

DATE 07/29/2009

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000027977

APPLICANT BARRY BLANTON PHONE 352 332-7665
ADDRESS 3601 NW 97TH BLVD GAINESVILLE FL 32606
OWNER AMY ABBOTT PHONE 365-5859
ADDRESS 236 SW DAYTIME DRIVE LAKE CITY FL 32024
CONTRACTOR FUN STATE POOLS PHONE 352 365-7665
LOCATION OF PROPERTY 90W, TL ON 247S, TL ON CR 242, TR RALPH TERR., TR ON
DAYTIME DRIVE, 1ST HOUSE ON LEFT
TYPE DEVELOPMENT SWIMMING POOL ESTIMATED COST OF CONSTRUCTION 45000.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE N/A DEVELOPMENT PERMIT NO.

PARCEL ID 28-4S-16-03220-000 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES

CPC044114
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X09-219 BK WR N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE

 Check # or Cash 40355

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
 date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by
Framing Insulation
 date/app. by date/app. by
Rough-in plumbing above slab and below wood floor Electrical rough-in
 date/app. by date/app. by
Heat & Air Duct Peri. beam (Lintel) Pool
 date/app. by date/app. by date/app. by
Permanent power Culvert
 date/app. by date/app. by date/app. by
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
 date/app. by date/app. by date/app. by
Reconnection RV Re-roof
 date/app. by date/app. by date/app. by



BUILDING PERMIT FEE \$ 225.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 275.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 0907-38 Date Received 7/23/09 By G Permit # 27977
 Zoning Official BZK Date 27.07.09 Flood Zone N/A Land Use A-3 Zoning A-3
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner WR Date 7/24/09
 Comments _____
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
 IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
 School _____ = TOTAL Accessory Use N/A

Septic Permit No. _____ Fax 352-332-0266
 Name Authorized Person Signing Permit Barry Blanton Phone 352-332-7665
352-214-5907 cell
 Address 3601 NW 97th Blvd. Gainesville FL 32606
 Owners Name Amy Abbott Phone 386-365-5859
 911 Address 236 SW Daytime Drive Lake City FL 32024
 Contractors Name Fun State Pools Inc Phone 352-332-7665
 Address 3601 NW 97th Blvd.
 Fee Simple Owner Name & Address Amy Abbott 236 SW Daytime Drive Lake City FL 32024
 Bonding Co. Name & Address N/A
 Architect/Engineer Name & Address N/A
 Mortgage Lenders Name & Address N/A
 Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy
 Property ID Number 28-45-16-03220-000 HX Estimated Cost of Construction \$45,000
 Subdivision Name N/A Lot _____ Block _____ Unit _____ Phase _____
 Driving Directions US 90 to 247/Branford Road south to CR 242 then left (east) to Ralph Terrace on Right - then 1/2 mile to Daytime Drive (1st house on left) Number of Existing Dwellings on Property 1
 Construction of in ground concrete pool Total Acreage _____ Lot Size _____
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____
 Actual Distance of Structure from Property Lines - Front 580' Side 500' Side 130' Rear 70'
 Number of Stories _____ Heated Floor Area _____ Total Floor Area _____ Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

x Ang L. Wiso 7/21/09

Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

Max D. D. Jr.

Contractor's Signature (Permittee)

Contractor's License Number CPC044114
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 21 day of July 2009
Personally known _____ or Produced Identification ✓

[Signature]

State of Florida Notary Signature (For the Contractor)

SEAL:



THIS DOCUMENT PREPARED

Inst 200912006591 Date: 4/22/2009 Time: 8:19 AM
Doc Stamp-Deed 0 70
44-DC, P. DeWitt Cason, Columbia County Page 1 of 2 B:1171 P:1667

Robert A. Sandow
P.O. Box 860
Live Oak, FL 3206

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made this, 21 day of February, 2009, by TRACY A. ABBOTT, a single person by divorce, hereinafter referred to as the "GRANTOR", to AMY L. ABBOTT whose Post Office address is Post Office Box 3501, Lake City, Florida 32056, hereinafter referred to as the "GRANTEE":

WITNESSETH: That the GRANTOR, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the GRANTEE, all that certain land situate in Columbia County, Florida, to-wit:

TOWNSHIP 4 SOUTH - RANGE 16 EAST

SECTION 28: The NW 1/4 of the NE 1/4 of the SW 1/4. COLUMBIA COUNTY, FLORIDA.

TOGETHER WITH: A non-exclusive perpetual easement for ingress and egress described as follows: A strip of land 60 feet in width being 30 feet each side of a centerline described as follows: BEGIN at the intersection of the South Right-of-way line of County Road No. C-242 and the East line of the NE 1/4 of the NW 1/4 of Section 28, Township 4 South, Range 16 East, Columbia County, Florida; and run thence S 01 degree 03'54" E along the East line of said NE 1/4 of NW 1/4, a distance of 1273.94 feet; thence run S 01 degree 02'52" E along the East line of the SE 1/4 of NW 1/4 of said Section 28, a distance of 1332.37 feet; thence S 01 degree 05'35" E along the East line of the NE 1/4 of NE 1/4 of SW 1/4 of said Section 28, a distance of 660.90 feet; thence S 89 degrees 24'25" W along the North line of the S 1/2 of NE 1/4 of SW 1/4 of said Section 28, a distance of 720.15 feet to a point designated as Reference Point "A" and the Point of Termination of said centerline.

TOGETHER WITH: A non-exclusive perpetual easement for ingress and egress over and across the East 45 feet of the SE 1/4 of SE 1/4; the South 60 feet of the SE 1/4; the West 30 feet of the NW 1/4 of the SE 1/4; the East 30 feet and the South 30 feet of the NE 1/4 of the NE 1/4 of the SW 1/4; the North 30 feet of the SE 1/4 of the NE 1/4 of the SW 1/4; and the South 30 feet of the East 60 feet of the NW 1/4 of the NE 1/4 of the SW 1/4.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any.

Pursuant to Fla. Stat. §201.02(7), this is a transfer of real property between spouses pursuant to an action for dissolution of marriage wherein the real property was their marital home or an interest therein.

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, in the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons claiming by through or under the said Grantor.

IN WITNESS WHEREOF, the Grantor has executed these presents this 21 day of February, 2009.

Signed, sealed, and delivered
in the presence of:

Jennifer C. Starling

JENNIFER C. STARLING

Type or Print Name

Kayleigh M. Moody

KAYLEIGH M. MOODY

Type or Print Name

Tracy A. Abbott (SEAL)
TRACY A. ABBOTT

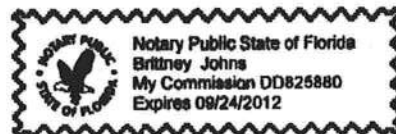
STATE OF FLORIDA

COUNTY OF Bradford

PERSONALLY APPEARED before the undersigned officer duly authorized to administer oaths and take acknowledgments, TRACY A. ABBOTT, who acknowledged before me the execution of the foregoing instrument for the purposes therein expressed, and who is personally known to me or who produced the following as identification Personally Known.

WITNESS MY HAND and official seal this 21 day of
February, 2009.
(SEAL)

Brittney Johns
NOTARY PUBLIC



Columbia County Property Appraiser

DB Last Updated: 4/27/2009

2009 Preliminary Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 28-4S-16-03220-000 HX

Owner & Property Info

Owner's Name	ABBOTT TRACY A & AMY L		
Site Address	DAYTIME		
Mailing Address	236 SW DAYTIME DR LAKE CITY, FL 32024		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	028416.00	Tax District	3
UD Codes	MKTA01	Market Area	01
Total Land Area	10.000 ACRES		
Description	NW1/4 OF NE1/4 OF SW1/4. ORB 498-641, 819-406, 885-2550 THRU 2553, 930-2150, DIV 1167-1962		

<< Prev

Search Result: 4 of 5

Next >>

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$61,560.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$184,721.00
XFOB Value	cnt: (3)	\$2,932.00
Total Appraised Value		\$249,213.00

Just Value	\$249,213.00
Class Value	\$0.00
Assessed Value	\$199,734.00
Exemptions	(code: HX) \$50,000.00
Total Taxable Value	County: \$149,734.00 City: \$149,734.00 Other: \$149,734.00 School: \$174,734.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
7/10/2001	930/2150	WD	V	Q		\$40,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2001	Above Avg. (10)	2508	3233	\$184,721.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0021	BARN,FR AE	1993	\$450.00	0000001.000	60 x 25 x 0	(000.00)
0190	FPLC PF	2001	\$1,600.00	0000001.000	0 x 0 x 0	(000.00)
0166	CONC,PAVMT	2001	\$882.00	0000588.000	0 x 0 x 0	(000.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	0000010.000 AC	1.00/1.00/1.00/1.00	\$6,156.00	\$61,560.00

DESCRIPTION: (AS PER ORB 930, PAGE 2150).
SECTION 28 TOWNSHIP 4 SOUTH - RANGE 16 EAST
THE NW 1/4 OF THE NE 1/4 OF THE SW 1/4, COLUMBIA COUNTY, FLORIDA.
TOGETHER WITH A NON-EXCLUSIVE PERPETUAL EASEMENT FOR INGRESS AND
EGRESS TO AND FROM THE TRACT DESCRIBED AS FOLLOWS:
A STRIP OF LAND 80 FEET IN WIDTH BEING 30 FEET EACH SIDE OF A
CENTERLINE DESCRIBED AS FOLLOWS:

DESCRIPTION: (AS PER ORB 930, PAGE 2150).
SECTION 28 TOWNSHIP 4 SOUTH - RANGE 16 EAST
THE NW 1/4 OF THE NE 1/4 OF THE SW 1/4, COLUMBIA COUNTY, FLORIDA.
TOGETHER WITH A NON-EXCLUSIVE PERPETUAL EASEMENT FOR INGRESS AND
EGRESS TO THE TRACT DESCRIBED AS FOLLOWS:
A STRIP OF LAND 80 FEET IN WIDTH BEING 30 FEET EACH SIDE OF A
CENTERLINE DESCRIBED AS FOLLOWS:

[illegible]

GRANTOR RESERVES A NON-EXCLUSIVE PERPETUAL EASEMENT FOR WALKING AND CROSSING OVER AND ACROSS THE SOUTH 30 FEET OF THE EAST 60 FEET AND THE NORTH 60 FEET OF THE WEST 60 FEET.

ALSO SUBJECT TO THE FOLLOWING DESCRIBED PROPOSED EASEMENT FOR ACCESS AND EGRESS:

PART OF THE NW 1/4 OF THE NE 1/4 OF SECTION 28, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

[illegible]

EXTRA ABERRATION:
F) FIELD AS IN "FIELD
MEASUREMENT".
D) DEED AS IN "DEED
DIMENSION".
P) PLAT AS IN "PLAT
DIMENSION".
R) RECORD AS IN "RECORD"

MARK D. DUREN AND
ASSOCIATES, INC.

LB 7620
20 NW BURK AVE. STE. 103

LAKE CITY, FLA. 32055
(386) 758-9831 OFFICE
(386) 758-8010 FAX

FIELD SURVEY DATE...JULY 5, 2008
DATE DRAWN...JULY 2, 2008

OLD BOOK 194 PAGE 12
OWN BY M. JUREN

107-09-210
SEE OFFICE ASSIGNMENT PAGE 3 TAB

SYMBOL LEGEND

GRI	OFFICIAL RECORDS INSTRUMENT
■	CONCRETE MONUMENT FINDING
□	CONCRETE MONUMENT SET, LS #708
●	IRON PIN OR PIPE FINDING
○	5/8" IRON ROD SET, LS #708
—	WIRE FENCE
—	ELECTRIC UTILITY LINE (OVERHEAD)
—	UNDERGROUND ELECTRIC SERVICE
—	CABLE TV LINE (OVERHEAD)

0 - CHAIN LINK FENCE
1 - WOODEN FENCE
2 - CORRUGATED METAL PIPE
3 - REINFORCED CONCRETE PIPE
4 - LAND SURVEYOR
5 - LICENSED BUSINESS
6 - OFFICIAL RECORD BOOK
7 - PERMANENT REFERENCE MONUMENT

PERMANENT CONTROL POINT
UTILITY POLE
RIGHT-OF-WAY
NO IDENTIFICATION

NO IDENTIFICATION
FLA. DEPT. OF TRANSPORTATION
CENTERLINE
CONCRETE MONUMENT

IRON ROD
IRON PIPE



AMY L. ABBOTT
SUNSTATE FEDERAL CREDIT UNION
NORTH CENTRAL FLORIDA TITLE, LLC
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

SIGNED Mark C. Duren
MARK C. DUREN, LS 4708



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Office: 386-758-1008 Fax: 386-758-2160

Application Number _____

NOTICE TO SWIMMING POOL OWNERS

I Amy Abbott have been informed and I understand that prior to the final inspection approval and use of my pool, I will need all the inspections approved and the required fencing installed in accordance with applicable regulations. The Florida Building Code Chapter 4 Section 24 requires private residential swimming pools, hot tubs, or non-portable spas containing water over 24 inches deep to meet the following pool barrier safety feature requirements:

- The pool access must be isolated by a barrier at least 4 feet high and installed around the perimeter of the pool. Unless the pool is equipped with a safety cover complying with the specifications of American Society for Testing and Materials standard F-1346-91.
- The barrier shall not have any gaps or openings which would allow a child to crawl under, squeeze through or climb over and must be placed no less than 20 inches from the water's edge.
- Gates located in the pool barrier must open outward away from the pool and be both self-closing and self latching, with a release mechanism not less than 54" above the standing surface at the gate.
- The barrier must be separate from any other fence, wall, or other enclosure surrounding the yard unless the fence, wall or other enclosure or portion thereof is situated on the perimeter of the pool and meets the pool barrier requirements.
- Where a wall of a dwelling serves as part of the barrier **one** of the following shall apply:
 - 1) All doors and first floor windows with a sill height of less than 48 inches providing direct access from the home to the pool must be equipped with an alarm that has a minimum sound pressure rating of 85 decibels at 10 feet. The alarm shall sound immediately upon opening the window or door unless the temporary bypass mechanism is activated.
 - 2) **Or:** all doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with a release mechanism located at least 54 inches above the floor.

According to Florida statutes, failure to comply with these requirements is a misdemeanor of the second degree, punishable by imprisonment for up to 60 days or a fine of up to \$500, except that no penalty shall be imposed if within 45 days after arrest or issuance of a summons or notice to appear, the pool is equipped with the aforementioned safety features and the responsible person attends a drowning prevention education program developed by the Florida Department of Health. I also understand that there are several inspections required in addition to a final inspection for my swimming pool.

Amy S. Abbott 7/21/09
Owner Signature Date

Address: 236 SW Daytime Drive Lake City FL 32024

[Signature]
Contractor Signature Date

CPCO 44114
License Number

NOTICE OF COMMENCEMENT

Inst: 200912012287 Date 7/23/2009 Time: 1:34 PM

DC P DeWitt Cason Columbia County Page 1 of 1 B:1177 P:1961

This Instrument Prepared By:

Name: Fun State Pools, Inc. Barry Blanton

Address: 3601 NW 97 Blvd Gville FL 32606

Permit No:

Tax Folio No. 28-45-16-03220-000 Hx

STATE OF: Florida

COUNTY OF: Columbia

THE UNDERSIGNED HEREBY gives notice that improvement(s) will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement

1. DESCRIPTION OF PROPERTY: Street Address: 236 SW Daytime Drive Lake City FL 32024

Legal Description: Parcel # 28-45-16-03220-000 Hx

2. GENERAL DESCRIPTION OF IMPROVEMENT(S): in ground concrete pool

3. OWNER INFORMATION: a.) Name: Amy Abbott Address: 236 SW Daytime Drive

b.) Interest in Property: Fee Simple Lake City FL 32024

c.) Fee Simple Titleholder (if other than owner) Name: Address:

4. CONTRACTOR: a.) Name: Fun State Pools, Inc Address: 3601 NW 97 Blvd Gville 32606 b.) Phone: 352-332-7665

5. SURETY: a.) Name: N/A Address: N/A

b.) Amount of bond \$: N/A c.) Phone: N/A

6. LENDER: a.) Name: N/A Address: N/A b.) Phone: N/A

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes:

a.) Name: N/A Address: N/A b.) Phone: N/A

8. In addition to himself, Owner designates the following person(s) to receive a copy of Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

a.) Name: N/A Address: N/A b.) Phone: N/A

9. Expiration date of notice of commencement (the expiration date is one (1) year from the date of recording unless a different date is specified.) N/A

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Amy L. Abbott
Signature of Owner or Owner's Authorized Officer/Director
Partner/Manager

Signatory's Title/ Office

The foregoing instrument was acknowledged before me this 21 day of July, 2009 (year)
by Amy Abbott (name of person) as (type of authority, e.g. officer,
trustee, attorney in fact) for (name of party on behalf of whom instrument was executed).



Karleen P. Howard
Signature of Notary Public - State of Florida
Print, Type, or Stamp Commissioned Name of Notary Public
Commission Number: DD 768706
Personally Known ☒ or Produced Identification ☒

Verification Pursuant to Section 92.525, Florida Statutes

Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Amy L. Abbott
Signature of Natural Person Signing Above

COLUMBIA COUNTY FLORIDA DEPARTMENT OF BUILDING AND ZONING

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 28-4S-16-03220-000

Building permit No. 000027977

Use Classification SWIMMING POOL

Fire: 0.00

Permit Holder FUN STATE POOLS

Waste:

Owner of Building AMY ABBOTT

Total: 0.00

Location: 236 SW DAYTIME DR, LAKE CITY, FL 32024

Date: 10/12/2009

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)



Fun State Pools Inc.
3601 N.W. 97th Blvd.
Gainesville, Florida 32606

REF. NO. _____

332-POOL

POOL SHAPE Gothic - Roman JOB NO. _____
SIZE 16' x 32' DEPTH 3' 6" to 6' PERM 88 AREA 402
DECK 979 / 140 DECK SURFACE Paver DECK-O-DRAIN yes
COPING Paver CANTILEVER no
TILE 6" x 6" COLOR Over
STEP COLOR no COLOR no
TURNOVER 8hr FILTER TYPE PLM SIZE 150 PUMP 3050
SKIMMER yes INLETS 5 MAIN DRAIN yes
GRAB RAILS no HAND RAIL no LADDER no
POOL LIGHT yes VOLTS 120 WATTS 300
DIVING BOARD no SIZE no
AUTOMATIC CHLORINATOR 5alt TIMER yes FILL LINE no
CLEANING EQUIPMENT Manual SWIMOUT yes SIZE plan JETS no
ROPE & FLOATS no ROPE ANCHORS no
AUTOMATIC CLEANING SYSTEM Good POOL HEATER 333,000
GAS LINE BY: no SLIDE no SIZE no

SPA SPECIFICATIONS

SIZE 5' x 16' DEPTH 3' JETS 5-wall
BLOWER no SKIMMER no LIGHT yes
SPILLWAY tile HEATER 333,000 MAIN DRAIN yes
SCREEN ENCLOSURE over ROOF over DOORS over
ALUM. ROOF over GUTTER over
REMOVE FENCE over REPLACE FENCE over TEMP. FENCE over
TREE REMOVAL over STUMP REMOVAL over
SHRUBS over SAVE over HAUL AWAY over
SEPTIC TANK over SEWER LINE over
POWER LINE over RELOCATE over
GAS LINE over WATER LINE over
SPRINKLERS over REROUTE over CAP over
PHONE LINE over ACCESS PERMISSION over
RETAINING WALL over

Custom Design... FUN-STATE POOLS
Amy Abbott

NAME Amy Abbott
ADDRESS 236 SW Daytime Drive
CITY Lake City PHONE: 386-365-5859

Part 2 of contract dated _____ for pool at:
LOT _____ BLOCK _____ SUB _____
BOOK _____ PAGE _____
ALSO DESCRIBED AS _____
CUSTOMER'S SIGNATURE _____
DWN. BY Berry DATE 7/21/09 CHK. BY _____

PLOT PLAN
SCALE: 1/8" = 1'0"

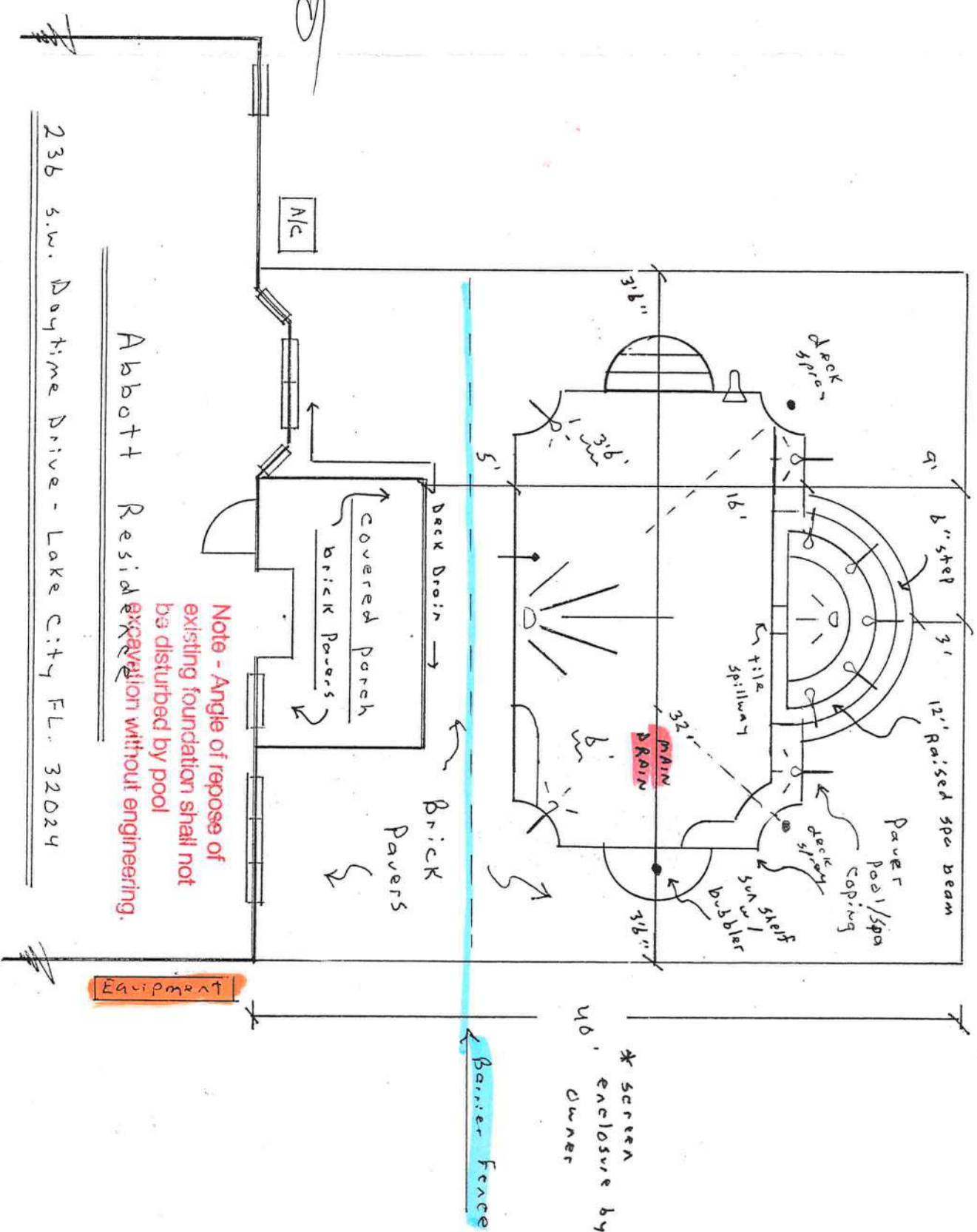


Amy Abbott

- ① 16' x 32' pool / spa \$45,000
- ② 12" x 12" footer
- ③ 333,000 BTU gas heater
- ④ no glass within 5'
- ⑤ barrier fence

NO CONCRETE DECK
12X12 MONO FOOTING ONLY

Equipment Bonding Grid
as per NEC 680-26 (Code)
Note - Pool shall be wired as per NEC and all metal within 5' of pool shall be bonded.



Note - Angle of repose of existing foundation shall not be disturbed by pool excavation without engineering.

236 S.W. Daytime Drive - Lake City FL 32024

Note: All plan dimensions are subject to field verification and modification

ANSI/APSP-7 2006 Specifies three methods for determining the maximum system flow rate. The following simplified TDH calculation is one of the methods specified.

Simplified Total Dynamic Head (TDH) Calculation Worksheet

Determine Maximum System Flow Rate:

Minimum Flow Rate Required: 35 gpm Per Skimmer (Required: 1 skimmer per 800 sf of surf. area)

1. Calculate Pool Volume: $\frac{441}{\text{Surf Area}} \times \frac{4.5}{\text{Avg Depth}} \times 7.48 \text{ (gal./cubic foot)} = \frac{14845}{\text{Vol. in gal.}}$

2. Determine preferred Turnover Time in hours: $\frac{8}{\text{Hours}} \times 60 \text{ (min. / hr.)} = \frac{480}{\text{Turnover in Min.}}$

3. Determine Max Flow Rate: $\frac{14845}{\text{Vol. in gal.}} \div \frac{480}{\text{Turnover in Min.}} = \frac{30.92}{\text{Flow Rate}}$

4. Spa Jets: $\frac{5}{\text{No. of Jets}} \times \frac{20}{\text{Jet Flow Rate}} \text{ gpm per jet} = \frac{100}{\text{Flow Rate}}$

(For single pump pool/spa combo, use the higher of No. 3 or No. 4 in the following calculations for the pool & spa)

Determine Pipe Sizes:

Branch Piping to be

inch to keep velocity @ 6 fps max. at

gpm Maximum System Flow Rate.

Trunk Piping to be

inch to keep velocity @ 8 fps max. at

gpm Maximum System Flow Rate.

Return Piping to be

inch to keep velocity @ 10 fps max. at

gpm Maximum System Flow Rate.

Determine Simplified TDH:

1. Distance from pool to pump in feet: 10'

2. Friction loss (in suction pipe) in 2" inch pipe per 1 ft. @ 82 gpm = 10' (from pipe flow/friction loss chart)

3. Friction loss (in return pipe) in 2" inch pipe per 1 ft. @ 103 gpm = 10' (from pipe flow/friction loss chart)

4. $\frac{10'}{\text{Length of Suct. Pipe}} \times \frac{10}{\text{Ft. of head/1 ft. of Pipe}} = \frac{1.0}{\text{TDH Suct. Pipe}}$

5. $\frac{10'}{\text{Length of Return Pipe}} \times \frac{10}{\text{Ft. of head/1 ft. of Pipe}} = \frac{1.0}{\text{TDH Return Pipe}}$

TDH in Piping: 2.60

Filter loss in TDH (from filter data sheet): 7

Heater loss in TDH (from heater data sheet): 7.80

Total all other loss: 47.62

Total Dynamic Head (TDH): 64.42

Selected Pump and Main Drain Cover:

Pump selection

SFA-elite-VS-3050

using pump curve for TDH & System Flow Rate

(Pump model and size in Horsepower)

Main Drain Cover

APUA-SMA 32CDH2 XXX

(System Flow Rate must not exceed approved cover flow rates)

(Make and Model)

Notes: Minimum system flow based on min. flow per skimmer of 35 gpm.

Determine the Number and Type of Required In-Floor Suction Outlets:

Check all that apply.

☒ 3'-0" ☒ 2

suction outlets @

gpm max. flow (see note 2).

☒ ☒ 3

suction outlets @

gpm max. flow (see note 3).

☒ 32"

APUA-SMA 32CDH2 XXX

channel drain @

170 gpm w/ 2 1/2" ports (see note 4)

TDH Calculation Options

For each pump

Check one:

☐ Simplified Total Dynamic Head (STDH) Complete STDH Worksheet -- Fill in all blanks.

☐ Total Dynamic Head (TDH) Complete Program or other colcs. Fill in required blanks on worksheet & attach calculations.

☐ Maximum Flow Capacity of the new or replacement pump.

Notes

1. If a variable speed pump is used, use the max. pump flow in calculations.

2. For side wall drains, use appropriate side wall drain flow as published by manufacturer.

3. Insert manufacturer's name and approved maximum flow

4. See installation instructions for number of ports to be used.

5. In-Floor suction outlet cover/grate must conform to most recent edition of ASME/ANSI A112.19.8 and be embossed with that edition approval.

6. Pump, Filter & Heater make and model cannot be changed, and equipment location cannot be moved closer to pool without submitting a revised plan and TDH calculation worksheet for approval.

Flow and Friction Loss Per Foot

Schedule 40 PVC Pipe

Pipe Size	6 fpm	8 fpm	10 fpm
1"	16 gpm	21 gpm	26 gpm
1 1/2"	37 gpm	50 gpm	62 gpm
2"	62 gpm	82 gpm	103 gpm
2 1/2"	88 gpm	117 gpm	146 gpm
3"	136 gpm	181 gpm	227 gpm
4"	234 gpm	313 gpm	392 gpm
6"	534 gpm	712 gpm	892 gpm

This form is the property of PE and may only be used in conjunction with my Residential Swimming Pool Specification Drawings or by others with my written permission.

7-23-09

Date

Date

M. J. D. A.

MARVIN TILLIS GIBSON JR.

PE-044114

332-332-7665

Total Head In Feet Conversion Chart

Inches Mercury (Vacuum Gauge)

0	2	4	6	8	10	12	14	16	18
0.0	2.3	4.5	6.8	9.0	11.3	13.6	15.8	18.1	20.3
1	2.3	4.6	6.8	9.1	11.4	13.6	15.9	18.1	20.3
2	4.6	6.9	9.1	11.4	13.7	15.9	18.2	20.4	22.7
3	6.9	9.2	11.5	13.7	16.0	18.2	20.5	22.8	25.0
4	9.2	11.5	13.8	16.0	18.3	20.5	22.8	25.1	27.3
5	11.5	13.8	16.1	18.3	20.6	22.8	25.1	27.4	29.6
6	13.9	16.1	18.4	20.6	22.9	25.2	27.4	29.7	31.9
7	16.2	18.4	20.7	23.0	25.2	27.5	29.8	32.0	34.3
8	18.5	20.7	23.0	25.3	27.5	29.8	32.1	34.3	36.5
9	20.8	23.1	25.3	27.6	29.8	32.1	34.4	36.7	38.8
10	23.1	25.4	27.6	29.9	32.1	34.4	36.7	38.9	41.1
11	25.4	27.7	29.9	32.2	34.5	36.7	39.0	41.2	43.4
12	27.7	30.0	32.2	34.5	36.8	39.0	41.3	43.5	45.8
13	30.0	32.3	34.6	36.8	39.1	41.3	43.6	45.9	48.1
14	32.3	34.6	36.9	39.1	41.4	43.6	45.9	48.2	50.4
15	34.6	36.9	39.2	41.4	43.7	45.9	48.2	50.5	52.7
16	37.0	39.2	41.5	43.7	46.0	48.3	50.5	52.8	55.0
17	39.3	41.5	43.8	46.1	48.3	50.6	52.8	55.1	57.3
18	41.6	43.8	46.1	48.4	50.6	52.8	55.1	57.4	59.6
19	43.9	46.2	48.4	50.7	52.9	55.2	57.4	59.7	61.9
20	46.2	48.5	50.7	53.0	55.2	57.5	59.8	62.0	64.2
21	48.5	50.8	53.0	55.3	57.6	59.8	62.1	64.3	66.5
22	50.8	53.1	55.3	57.6	59.9	62.1	64.4	66.6	68.8
23	53.1	55.4	57.7	59.9	62.2	64.4	66.7	68.9	71.2
24	55.4	57.7	60.0	62.2	64.5	66.7	69.0	71.3	73.5
25	57.8	60.0	62.3	64.5	66.8	69.1	71.4	73.6	75.8
26	60.1	62.3	64.6	66.8	69.1	71.4	73.6	75.8	78.1
27	62.4	64.6	66.9	69.2	71.5	73.7	75.9	78.2	80.4
28	64.7	66.9	69.2	71.5	73.7	76.0	78.3	80.5	82.8
29	67.0	69.3	71.5	73.8	76.0	78.3	80.5	82.8	85.1
30	69.3	71.6	73.8	76.1	78.3	80.6	82.9	85.1	87.4
31	71.6	73.9	76.1	78.4	80.7	82.9	85.2	87.4	89.7
32	73.9	76.2	78.4	80.7	83.0	85.2	87.5	89.7	92.0
33	76.2	78.5	80.7	83.0	85.3	87.5	89.8	92.0	94.3
34	78.5	80.8	83.1	85.3	87.6	89.8	92.1	94.4	96.6
35	80.9	83.1	85.4	87.6	89.9	92.2	94.4	96.7	98.9

NOTE: FIELD TDH MUST BE EQUAL TO OR HIGHER THAN THE CALCULATED TDH.

Fun State Pools Inc.

Tillis Gibson

www.funstatepoolsinc.com
3601 N.W. 97th Blvd. • Gainesville, Florida 32606

Swimming Pool Specification For:

Any ABBOTT

236 S.W. Dryden Drive
Lake City, FL 32024

Color Note

PROFESSIONAL SERVICES
DRISCOLL ENGINEERING, INC.
PO BOX 357577
Gainesville, Florida 32606
(352) 331-1513 E.B. 8690

PLANS AND SPECIFICATIONS

The plans and specifications presented herein are only for the anticipated construction at the locations shown. If construction plans change, the Design Professional should be notified so the plans and specifications can be re-evaluated. The Design Professional should be given the opportunity to review final plans and specifications to see if the intent of the plans and specifications has been followed and/or if supplemental details and recommendations are needed. The Design Professional warrants that the plans and specifications contained herein, have been prepared in accordance with generally accepted professional engineering practice. No other warranties are implied or expressed.

CORPORATE PROTECTION

It is understood and agreed that the Design Professional's basic services under this agreement do not include project observation or review of the Contractor's performance or any other construction phase services will be provided by the client. The client assumes all responsibility for interpretation of the contractor's documents and for construction observation and supervision and waives any claims against the Design Professional that may in any way connected thereto.

In addition, The client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any loss, claim or cost including reasonable attorney's fees and cost of defense, arising or resulting from the performance of such services by otherperson or entities and from any and all claims arising from modifications, clarifications, interpretations, adjustments or changes made to contract documents to reflect changed field or other conditions, except for claims arising from the sole negligence or willful misconduct thereto.

OWNERSHIP OF INSTRUMENTS OF SERVICE

All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Design Professional as instruments of service shall remain property of the Design Professional. The Design Professional shall retain all common law, statutory and other reserved rights, including the copyright thereto.

DEFECTS IN SERVICE

The client shall promptly report to the Design Professional any defects or suspected defects in the Design Professional's work or services of which the client becomes aware, so that the Design Professional may take measures to minimize the consequences of such defect. The client warrants that he or she will impose similar notification requirement on all contractors in his or her client/contractor contract and shall require all subcontractors at any level to contain a like requirement. Failure by the client's contractors or subcontractors to notify the Design Professional, shall relieve the Design Professional of the cost of remedying the defects above the sum such remedy would have cost had prompt notification been given.

VERIFICATION OF EXISTING CONDITIONS

Inasmuch as the remodeling and/or rehabilitation of an existing building requires certain assumptions be made regarding existing conditions, and because some of these assumptions may not be verifiable without expending additional sums of money or destroying otherwise adequate serviceable portions of the building, The client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless in any claim, liability or cost (including attorney's fees and cost of defense) for injury or economic loss arising out of professional services provided under this agreement, except only those damages, liability, or cost attributable to the sole negligence or willful misconduct of the Design Professional.

CONCRETE CONSTRUCTION NOTES:

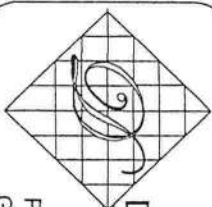
1. CONCRETE WORK SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI-318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE" (ACI-301) LATEST EDITION.
2. CONCRETE MIX "A" SHALL BE USED FOR FOUNDATION AND WALLS, FLOTTINGS AND INTERIOR SLABS ON GRADE. CONCRETE MIX "B" SHALL BE USED FOR EXTERIOR SLABS, CURBS AND ALL OTHER EXTERIOR CONCRETE. ALL CONCRETE MIXES SHALL CONTAIN A WATER-REDUCING ADMIXTURE CONFORMING TO ASTM C-494 AIR-ENTRAINING ADMIXTURE SHALL SHALL CONFORM TO ASTM C-250

	MIX A	MIX B
ULTIMATE COMPRESSIVE STRENGTH @ 28 DAYS	3000 psi.	3000 psi.
SLUMP RANGE	4"-/-1"	3"-/-1"
MAXIMUM AGGREGATE	1"	1"
ENTRAINED AIR	NONE	5-7%
DRY WEIGHT PER CUBIC FT.	150#	150#

3. ALL CONCRETE SHALL CURE FOR A MINIMUM OF 28 DAYS. IF FORMS FOR VERTICAL SURFACES ARE REMOVED PRIOR TO THE END OF THE CURING PERIOD, SPRAY SURFACES WITH LIQUID MEMBRANE CURING COMPOUND.
4. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 40 (F=40ksi.) LAP CONTINUOUS BARS FOR TENSION LAP SPLICE PER ACI-318 UNLESS OTHERWISE NOTED. PROVIDE CORNER BARS OF SAME SIZE AND SPACING AS HORIZONTAL WALL REINFORCEMENT COVER FOR CONCRETE REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI-318, PARAGRAH 7.7
5. WELDED WIRE FABRIC SHALL BE USED IN DRIVEWAY SLABS ON GRADE. LAP SHEETS ON MESH SPACE AND WIRE TIE ADJACENT SHEETS TOGETHER SECURELY. CUT ALTERNATE REINFORCEMENT AT CONTROL JOINTS.
6. ALL SLABS ON GRADE SHALL HAVE CONSTRUCTION CONTROL JOINTS NOT TO EXCEED 15'-0" SPACING. UNLESS OTHERWISE NOTED.
7. ALL SIDEWALKS SHALL HAVE CONSTRUCTION OR CONTROL JOINTS NOT TO EXCEED 5'-0" SPACING U.N.O.

MASONRY CONSTRUCTION NOTES

1. CONCRETE MASONRY WORK SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530-02/ASCE5-02) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530-1-02/ASCE5-03).
2. CONCRETE MASONRY UNITS SHALL BE TYPE 1 AND COMPLY WITH "STANDARD SPECIFICATIONS FOR HOLLOW LOAD BEARING CONCRETE MASONRY UNITS (ASTM C90-90)
3. THE MINIMUM NET AREA COMPRESSIVE STRENGTH OF MASONRY (fm) AS DETERMINED BY THE UNIT STRENGTH METHOD SHALL BE 1500 PSI.
4. MORTAR SHALL CONFORM TO ASTM C270 TYPE M MORTAR SHALL BE USED UNLESS OTHERWISE NOTED. TYPE S MORTAR SHALL BE USED WITH MASONRY IN CONTACT WITH EARTH.
5. MASONRY COLUMN REINFORCEMENT SHALL HAVE #2 TIES IN THE BED JOINTS AT 8" O.C. UNLESS OTHERWISE NOTED.
6. GROUT FOR FILLING BLOCK CORES AND BOND BEAMS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI. AT THE AGE OF 28 DAYS.
7. PROVIDE CONTINUOUS HORIZONTAL JOINT REINFORCEMENT AT 16" O.C. AND IN THE FIRST COURSE ABOVE AND BELOW OPENINGS, UNLESS OTHERWISE NOTED.



DRISCOLL ENGINEERING, INC.
CONSULTING ENGINEERS
PO BOX 357577
GAINESVILLE, FL. 32606
PH (352) 331-1513
EB 8690

PREPARED FOR

CLIENT & LOCATION:

Amg Abbott
2365w Baytime Drive
Lake City, FL
32024

CONTRACTOR:

FUNSTATE POOLS
3601 N.W. 97th BLVD
GAINESVILLE, FL
352-332-7665

ALL POOL CONSTRUCTION TO COMPLY WITH
ANSI/ APSP-7 & FBC 2007 & 2009 AMENDMENTS.

INDEX

- SHEET:1 PROFESSIONAL SERVICES,
GENERAL INFORMATION
SHEET:2 GENERAL NOTES & CHARTS
SHEET:3 DETAIL DRAWINGS
SHEET:4 DETAIL DRAWINGS
SHEET:5 DETAIL DRAWINGS

THESE DETAILS HAVE BEEN PREPARED IN COMPLIANCE
WITH REQUIREMENTS OF THE 2007 FLORIDA BUILDING CODE
AND THE 2009 AMENDMENTS TO THE BEST OF MY KNOWLEDGE

3-26-09
MICHAEL DRISCOLL P.E.
FL REG. #43922



WILLIAM JOHNSON
CUSTOM DRAFTING
16909 N.E. 21st STREET
GAINESVILLE, FL 32609
PH (352) 485-1942 (352) 494-2041

RESIDENTIAL SWIMMING POOL & SPA DESIGN
FOR FUN STATE POOLS USE ONLY



DRISCOLL ENGINEERING, INC.
CONSULTING ENGINEERS
PO BOX 357577
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PH (352) 331-1513
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DRISCOLL ENGINEERING, INC.
Post Office Box 357577
Gainesville, Florida 32635-7577
Phone (352) 331-1513 Fax (352) 505-3366
EB#8690

GENERAL NOTES FOR RESIDENTIAL SWIMMING POOLS

- Design, construction and workmanship shall be in conformity with the requirements of the 2007 Florida Building Code with 2009 supplement, Chapter 41, ANS/NSPI 3; ANS/NSPI 4; ANS/NSPI 5; and ANS/NSPI 6; ANS/APSP-7.
- Every swimming pool shall be equipped complete with approved mechanical equipment consisting of filter, pump, piping valves and component parts.
- Pool piping shall be designed so the water velocity will not exceed 10 feet per second (3048 mm/s) for pressure piping and 8 feet per second (2438 mm/s) for suction piping, except that the water velocity shall not exceed 8 feet per second (2438 mm/s) in copper tubing.
- All pool and spa suction inlets shall be provided with a cover that has been tested and accepted by a recognized testing facility and comply with ANSI/ASME A112.19.8M, Suction Fittings for Use in Swimming Pools, Spas, Hot Tubs, and Whirlpool Bathtub Appliances.

L Exceptions:
FIT 1. Surface Skimmers.
FIT 2. Grate or grates having a minimum area of 144 square inches (.09 m²) or greater.
- A minimum of two suction inlets shall be provided for each pump in the suction inlet system, separated by a minimum of 3 feet (914 mm) or located on two different planes; i.e., one on the bottom and one on the vertical wall, or one each on two separate vertical walls. These suction inlets shall be plumbed such that water is drawn through them simultaneously through a common line to the pump. When a skimmer is used in conjunction with a single main outlet to meet the requirements of this section, the common suction line must be in compliance with Section R4101.6.6.3, such that a vacuum cannot be drawn on any single main outlet or skimmer.
- Pumps shall be installed in accordance with manufacturer's recommendations.
- Pump impellers, shafts, wear rings and other working parts shall be of corrosion-resistant materials.
- All pool piping shall be tested and proved tight to the satisfaction of the administrative authority, under a static water or air pressure test of not less than 35 pounds per square inch (psi) (241 kPa) for 15 minutes.

L Exception: Circulating pumps need not be tested as required in this section.
- All pools whether public or private shall be provided with a ladder or steps in the shallow end where water depth exceeds 24 inches (610 mm). In private pools where water depth exceeds 5 feet (1524 mm), there shall be ladders, stairs or underwater benches/swim-outs in the deep end.

Where manufactured diving equipment is to be used, benches or swim-outs shall be recessed or located in a corner.

L Exception: In private pools having more than one shallow end, only one set of steps is required. A bench, swim-out or ladder may be used at all additional shallow ends in lieu of an additional set of steps.
- The entire design of matched components shall have sufficient capacity to provide a complete turnover of pool water in 12 hours or less.
- Approved surface skimmers are required and shall be installed in strict accordance with the manufacturer's installation instructions. Skimmers shall be installed on the basis of one per 800 square feet (74 m²) of surface area or fraction thereof, and shall be designed for a flow rate of at least 25 gallons per minute (gpm) (1.6 L/s) per skimmer.
- Approved manufactured inlet fittings for the return of re-circulated pool water shall be provided on the basis of at least one per 300 square feet (28 m²) of surface area. Such inlet fittings shall be designed and constructed to insure an adequate seal to the pool structure and shall incorporate a convenient means of sealing for pressure testing of the pool circulation piping. Where more than one inlet is required, the shortest distance between any two required inlets shall be a least 10 feet (3048 mm).
- Filters shall be equipped with a pressure gauge and an air release system.
- Piping shall be schedule 40 PVC, NSFpw minimum.
- Contractor shall install piping so as to not exceed the limits imposed by the tables shown.
- All electrical design is by others.
- Minimum soil bearing capacity shall be a min. 2000 psf.
- Contractor shall submit complete for simplified total dynamic head calculation worksheet with each permit application to the building dept.

- Notes:
- If a variable speed pump is used, use the max. pump flow in calculations.
 - For side wall drains use appropriate side wall drain flow as published by manufacturer.
 - Insert manufacturer's name and approved maximum flow.
 - See installation instructions for number of parts to be used.
 - In-floor suction outlet coverage must conform to most recent edition of ASME/ANSI A112.19.8 and be endorsed with that edition approval.
 - Pump & filter make, model and location can not change without obtaining a revised plans and TDH worksheet.

TDH Calculation Options
For each pump

☐ Check one.
☐ Simplified Total Dynamic Head (S TDH)
Complete STDH Worksheet-Fill in all blanks.

☐ Total Dynamic Head (TDH)
Complete Program or other calc. Fill in required blanks on worksheet & attach calculations.

Flow and Friction Loss Per Foot Schedule 40 PVC Pipe									
Pipe Size	6 fps			8 fps			10 fps		
	16 gpm	0.25'	21 gpm	0.66'	28 gpm	0.94'	37 gpm	0.28'	62 gpm
1 1/2"	37 gpm	0.16'	50 gpm	0.28'	62 gpm	0.40'	82 gpm	0.25'	103 gpm
2"	62 gpm	0.15'	82 gpm	0.25'	103 gpm	0.40'	117 gpm	0.15'	146 gpm
2 1/2"	88 gpm	0.09'	117 gpm	0.09'	146 gpm	0.23'	181 gpm	0.09'	227 gpm
3"	138 gpm	0.09'	181 gpm	0.14'	227 gpm	0.23'	284 gpm	0.10'	392 gpm
4"	234 gpm	0.06'	313 gpm	0.10'	392 gpm	0.15'	534 gpm	0.04'	890 gpm
6"	534 gpm	0.04'	712 gpm	0.04'	890 gpm	0.10'			

Total Head In Feet Conversion Chart
Inches Mercury (Vacuum Gauge)

	0	2	4	6	8	10	12	14	16	18
0	0.0	2.3	4.5	6.8	9.0	11.3	13.6	15.8	18.1	20.3
1	2.3	4.6	6.8	9.1	11.4	13.6	15.9	18.1	20.4	22.7
2	4.6	6.9	9.1	11.4	13.7	15.9	18.2	20.4	22.7	25.0
3	6.9	9.2	11.5	13.7	16.0	18.2	20.5	22.8	25.0	27.3
4	9.2	11.5	13.8	16.0	18.3	20.6	22.8	25.1	27.3	29.6
5	11.5	13.8	16.1	18.3	20.6	22.8	25.1	27.4	29.5	31.9
6	13.9	16.1	18.4	20.6	22.9	25.2	27.4	29.7	31.9	34.2
7	16.2	18.4	20.7	23.0	25.2	27.5	29.7	32.0	34.3	36.5
8	18.5	20.7	23.0	25.3	27.5	29.8	32.0	34.3	36.6	38.8
9	20.8	23.1	25.3	27.6	29.8	32.1	34.3	36.6	38.9	41.1
10	23.1	25.4	27.6	29.9	32.1	34.4	36.7	38.9	41.2	43.4
11	25.4	27.7	29.9	32.2	34.5	36.7	39.0	41.2	43.5	45.8
12	27.7	30.0	32.2	34.5	36.8	39.0	41.3	43.5	45.8	48.1
13	30.0	32.3	34.6	36.8	39.1	41.3	43.6	45.9	48.1	50.4
14	32.3	34.6	36.9	39.1	41.4	43.6	45.9	48.2	50.4	52.7
15	34.6	36.9	39.2	41.4	43.7	45.9	48.2	50.5	52.7	55.0
16	37.0	39.2	41.5	43.7	46.0	48.3	50.5	52.8	55.0	57.3
17	39.3	41.5	43.8	46.1	48.3	50.6	52.8	55.1	57.4	59.6
18	41.6	43.8	46.1	48.4	50.6	52.9	55.1	57.4	59.7	61.9
19	43.9	46.2	48.4	50.7	52.9	55.2	57.4	59.7	62.0	64.2
20	46.2	48.5	50.7	53.0	55.2	57.5	59.8	62.0	64.3	66.5
21	48.5	50.8	53.0	55.3	57.6	59.8	62.1	64.3	66.6	68.9
22	50.8	53.1	55.3	57.6	59.9	62.1	64.4	66.6	68.9	71.2
23	53.1	55.4	57.7	59.9	62.2	64.4	66.7	69.0	71.2	73.5
24	55.4	57.7	60.0	62.2	64.5	66.7	69.0	71.3	73.5	75.8
25	57.8	60.0	62.3	64.5	66.8	69.1	71.3	73.6	75.8	78.1
26	60.1	62.3	64.6	66.8	69.1	71.4	73.6	75.9	78.1	80.4
27	62.4	64.6	66.9	69.2	71.4	73.7	75.9	78.2	80.5	82.7
28	64.7	66.9	69.2	71.5	73.7	76.0	78.2	80.5	82.8	85.0
29	67.0	69.3	71.5	73.8	76.0	78.3	80.5	82.8	85.1	87.3
30	69.3	71.6	73.8	76.1	78.3	80.6	82.9	85.1	87.4	89.6
31	71.6	73.9	76.1	78.4	80.7	82.9	85.2	87.4	89.7	92.0
32	73.9	76.2	78.4	80.7	83.0	85.2	87.5	89.7	92.0	94.3
33	76.2	78.5	80.7	83.0	85.3	87.5	89.8	92.0	94.3	96.6
34	78.5	80.8	83.1	85.3	87.5	89.8	92.1	94.4	96.6	98.9
35	80.9	83.1	85.4	87.6	89.9	92.2	94.4	96.7	98.9	101.2

CERTIFICATION
I certify that to the best of my knowledge, these master plan, residential pool design requirements are in compliance with the 2007 Florida Building Code with 2009 supplement, Chapter 41.

3-28-09
MICHAEL E. DRISCOLL P.E.
FL REG. #43922



WILLIAM JOHNSON
CUSTOM DRAFTING
16909 N.E. 21st STREET
GAINESVILLE, FL 32609
PH (352) 485-1642 (352) 494-2041

RESIDENTIAL SWIMMING POOL & SPA DESIGN
FOR FUN STATE POOLS USE ONLY

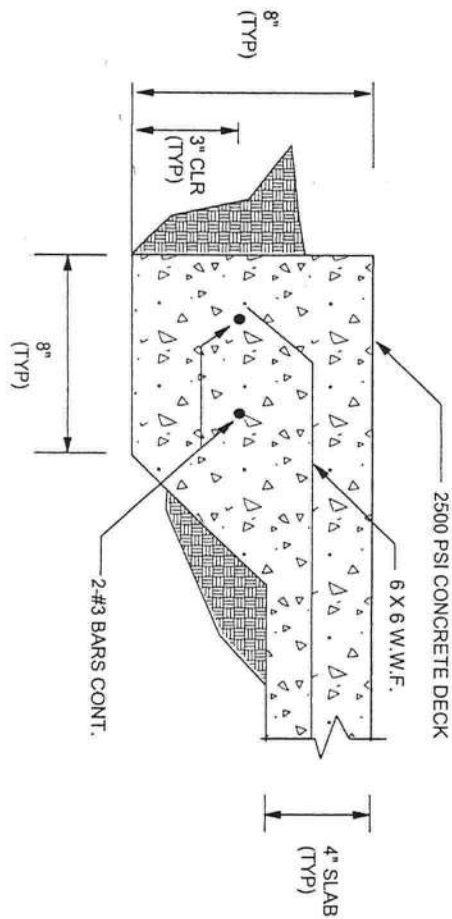
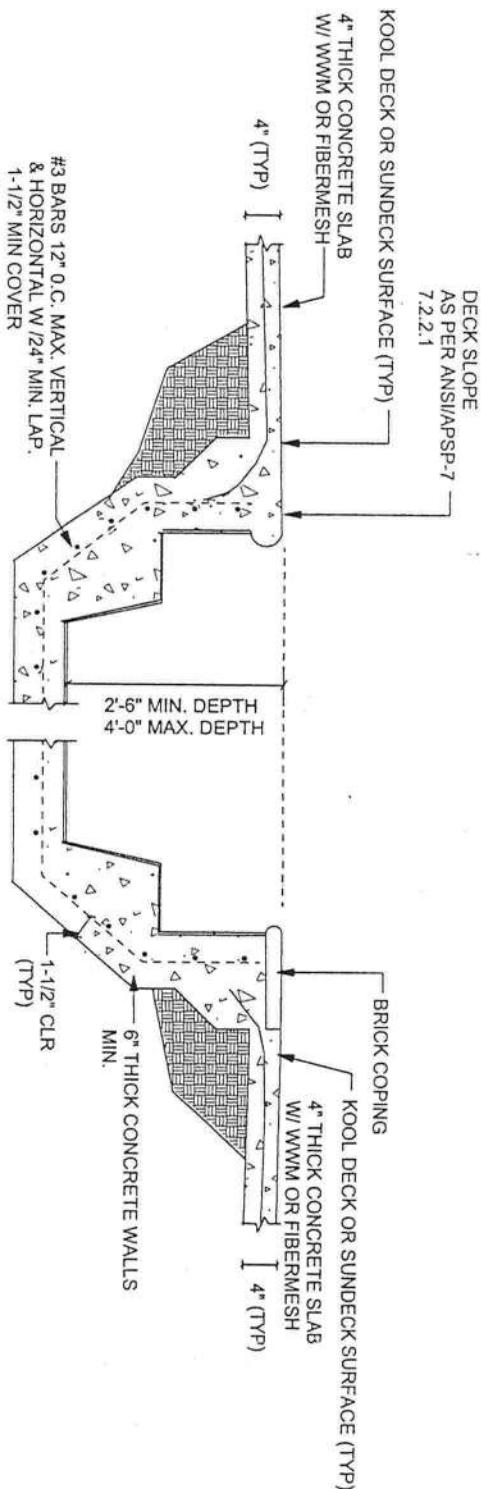


DRISCOLL ENGINEERING, INC.
CONSULTING ENGINEERS
PO BOX 357577
GAINESVILLE, FL 32606
PH (352) 331-1513
FX (352) 505-3366
EB 8690

SHEET
2

ALL POOL CONSTRUCTION TO COMPLY WITH
ANSI/ APSP-7 & FBC 2007 & 2009 AMENDMENTS.

POOL / SPA MAIN DRAINS
2- MAIN DRAINS REQUIRED, NO CLOSER THAN
3' PLUMBED ON COMMON LINE. AS PER F.B.C. #424.2.6.6.4
ANSI/APSP-7 COVERS TO MEET ANSI/ASME A112.19.8M

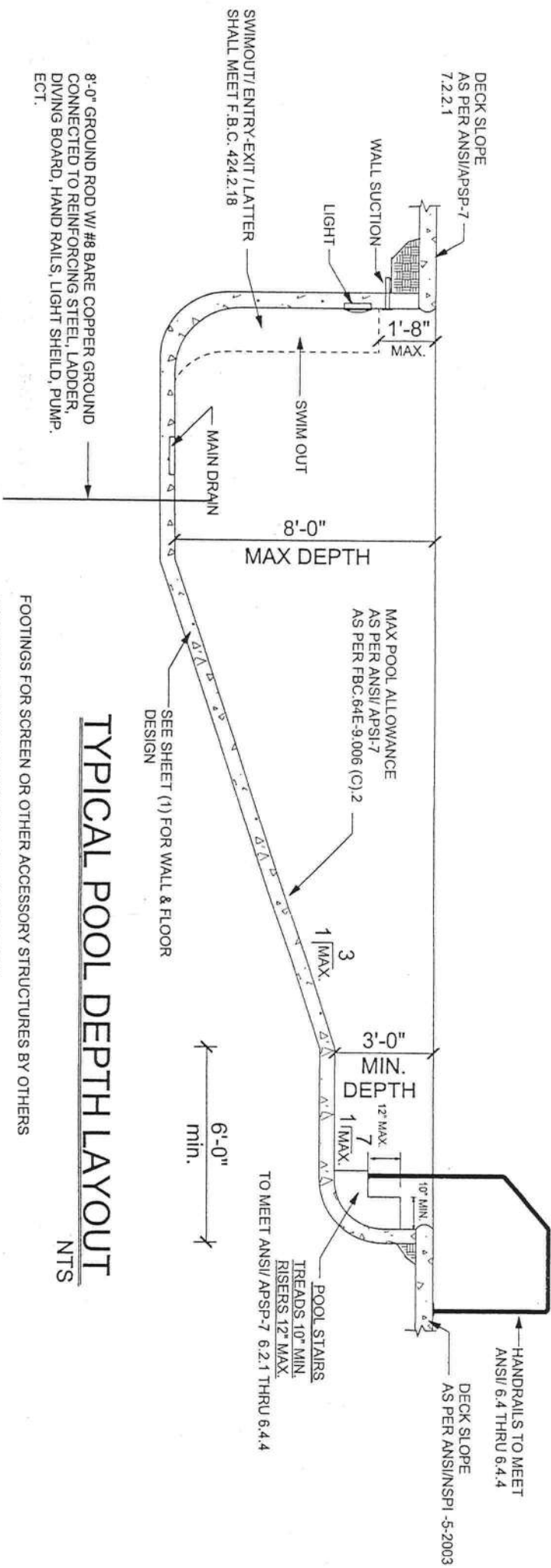


SPA DEPTH LAYOUT

NTS

THICKENED EDGE

8" X 8" W/ 2 #3 BAR CONT.
NTS



TYPICAL POOL DEPTH LAYOUT

NTS

FOOTINGS FOR SCREEN OR OTHER ACCESSORY STRUCTURES BY OTHERS

POOL WALL & FLOOR CONCRETE TO BE 3000 PSI. MIN.

POOL DECK CONCRETE TO BE 2500 PSI. MIN

ALL PIPING SHALL BE SCH 40 PVC PIPE

ALL SUCTION DEVICES WALL FITTINGS, MAIN DRAINS. ETC. SHALL BE 2" DIA. SCH 40 PVC PIPE.

MAX SUCTION PIPE VELOCITY SIX FEET PER SECOND.

3-26-09

MICHAEL E. DRISCOLL P.E.
FL REG. #43922



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RESIDENTIAL SWIMMING POOL & SPA DESIGN
FOR FUN STATE POOLS USE ONLY



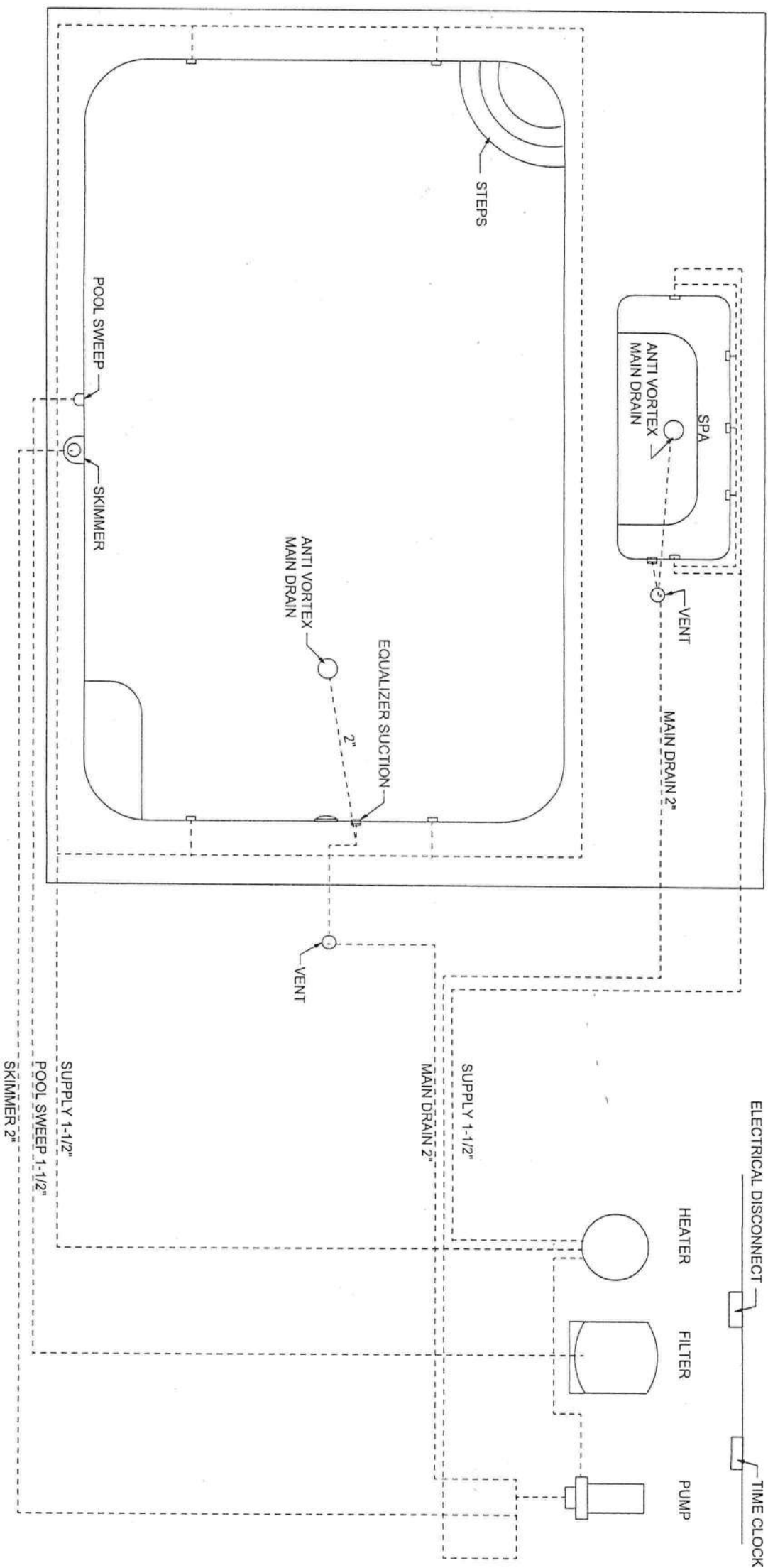
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FX (352) 905-3365

3

SHEET

ALL POOL CONSTRUCTION TO COMPLY WITH
ANSI/ APSP-7 & FBC 2007 & 2009 AMENDMENTS.

MAIN DRAINS SHALL MEET
FBC 2007 # 424.2.6.6.4 & ANSI/APSP-7
MAIN DRAIN COVERS SHALL MEET
ASME A112.19.8.M 2007



TYPICAL LAYOUT NTS

FOOTINGS FOR SCREEN OR OTHER ACCESSORY STRUCTURES BY OTHERS
POOL WALL & FLOOR CONCRETE TO BE 3000 PSI, MIN.
POOL DECK CONCRETE TO BE 2500 PSI, MIN
ALL PIPING SHALL BE SCH 40 PVC PIPE
ALL SUCTION DEVICES WALL FITTINGS, MAIN DRAINS, ETC. SHALL BE 2" DIA. SCH 40 PVC PIPE.
MAX SUCTION PIPE VELOCITY SIX FEET PER SECOND.

ALL ELECTRICAL DESIGN BY OTHERS
ANY ELECTRICAL COMPONENTS SHOWN
ON DRAWINGS ARE FOR DIAGRAMMATIC
PURPOSE ONLY.

3-26-09
MICHAEL E. DRISCOLL P.E.
FL REG. #43922

RESIDENTIAL SWIMMING POOL & SPA DESIGN
FOR FUN STATE POOLS USE ONLY



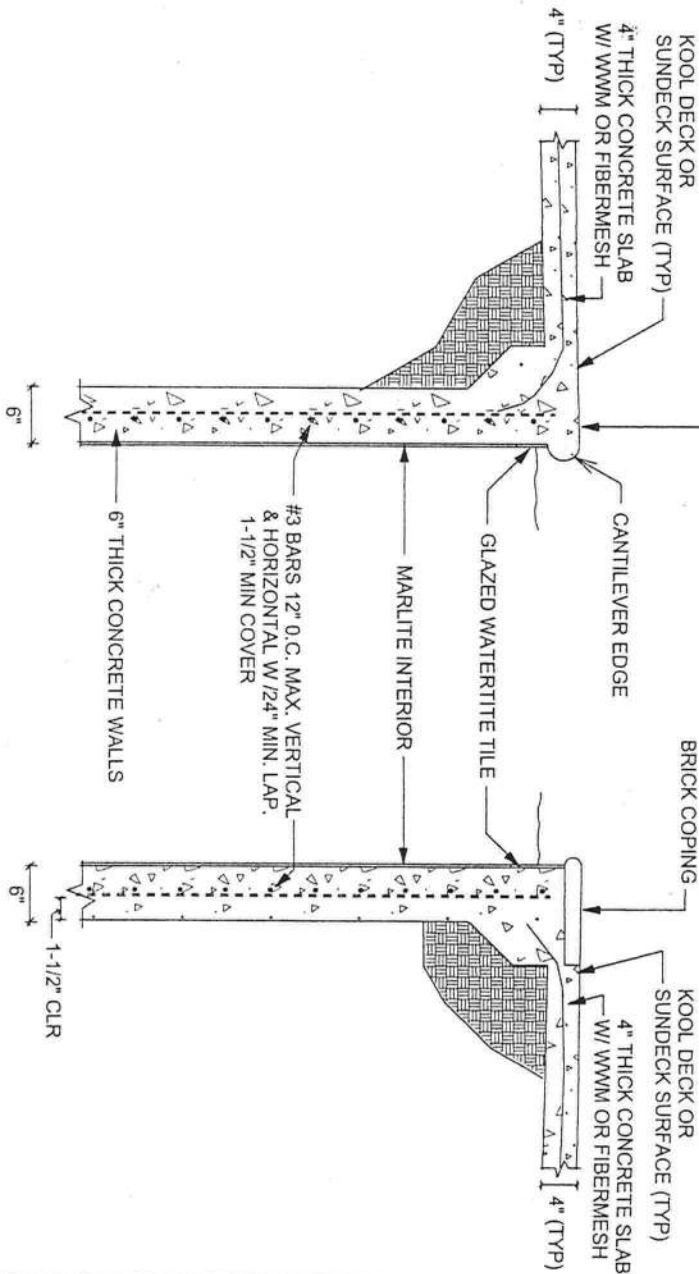
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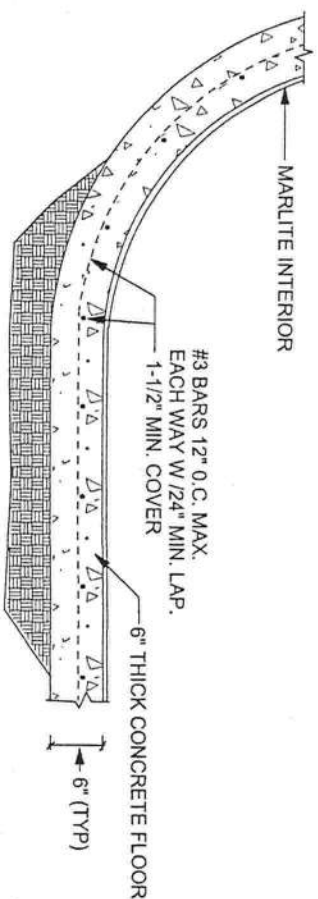
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LB 6090

ALL POOL CONSTRUCTION TO COMPLY WITH
ANSI/ APSI-7 & FBC 2007 & 2009 AMENDMENTS.

DECK SLOPE
AS PER ANSI/APSI-7

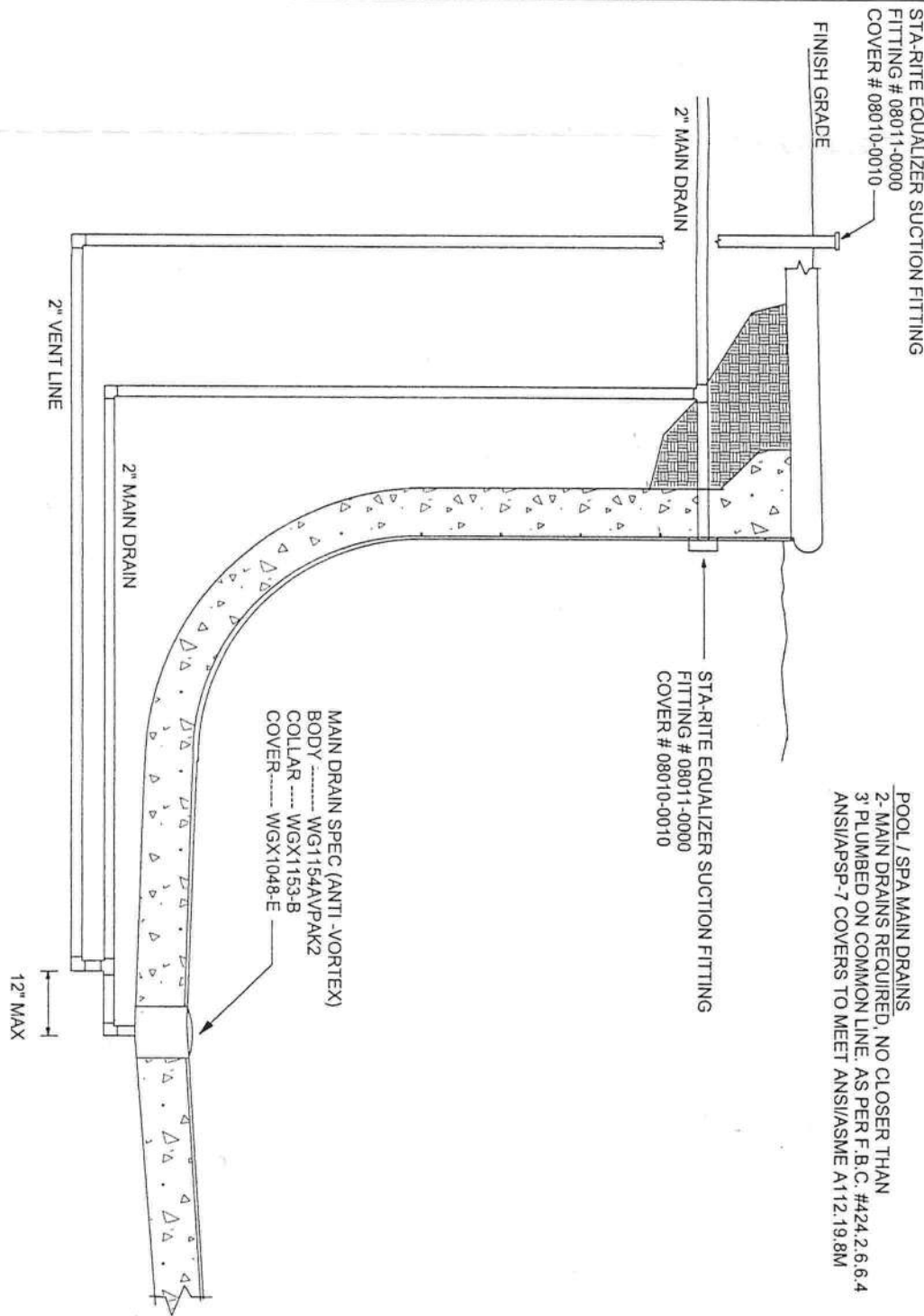


TYP WALL SECTIONS
NTS



FLOOR SECTION (TYP)
NTS

ALL POOL CONSTRUCTION TO COMPLY WITH
ANSI/ APSP-7 & FBC 2007 & 2009 AMENDMENTS.



DUAL MAIN DRAIN @ ATMOSPHERIC VENT
NTS

FOOTINGS FOR SCREEN OR OTHER ACCESSORY STRUCTURES BY OTHERS
POOL WALL & FLOOR CONCRETE TO BE 3000 PSI. MIN.
POOL DECK CONCRETE TO BE 2500 PSI. MIN
ALL PIPING SHALL BE SCH 40 PVC PIPE
ALL SUCTION DEVICES WALL FITTINGS, MAIN DRAINS, ETC. SHALL BE 2" DIA. SCH 40 PVC PIPE.
MAX SUCTION PIPE VELOCITY SIX FEET PER SECOND.