

DATE 12/29/2010

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction**PERMIT**
000029100

APPLICANT TOM BUSH PHONE 352.332.7665
ADDRESS 3601 NW 97 BLVD. GAINESVILLE FL 32606
OWNER SCOTT KIHEI PHONE 386.288.4792
ADDRESS 463 SW MORNING GLORY DRIVE LAKE CITY FL 32024
CONTRACTOR MICHAEL CANTO PHONE 352.332.7665
LOCATION OF PROPERTY 90-W TO C-341, TL TO HOPE HENRY RD, TR TO MORNING GLORY DR., TL
TO THE VERY END OF CUL-DE-SAC ON L.
TYPE DEVELOPMENT SWIMMING POOL ESTIMATED COST OF CONSTRUCTION 27000.00
HEATED FLOOR AREA _____ TOTAL AREA _____ HEIGHT _____ STORIES _____
FOUNDATION _____ WALLS _____ ROOF PITCH _____ FLOOR _____
LAND USE & ZONING RSF-2 MAX. HEIGHT _____
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 1 FLOOD ZONE _____ DEVELOPMENT PERMIT NO. _____

PARCEL ID 15-4S-16-03023-517 SUBDIVISION ROLLING MEADOWS
LOT 17 BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES _____

CPC1457306
Culvert Permit No. _____ Culvert Waiver _____ Contractor's License Number _____ Applicant/Owner/Contractor _____
EXISTING _____ BLK _____ TC _____ N _____
Driveway Connection _____ Septic Tank Number _____ LU & Zoning checked by _____ Approved for Issuance _____ New Resident _____

COMMENTS: NOC ON FILE. ACCESSORY USE TO DWELLING.Check # or Cash 41925**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power _____ Foundation _____ Monolithic _____
date/app. by _____ date/app. by _____ date/app. by _____
Under slab rough-in plumbing _____ Slab _____ Sheathing/Nailing _____
date/app. by _____ date/app. by _____ date/app. by _____
Framing _____ Insulation _____
date/app. by _____ date/app. by _____
Rough-in plumbing above slab and below wood floor _____ Electrical rough-in _____
date/app. by _____ date/app. by _____
Heat & Air Duct _____ Peri. beam (Lintel) _____ Pool _____
date/app. by _____ date/app. by _____ date/app. by _____
Permanent power _____ C.O. Final _____ Culvert _____
date/app. by _____ date/app. by _____ date/app. by _____
Pump pole _____ Utility Pole _____ M/H tie downs, blocking, electricity and plumbing _____
date/app. by _____ date/app. by _____ date/app. by _____
Reconnection _____ RV _____ Re-roof _____
date/app. by _____ date/app. by _____ date/app. by _____

BUILDING PERMIT FEE \$ 135.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ _____
FLOOD DEVELOPMENT FEE \$ _____ FLOOD ZONE FEE \$ _____ CULVERT FEE \$ _____ **TOTAL FEE** 185.00
INSPECTORS OFFICE _____ CLERKS OFFICE _____

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 1012-40 Date Received 12/20/10 By CH Permit # 29100
 Zoning Official BLK Date 12.10 Flood Zone N/A Land Use Res. Low-Density Zoning RSF-2
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner T.C. Date 12-27-10

Comments _____
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter
 IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
 School _____ = TOTAL Accessory use to dwelling RV form

Septic Permit No. N/A Fax 352-332-0266

Name Authorized Person Signing Permit Tom Bush Phone 352-332-7665

Address 3601 NW 97 BLVD GAINESVILLE FL. 32606

Owners Name SCOTT KIRK Phone 386-288-4792

911 Address 463 SW MORNING GLORY DR LAKE CITY FL 32024

Contractors Name FUNSTATE POOLS INC MICHAEL CANTO Phone 352-332-7665

Address 3601 NW 97 BLVD GAINESVILLE FL. 32606

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address FUNSTATE POOLS INC, / DISCOL ENGINEERING INC

Mortgage Lenders Name & Address _____

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 15-45-16-03023-517 Estimated Cost of Construction \$27,000.00

Subdivision Name Rolling Meadows Lot 17 Block _____ Unit _____ Phase _____

Driving Directions SR 90W to 225B CANTON RD to Hope Heney Rd, to Morning Glory Dr, FL
go to end of Cul De Sac on LEFT.

Number of Existing Dwellings on Property 1

Construction of SWIMMING POOL CONCRETE INGROUND Total Acreage _____ Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____

Actual Distance of Structure from Property Lines - Front _____ Side _____ Side _____ Rear _____

Number of Stories _____ Heated Floor Area _____ Total Floor Area _____ Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

spoke to FunState Pools 12-28-10

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.


Owners Signature

(Owners Must Sign All Applications Before Permit Issuance.)

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.


Contractor's Signature (Permitee)

Contractor's License Number CPC1457304
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 20 day of Dec 2010.
Personally known ☒ or Produced Identification _____

Kyle Smith EE 038053
State of Florida Notary Signature (For the Contractor)



This Instrument Prepared by & return to:

Name: **JOYCE KIRPACH, an employee of
TITLE OFFICES, LLC**
Address: **1089 SW MAIN BLVD.
LAKE CITY, FLORIDA 32025
File No. 06Y-01050AJK**

Parcel I.D. #: **03023-005**

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the 2nd day of February, A.D. 2006, by
KINGDOM PROPERTIES, INC., A FLORIDA CORPORATION, having its principal place of business at
10621 SW 88TH ST., SUITE 120, MIAMI, FL 33176, hereinafter called the grantor, to
SCOTT KIHAI and MELINDA KIHAI, HIS WIFE whose post office address is
PO BOX 1104, LAKE CITY, FL 32056

hereinafter called the grantees:

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in **Columbia County, State of FLORIDA**, viz:

Lot 17, ROLLING MEADOWS, according to the map or plat thereof as recorded in Plat Book 8, Page 45-46, of the Public Records of Columbia County, FLORIDA.

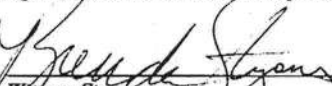
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

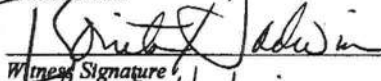
To Have and to Hold the same in fee simple forever.


And the grantor hereby covenants with said grantees that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2006.

In Witness Whereof, the said grantor has caused these presents to be executed in its name and its corporate seal to be hereunto affixed by its proper officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered in the presence of:


Witness Signature
Brenda Styons
Printed Name


Witness Signature
Bonita Hadwin
Printed Name

KINGDOM PROPERTIES, INC.
By: 
Name: **DAVID A. CASTRO**
Title: **PRESIDENT**

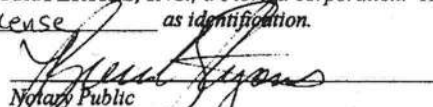
Inst: 2006002833 Date: 02/07/2006 Time: 09:27
Doc Stamp-Deed : 364.00
J. P. Dewitt Cason, Columbia County B: 1073 P: 391

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 2nd day of February, 2006, by **DAVID A. CASTRO** as **PRESIDENT** of **KINGDOM PROPERTIES, INC.**, a Florida corporation. He (she) is personally known to me or has produced drivers license as identification.



BRENDA STYONS
MY COMMISSION # DD 267086
EXPIRES: February 8, 2008
Provided Thru Budget Notary Services


Notary Public
My commission expires _____

NOTICE OF COMMENCEMENT

This Instrument Prepared By:

Name: Fun State Pools, Inc. Tom Bush

Address: 3601 NW 97 Blvd Gville FL 32606

Permit No:

Tax Folio No: 15-46-16 03023-517

Inst 201012020248 Date: 12/20/2010 Time: 1:56 PM

DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1206 P: 2150

STATE OF: Florida

COUNTY OF: COLUMBIA COUNTY

THE UNDERSIGNED HEREBY gives notice that improvement(s) will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. DESCRIPTION OF PROPERTY: Street Address: 463 SW MORNING GLORY DR LAKE CITY FL 32024
Legal Description: LOT 17 ROLLING MEADOWS

2. GENERAL DESCRIPTION OF IMPROVEMENT(S): INGROUND CONCRETE SWIMMING POOL

3. OWNER INFORMATION: a.) Name: SCOTT & MELINDA KIHLE Address: 463 SW MORNING GLORY DR LAKE CITY FL 32024

b.) Interest in Property: Fee Simple

c.) Fee Simple Titleholder (if other than owner) Name: - Address: -

4. CONTRACTOR: a.) Name: Fun State Pools, Inc Address: 3601 NW 97 Blvd Gville 32606 b.) Phone: 352-332-7665

5. SURETY: a.) Name: N/A Address: N/A

b.) Amount of bond \$: N/A c.) Phone: N/A

6. LENDER: a.) Name: N/A Address: N/A b.) Phone: N/A

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a) 7, Florida Statutes:

a.) Name: N/A Address: N/A b.) Phone: N/A

8. In addition to himself, Owner designates the following person(s) to receive a copy of Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

a.) Name: N/A Address: N/A b.) Phone: N/A

9. Expiration date of notice of commencement (the expiration date is one (1) year from the date of recording unless a different date is specified) N/A

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]
Signature of Owner or Owner's Authorized Officer/Director
Partner/Manager

Signatory's Title/Office

The foregoing instrument was acknowledged before me this 16 day of DEC. 2010 (year)
by SCOTT & MELINDA KIHLE (name of person) as owner (type of authority, e.g. officer,
trustee, attorney in fact) for SCOTT & MELINDA KIHLE (name of party on behalf of whom instrument was executed).



Kyle Smith
Signature of Notary Public - State of Florida
Print, Type, or Stamp Commissioned Name of Notary Public
Commission Number: EE-038053
Personally Known FLDL or Produced Identification

Verification Pursuant to Section 92.525, Florida Statutes

Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

[Signature]
Signature of Natural Person Signing Above

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____

CONTRACTOR FUN STATE POOLS INC.PHONE 352-332-7443

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

*

ELECTRICAL	Print Name <u>Kurt Swindel</u> License #: <u>EC-0002384</u>	Signature <u>[Signature]</u> Phone #: <u>352-262-0792</u>
MECHANICAL/ A/C	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

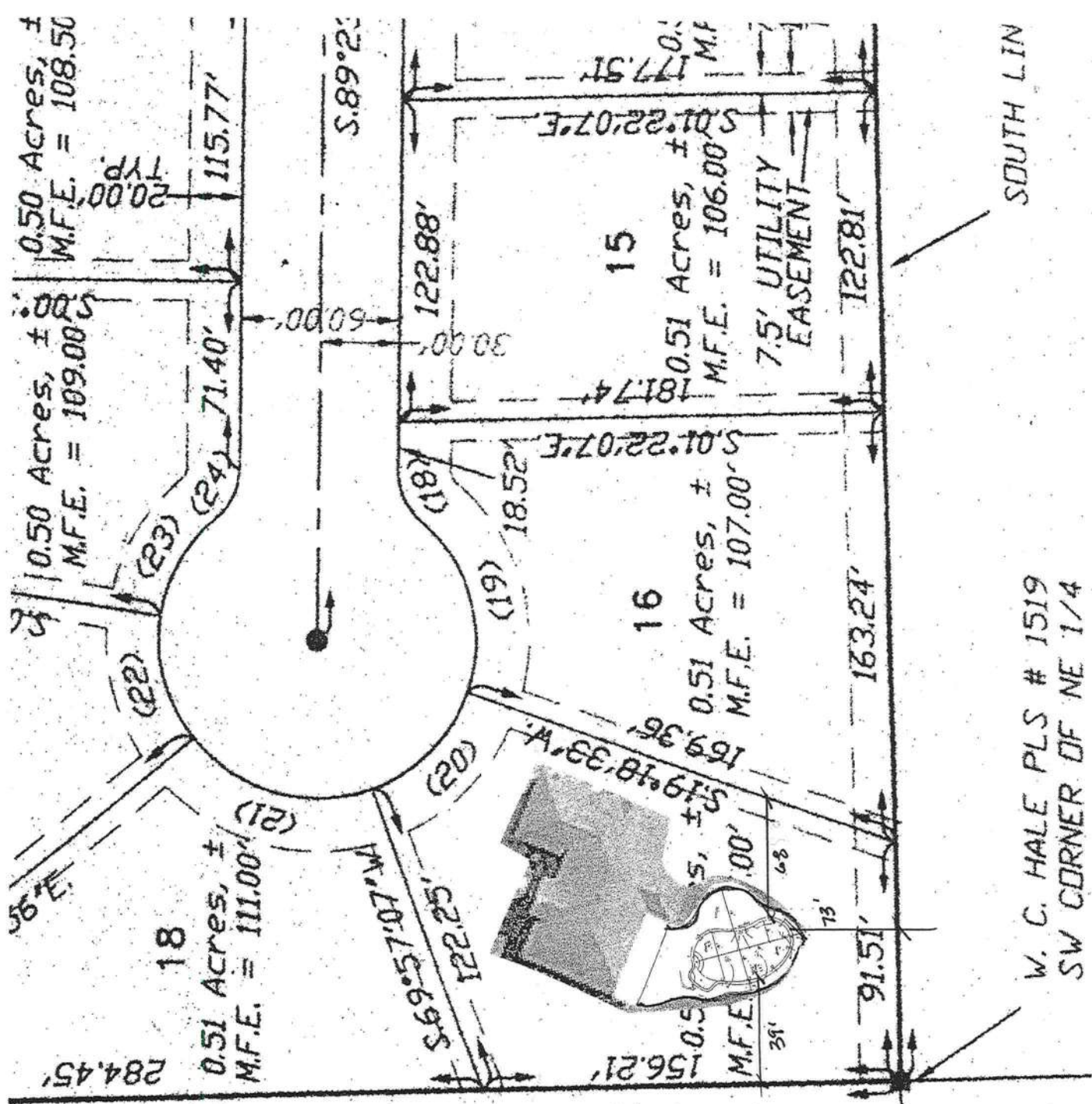
Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; Identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

UNPLATTED
10 ACRES



LANDS
S. #



0.50 Acres, ±
M.F.E. = 108.50
20.00' TYP.
115.77'

0.50 Acres, ±
M.F.E. = 109.00
284.45'

0.51 Acres, ±
M.F.E. = 111.00
S. 89° 22' 00"
122.25'
S. 69° 57' 07" W.

0.51 Acres, ±
M.F.E. = 106.00
122.88'
30.00'
181.74'

0.51 Acres, ±
M.F.E. = 107.00
169.36'
S. 19° 18' 33" W.
156.21'

0.51 Acres, ±
M.F.E. = 108.50
177.51'

7.5' UTILITY
EASEMENT
122.81'
163.24'
91.51'

SOUTH LINE

W. C. HALE PLS # 1519
SW CORNER OF NE 1/4



1 inch = 50 feet



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

Application Number _____

NOTICE TO SWIMMING POOL OWNERS

I SCOTT KIHARI / MELINDA KIHARI have been informed and I understand that prior to the final inspect approval and use of my pool, I will need all the inspections approved and the required fencing installed in accordance applicable regulations. The Florida Building Code Chapter 4 Section 24 requires private residential swimming pools, h tubs, or non-portable spas containing water over 24 inches deep to meet the following pool barrier safety feature requirements:

- The pool access must be isolated by a barrier at least 4 feet high and installed around the perimeter of the poo Unless the pool is equipped with a safety cover complying with the specifications of American Society for Testing and Materials standard F-1346-91.
- The barrier shall not have any gaps or openings which would allow a child to crawl under, squeeze through or climb over and must be placed no less than 20 inches from the water's edge.
- Gates located in the pool barrier must open outward away from the pool and be both self-closing and self latching, with a release mechanism not less than 54" above the standing surface at the gate.
- The barrier must be separate from any other fence, wall, or other enclosure surrounding the yard unless the fence, wall or other enclosure or portion thereof is situated on the perimeter of the pool and meets the pool barrier requirements.
- Where a wall of a dwelling serves as part of the barrier **one** of the following shall apply:
 - 1) All doors and first floor windows with a sill height of less than 48 inches providing direct access from the home to the pool must be equipped with an alarm that has a minimum sound pressure rating of 85 decibels at 10 feet. The alarm shall sound immediately upon opening the window or door unless the temporary bypass mechanism is activated.
 - 2) Or; all doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with a release mechanism located at least 54 inches above the floor.

According to Florida statutes, failure to comply with these requirements is a misdemeanor of the second degree, punishable by imprisonment for up to 60 days or a fine of up to \$500, except that no penalty shall be imposed if within 45 days after arrest or issuance of a summons or notice to appear, the pool is equipped with the aforementioned safety features and the responsible person attends a drowning prevention education program developed by the Florida Department of Health. I also understand that there are several inspections required in addition to a final inspection for my swimming pool.

Owner Signature [Signature] Date 12/16/10

Address: 463 SW MURRAY, 6103 A., LAKE CITY, FL 32024

Contractor Signature [Signature] Date 12-17-10

CPC 1457306
License Number



Quality Mesh, Assembly, and Components.

We use only "Textilene®" PVC coated polyester mesh. This incredibly strong, transparent mesh has been used exclusively in Protect-A-Child Pool Fences for over 22 years. It alone has stood the test of time and weather. It does not rot, tear, stretch, run, or fade.

Our border material and thread are made from a superior UV resistant marine grade. In over 22 years of constant use we have experienced -0- failures of our border material, thread, or sewing.

All metal components and fasteners on our fencing and gates are either stainless steel or aluminum. No steel is used so rust will never be a problem.

Your Child's Safety Is Too Important To Wait.

Your pool and patio should be a place of enjoyment and relaxation, not a cause of worry and concern. Protect-A-Child Pool Fencing with its exclusive safety features makes it possible for you to experience that enjoyment.

Remember, it only takes a simple everyday distraction for a heartbreaking tragedy to occur. That's why it's important that you call us now for a free estimate.



**Your Child Is Worth It.
Your Peace Of Mind Is Worth It.
Call Today.**

AFFORDABLE PROTECT-A-CHILD
POOL FENCE
OCALA (352) 624-3555
GAINESVILLE (352) 331-1994



PROTECT-A-CHILD®
POOL FENCE SYSTEMS

The Baby Safe® Pool Fence

954-979-1089 • 800-992-2206 • Fax: 954-979-5240

To learn more visit us at www.protectachild.com • Email: help@protectachild.com

Protect-A-Child Pool Fencing is not a substitute for adequate adult supervision. Children should always be carefully monitored when near pools or other potential drowning hazards.

Fun State Pools

372-POOL

3601 N.W. 97th Blvd.
Gainesville, Florida 32606

REF. NO.

POOL SHAPE: KIDLEY JOB NO.
SIZE: 13' x 14' x 12' x 28' DEPTH: 3' 6" TO 6' PERM: 8' 6" AREA: 360

DECK: 4' 6" x 10' DECK SURFACE: FAYER DECK O-DRAIN: YES

COPING: YES CANTILEVER: NO

TILE: YES COLOR: Oyster

STEP COLOR: No COLOR: OWNER

TURNOVER: 24 HOURS FILTER TYPE: PUMP SIZE: 100 PUMP: VS-SIRS

SKIMMER: YES INLETS: 5 MAIN DRAIN: YES

GRAB RAILS: No HAND RAIL: No LADDER: No

POOL LIGHT: YES VOLTS: 110 WATTS: 400

DIVING BOARD: No SIZE: No

AUTOMATIC CHLORINATOR: SET TIMER: YES FILL LINE: No

CLEANING EQUIPMENT: LADDER SWIMOUT: YES SIZE: 10' x 10'

ROPE & FLOATS: No ROPE ANCHORS: No

AUTOMATIC CLEANING SYSTEM: YES POOL HEATER: No

GAS LINE BY: No SLIDE: No SIZE: No

SPA SPECIFICATIONS

SIZE: No SPA DEPTH: JETS:

BLOWER: SKIMMER: LIGHT:

SPILLWAY: HEATER: MAIN DRAIN:

SCREEN ENCLOSURE: No SCREEN ROOF: DOORS:

ALUM. ROOF: GUTTER:

REMOVE FENCE: REPLACE FENCE: LAMP TEMP. FENCE: No

TREE REMOVAL: STUMP REMOVAL: No

SHRUBS: No SAVE: No Haul AWAY: No

SEPTIC TANK: No SEWER LINE: No

POWER LINE: No RELOCATE: No

GAS LINE: No WATER LINE: No

SPRINKLERS: No REROUTE: No CAP: No

PHONE LINE: No ACCESS PERMISSION: No

RETAINING WALL: No

NAME: Scott & Mearns Riffe
ADDRESS: 463 SW Mearns Glory Dr
CITY: Lake City PHONE: 1-386-461-1100 Scott & Mearns 386-288-4792

Part 2 of contract dated

LOT: BLOCK: SUB: for pool at: Meadows

BOOK: ALSO DESCRIBED AS: 15-45-16-03023-517

CUSTOMER'S SIGNATURE: [Signature]

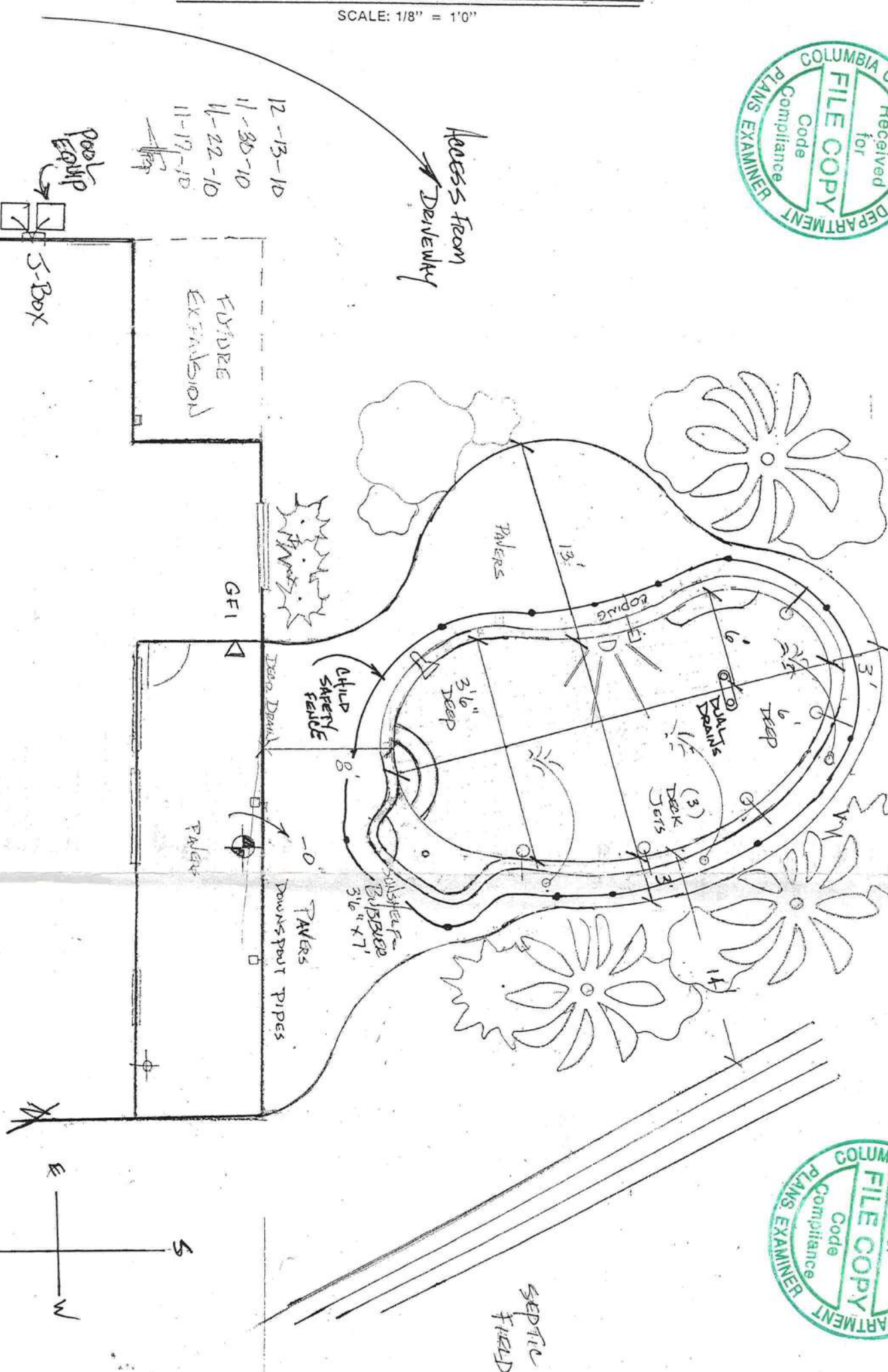
DATE: 12/16/10

PLOT PLAN

SCALE: 1/8" = 1'0"



KITLEY
RESIDENCE
463 Mearns Glory Dr.
LAKE CITY



Equipment Bonding Grid
as per NEC 680-26 (Code)
Note - Pool shall be wired
as per NEC and all metal
within 5' of pool shall be
bonded.

Note - Angle of repose of
existing foundation shall not
be disturbed by pool
excavation without approval of
authorities.

Note: All plan dimensions
are subject to field verification
and may vary from

GENERAL NOTES

Design Criteria

1. Structure to meet wind load requirements of FBC 2007 SEC. 1609 for a design wind speed of 110 mph.
2. Wood framing and fasteners to meet HD S-2005 requirements.
3. Fastener requirements: (1) All nails are Common galvanized; (2) all bolts are to be galvanized steel and include nuts and washers; and (3) all other hardware (Simpson, etc.) is to be installed according to manufacturer's specifications and recommendations. Nailing (size and number) shall satisfy Tables 2306.3.1, 2306.3.2 and 2306.4.1 FBC unless otherwise indicated. Note: fasteners exposed to the weather are to be treated for weather resistance and compatible with the type of pressure treated wood used (connectors, nails, bolts, nuts and washers).
4. Fasteners shall be driven flush with surface of sheathing.

Concrete Construction Notes

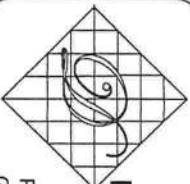
1. Concrete work shall conform to "Building Code Requirements for Reinforced Concrete" (ACI 318) and "Specifications for Structural Concrete" (ACI 301), Latest Edition.
2. Concrete Mix "A" shall be used for foundation walls, footings and interior slabs on grade. Concrete mix "B" shall be used for exterior slabs, curbs and all other exterior concrete. All concrete mixes shall contain a water-reducing admixture conforming to ASTM C-494. Air-entraining admixture shall conform to ASTM C-260.

	Mix A	Mix B
Ultimate Compressive Strength @ 28 days	3000 psi	3000 psi
Slump Range	4"±, 1"	3"±, 1"
Maximum Aggregate Size	1"	1"
Extruded Air	None	5-7%
Dry Weight per Cubic Foot	150#	150#

3. All concrete shall be cured for a minimum of 28 days. If forms for vertical surfaces are removed prior to the end of the curing period, spray surfaces with liquid membrane curing compound.
4. Reinforcing steel shall conform to ASTM A615, Grade 40 (Fy=40 ksi). Lap continuous bars for tension lap splice per ACI 318, unless otherwise noted. Provide corner bars of same size and spacing as horizontal wall reinforcement. Cover for concrete reinforcing steel shall be in accordance with ACI 318, Paragraph 7.7.
5. Welded wire fabric (WVF) shall conform to ASTM A185. Lap sheets two mesh spaces and wire the adjacent sheets together securely. Cut alternate reinforcement at control joints.
6. All slabs on grade shall have construction or control joints not to exceed 15' - 0" spacing, unless otherwise noted. Electrical conduit and other pipes to be embedded in structural concrete floor slabs or walls shall be placed in accordance with the requirements of ACI 318, Paragraph 6.3.

Masonry Construction Notes

1. Concrete masonry work shall conform to "Building Code Requirements for Masonry Structures" (ACI 530-02/ASCE-02) and "Specifications for Masonry Structures" (ACI 530.1-02/ASCE-02).
2. Concrete masonry units shall be Type 1 and comply with "Standard Specifications for Hollow Load-Bearing Concrete Masonry Units" (ASTM C90-90).
3. The minimum net area compressive strength of masonry (f_m), as determined by the unit strength method, shall be 1500 psi.
4. Mortar shall conform to ASTM C270. Type M Mortar shall be used unless otherwise noted. Type S Mortar shall be used with masonry in contact with earth.
5. Masonry column reinforcement shall have #1 ties in the bed joints at 8" oc, unless otherwise noted.
6. Grout for filling block cores and bond beams shall have a minimum compressive strength (f'_c) of 3,000 psi at the age of 28 days.



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PREPARED FOR

KITELI RESIDENCE
443 MORRIS GURLEY DR
LAKE CITY FL 32064

CONTRACTOR:

FUNSTATE POOLS
3601 N.W. 97th BLVD
GAINESVILLE, FL
352-332-7665

ALL POOL CONSTRUCTION TO COMPLY WITH
ANSI/ APSP-7 & FBC 2007 & 2009 AMENDMENTS
AND V.G.B. 2008 COMPLIANCE

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SHEET:4 DETAIL DRAWINGS
SHEET:5 DETAIL DRAWINGS

THESE DETAILS HAVE BEEN PREPARED IN COMPLIANCE
WITH REQUIREMENTS OF THE 2007 FLORIDA BUILDING CODE
AND THE 2009 AMENDMENTS TO THE BEST OF MY KNOWLEDGE

REVISED 9-1-09
MICHAEL DRISCOLL, P.E.
FL REG. #43922



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RESIDENTIAL SWIMMING POOL & SPA DESIGN
FOR FUN STATE POOLS USE ONLY



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GENERAL NOTES FOR RESIDENTIAL SWIMMING POOLS

1. Design, construction and workmanship shall be in conformity with the requirements of the 2007 Florida Building Code with 2009 supplement, Chapter 41, ANS/NSPI 3; ANS/NSPI 4; ANS/NSPI 5; and ANS/NSPI 6; ANS/ASp-7.
 2. Every swimming pool shall be equipped complete with approved mechanical equipment consisting of filter, pump, piping valves and component parts.
 3. Pool piping shall be designed so the water velocity will not exceed 10 feet per second (3048 mm/s) for pressure piping and 8 feet per second (2438 mm/s) for suction piping, except that the water velocity shall not exceed 8 feet per second (2438 mm/s) in copper tubing.
 4. All pool and spa suction inlets shall be provided with a cover that has been tested and accepted by a recognized testing facility and comply with ANSI/ASME A112.19.8M, Suction Fittings for Use in Swimming Pools, Spas, Hot Tubs, and Whirlpool Bathtub Appliances.
- Exceptions:
□□1. Surface Skimmers.
□□2. Grate or grates having a minimum area of 144 square inches (.09 m²) or greater.

5. A minimum of one channel drain or two suction outlets shall be provided for each pump in the suction outlet system, separated by a minimum of 3 feet (914 mm) or located on two different planes, i.e., one on the bottom and one on the vertical wall, or one each on two separate vertical walls. These suction outlets shall be plumbed such that water is drawn through them simultaneously through a common line to the pump. When a skimmer is used in conjunction with a single main outlet to meet the requirements of this section, the common suction line must be in compliance with Section R4101.6.6.3 such that a vacuum cannot be drawn on any single main outlet or skimmer.
6. Pumps shall be installed in accordance with manufacturer's recommendations.
7. Pump impellers, shafts, wear rings and other working parts shall be of corrosion-resistant materials.
8. All pool piping shall be tested and proved tight to the satisfaction of the administrative authority, under a static water or air pressure test of not less than 35 pounds per square inch (ps) (241 kPa) for 15 minutes.

- Exception: Circulating pumps need not be tested as required in this section.
9. All pools whether public or private shall be provided with a ladder or steps in the shallow end where water depth exceeds 24 inches (610 mm). In private pools where water depth exceeds 5 feet (1524 mm), there shall be ladders, stairs or underwater benches/swim-outs in the deep end.
- Where manufactured diving equipment is to be used, benches or swim-outs shall be recessed or located in a corner.

- Exception: In private pools having more than one shallow end, only one set of steps is required. A bench, swim-out or ladder may be used at all additional shallow ends in lieu of an additional set of steps.
10. The entire design of matched components shall have sufficient capacity to provide a complete turnover of pool water in 12 hours or less.
 11. Approved surface skimmers are required and shall be installed in strict accordance with the manufacturer's installation instructions. Skimmers shall be installed on the basis of one per 800 square feet (74 m²) of surface area or fraction thereof, and shall be designed for a flow rate of at least 25 gallons per minute (gpm) (1.6 L/s) per skimmer.
 12. Approved manufactured inlet fittings for the return of re-circulated pool water shall be provided on the basis of at least one per 300 square feet (28 m²) of surface area. Such inlet fittings shall be designed and constructed to insure an adequate seal to the pool structure and shall incorporate a convenient means of sealing for pressure testing of the pool circulation piping. Where more than one inlet is required, the shortest distance between any two required inlets shall be at least 10 feet (3048 mm).

13. Filters shall be equipped with a pressure gauge and an air release system.
14. Piping shall be schedule 40 PVC, NSFpw minimum.
15. Contractor shall install piping so as to not exceed the limits imposed by the tables shown.
16. All electrical design is by others.
17. Minimum soil bearing capacity shall be a min. 2000 psf.
18. Contractor shall submit completed total or simplified total dynamic head calculation worksheet with each permit application to the building dept.

CERTIFICATION
I certify that to the best of my knowledge, these master plan, residential pool design requirements are in compliance with the 2007 Florida Building Code Residential with 2009 supplement, Chapter 41.

Flow and Friction Loss Per Foot									
Schedule 40 PVC Pipe		Velocity-Feet Per Second							
Pipe Size	6 f/s	8 f/s				10 f/s			
1"	16 gpm	0.25'	21 gpm	0.66'	28 gpm	0.94'			
1.5"	37 gpm	0.16'	50 gpm	0.28'	62 gpm	0.48'			
2"	62 gpm	0.15'	82 gpm	0.25'	103 gpm	0.40'			
2.5"	88 gpm	0.09'	117 gpm	0.09'	146 gpm	0.23'			
3"	138 gpm	0.09'	181 gpm	0.14'	227 gpm	0.23'			
4"	234 gpm	0.06'	313 gpm	0.10'	392 gpm	0.15'			
6"	534 gpm	0.04'	712 gpm	0.04'	890 gpm	0.10'			

Total Head in Feet Conversion Chart
Inches Mercury (Vacuum Gauge)

0	2	4	6	8	10	12	14	16	18
0 0.0	2.3	4.5	6.8	9.0	11.3	13.6	15.8	18.1	20.3
1 2.3	4.6	6.8	9.1	11.4	13.6	15.9	18.1	20.4	22.7
2 4.6	6.9	9.1	11.4	13.7	15.9	18.2	20.4	22.7	25.0
3 6.9	9.2	11.5	13.7	16.0	18.2	20.5	22.8	25.0	27.3
4 9.2	11.5	13.8	16.0	18.3	20.5	22.8	25.1	27.3	29.6
5 11.5	13.8	16.1	18.3	20.6	22.8	25.1	27.4	29.5	31.9
6 13.9	16.1	18.4	20.6	22.9	25.2	27.4	29.7	31.9	34.2
7 16.2	18.4	20.7	23.0	25.2	27.5	29.7	32.0	34.3	36.5
8 18.5	20.7	23.0	25.3	27.6	29.8	32.0	34.3	36.6	38.8
9 20.8	23.1	25.3	27.6	29.8	32.1	34.3	36.6	38.9	41.1
10 23.1	25.4	27.6	29.9	32.1	34.4	36.7	38.9	41.2	43.4
11 25.4	27.7	29.9	32.2	34.5	36.7	39.0	41.2	43.5	45.8
12 27.7	30.0	32.2	34.5	36.8	39.0	41.3	43.5	45.8	48.1
13 30.0	32.3	34.6	36.8	39.1	41.3	43.6	45.9	48.1	50.4
14 32.3	34.6	36.9	39.1	41.4	43.6	45.9	48.2	50.4	52.7
15 34.6	36.9	39.2	41.4	43.7	45.9	48.2	50.5	52.7	55.0
16 37.0	39.2	41.5	43.7	46.0	48.3	50.5	52.8	55.0	57.3
17 39.3	41.5	43.8	46.1	48.3	50.6	52.8	55.1	57.4	59.6
18 41.6	43.8	46.1	48.4	50.6	52.9	55.1	57.4	59.7	61.9
19 43.9	46.2	48.4	50.7	52.9	55.2	57.4	59.7	62.0	64.2
20 46.2	48.5	50.7	53.0	55.2	57.5	59.8	62.0	64.3	66.5
21 48.5	50.8	53.0	55.3	57.6	59.8	62.1	64.3	66.6	68.9
22 50.8	53.1	55.3	57.6	59.9	62.1	64.4	66.6	68.9	71.2
23 53.1	55.4	57.7	59.9	62.2	64.4	66.7	69.0	71.2	73.5
24 55.4	57.7	60.0	62.2	64.5	66.7	69.0	71.3	73.5	75.8
25 57.8	60.0	62.3	64.5	66.8	69.1	71.3	73.6	75.8	78.1
26 60.1	62.3	64.6	66.8	69.1	71.4	73.6	75.9	78.1	80.4
27 62.4	64.6	66.9	69.2	71.4	73.7	75.9	78.2	80.5	82.7
28 64.7	66.9	69.2	71.5	73.7	76.0	78.2	80.5	82.8	85.0
29 67.0	69.3	71.5	73.8	76.0	78.3	80.5	82.8	85.1	87.3
30 69.3	71.6	73.8	76.1	78.3	80.6	82.9	85.1	87.4	89.6
31 71.6	73.9	76.1	78.4	80.7	82.9	85.2	87.4	89.7	92.0
32 73.9	76.2	78.4	80.7	83.0	85.2	87.5	89.7	92.0	94.3
33 76.2	78.5	80.7	83.0	85.3	87.5	89.8	92.0	94.3	96.6
34 78.5	80.8	83.1	85.3	87.5	89.8	92.1	94.4	96.6	98.9
35 80.9	83.1	85.4	87.6	89.9	92.2	94.4	96.7	98.9	101.2

- Notes:
1. If a variable speed pump is used, use the max. pump flow in calculating.
 2. For site wall drains, use appropriate side wall drain flow as published by manufacturer.
 3. Insert manufacturer's name and approved maximum flow.
 4. See installation instructions for number of ports to be used.
 5. In-floor suction outlet coverages must conform to most recent edition of ASHRAE/ANSI A112.198 and be embossed with that edition approval. & V.G.B. 2008 compliance
 6. Pump & Filter make, model and location can not change without submit three revised plans and TDH worksheet.

- TDH Calculation Options
For each pump
- ☒ Check one.
Simplified Total Dynamic Head (STDH)
Complete STDH Worksheet-Fill in all blanks.
- ☐ Total Dynamic Head (TDH)
Complete Program or other calc. Fill in required blanks on worksheet & attach calculations.

PROFESSIONAL SERVICES
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PLANS AND SPECIFICATIONS

The plans and specifications presented herein are only for the anticipated construction at the location shown. If construction plans change, the Design Professional should be notified so the plans and specifications can be re-evaluated. The Design Professional should be given the opportunity to review final plans and specifications before construction begins. If the Design Professional is not given the opportunity to review final plans and specifications, the Design Professional warrants that the plans and specifications contained herein, have been prepared in accordance with generally accepted professional engineering practice. No other warranties are implied or expressed.

CORPORATE PROTECTION

It is understood and agreed that the Design Professional's Basic Services under this agreement do not include project observation or review of the Contractor's performance or any other construction phase services will be provided by the client. The client assumes all responsibility for interpretation of the contractor documents and for construction observation and supervision and waives any claims against the Design Professional that may in any way connected thereto.

In addition, The client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any loss, claim or cost including attorney's fees and costs of defense, arising from any modification, change or alteration of the Design Professional's work, or from any and all claims arising from modification, change or alteration of the Design Professional's work, or from any and all claims arising from the sole negligence or willful misconduct thereof.

OWNERSHIP OF INSTRUMENTS OF SERVICE

All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Design Professional as instruments of service shall remain property of the Design Professional. The Design Professional shall retain all common law, statutory and other reserved rights, including the copyright thereto.

DEFECTS IN SERVICE

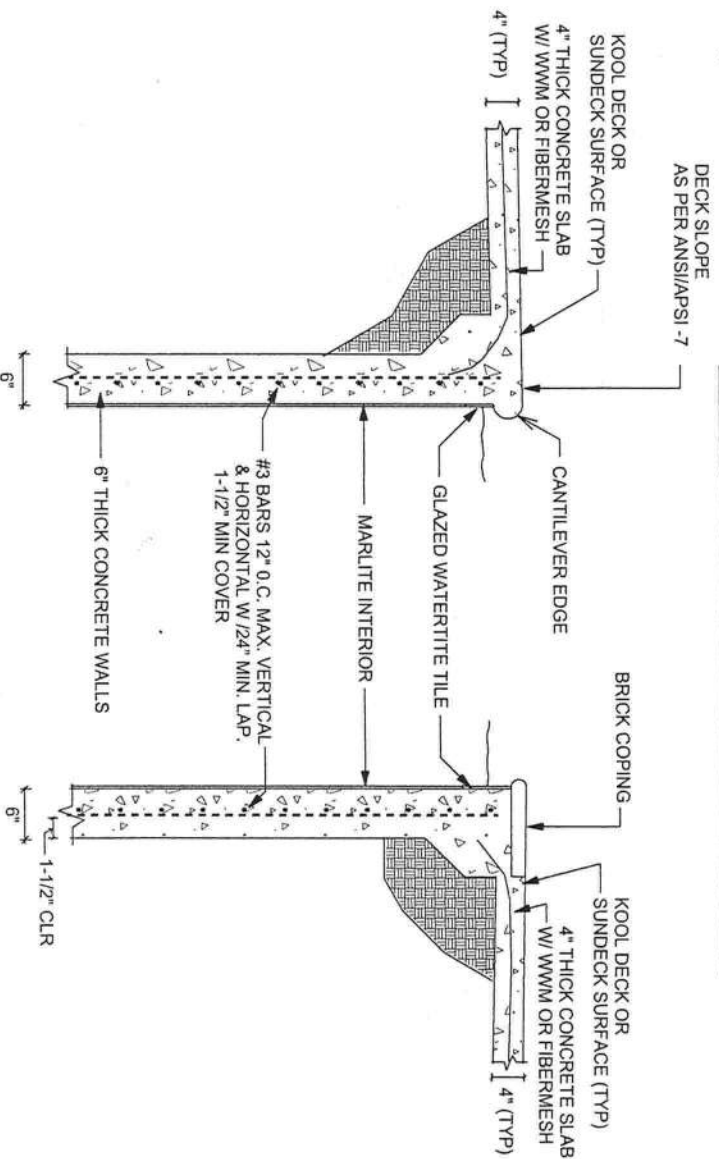
The client shall promptly report to the Design Professional any defects or suspected defects in the Design Professional's work or services of which the client becomes aware, so that the Design Professional may take measures to minimize the consequences of such defect. The client warrants that he or she will impose similar notification obligations on any subcontractors or suppliers who may be required to perform any work under the Design Professional's contract. The Design Professional shall retain the Design Professional of the cost of remedying the defects above the sum such remedy would have cost had prompt notification been given.

VERIFICATION OF EXISTING CONDITIONS

Inasmuch as the remodeling and/or rehabilitation of an existing building requires certain assumptions be made regarding existing conditions, and because some of these assumptions may not be verifiable without expending additional sums of money or destroying otherwise serviceable portions of the building, The client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless in any claim, liability or cost (including attorney's fees and cost of defense) for injury or economic loss arising out of professional services provided under this agreement, except only those damages, liability, or cost attributable to the sole negligence or willful misconduct of the Design Professional.

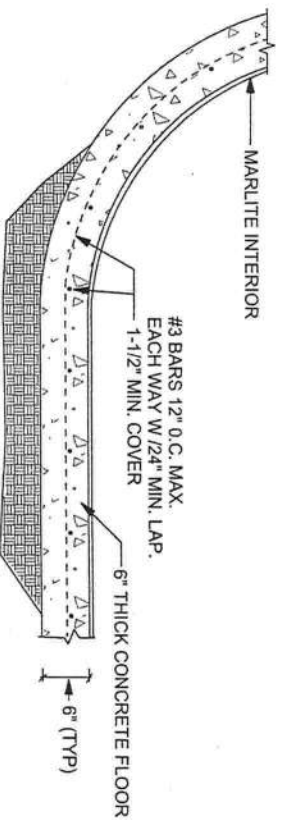
RESIDENTIAL SWIMMING POOL & SPA DESIGN
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ALL POOL CONSTRUCTION TO COMPLY WITH
ANSI/ APSP-7 & FBC 2007 WITH 2009 AMENDMENTS.
& COMPLY WITH V.G.B. 2008 REQUIREMENTS



TYP WALL SECTIONS

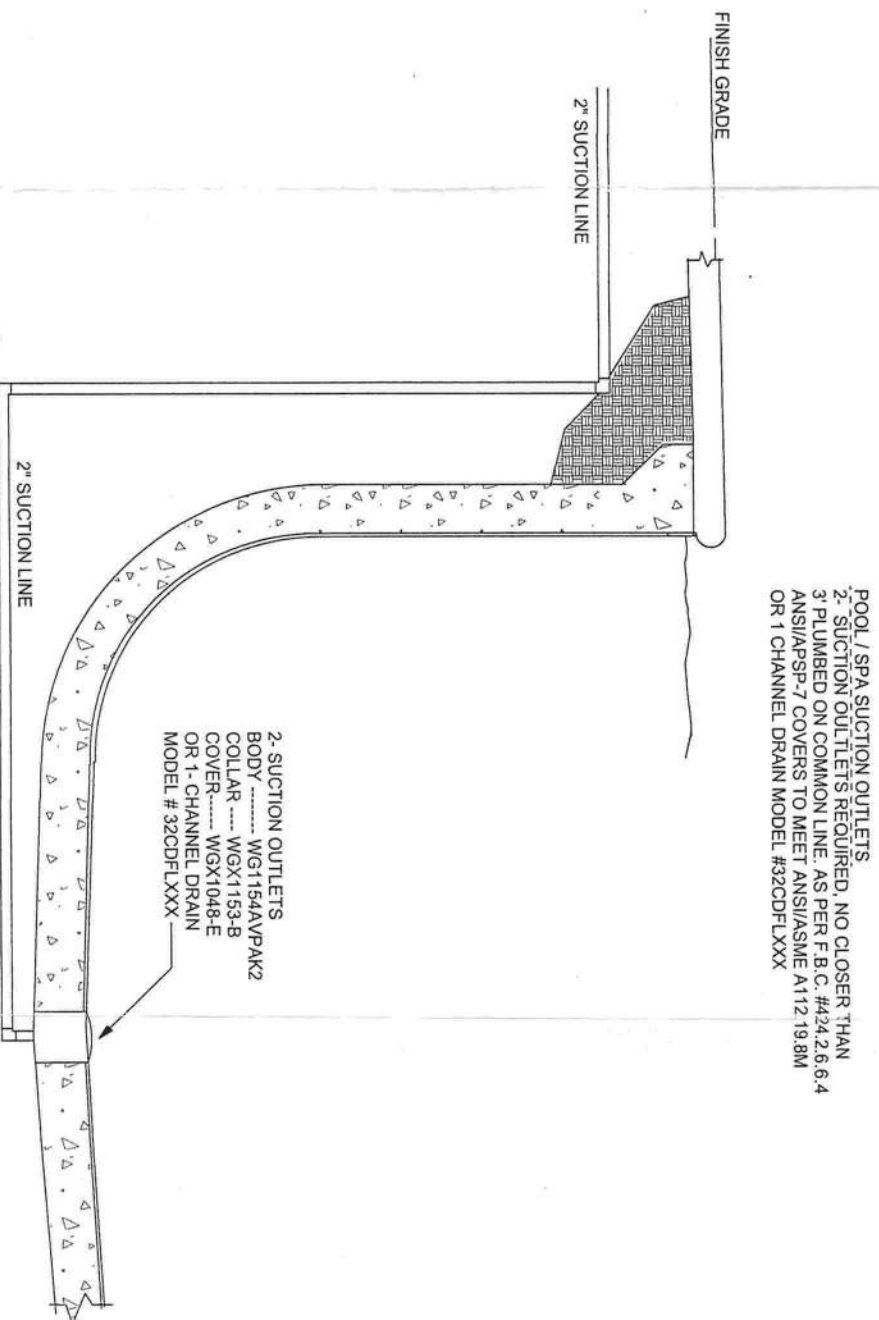
NTS



FLOOR SECTION (TYP)

NTS

ALL POOL CONSTRUCTION TO COMPLY WITH
ANSI/ APSP-7 & FBC 2007 WITH 2009 AMENDMENTS.
& COMPLY WITH V.G.B. 2008 REQUIREMENTS



DUAL SUCTION OUTLETS OR SINGLE CHANNEL SUCTION OUTLET

NTS

FOOTINGS FOR SCREEN OR OTHER ACCESSORY STRUCTURES BY OTHERS
POOL WALL & FLOOR CONCRETE TO BE 3000 PSI. MIN.
POOL DECK CONCRETE TO BE 2500 PSI. MIN
ALL PIPING SHALL BE SCH 40 PVC PIPE
ALL SUCTION DEVICES SUCTION OUTLETS, ETC. SHALL BE 2" DIA. SCH 40 PVC PIPE.
MAX SUCTION PIPE VELOCITY SIX FEET PER SECOND.

REVISED 9-1-09
MICHAEL E. DRISCOLL, P.E.
FL REG. #43922