

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 1-11)		Zoning Official <u>BLK 20 Aug 2013</u>	Building Official <u>TM 8/13/12</u>
APP# <u>1308-32</u>	Date Received <u>8/12</u>	By <u>STW</u>	Permit # <u>31384</u>
Flood Zone <u>X</u>	Development Permit <u>N/A</u>	Zoning <u>A-3</u>	Land Use Plan Map Category <u>A-3</u>
Comments <u>Replace MH at North end of property which was grandfathered in prior to 1986</u>			
FEMA Map# <u>N/A</u>	Elevation <u>N/A</u>	Finished Floor <u>1" above River</u>	In Floodway <u>N/A</u>
☒ Site Plan with Setbacks Shown <u>CEH #13-0423 m</u> ☒ AEH Release ☒ Well letter ☒ Existing well			
☒ Recorded Deed or Affidavit from land owner ☒ Installer Authorization ☐ State Road Access ☒ 911 Sheet			
☐ Parent Parcel # _____ ☐ STUP-MH _____ ☐ F W Comp. letter ☒ VF Form			
IMPACT FEES: EMS _____ Fire _____ Corr _____			
☒ Out County ☒ In County			
Road/Code _____ School _____ = TOTAL _____ Impact Fees Suspended March 2009 _____			

Property ID # 03-15-16-04122-002 Subdivision _____

- New Mobile Home _____ Used Mobile Home ☒ MH Size 28x48 Year 1999
- Applicant Wendy Grennell Phone # 386-288-2428
- Address 3104 SW Old Wire Rd Ft. White FL 32038
- Name of Property Owner Timothy + Sarah Futch Phone # 772-475-7360
- 911 Address 273 SW Melville Glen Ft White FL 32038
- Circle the correct power company -

<u>FL Power & Light</u>	-	<u>Clay Electric</u>
(Circle One) - <u>Suwannee Valley Electric</u>	-	<u>Progress Energy</u>
- Name of Owner of Mobile Home Timothy + Sarah Futch Phone # 772-475-7360
- Address 229 SW Melville Glen Ft White FL 32038
- Relationship to Property Owner same
- Current Number of Dwellings on Property 1
- Lot Size 361x602 Total Acreage 5
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)

(Currently using)	(Blue Road Sign)	(Putting in a Culvert)	(Not existing but do not need a Culvert)
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- Is this Mobile Home Replacing an Existing Mobile Home (yes) see comments
- Driving Directions to the Property SR 47 South to US Hwy 27 turn (L) to Fielding way turn (L) to Melville Glen turn (L) to second drive on (R)
- Name of Licensed Dealer/Installer Rusty Knowles Phone # 386-755-6441
- Installers Address 5801 SW CR 47 Lake City FL 32024
 - License Number IT 1038219 Installation Decal # 15870

12 spoke w/ Wendy 8.20.13 \$375.00

COLUMBIA COUNTY PERMIT WORKSHEET

page 1 of 2

These worksheets must be completed and signed by the installer.
Submit the originals with the packet.

Installer Rush, L. Knowles License # IA-1030219

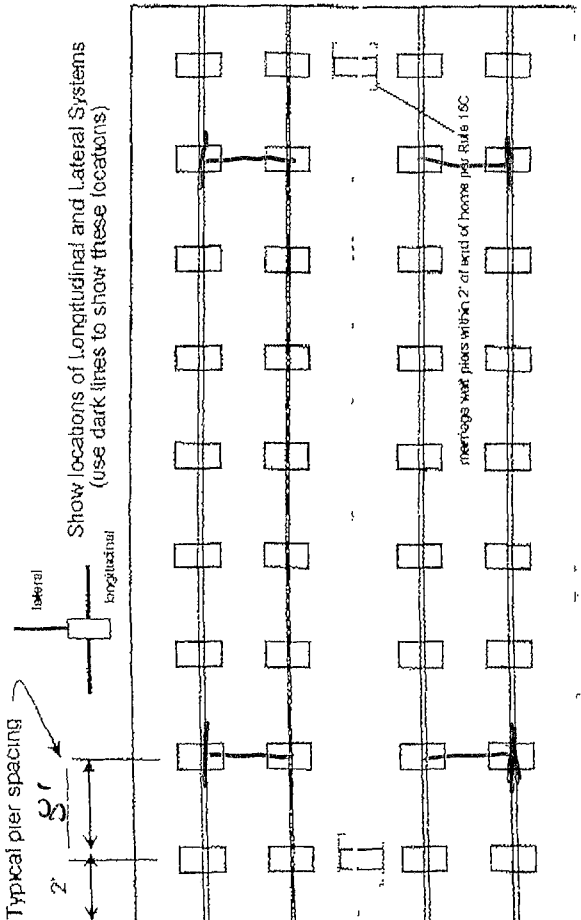
g11 Address where
home is being installed

Manufacturer	Sweetwater	Length x width	23x43
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NOTE: if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home

understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewalk exceeds 5 ft 4 in.

Installer's initials



PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq. m)	18 1/2" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)"	24" X 24" (576)"	26" x 26" (676)
1000 dsf	3'			5'	6"	7'	8"
1500 dsf	4'6"	6'		7'	8"	8'	8"
2000 dsf	6'	8'		8'	8"	8'	8"
2500 dsf	7'6"	8'		8'	8"	8'	8"
3000 dsf	8'	8'		8'	8"	8'	8"
3500 dsf	8'	8'		8'	8"	8'	8"

* interpolated from Rule 15C-1 per spacing table

PER PAD SIZES

beam per pad size

Penmeter prier pad size *Uf*

Other pier pad sizes
16x16

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all masonry wall openings greater than 4 foot and their pier pad sizes below

POPULAR PAD SIZES

Pad Size	Sq In.
16 x 16	256
16 x 18	288
18 5/8 x 18 5/8	342
16 x 22 1/2	360
17 1/2 x 24	378
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft - 5 ft ✓

FRAME TIES

within 2' of end of home
spaced at 5' 4" oc

10

Wumber

Sidewall

Longitudinal

Hyamirage wadi

Shearwall

DOWN COMING

Longitudinal Stabilizing Device (LSD)

Manufacturer _____

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer Oliver Tech

COLUMBIA COUNTY PERMIT WORKSHEET

page 2 of 2

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BUILDING AND ZONING

PAGE 05 07

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf
or check here to declare 1000 lb. soil ☒ without testing

X 1.0 X 1.0 X 1.0

POCKET PENETROMETER TESTING METHOD

- 1 Test the perimeter of the home at 6 locations
- 2 Take the reading at the depth of the footer
- 3 Using 500 lb increments take the lowest reading and round down to that increment.

X 1.0 X 1.0 X 1.0

TORQUE PROBE TEST

The results of the torque probe test is N/A using 11010 inch pounds or check here if you are declaring 5' anchors without testing ☐ A test showing 275 inch pounds or less will require 5 foot anchors

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity

RLL Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Rusty L. Knicker

Date Tested 8.2.13

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units Pg 152-1

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg 152-1

Connect all potable water supply piping to an existing water meter water tap, or other independent water supply systems Pg 152-1

Site Preparation

Debris and organic material removed ☒ Swale ☒ Pad ☒ Other ☐

Fastening multi wide units

Floor Walls Roof	Type Fastener	Length	Spacing
	Type Fastener	Length	Spacing
	Type Fastener	Length	Spacing

For used homes a min 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv roofing nails at 2" on center on both sides of the centerline

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marmage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket

Installer's initials RLL

Type gasket Roll Roof

Pg 152-1

Installed Between Floors Yes ☒ Between Walls Yes ☒ Bottom of ridgebeam Yes ☒

Weatherproofing

The bottomboard will be repaired and/or taped Yes ☒ Pg 152-1

Siding on units is installed to manufacturer's specifications Yes ☒

Fireplace chimney installed so as not to allow intrusion of rain water Yes ☒

Miscellaneous

Skirting to be installed Yes ☒ No ☐

Dryer vent installed outside of skirting Yes ☒ N/A ☐

Range downflow vent installed outside of skirting Yes ☒ N/A ☐

Drain lines supported at 4 foot intervals Yes ☒

Electrical crossovers protected Yes ☒

Other ☐

Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature [Signature] Date 8.2.13

N
↑

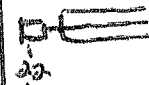
Scale
1" = 60'

200'

361



Existing Septic



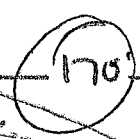
Proposed
28x48

FRONT

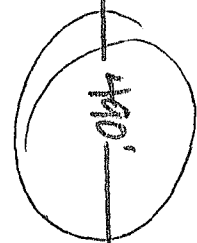


← 80'

Existing Drive



Existing Well



Existing

1996
perm +
11959

Existing Drive

Melville Glen

Timothy + Sarah Fitch

Melville Glen

COMM NW COR OF NE1/4, RUN E
1318.67 FT. S 662 FT FOR POB,
CONT S 602.90 FT, W 361.28 FT,
N 602.90 FT, E 361.28 FT TO
FUTCH TIMOTHY &
SARAH FUTCH (JTWS)
229 SW MEVILLE GLN
FT WHITE, FL 32038

[illegible]

BLDG TRAVERSE -----

[illegible][illegible]

AE	LAND CODE	DESC	ZONE	ROAD	{ UD1 UD2 }	{ UD3 UD4 }	FRONT BACK	DEPTH DT	FIELD CK:		UNITS	UT	PRICE	ADJ	UT PR	LAND VALUE
									ADJUSTMENTS	ADJUSTMENTS						
Y	000700	MISC RES	A-1	0002	0002	0002	0002	0002	0002	1.00	1.00	1.00	1.00	5834.050	5834.05	29,170
Y	009945	WELL/SEPT	00	0002	0002	0002	0002	0002	0002	1.00	1.00	1.00	1.00	2000.000	2000.00	2,000
Y	009947	SEPTIC	00	0002	0002	0002	0002	0002	0002	1.00	1.00	1.00	1.00	750.000	750.00	750

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P 1/1

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386-7582168

BUILDING AND ZONING

PAGE 07/07

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1308-32CONTRACTOR Rusty KnowlesPHONE 755-6441

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

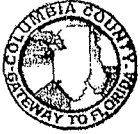
Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

☒ ELECTRICAL 358	Print Name <u>Michael Boland</u> License #: <u>ES12000671</u>	Signature <u>Michael Boland</u> Phone #: <u>850-576-5113</u>
☒ MECHANICAL/ A/C 950	Print Name <u>Michael Boland</u> License #: <u>CAE1816480</u>	Signature <u>Michael Boland</u> Phone #: <u>850-576-5113</u>
☒ PLUMBING/ GAS	Print Name <u>Rusty L. Knowles</u> License #: <u>TH-1038219</u>	Signature <u>Rusty Knowles</u> Phone #: <u>386-755-6441</u>

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			

F. S. 440.103 Building permits; identification of minimum premium policy --Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit

Contractor Form 440-Subcontractor form 1/11



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS AGENT AUTHORIZATION

I, *Rusty L. Knowles*, give this authority and I do certify that the below
Installers Name
referenced person(s) listed on this form is/are under my direct supervision and control and
is/are authorized to purchase permits, call for inspections and sign on my behalf

Printed Name of Authorized Person	Signature of Authorized Person	Agents Company Name
Wendy Grennell	<i>Wendy Grennell</i>	
Amie Boyette	<i>Amie Boyette</i>	

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits

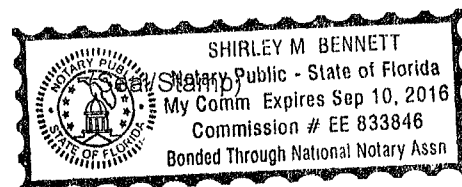
Rusty L. Knowles
License Holders Signature (Notarized) 1H 1038219 8-2-13
License Number Date

NOTARY INFORMATION:

STATE OF Florida COUNTY OF Columbia

The above license holder, whose name is Rusty Knowles,
personally appeared before me and is known by me or has produced identification
(type of ID) _____ on this 2 day of August, 2013

Shirley M. Bennett
NOTARY'S SIGNATURE



COLUMBIA COUNTY 9-1-1 ADDRESSING

P O Box 1787, Lake City, FL 32056-1787
PHONE (386) 758-1125 * FAX (386) 758-1365 * Email ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 8/9/2013 DATE ISSUED: 8/15/2013

ENHANCED 9-1-1 ADDRESS:

273 SW MELVILLE GLN
FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

03-7S-16-04122-002

Remarks:

ADDRESS FOR PROPOSED STRUCTURE ON PARCEL. 2ND LOCATION
ON PARCEL

Address Issued By: SIGNED: / RONAL N. CROFT
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION
INFORMATION RECEIVED FROM THE REQUESTER. SHOULD,
AT A LATER DATE, THE LOCATION INFORMATION BE FOUND
TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

This documents prepared by,
record & Return to:
Angela J. Bounds, Esquire
Graves & Bounds, P.A.
3720 NW 43rd Street, Suite 101
Gainesville, FL 32606

Inst:201312002745 Date:2/25/2013 Time:11:59 AM
Doc Stamp-Deed:0.70
DC,P DeWitt Cason, Columbia County Page 1 of 2 B:1249 P:2652

SPECIAL WARRANTY DEED

THIS INDENTURE made this 20 day of February, 2013, between **ELIZABETH Y. FUTCH and LEAMON HAROLD FUTCH, husband and wife**, Grantor, whose address is 4060 SW County Road 18, Fort White, Florida, 32038 and **TIMOTHY FUTCH, a married man, and SARAH FUTCH, a single woman, as joint tenants with rights of survivorship**, Grantee, whose address is 229 SW Melville Glen, Fort White, Florida, 32038.

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other valuable consideration, to it in hand paid by the Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the Grantee, its successors and assigns, the following described land, situate in **COLUMBIA** County, Florida:

A part of the NE ¼ of Section 3, Township 7 South, Range 16 East, more particularly described as follows: Commence at the NW corner of said NE ¼ and run N 87° 30' 16" East, along the North line thereof, 1318.67 feet to the NE corner of the NW ¼ of said NE ¼; thence S 1° 48' 26" East, 662.00 feet for a Point of Beginning; thence continue S 1° 48' 26" East, 602.90 feet; thence S 87° 30' 16" West, 361.28 feet; thence N 1° 48' 26" West, 602.90 feet; thence N 87° 30' 16" East, 361.28 feet to the Point of Beginning, lying and being in Columbia County, Florida.

SUBJECT TO an ingress and egress easement over and across the West 30.00 feet thereof.

Tax Parcel No.: 04122-002

TO HAVE AND TO HOLD the same unto the Grantee in fee simple.

AND THE Grantor does hereby covenant with the Grantee that, except as above noted, that at the time of the delivery of this deed the premises were free from all encumbrances made by the Grantor, and that it will warrant and defend the same against the lawful claims and demands of all persons claiming by, through or under the Grantor, but against none other

IN WITNESS WHEREOF, the Grantor has executed this deed under seal the day and year first above written

SIGNED, SEALED AND DELIVERED IN
OUR PRESENCE AS WITNESSES:

Dorothy D. Friedel
Print Name: Dorothy D. Friedel

Elizabeth Y. Futch
ELIZABETH Y. FUTCH

Mada Netzer
Print Name: Mada Netzer

Leamon Harold Futch
LEAMON HAROLD FUTCH

STATE OF FLORIDA
COUNTY OF Alachua

The foregoing instrument was acknowledged before me this 20th day of February, 2013, by ELIZABETH Y. FUTCH and LEAMON HAROLD FUTCH, [☒] who are personally known to me or [] who have produced _____ as identification.

[SEAL]



Dorothy D. Friedel
Notary Public, State of Florida
Commission Expires:
Commission No.:

CODE ENFORCEMENT
PRELIMINARY MOBILE HOME INSPECTION REPORT

DATE RECEIVED 8/12 BY [Signature] IS THE M/H ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? NO
OWNERS NAME Timothy + Sarah Futch PHONE 772-475-7360 CELL 772-475-7360
ADDRESS 456 SW Deputy J Davis Ln, Lake City FL 32024
MOBILE HOME PARK 0 SUBDIVISION 0
DRIVING DIRECTIONS TO MOBILE HOME 90W to CR 252B FL, take immediate R onto Deputy J. Davis Lane to Freedom Homes on (L)

MOBILE HOME INSTALLER Rusty Knowles PHONE 386-755-6441 CELL 386-755-6441

MOBILE HOME INFORMATION

MAKE Sweetwater YEAR 1999 SIZE 28 x 48 COLOR

SERIAL No. 3HGA4250AB

WIND ZONE II Must be wind zone II or higher NO WIND ZONE I ALLOWED

INSPECTION STANDARDS

INTERIOR:

(P or F) - P= PASS F= FAILED

P SMOKE DETECTOR () OPERATIONAL () MISSING
P FLOORS () SOLID () WEAK () HOLES DAMAGED LOCATION 1308-32
P DOORS () OPERABLE () DAMAGED
P WALLS () SOLID () STRUCTURALLY UNSOUND
P WINDOWS () OPERABLE () INOPERABLE
P PLUMBING FIXTURES () OPERABLE () INOPERABLE () MISSING
P CEILING () SOLID () HOLES () LEAKS APPARENT
P ELECTRICAL (FIXTURES/OUTLETS) () OPERABLE () EXPOSED WIRING () OUTLET COVERS MISSING () LIGHT
FIXTURES MISSING

EXTERIOR:

P WALLS / SIDING () LOOSE SIDING () STRUCTURALLY UNSOUND () NOT WEATHERTIGHT () NEEDS CLEANING
P WINDOWS () CRACKED/ BROKEN GLASS () SCREENS MISSING () WEATHERTIGHT
P ROOF () APPEARS SOLID () DAMAGED

STATUS

APPROVED ✓ WITH CONDITIONS:

NOT APPROVED NEED RE-INSPECTION FOR FOLLOWING CONDITIONS

SIGNATURE [Signature] ID NUMBER 306 DATE 8-13-13