

DATE 01/22/2008

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000026650

APPLICANT JOHN MARTORANA PHONE 352.307.9416
ADDRESS 15855 SE HWY 301 SUMMERFIELD FL 34491
OWNER ROBERT J. GLENN PHONE 386.937.9862
ADDRESS 398 SW BEAR LANE FT. WHITE FL 32038
CONTRACTOR THOMAS G. JENNINGS PHONE 863.965.0883
LOCATION OF PROPERTY 47-S TO US 27-S TO TIMUQUA TERRACE, TL TO BEAR, TR TO LAST
LOT ON R @ THE CUL-DE-SAC.
TYPE DEVELOPMENT M/H/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 12-7S-16-04184-007 SUBDIVISION GLENN FARMS - UNREC.
LOT 6 BLOCK PHASE UNIT TOTAL ACRES 10.20

IH0000121
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 08-0020 CFS JTH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD

Check # or Cash 8675

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 350.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 425.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only		Zoning Official <u>dfs 1/16/08</u>		Building Official <u>OK JTH 1-16-08</u>	
AP# <u>0801-70</u>	Date Received <u>1/15</u>	By <u>JW</u>	Permit # <u>26450</u>		
Flood Zone <u>X</u>	Development Permit <u>N/A</u>	Zoning <u>A-3</u>	Land Use Plan Map Category <u>A-3</u>		
Comments _____					
FEMA Map # _____	Elevation _____	Finished Floor _____	River _____	In Floodway _____	
<input checked="" type="checkbox"/> Site Plan with Setbacks shown <input checked="" type="checkbox"/> Environmental Health Signed Site Plan <input checked="" type="checkbox"/> Env. Health Release					
<input checked="" type="checkbox"/> Well letter provided <input type="checkbox"/> Existing Well Revised 9-23-04					

- **Property ID** 12-75-16-04184-007 **Must have a copy of the property deed**
- **New Mobile Home** ☒ **Used Mobile Home** _____ **Year** 2008
- **Subdivision Information** LOT 6 GLENN FARM UNREC
- **Applicant** JOHN MARTORANA **Phone #** 352-307-9416
- **Address** 15855 SE HWY 301 SUMNER FIELD FL 3449
- **Name of Property Owner** ROBERT J. GLENN **Phone#** 386-937-9862
- **911 Address** 398 SW BEAR LN FT WHITE 32038
- **Circle the correct power company -** FL Power & Light Clay Electric

(Circle One) - Suwannee Valley Electric - Progressive Energy
- **Name of Owner of Mobile Home** ROBERT J. GLENN **Phone #** 386-937-9862
- **Address** 101 RANCHETTE TRAIL PALATKA FL 32177
- **Relationship to Property Owner** SENT
- **Current Number of Dwellings on Property** 0
- **Lot Size** 903' X 500' **Total Acreage** 10.2
- **Do you : Have an** Existing Drive **or need a** Culvert Permit **or a** Culvert Waiver Permit
- **Driving Directions** SR 47 SOUTH TO FT. WHITE (L) ON US 27 SOUTH
APPROX 2 1/2 miles to Tanque Rd (L) TO BEAR LN (R) TO END
LAST ON RIGHT
- **Is this Mobile Home Replacing an Existing Mobile Home** YES - ALREADY REMOVED
- **Name of Licensed Dealer/Installer** Thomas G. Jennings **Phone #** 863-965-0883
- **Installers Address** PO Box # 1428 Auburndale FL 33823
- **License Number** TH0000121 **Installation Decal #** 287804

- JW called John 1/16/08.

POWER OF ATTORNEY

TO WHOM IT MAY CONCERN:

DATE: 1-10-08

I THOMAS G. JENNINGS STATE LICENSE# JH0000121
COUNTY# _____

DO AUTHORIZE **JOHN J. MARTORANA AND/OR SALVATORE J MARTORANA**

TO SIGN PERMIT APPLICATIONS AND PICK UP IN MY NAME FOR ANY
WORK IN THE COUNTY/CITY OF COLUMBIA

☐ THIS PERMISSION IS GIVEN FOR _____ JOB AT _____

☒ THIS PERMISSION IS GIVEN UNTIL FURTHER NOTICE.

Thomas G. Jennings
SIGNATURE

I hereby certify that on this day, before me, an officer duly authorized in the State of Florida
County of MARION to take acknowledgements, personally appeared
Thomas G. Jennings, who is personally known to me or who has
produced _____ as identification.

WITNESS my hand and official seal this 10 day of JAN 2008

Deloris Ann Nathe

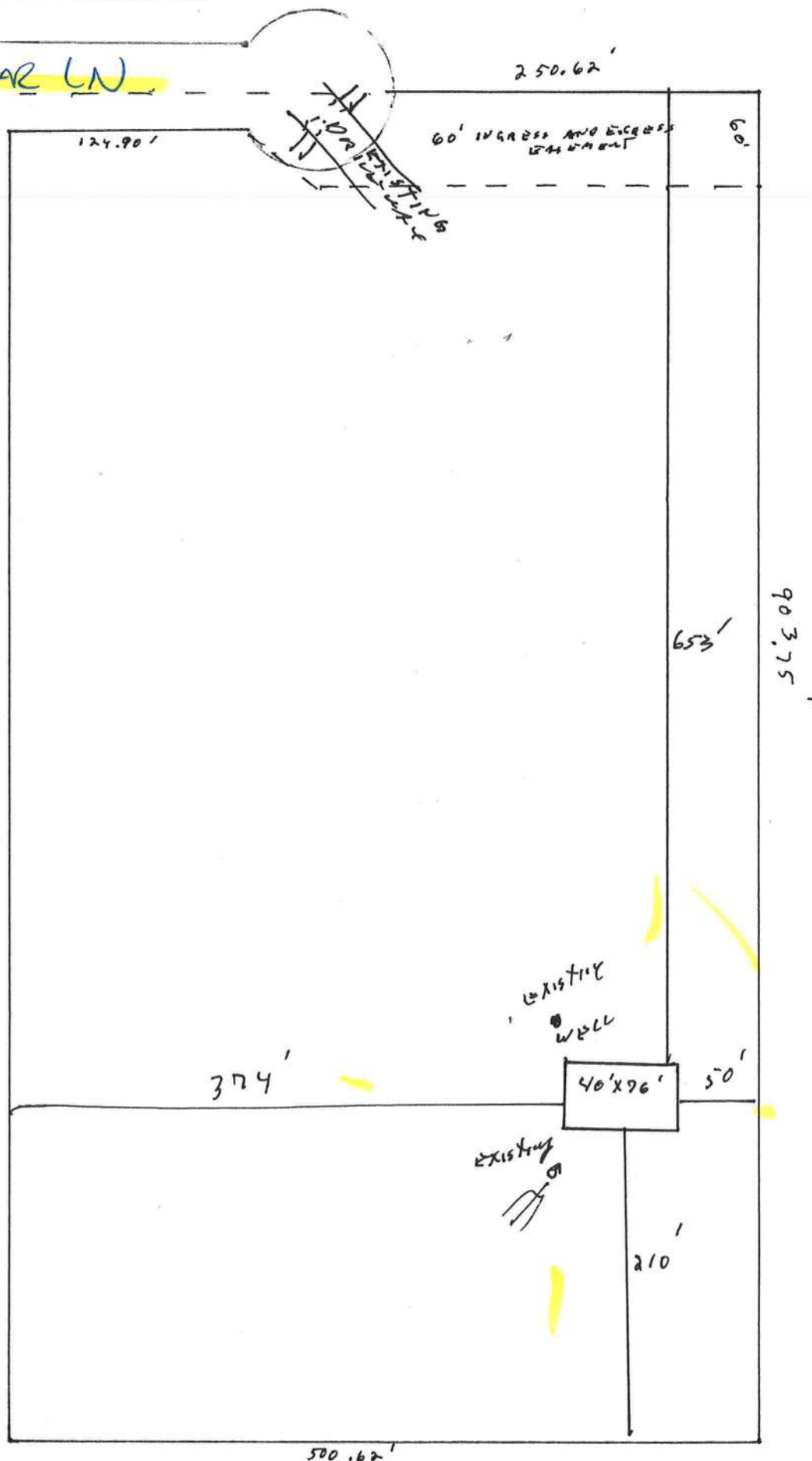
Seal

Official Seal
DELORIS ANN NATHE
Notary Public, State of Florida
My comm. expires Sept. 4, 2008
Comm No DD346737



Site Plan For : ROBERT J. GLENN
Lot 6 Subdivision GLENN FARMS UNREC.
Sec 12 Twn 7S Rng 16-04184-007
Scale 1" = 100'

B98 - BEAR LN



THIS CORRECTIVE QUIT CLAIM DEED, executed the 19th day of September A.D. 2007 by
Sundance LLP

First party, to
Whose post office address is

Robert J. Glenn and Michelle R. Glenn, his wife
101 Ranchette Trail
Palatka, FL 32177

Second party/

WITNESSETH: That the first party, gave as a gift to the second party, does hereby remise, release, and quit claim unto the second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situated, lying and being in the County of Columbia, State of Florida, to-wit:

Section 12 Township 7 South, Range 16 East

Lot 6 Glenn Farms, hereinafter being referred to as Glenn Farms, an unrecorded subdivision as surveyed by Columbia County land surveyors. Aka 698 SW Bear Lane, Fort White, FL 32038

See attached for full legal description.

Note: This is a corrective deed for instrument number 200712017900 book 1127 page 1669 and Instrument number 200712020760.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or in equity to the only proper use, benefit and behoof of the said second party forever.

INWITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

Sundance LLP

Signed, sealed and delivered in the presence of:

Thomas J. Duncan
signature

Thomas J. Duncan
printed signature

Juan E. Moore
signature

SUSAN E. MOORE
printed signature

STATE OF FLORIDA;

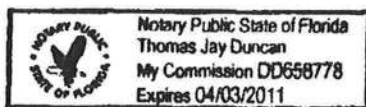
COUNTY OF COLUMBIA:

Judy Glenn
Judy Glenn
Manager/Owner
Sundance LLP

Inst:200712021541 Date:9/21/2007 Time:2:25 PM
Doc Stamp-Deed:0.00
DC,P DeWitt Cason, Columbia County Page 1 of 2

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared Judy Glenn, manager/owner of Sundance LLP, who is personally known to me and who did take an oath, to me known to be the persons described in and who executed the foregoing instrument and she acknowledged before me that she executed the same.

Witness my hand and official seal in the County and State last aforesaid this 19th day of September, 2007.



Thomas J. Duncan
Notary Public
Thomas J. Duncan
Printed Notary Name, Expiration Date, Seal
04/03/2011

(AKA LOT 6 GLENN FARMS UNR): GLENN ROBERT J & MICHELLE R 12-7S-16-04184-007 Columbia County 2008 R
COMM NW COR, RUN S 1759.92 FT, 101 RANCHETTE TRAIL PALATKA, FL 32177
E 3457.31 FT FOR POB, CONT E
159.85 FT TO A PT OF A CURVE, PRINTED 11/15/2007 17:24 CARD 001 of 001
APPR 10/18/2007 JS BY JEFF

AE? HTD AREA 12716.01 GLENN AC PUSE 009900 NO AG ACREAGE
EFF AREA 37.257 E-RATE .000 INDX STR 12- 7S- 16
RCN MKT AREA 02
%GOOD BLDG VAL
FIELD CK:
#LOC: 698 BEAR LN SW FT WHITE
BATH
FIXT
BDRM
RMS
UNTS
C-W%
HGHT
PMTR
STYS
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SUB A-AREA % E-AREA SUB VALUE

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UD-9
A-AREA % E-AREA SUB VALUE
SUB A-AREA % E-AREA SUB VALUE



IMPERIAL POLK COUNTY LOCAL BUSINESS TAX RECEIPT



LICENSE / ACCT # 1820000004
 LOCATION 229 ARIANA AVE
 2 - AUBURNDALE - NOT IN CITY
 OWNER THOMAS JENNINGS

EXPIRES 9/30/2008
 CLASS **B**

230180 CONTRACTOR MOBILE HOME SETUP

JENNINGS' MOBILE HOME SET UP

PO BOX 1428
 AUBURNDALE FL 33823-0000

BUS TAX TYPE	RENEWAL	ADDL FEE	TOTAL
BASE TAX	55.00		55.00

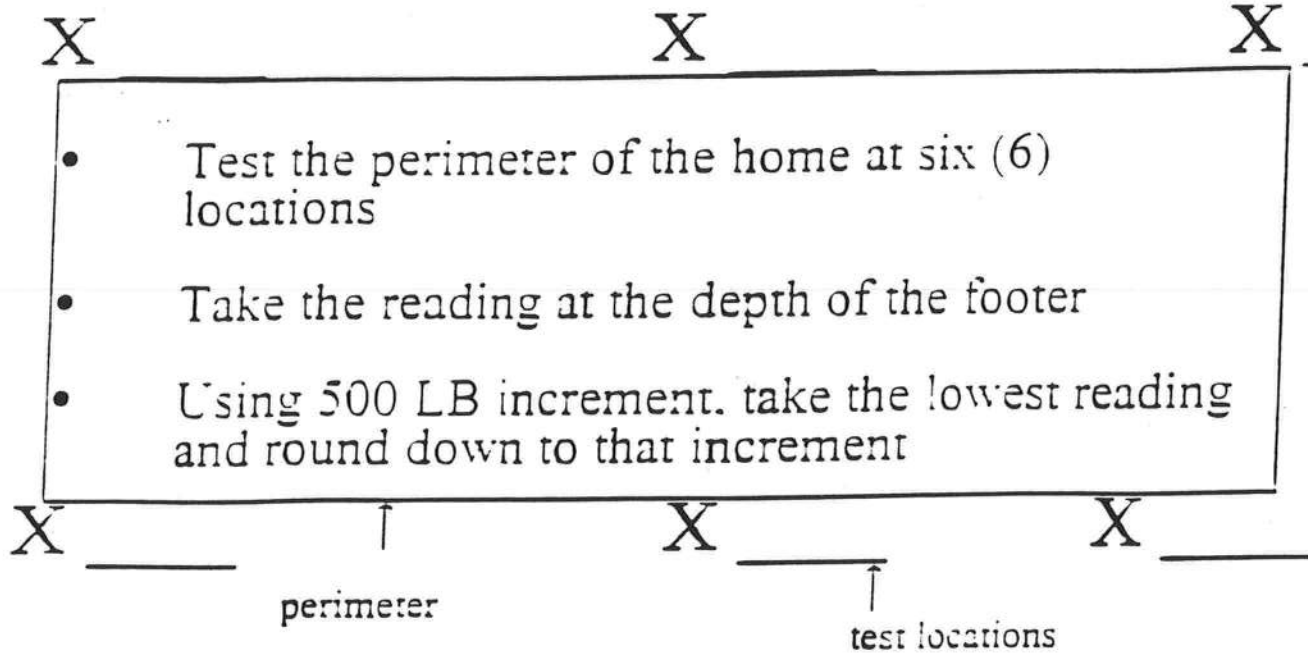
JOE G. TEDDER, TAX COLLECTOR 301 E MAIN ST, PO BOX 2016, DARTMOUTH, FL 33831-2016 TEL (888) 534-4731 WWW.POLKFLATAXES.COM

THIS POLK COUNTY LOCAL BUSINESS TAX RECEIPT MUST BE CONSPICUOUSLY DISPLAYED AT THE BUSINESS LOCATION

PAID-1202771-0001-0001 12 08/09/2007 55.00

Florida *Shine State*
 DRIVER LICENSE CLASS E
J552-827-63-084-0
 THOMAS GUY JENNINGS
 6634 OLD BERKLEY ROAD
 AUBURNDALE, FL 33823-8365
 DOB: 03-04-1963 SEX: M HGT: 5-08
 ISSUED: 03-02-2006
 EXPIRES: 03-04-2010
 ORGAN DONOR
 X620603021828
 Operation of a motor vehicle constitutes consent to any laboratory test required by law.

2007-08 Mobile Home Installer License
 Licensee: **Thomas G. Jennings**
 License Number: **IH00000121**
 Effective Date **10-1-07**
 Expiration Date **9-30-08**
 State of Florida - Department of Highway Safety and Motor Vehicles - Division of Motor Vehicles



This Site Rounded Down to 1000 PSF

- Test must be performed by a licensed installer.

Date Tested: ASSUMED

Licensed Installer Name: THOMAS GUY JENNINGS

License Number: 11400000/21

I hereby certify that this test was performed at the address.

Thomas G. Jennings
Licensed Signature

SECTION 3 – BLOCKING AND LEVELING PROCEDURE

GENERAL NOTES AND TABLES

TABLE 2

PIER SPACING TABLES - FIXED SIZE FOOTING PAD
I-BEAM PIERS WITH PERIMETER BLOCKING - SEE NOTE (1)

	PIER LOCATION	ROOF LIVE LOAD PSF	SOIL CAPACITY (PSF)	SPANS							
				16"x16"x4" OR DOUBLE 8"x16"x4" (NOTE 5)				DOUBLE 16"x16"x4" (SEE NOTE 5)			
				12-WIDE	14-WIDE	16-WIDE	18-WIDE	12-WIDE	14-WIDE	16-WIDE	18-WIDE
S: O: U: T: H:	I-BEAM	20	1000	5'-11"	5'-1"	4'-6"	4'-0"	12'-0"	10'-7"	9'-4"	8'-3"
			1500	9'-2"	7'-10"	6'-11"	6'-2"	12'-0"	12'-0"	12'-0"	12'-0"
			2000	12'-0"	10'-7"	9'-4"	8'-3"	12'-0"	12'-0"	12'-0"	12'-0"
			2500	12'-0"	12'-0"	11'-9"	10'-5"	12'-0"	12'-0"	12'-0"	12'-0"
			3000	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"
	PERIMETER (SEE NOTE 2)	20	1000	5'-8"	4'-8"	4'-5"	3'-10"	8'-0"	8'-0"	8'-0"	8'-0"
			1500	8'-0"	7'-3"	6'-10"	6'-0"	8'-0"	8'-0"	8'-0"	8'-0"
			2000	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"
			2500	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"
			3000	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"
M: I: D: D: L: E:	I-BEAM	30	1000	5'-11"	5'-1"	4'-6"	4'-0"	12'-0"	10'-7"	9'-4"	8'-3"
			1500	9'-2"	7'-10"	6'-11"	6'-2"	12'-0"	12'-0"	12'-0"	12'-0"
			2000	12'-0"	10'-7"	9'-4"	8'-3"	12'-0"	12'-0"	12'-0"	12'-0"
			2500	12'-0"	12'-0"	11'-9"	10'-5"	12'-0"	12'-0"	12'-0"	12'-0"
			3000	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"
	PERIMETER (SEE NOTE 2)	30	1000	4'-7"	3'-10"	3'-8"	3'-2"	8'-0"	8'-0"	7'-8"	6'-8"
			1500	7'-0"	5'-10"	5'-8"	5'-0"	8'-0"	8'-0"	8'-0"	8'-0"
			2000	8'-0"	8'-0"	7'-8"	6'-8"	8'-0"	8'-0"	8'-0"	8'-0"
			2500	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"
			3000	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"
N: O: R: T: H:	I-BEAM	40	1000	5'-11"	5'-1"	4'-6"	4'-0"	12'-0"	10'-7"	9'-4"	8'-3"
			1500	9'-2"	7'-10"	6'-11"	6'-2"	12'-0"	12'-0"	12'-0"	12'-0"
			2000	12'-0"	10'-7"	9'-4"	8'-3"	12'-0"	12'-0"	12'-0"	12'-0"
			2500	12'-0"	12'-0"	11'-9"	10'-5"	12'-0"	12'-0"	12'-0"	12'-0"
			3000	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"
	PERIMETER (SEE NOTE 2)	40	1000	3'-10"	3'-3"	3'-2"	2'-9"	8'-0"	6'-9"	6'-6"	5'-8"
			1500	5'-11"	5'-0"	4'-10"	4'-3"	8'-0"	8'-0"	8'-0"	8'-0"
			2000	8'-0"	6'-9"	6'-6"	5'-8"	8'-0"	8'-0"	8'-0"	8'-0"
			2500	8'-0"	8'-0"	8'-0"	7'-2"	8'-0"	8'-0"	8'-0"	8'-0"
			3000	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"

TABLE 2.1

PIER SPACING TABLES - FIXED SIZE FOOTING PAD
I-BEAM PIERS WITH PERIMETER BLOCKING - SEE NOTE (1)

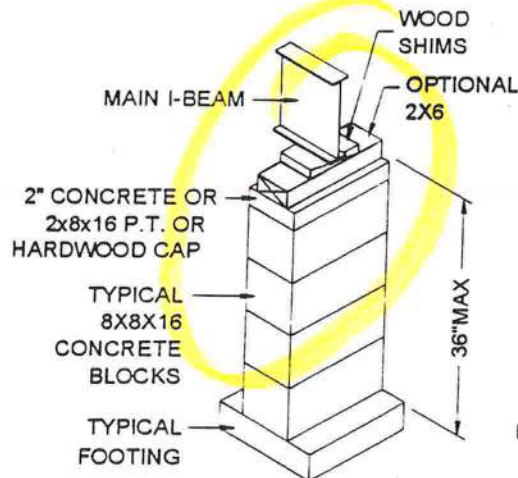
		PIER LOCATION	ROOF LIVE LOAD (PSF)	PIER SPACING	FOOTER LOAD (POUNDS)							
					12-WIDE	14-WIDE	16-WIDE	18-WIDE				
S E O U T H	I-BEAM	20	4'- 0"	965	1060	1150	1240	CENTERLINE PIERS FOR DOUBLEWIDES (SEE NOTE 3)				
			6'- 0"	1450	1585	1715	1855					
			8'- 0"	1925	2115	2285	2475					
			10'- 0"	2405	2645	2860	3095					
			12'- 0"	2890	3170	3430	3710					
PERIMETER (see Note2)	20	4'- 0"	1190	1360	1550	1760	2055	2475	2860	3280		
		6'- 0"	1780	2035	2325	2640	3080	3710	4290	4920		
		8'- 0"	2375	2715	3100	3520	4110	4950	5720	6560		
M I D D L E	I-BEAM	30	4'- 0"	965	1060	1150	1240	CENTERLINE PIERS FOR DOUBLEWIDES (SEE NOTE 3)				
			6'- 0"	1450	1585	1715	1855					
			8'- 0"	1925	2115	2285	2475					
			10'- 0"	2405	2645	2860	3095					
			12'- 0"	2890	3170	3430	3710					
PERIMETER (see Note2)	30	4'- 0"	1475	1670	1900	2150	2520	3020	3480	3980		
		6'- 0"	2210	2505	2850	3225	3780	4530	5220	5970		
		8'- 0"	2950	3340	3800	4300	5040	6040	6960	7960		
N O R T H	I-BEAM	40	4'- 0"	965	1060	1150	1240	CENTERLINE PIERS FOR DOUBLEWIDES (SEE NOTE 3)				
			6'- 0"	1450	1585	1715	1855					
			8'- 0"	1925	2115	2285	2475					
			10'- 0"	2405	2645	2860	3095					
			12'- 0"	2890	3170	3430	3710					
PERIMETER (see Note2)	40	4'- 0"	1760	1985	2250	2540	2990	3570	4100	4680		
		6'- 0"	2640	2975	3375	3810	4480	5350	6150	7020		
		8'- 0"	3520	3970	4500	5080	5975	7135	8200	9360		



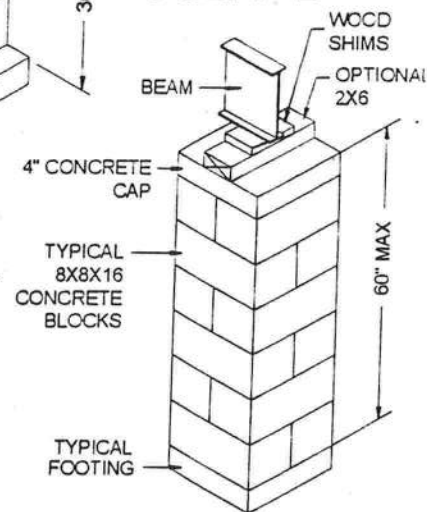
2.5. PIERS:

PIER "A":

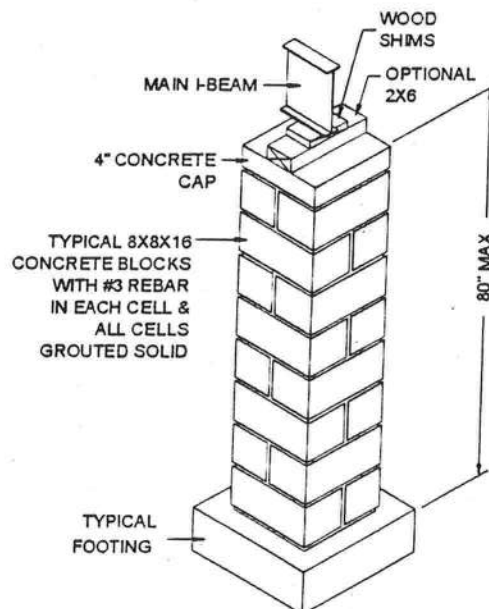
Constructed of a single stack of open cell 8"x8"x16 concrete blocks. The maximum pier height for Pier "A" is 36" when used as an I-Beam support and is installed with the 16" dimension perpendicular to the I-Beam. When used as an exterior perimeter support, the maximum height increases to 48", and is installed with the 16" dimension parallel to the perimeter rail. When used as an interior support (under marriage walls), the maximum height is 48". The pier is capped with a 2x8x16 solid concrete block, or per Note 1.

PIER "A"**PIER "B":**

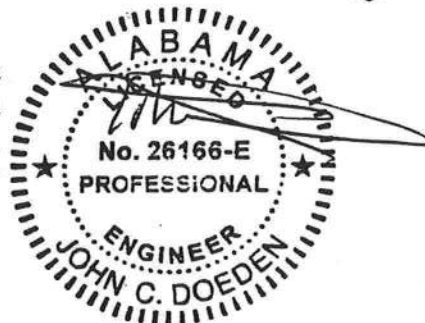
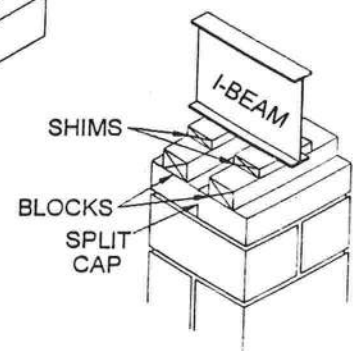
Constructed of an interlocked double stack of open cell 8"x8"x16 concrete blocks. The maximum height is 60" when used for I-Beam supports and 72", when used as an interior or exterior perimeter support. The pier is capped with a minimum 4"x16"x16" concrete cap or 2 minimum 4"x8"x16" concrete caps.

PIER "B"**PIER "C":**

Constructed of interlocked and double stacked open cell 8"x8"x16 concrete blocks. Blocks shall be in concrete mortar on a minimum 24"x24"x6" concrete footing. Four (4) continuous #3 reinforcing rods shall be inserted in the open cells and the cells filled with concrete. The maximum pier height is 80" when used for I-Beam supports and 92" when used for interior or exterior perimeter supports. The pier is capped with a minimum 4"x16"x16" concrete cap or 2 minimum 4"x8"x16" concrete caps, grouted to the pier.

PIER "C"**Notes:**

- 1.) Wood shims and caps are 0.42 or better specific gravity, such as Spruce-Pine-Fir, Yellow Pine, Hem- or Doug Fir.
- 2.) Concrete blocks are 8x16x8 (nominal) hollow cell load bearing CMU, manufactured in conformance with ASTM C 90. Hollow cells are vertical.
- 3.) Structural loads must be evenly distributed across capped hollow block piers as shown in the details. When split caps are used on piers 'B' and 'C', they must have blocks & shims between the I-beam and both pieces of the cap.





State of Florida
DEPARTMENT OF
HIGHWAY SAFETY AND MOTOR VEHICLES

TALLAHASSEE, FLORIDA 32399-0500

MEMORANDUM

FRANK A. DICKINSON, III
Assistant Director

June 14, 2002

TO: All Anchor and Component Manufacturers

FROM: Philip R. Bergall, Program Manager *P.B.*
Bureau of Mobile Home and Recreational Vehicle Construction

SUBJECT: Lateral Arm Stabilizer Systems

To ensure consumer protection and to ensure that minimum standards are met in the installation of Lateral Arm Stabilizing Systems, it is necessary for us to create uniform installation standards for these systems. A secondary benefit of uniform standards will be the clarification of installation procedures for installers and for county and city inspectors performing field oversight.

Effective immediately all Florida lateral arm stabilizing instructions will include the following prescriptive number of systems:

Four (4) systems up to 52 feet
Six (6) systems from 52 to 80 feet

Five (5) 12 pitch roofs will require a minimum of the following number of lateral arm stabilizing systems, unless a greater number is specified by your engineering:

Six (6) systems up to 52 feet
Eight (8) systems from 52 to 80 feet

Your instructions should contain the following three (3) notes:

Note: 1) The use of this system requires sidewall vertical ties at no greater than 5'4" on center and allows for the use of 4" anchors.

Note: 2) Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs. require a 5" anchor.

Note: 3) Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location.

PRODUCT TESTING, INC.

Street Address
111 Spring Street, Unit D
Jacksonville, Florida 32254

(904) 384-8150
FAX (904) 384-8154
EMAIL prodtestinc@msn.com

Mailing Address
P.O. Box 37834
Jacksonville, Florida 32238

Minute Man Anchors, Inc.
305 West King Street
East Flat Rock, NC 28726
Attn: Mr. Albert Moreno, President

June 8, 2004

RE: Model No. LLBS - Longitudinal & Lateral Bracing System
for Wind Zones II and III for Certification in the State of Florida
Clarification for Bracing Tube Installed Angle


Dear Mr. Moreno:


This letter is in reference to clarification for the bracing tube installed angle of your Model No. LLBS Longitudinal & Lateral Bracing System for Wind Zones II and III for Certification in the State of Florida.

The Model No. LLBS Longitudinal and Lateral Bracing System uses concrete masonry piers for providing support under the homes, not the LLBS bracing system itself. The 45 degree (45°) from horizontal angle shown on your installation drawing is a maximum value, as required by the State of Florida. Because the braces are not supporting the home, and the stresses on the angles are actually decreased due to the decreased installed angle, there is no required minimum angle of installation value needed.

If you should need any further information, please feel free to contact us at (904) 384-8150.

Sincerely yours,
PRODUCT TESTING, INC.

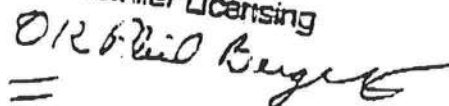

R.K. Prophet
VP & General Mgr.


C.J.L. Caudel, P.E. #45170
Sr. Registered Engineer

RECEIVED

JUL 15 2004

MH Installer Licensing


=

Patent Number
6622439

Minute Man anchors, inc.

Installation Instructions for Model LLBS Longitudinal and
Lateral Bracing System Approved for Florida

Revised: 10/27/04

Note: Your set must be designed by a Registered Professional Engineer if all or one of the following conditions occur:

Location is within 1,500 feet of Coast
Pier Height exceeds 48"
Sidewall height exceeds 96"

Roof eaves exceeds 16"
Main beam spacing exceeds 99.5"

- 1 Refer to the Home Manufacturer Installation Instructions for pier locations. 6" Disc anchors 48" long with vertical ties are required at maximum 5'-4" center along both sidewalls starting a maximum of 2'-0" in from each end of the home. Vertical ties must be used at all connection points furnished by the home manufacturer. Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs require a 5' anchor.
- 2 Refer to the Systems Placement Plans for the location of Longitudinal Lateral Bracing System.. (See Attached). Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location.
- 3 Remove turf to expose firm soil at each SD3 pad location.
- 4 Attach tube clip to SD3 pier pads (see Detail Assembly Drawing) center pad under beam, level pad. Angle Drive Pins may be driven vertically through four (4) slots in SD3 pier pad now or after home is totally set. Angle drive pins may be driven up to ten degrees (10) off of vertical. If you choose to drive pins after home is set, do not cover slots in pier pad. 16" Drive pins must be used in Florida.
- 5 Level home on concrete blocks or deluxe steel pier by Minute Man.
- 6 Install Longitudinal and Lateral Bracing in accordance with Systems Placement Plan and Detail Assembly Drawing.
- 7 Install vertical anchors , frame ties and stabilizers at each lateral arm system location..

Thank you for using Minute Man Products, Inc. If you have any questions, please call Toll Free
at (800) 438-7277.

MMAPO07,2 R-4

305 West King St. East Flat Rock, North Carolina 28726

1

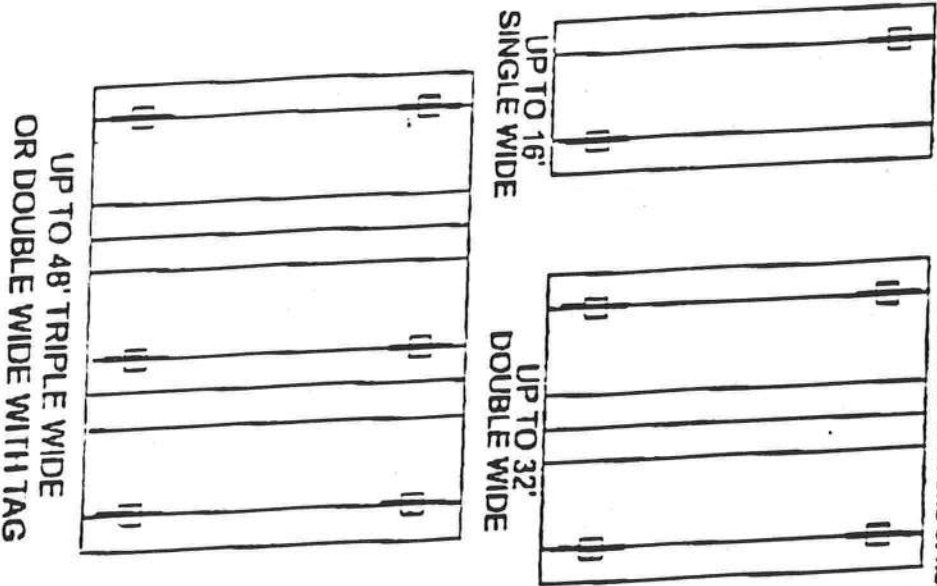
MADE IN THE USA

LONGITUDINAL BRACING SYSTEMS PLACEMENT FOR FLORIDA

Use 650 anchors and 180 square inch stabilizers with frame ties and vertical ties at maximum 5'-4" centers. Vertical ties must be used at all connection points furnished by the home manufacturer. Marriage wall anchors must be used in accordance with the home manufacturer's instructions.

For Roof slopes up to 5/12 pitch

Systems must be placed no more than 16' from end of home



See Longitudinal and Lateral Bracing System detail assembly drawing.

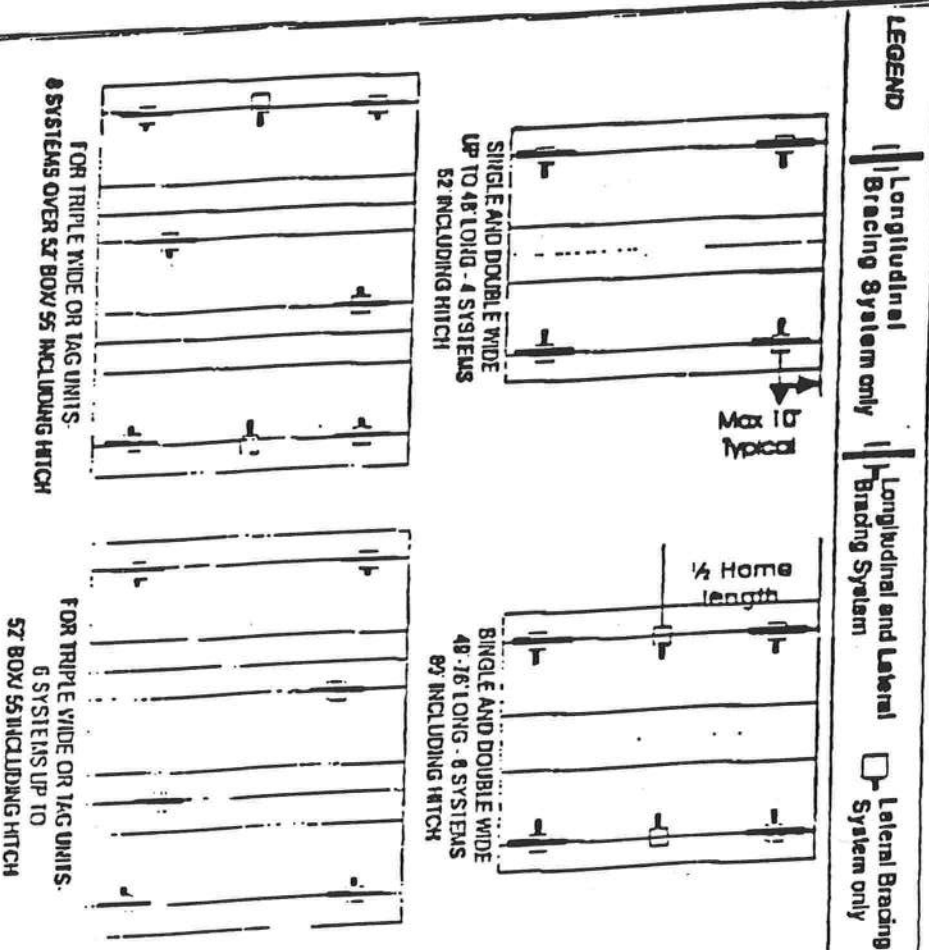
2

FLORIDA ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location.

Revised 6/17/2002

HOME DIMENSIONS REPRESENT BOX SIZE



3

II LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

up to 4/12 pitch

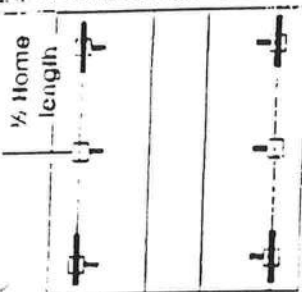
Each system is required to have a frame tie and stabilizer attached at each lateral bracing location.

6/17/2002

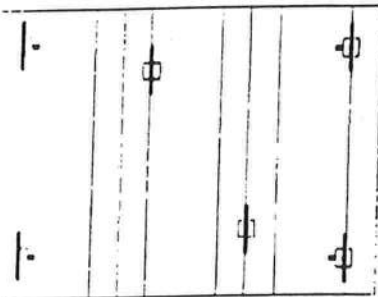
PRESENT BOX SIZE

Longitudinal and Lateral
Bracing System

Lateral Bracing
System only



SINGLE AND DOUBLE WIDE
49'-76" LONG - 6 SYSTEMS
80" INCLUDING HITCH



FOR TRIPLE WIDE OR TAG UNITS-
6 SYSTEMS UP TO
52' BOX/ 55" INCLUDING HITCH

FLORIDA ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

For 5/12 Roof Pitch

Each system is required to have a frame tie and stabilizer attached at each lateral bracing location. Systems must be as evenly spaced as possible.

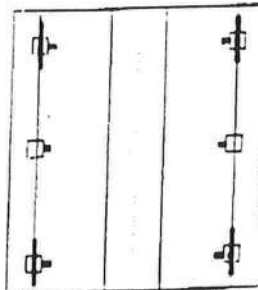
Revised: 6/17/2002

HOME DIMENSIONS REPRESENT BOX SIZE

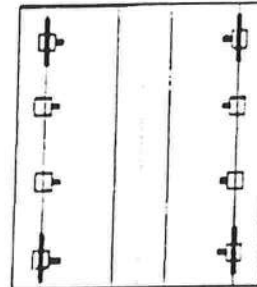
Longitudinal
Bracing System only

Longitudinal and Lateral
Bracing System

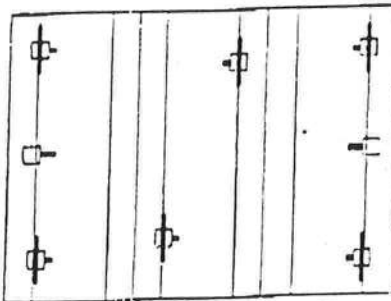
Lateral Bracing
System only



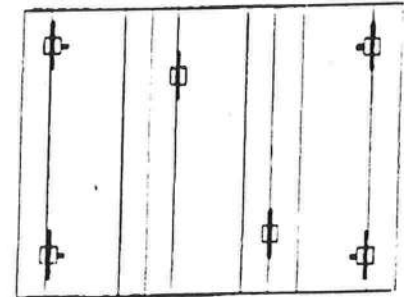
SINGLE AND DOUBLE WIDE
UP TO 32' WIDE AND 52' LONG
6 SYSTEMS
56" INCLUDING HITCH



SINGLE AND DOUBLE WIDE
UP TO 32' WIDE AND 76' LONG
8 SYSTEMS
80" INCLUDING HITCH



FOR TRIPLE WIDE OR TAG UNITS-
8 SYSTEMS OVER 52' BOX/ 56" INCLUDING HITCH



FOR TRIPLE WIDE OR TAG UNITS-
8 SYSTEMS- UP TO
52' BOX/ 56" INCLUDING HITCH

NOTES

- MAXIMUM PIER HEIGHT 48"
- MAX. SIDEWALL HEIGHT 96"
- MAX. BEAM SPACING 99.5"
- MAX ROOF EAVES 16"
- WHEN USING LONGITUDINAL BRACES, 2ND PIER IN FROM THE END OF THE HOME MAY BE USED TO MAKE ROOM FOR BRACE TUBES.



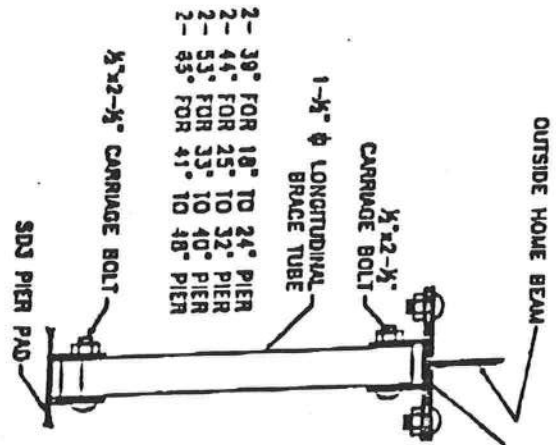
WRITE MAN ANCHORS
10/10/01
REV 3/6/02
REV 7/14/04

NOTE: 1/2" BOLTS ARE GRADE 5

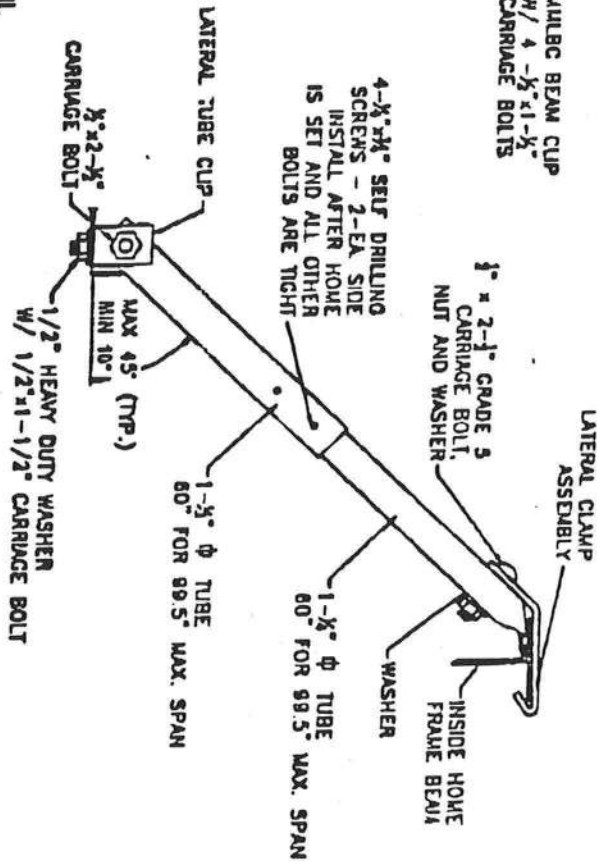
THE LBS BRACING SYSTEM WAS TESTED FOR WIND ZONES I, II, & III



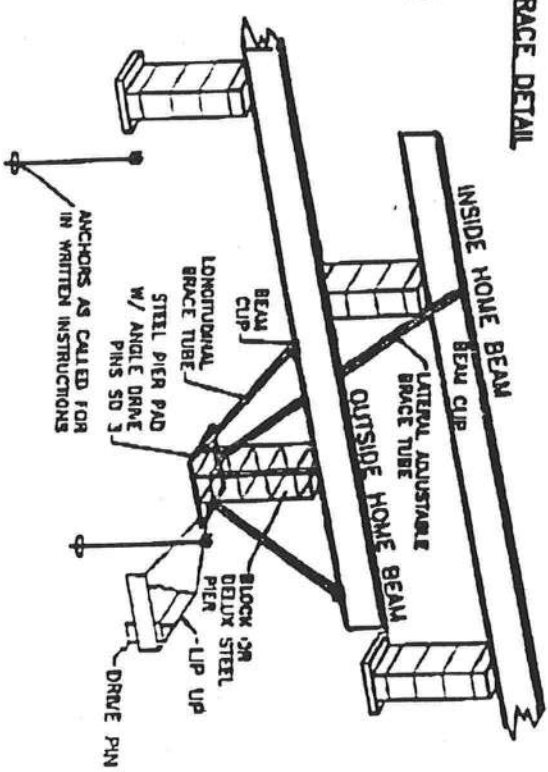
LONGITUDINAL BRACE DETAIL



LATERAL BRACE DETAIL



LONGITUDINAL & LATERAL BRACING SYSTEM DETAIL ASSEMBLY DRAWING

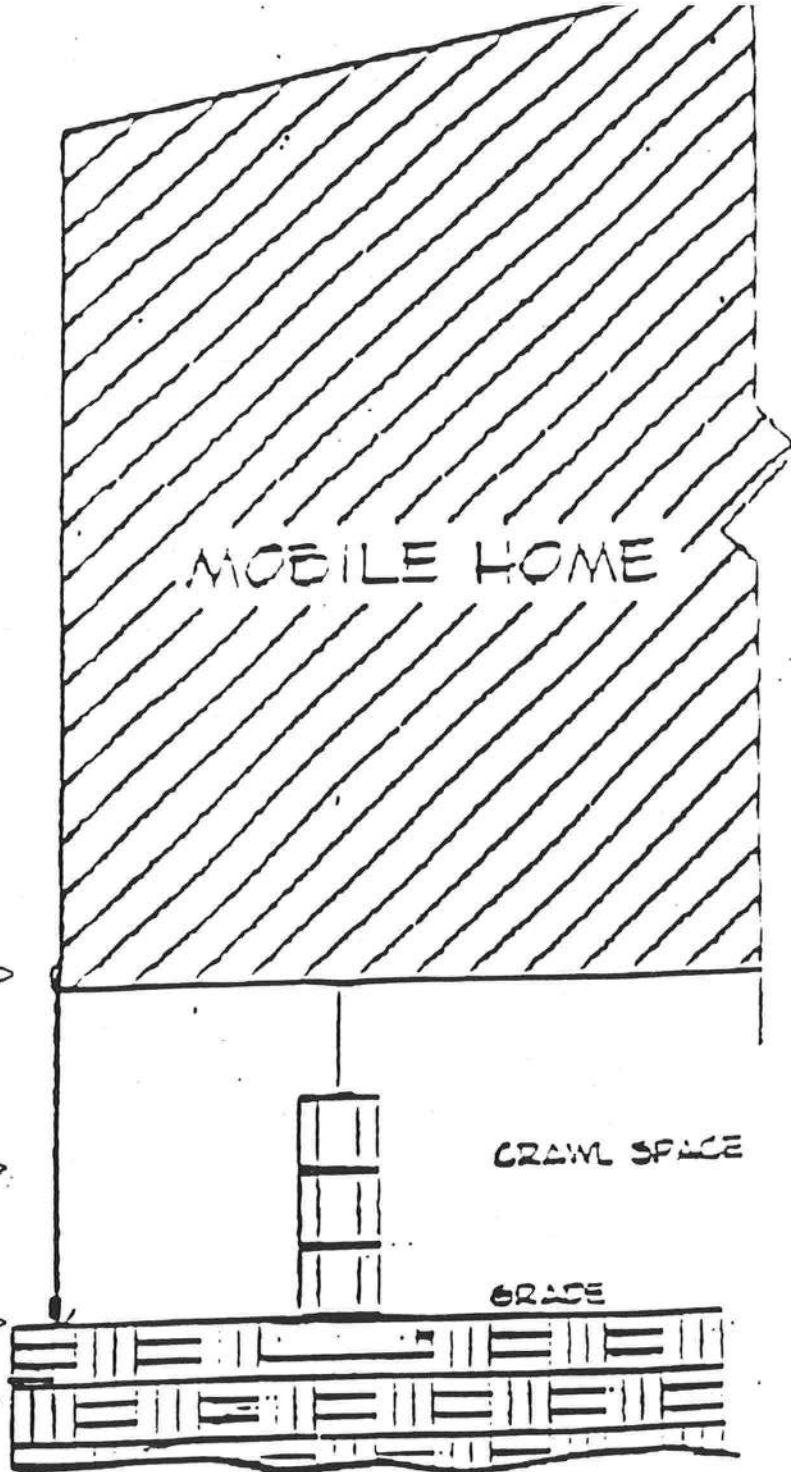


VINYL SKIRTING

FASTEN TOP FRONT RAIL WITH 1" GALV
NAILS OR 1/4" # 8 SCREWS 16"oc >>>>>>>>

VARIFORM PROGARD 16" WIDE VINYL
PANELS. PROVIDING 4.780 sq. inches OF
VENTING PER LINEAL FOOT >>>>>>>>
OF VERTICAL MEASUREMENT

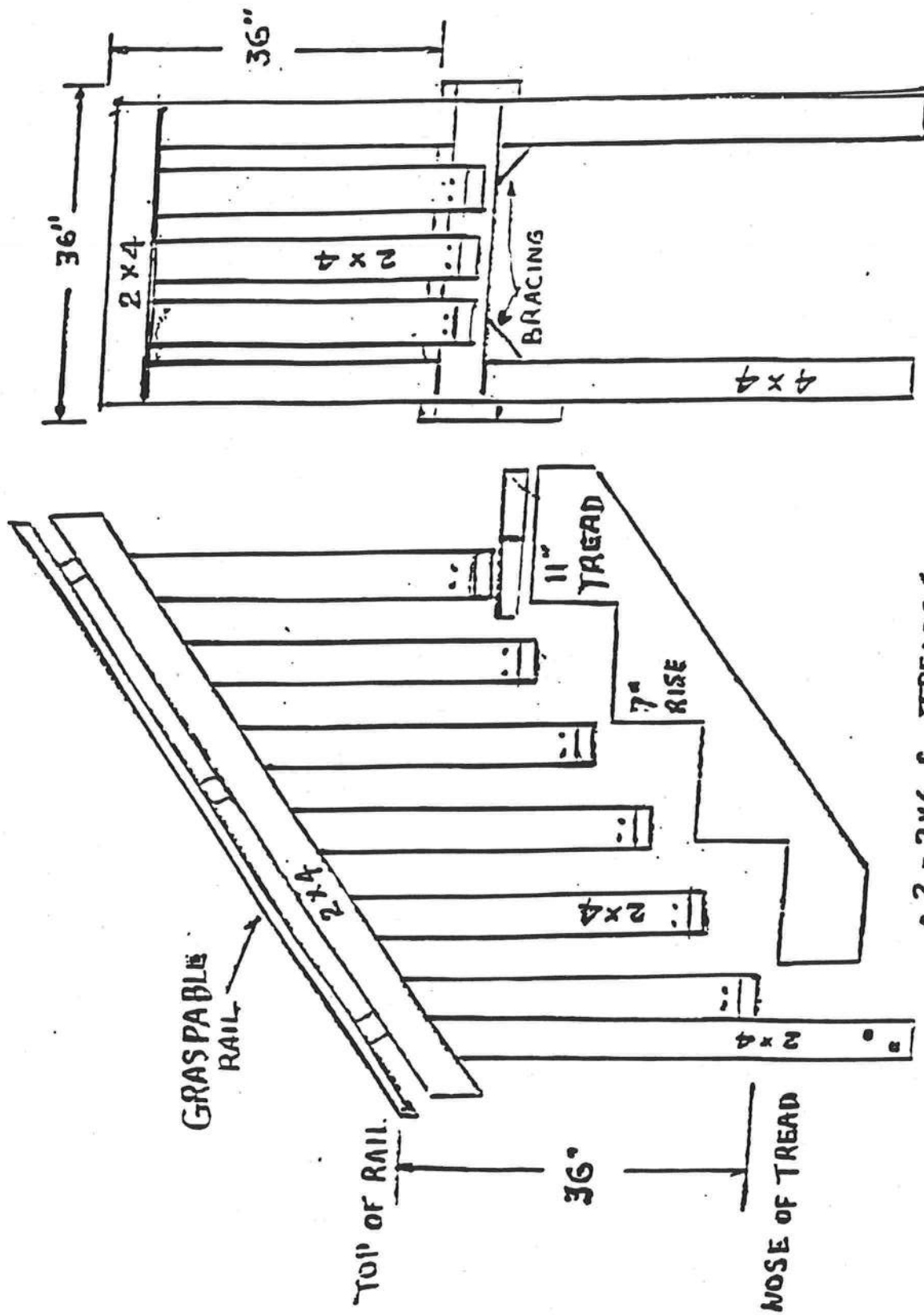
FASTEN BOTTOM RAIL
WITH 1/4" # 8 SCREWS 16"oc
7" GAL NAILS 19"oc >>>>>>>>



NOTE:

AN ACCESS PANEL 18" X 24" MIN. WILL BE PROVIDED TO ACCESS CRAWL SPACE THE
ACCESS PANEL WILL BE FASTENED WITH 1" LONG PHILLIPS HEAD SCREWS.

ANY HOME WHICH IS MORE THAT 36" ABOVE FINISHED GRADE WILL HAVE STUDS 48"oc



- 2 - 2x6 for TREADS (ATTACHED w/ 2x2" DECK SCREWS)
- STRINGER ATTACHED TO PLATFORM w/ ANGLE BRACKETS
- 2x4 BALLISTER (ATTACHED TO RAIL AND STRINGER w/ 2 1/2" DECK SCREWS)
- POST ATTACHED w/ 1/4 x 3 LAG SCREWS
- PLATFORM IS 4'w x 3'd
- 2x6 for DECKING AND FRAMING



STATE OF FLORIDA
DEPARTMENT OF HEALTH

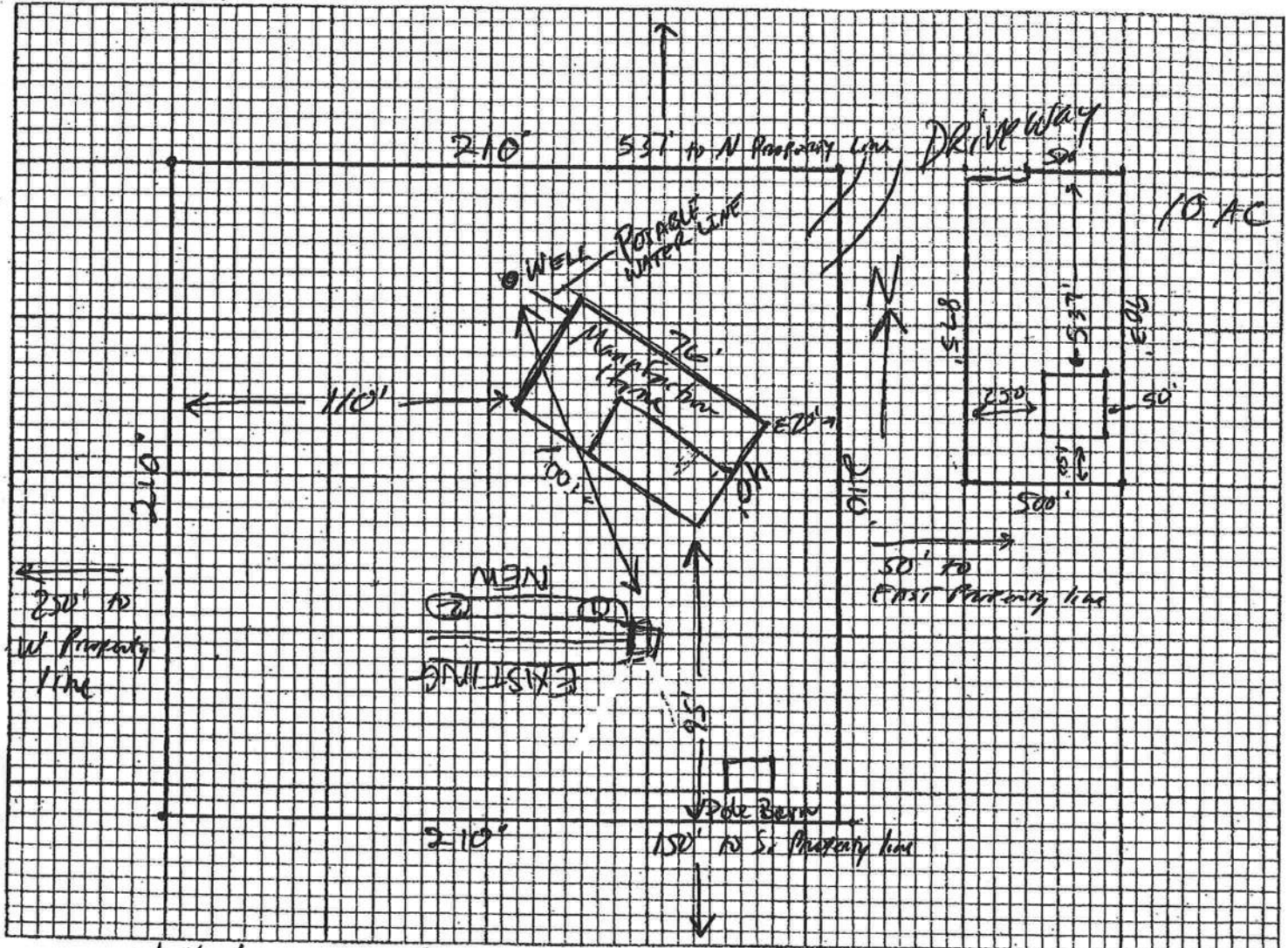
Glenn

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 08-0020

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: Well & septic tank are located in SE corner of the lot. This position is an estimate & will be placed as required by Code

Site Plan submitted by: Robert J. Glenn

Signature

Plan Approved ☒

Not Approved

By: Salhi Ford

Columbia CHD

Dwight

Title

Date 1-14-08

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

COLUMBIA COUNTY
FLORIDA

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 12-7S-16-04184-007

Building permit No. 000026650

Permit Holder THOMAS G. JENNINGS

Owner of Building ROBERT J. GLENN

Location: 398 SW BEAR LANE, FT. WHITE, FL

Date: 03/19/2008



Harry Bricker

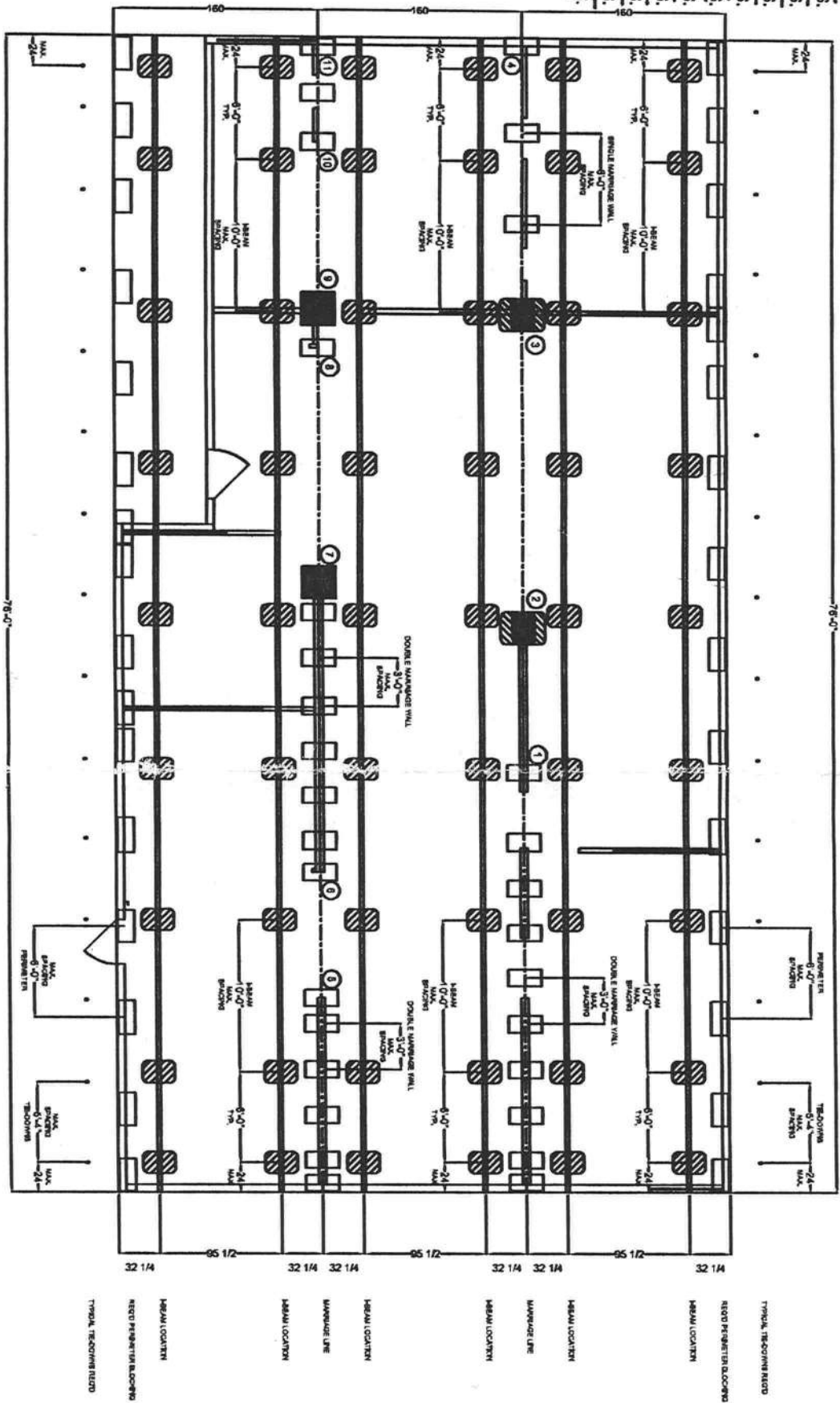
Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

1000 LB SOIL.....40' X 76'
I BEAM PADS17"x 25"8' o/c
PERIMETER PADS.....18"x 18"6' o/c
MINUTEMAN STABILIZING SYSTEM
4' ANCHORS @ 5'4" o/c OR LESS

18" X 18"	① = 1896 LBS.
34" X 25"	② = 5988 LBS.
34" X 25"	③ = 5877 LBS.
18" X 18"	④ = 1801 LBS.
18" X 18"	⑤ = 1836 LBS.
18" X 18"	⑥ = 1936 LBS.
36" X 18"	⑦ = 3367 LBS.
18" X 18"	⑧ = 1547 LBS.
34" X 25"	⑨ = 4695 LBS.
18" X 18"	⑩ = 1213 LBS.
18" X 19"	⑪ = 1801 LBS.

BLOCKING LOCATIONS SHOWN ARE CONSIDERED TYPICAL. BLOCKS MAY BE MOVED FROM LOCATION SHOWN (WITH THE EXCEPTION OF SHEARWALL OR COLUMN LOCATIONS) AS LONG AS THE MAXIMUM SPACING IS NOT EXCEEDED. UNLESS OTHERWISE SPECIFIED IN THE NOTES BELOW, THE DISTANCE BETWEEN ANY ADJACENT PIERS MAY DEVIATE FROM THE LISTED SPACING BY 10%, SO LONG AS THE OVERALL AVERAGE DISTANCE BETWEEN PIERS IS EQUAL TO OR LESS THAN THE LISTED SPACING. SEE SECTION 3 IN THE PALM HARBOR HOMES INSTALLATION MANUAL FOR MORE SPECIFICS ON BLOCKING THE HOME.



INSTALLING A HOME CAN BE VERY DANGEROUS, ONLY QUALIFIED PERSONNEL SHOULD EVER ATTEMPT TO INSTALL A HOME.

- NOTES:
1. BLOCKING SPACING BASED ON 20PSF LIVE LOAD ON ROOF AND 1000 PSF SOIL BEARING CAPACITY.
 2. CONCRETE BLOCKS ARE ONLY RATED AT 8000 POUNDS, 8000 POUND PIERS OR HIGHER MUST BE DOUBLE BLOCKED.
 3. BLOCKING REQUIRED AT OPENING LESS THAN 48" IN WIDTH ONLY TO MAKE NON-OPERATIONAL DOORS OPERATIONAL. PERIMETER SUPPORTS ARE REQUIRED ON EACH SIDE OF ALL OPENINGS GREATER THAN 48" (E. SLIDING GLASS DOORS, BOX BAY WINDOWS, RECESSED ENTRIES, ETC.) REFER TO THE INSTALLATION MANUAL FOR MORE SPECIFICS.
 4. MARRIAGE LINE BLOCKING ONLY REQUIRED UNDER WALL MARRIAGE LINE WALL AREAS.
 5. FOR WIND ZONE II AND III INSTALLATIONS, A PIER IS REQUIRED UNDER THE "SHEARWALLS" WHERE THEY ATTACH TO THE SIDEWALL. THESE SHEARWALLS ARE INDICATED AS DARKENED-IN WALLS ON THE FLOOR PLAN.
 6. ABS PIER PAD SIZES AND CAPACITIES BASED ON INFORMATION PROVIDED BY MANUFACTURED HOUSING FOUNDATION SYSTEMS.
 7. STABILIZER SYSTEM PER PALM HARBOR HOMES INSTALLATION MANUAL, AND ALL SIDEWALL ANCHORS ARE SPACED AT 5'-4" MAXIMUM. FOUR FOOT GROUND ANCHOR MAY BE USED EXCEPT WHERE PALM HARBOR HOMES INSTALLATION MANUAL SPECIFICS DIFFERENT.
 8. IT IS THE RESPONSIBILITY OF THE DEALER AND/OR INSTALLER TO CERTIFY THAT ANY BLOCKING AND/OR FOUNDATION PRINT(S), OR ANY OTHER DIAGRAM SUPPLIED FOR ANY SITE INSTALLATION, CORRELATE WITH THE UNIT ORDERED AND BEING SET AS WELL AS THE CONDITIONS OF THE SITE. THE MANUFACTURER WILL NOT BE LIABLE FOR DAMAGES ARISING FROM FAILURE OF THE DEALER AND/OR INSTALLER TO MAKE CERTAIN THAT THE CONTRACTOR/INSTALLER HAS THE CORRECT DIAGRAM, REGARDLESS OF WHAT WAS SUPPLIED BY THE MANUFACTURER. THE MANUFACTURER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE DESIGN OF THE BLOCKING AND/OR FOUNDATION.
 9. FOR MORE SPECIFIC INFORMATION REFER TO THE INSTALLATION MANUAL.
 10. ALL SET-UP MUST COMPLY WITH THE PALM HARBOR HOMES INSTALLATION MANUAL.

LEGEND

© COPYRIGHT 2003

- SEE NOTE SECTION
- 17.5"x25.5" ABS PAD = 3000 LBS. CAPACITY
 - 13"x26" ABS PAD = 2375 LBS. CAPACITY

- 16"x16"x4" CONCRETE PIER PADS - STACKED
LOAD CAPACITY = # OF PADS ON BOTTOM X 1490 LBS.
- 17.5"x25.5" ABS PAD
 - 17.5"x25.5" ABS PAD
 - PAD ASSEMBLY
MAX. LOAD = 6000 LBS.
SINGLE STACK BLOCKS
 - 17.5"x25.5" ABS PAD
 - 20"x20" ABS PAD
 - 13"x26" ABS PAD
 - PAD ASSEMBLY
MAX. LOAD = 4800 LBS.
SINGLE STACK BLOCKS
 - 13"x26" ABS PAD

STABILIZER SYSTEM REQUIRED PER PALM HARBOR HOMES INSTALLATION MANUAL

Model Number: X376U3

IT IS THE RESPONSIBILITY OF THE DEALER AND/OR INSTALLER TO CERTIFY THAT ANY BLOCKING AND/OR FOUNDATION PRINT(S), ARE SUITABLE FOR THE SPECIFIC INSTALLATION SITE.

CONTRACTOR INFORMATION

CHARLES P. ROGERS
LIC# IH-0000807
PHONE: 813/82-1188

HOME LOCATION

PAGE:
STREET:
CITY:

DRAWING INFORMATION

NAME: ALL
DATE: 08/27/04
SCALE: NOT PRINTED TO SCALE

H.U.D. WINDZONE

2

SETUP INFORMATION

BLOCKING DIAGRAM

DESIGNED FOR 20 PSF ROOF LIVE LOAD AND 1000 PSF SOIL BEARING CAPACITY

BLK-1
SHEET 1 OF 1

Palm Harbor Construction
605 South Frontage Road
Plant City, Florida 33563

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