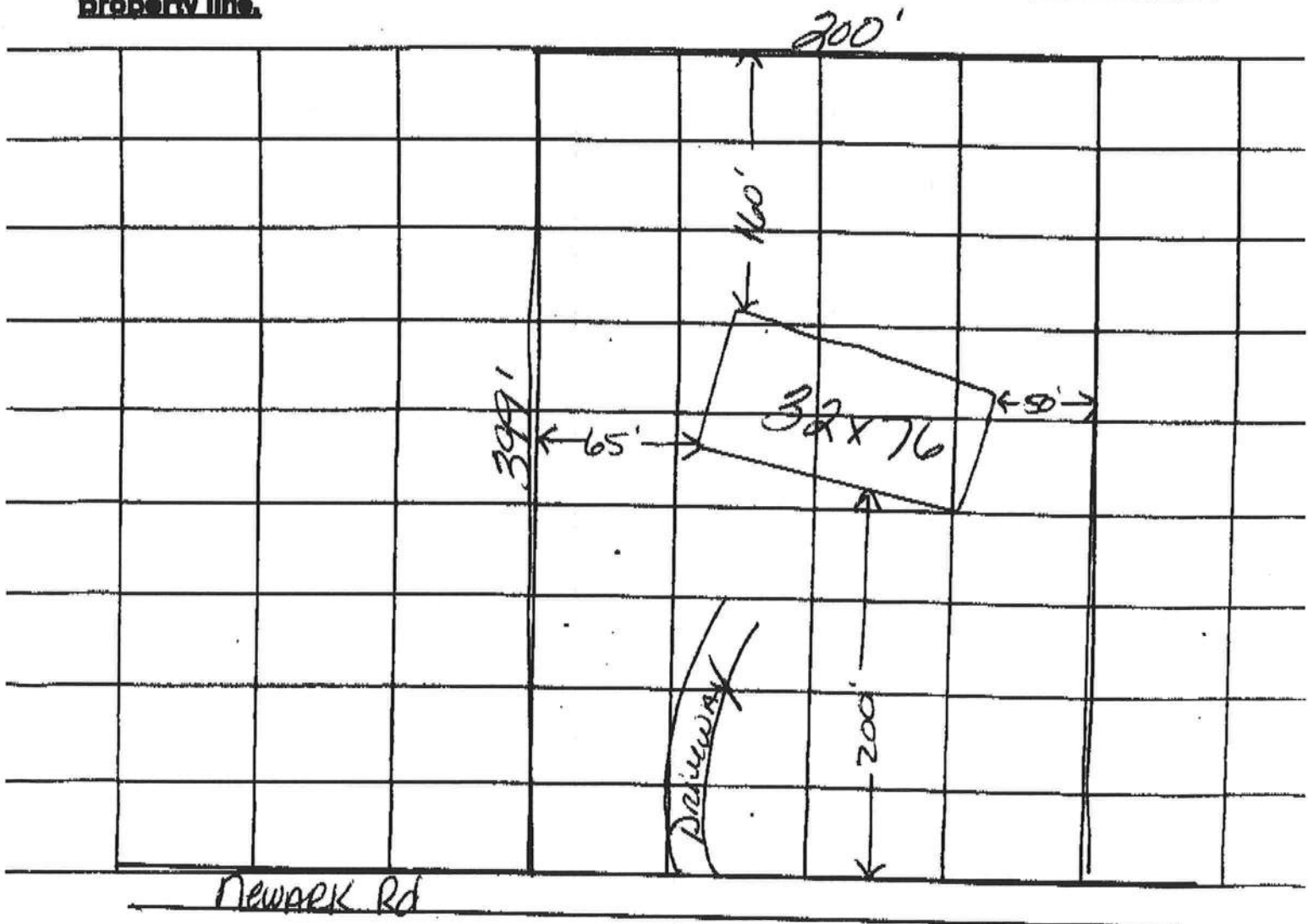
DATE

1-3-08

0801-04^{REA} SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them. Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.



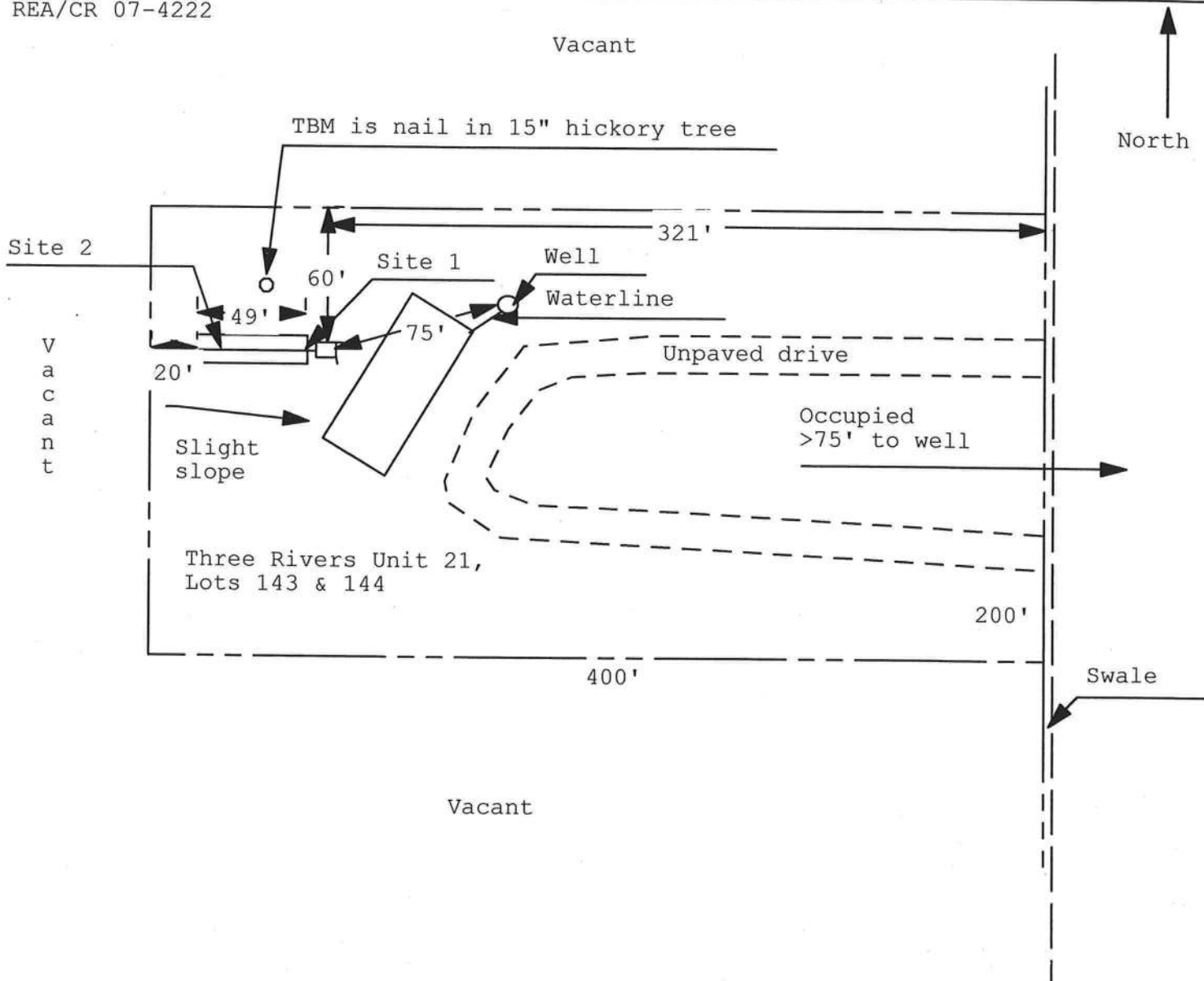


Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan

Permit Application Number: 08-0017 .REA

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

REA/CR 07-4222



1 inch = 70 feet

Site Plan Submitted By Paul Lloyd Date 1/4/08
Plan Approved ☒ Not Approved ☐ Date 1-9-09

By MA 76 Columbia CPHU

Notes: _____

**COLUMBIA COUNTY
FLORIDA**

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 36-6S-15-01380-000

Building permit No. 000026594

Permit Holder TERRY THRIFT

Owner of Building JUDITH REA

Location: 2105 SW NEWARK DR, FT WHITE, FL 32038



Date: 02/14/2008

Tany Dicks

Building Inspector

**POST IN A CONSPICUOUS PLACE
(Business Places Only)**