## MORTON BUILDINGS GENERAL SPECIFICATIONS

LAMINATED COLUMNS - NO. 1 OR BETTER SOUTHERN YELLOW PINE NAIL LAMINATED 3 MEMBER S4S COLUMNS NAILED 8" O.C. STAGGERED ON EACH SIDE WITH 4" NAILS.

MFS PRE-CAST CONCRETE COLUMN - MORTON BUILDINGS FOUNDATION SYSTEM IS A PRE-ENGINEER), 10,000 PSI, STEEL REINFORCED COLUMN FOR BELOW GROUND INSTALLATION. DESIGNED TO BE MECHANICALLY FASTENED TO ABOVE GROUND NAIL LAMINATED COLUMNS. THE SYSTEM IS DESIGN) TO RESIST BOTH AXIAL AND BENDING FORCES.

FOOTINGS AND ANCHORAGE - COLUMN HOLES ARE DUG A MINIMUM DEPTH OF 4'-0" BELOW GRAD (SEE PLANS FOR DIAMETER AND DEPTH). MFS PRE-CAST CONCRETE COLUMNS ARE PLACED IN THE HIE. CONCRETE (MINIMUM COMPRESSIVE STRENGTH 2500 PSI) IS POURED IN PLACE TO THE SPECIFIED THICNESS (SEE PLANS FOR REQUIRED THICKNESS ABOVE AND BELOW THE COLUMN). THE COLUMN IS THEN BACFILLED WITH SOIL AND COMPACTED AT 8" INTERVALS OR BACKFILLED WITH CONCRETE (SEE PLANS).

TREATED LUMBER -- PRESSURE PRESERVATIVE TREATED LUMBER OTHER THAN LAMINATED COLUMNS & NO. 1 OR BETTER SOUTHERN YELLOW PINE AND CENTER MATCHED OR NOTCHED AND GROOVED OR S4S. PRESSURE TREATMENT TO GROUND CONTACT RETENTION WITH PRESERVATIVE TREATMENT COMPLYIN WITH USE CATEGORY UC4B (AWPA OR ICC-ES) AND IN COMPLIANCE WITH USEPA GUIDELINES AND STANKRDS.

FRAMING LUMBER - SIDE NAILERS ARE 2x4 S4S SPF W/2x3 STIFFENER, 2-2x4 L-NAILERS SPACED APPROMATELY 36" O.C. OR 2x6 NAILERS APPROXIMATELY 24" O.C. WITH ALL JOINTS STAGGERED AT ATTACHMENT TO COLUMNS. ROOF PURLINS ARE 2x6 S4S NO. 2 OR BETTER ON EDGE SPACED APPROXIMATELY 24" O.(ALL OTHER FRAMING LUMBER IS NO.2 OR BETTER.

ROOFING TRUSSES/PLATED RAFTERS - FACTORY ASSEMBLED WITH 18 OR 20 GAUGE GALVANIZED STEITRUSS PLATES AS REQUIRED AND KILN DRIED LUMBER AS SPECIFIED, IN-PLANT QUALITY CONTROL INSPECTIC IS CONDUCTED UNDER THE AUSPICES OF THE TPI INSPECTION BUREAU. TRUSSES ARE DESIGNED IN ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS FOR THE STATED LOADING. PLATE RAFTERS ARE NO. 1 SOUTHERN YELLOW PINE.

SIDING & ROOFING PANELS (FLUOROFLEX 1000 ™) - 0.019" MIN., G90 GALVANIZED OR AZ55 GALVAIME STEEL WITH AN ADDITIONAL BAKED-ON 70% PVDF FINISH WITH A NOMINAL 1 MIL. PAINT THICKNESS O EXTERIOR.

TRIM - DIE-FORMED TRIM OF 0.017" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL ON GABLES, IDGES, CORNERS, BASE WINDOWS, AND DOORS WITH SAME FINISH A\$ ROOFING OR SIDING PANELS.

GUTTERS - 6" K-STYLE, .030 HIGH TENSILE ALUMINUM GUTTER, 70% PVDF FINISH TO MATCH TRIM, ON B(H SIDES OF THE BUILDING. 2x6F1F1 02/12

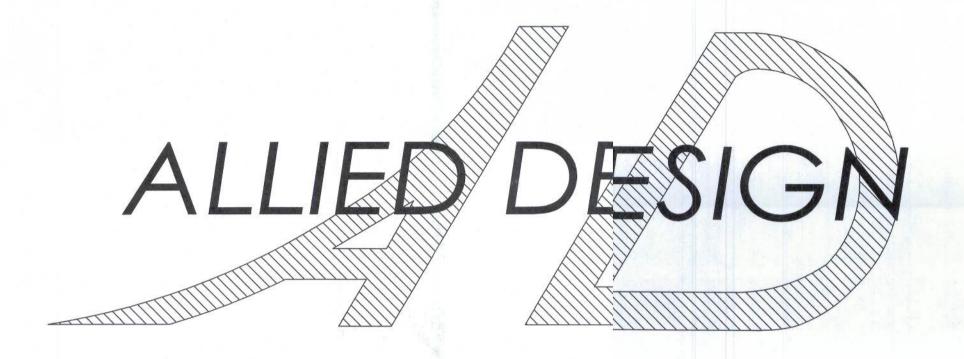
| FLORIDA PRODUCT APPRO<br>2020) | VAL NUMBERS (FBC |
|--------------------------------|------------------|
| PRODUCT                        | FL#              |
| MBI HI-RIB WALL PANEL          | 37256            |
| MBI HI-RIB ROOF PANEL          | 37257            |
| MBI 910 ENTRY DOOR             | 37299.2          |
| PLY GEM MASTIC SOFFITS         | 32502.1          |
| OVERHEAD DOOR                  | TBD              |
|                                |                  |

|              | SHEET INDEX                            |         |
|--------------|--|---------|
| SHEET #      | DESCRIPTION                            |         |
| G1 OF G1     | SPECIFICATIONS & SHEET INDEX           |         |
| S1 OF S10    | COLUMN PLAN                            |         |
| S2 OF S10    | RAFTER FRAMING PLAN & DETAILS          |         |
| \$3 OF \$10  | PURLIN DETAILS                         |         |
| S4 OF S10    | ELEVATIONS                             |         |
| S5 OF S10    | SECTION & DETAILS                      |         |
| S6 OF \$10   | SECTION                                |         |
| S7 OF \$10   | SECTION                                |         |
| S8 OF S10    | SHEARWALL DETAILS & STAIR SECTIONS & D | ETAILS  |
| S9 OF S10    | FLOOR JOIST LAYOUT AND FLOOR HEADER    | DETAILS |
| \$10 OF \$10 | FLOOR HEADER DETAILS & FASTENING SCHE  | DULE,   |

| CURRE        | NTJMBER SPECIFICATIONS | (06-01-2013)     |
|--------------|------------------------|------------------|
| SIZE         | DESCRIPTION            | BENDING VALUE FE |
| 2x4          | NO. 2 SPF              | 1313 PSI         |
| 2x4          | NO. 1 SYP              | 1500 PSI         |
| 2x4          | 2100f MSR SPF          | 2100 PSI         |
| 2x6          | NO. 2 SPF              | 1138 PSI         |
| 2x6          | NO. 1 SYP              | 1350 PSI         |
| 2x6          | 2100f MSR SPF          | 2100 PSI         |
| 2X6          | 2400 MSR SYP           | 2400 PSI         |
| 2x8          | NO. 1 SYP              | 1250 PSI         |
| 2x8          | 2400 MSR SYP           | 2400 PSI         |
| 2x10         | NO. 1 SYP              | 1050 PSI         |
| 2x10         | 2400 MSR SYP           | 2400 PSI         |
| 2x12         | NO. 1 SYP              | 1000 PSI         |
| 2x12         | 2250f MSR SYP          | 2250 PSI         |
| 1 1/2"x16"   | LAINATED VENEER LUMBER | 2800 PSI         |
| 3 1/2"x15"   | GLU-LAM                | 1650 PSI         |
| 1/4"x16 1/2" | GLU-LAM                | 2400 PSI         |
| 1/4"x19 1/2" | GLU-LAM                | 2400 PSI         |

## DESIGN AND) EXPLANATORY NOTES

- 1.) ALL PLOT PLANS AND F, RELATED DETAILS SHALL BE PROVIDED BY OWNER UNLESS INCORPORATED AS PAART OF THESE DRAWINGS.
- 2.) MORTON BUILDINGS GGENERAL SPECIFICATIONS APPLY UNLESS INDICATED DIFFERENTLY ON SPECIFIC JOB DRAWINGS OR SUPPLEMENTAL INFORMATION.
- 3.) MINIMUM LIVE ROOF L: LOAD DESIGNS FOR CONSTRUCTION, MAINTENANCE, REPAIR, AND OTHER TELEMPORARY LOADS PER SECTION 1607.11.2
  - a.) ROOF PURLINS A AND OTHER SECONDARY STRUCTURAL MEMBERS = 20 PSF b.) RAFTERS, HEADEFERS, COLUMNS AND OTHER PRIMARY
  - STRUCTURAL MENEMBER = 18 PSF
  - c.) FOOTINGS = 12 P. PSF (DESIGNED FOR ROOF SNOW LOAD AND OTHER NON-TEMPORAR RY LOADS W/ APPROVAL FROM BUILDING OFFICIAL).
- 4.) NO ONE MAY ALTER A ANY ENGINEERING ITEM UNLESS ACTING UNDER THE DIRECTION OF THE LICE ENSED / REGISTERED ENGINEER .
- 5.) THE PRECEDING SYMMBOL IDENTIFIES ITEMS THROUGHOUT THE PLANS THAT ARE NOT PROVIDED BY MOORTON BUILDINGS, INC. OR MORTON BUILDINGS' SUBCONTRACTORS AN ND ARE THE OWNER'S RESPONSIBILITY.



| BUILDING CODE  | 2020 FLC                 | ORIDA BUILDIN | IG CODE    |
|--|--------------------------|---------------|------------|
| USE GROUP  | R-3                      |               |            |
| CONSTRUCTION TYPE  | VB                       |               |            |
| RISK CATEGORY  | II .                     |               |            |
| EAVE HEIGHT  |                          | 14.89 FT      |            |
| PEAK HEIGHT  | - 2                      | 23.9 FT       |            |
| MEAN ROOF HEIGHT   | 27500                    | 9 19.39 FT    |            |
| MINIMUM LIVE ROOF LOAD DESIGN  | 1                        | SEE NOTE #3   |            |
| WIND SPEED (Vult)  | P. P.                    | 130 MPH       |            |
| WIND SPEED (VASD)  | 1374                     | 101 MPH       |            |
| EXPOSURE CATEGORY  |                          | В             |            |
| INTERNAL PRESSURE COEFFICIENT  |                          | ±0.18         |            |
| BUILDING DESIGN CONDITION  |                          | ENCLOSED      |            |
| WIND LOAD DESIGN   | ASCE 7 (ENVELOPE METHOD) |               | METHOD)    |
|  |                          | CASE 1        | CASE 2     |
|  | ZONE 1E                  | 13.99 PSF     | 8.44 PSF   |
| MAIN WINDFORCE RESISTING SYSTEM (ALL FORCES ACT NORMAL TO THE SURFACE) | ZONE 2E                  | -13.71 PSF    | -19.26 PSF |
| (FOR ZONES SEE MWFRS ON ELEVATIONS PAGE)                               | ZONE 3E                  | -5.39 PSF     | -10.94 PSF |
| (VALUES SHOWN = 0.6 * W)   | ZONE 4E                  | -5.47 PSF     | -11.02 PSF |
| CASE 1 = (-) INTERNAL PRESSURE COEFFICIENT                             | ZONE 1                   | 11.24 PSF     | 5.69 PSF   |
| CASE 2 = (+) INTERNAL PRESSURE COEFFICIENT                             | ZONE 2                   | -7.86 PSF     | -13.41 PSF |
|  | ZONE 3                   | -2.93 PSF     | -8.48 PSF  |
|  | ZONE 4                   | -3.25 PSF     | -8.79 PSF  |
|  | ZONE 1                   | 9.94 PSF, -   | -22.87 PSF |
|  | ZONE 2e                  | 9.94 PSF, -   | -22.87 PSF |
| COMPONENT & CLADDING WIND LOADS  | ZONE 2n                  | 9.94 PSF,     | -36.48 PSF |
| (ALL FORCES ACT NORMAL TO THE SURFACE) (FOR ZONES SEE ELEVATIONS)      | ZONE 2r                  | 9.94 PSF,     | -36.48 PSF |
| (VALUES SHOWN = 0.6 * W)   | ZONE 3e                  | 9.94 PSF,     | -36.48 PSF |
| (ASSUMED EFFECTIVE WIND AREA = 10 SQ. FT.)                             | ZONE 3r                  | 9.94 PSF,     | -39.21 PSF |
|  | ZONE 4                   | 16.06 PSF,    | -17.42 PSF |
|  | ZONE 5                   | 16.06 PSF,    | -21.51 PSF |



I HEREBY CERTIFY THAT THE STRUCTURAL DESIGN FOR THIS BUILDING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED/REGISTERED PROFESSIONAL ENGINEER.

CORY M. BYRD cory.byrd@qllieddesignaes.com DATE: 4 9 2 REG.# 83063

OFFICE: GAINESVILLE, FL JOB NO.

131-105305

GROUP, **IEERING** 

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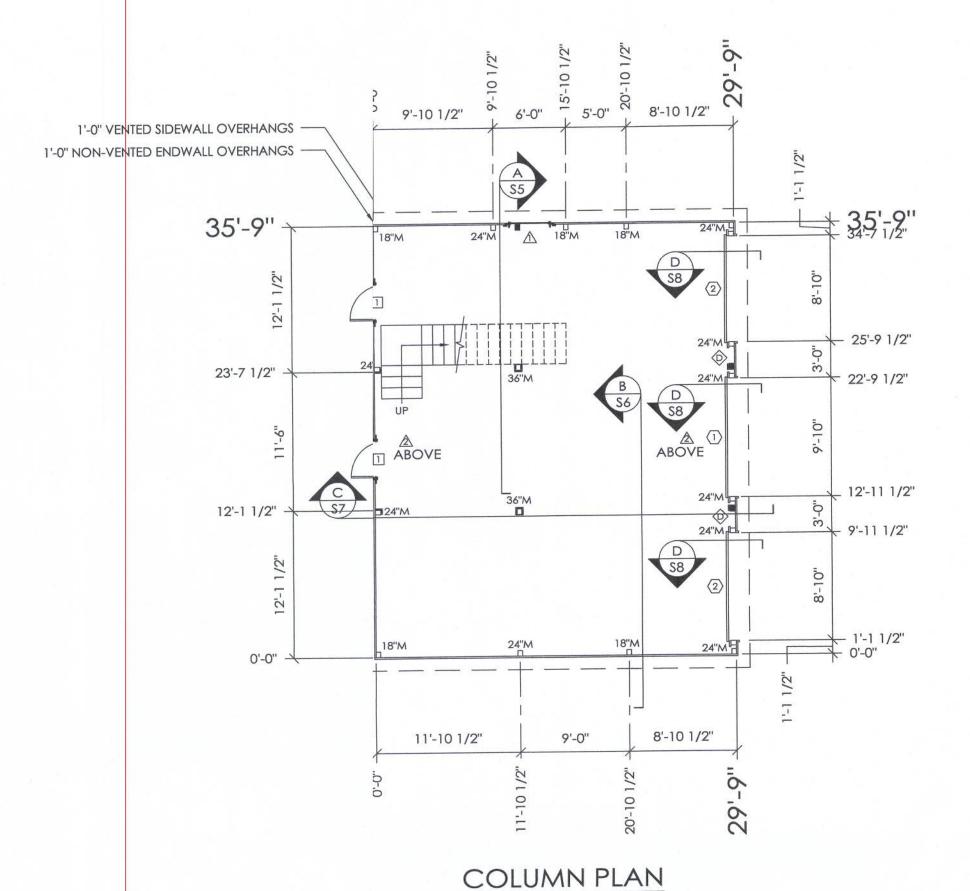
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## DESIGN AND EXPLANATORY NOTES

- 1.) THE PRIVATE GAFARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITATABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD AND 1/2"2" GYPSUM BOARD APPLIED TO STRUCTURES SUPPORTING THE SEPARATION FROM HABITABLE ROOM ABOVE THE GARAGE, DOORS BETWEEN THE GA, ARAGE AND THE DWELLING SHALL BE EQUIPPED WITH EITHER SOLID WOOD NOT LESS THAN 1 3/8" THICK, SOLID OR HONEYCOMB CORE STEEL DOORS NCIOT LESS THAN 1 3/8" THICK OR 20 MINUTE FIRE RATED DOORS, AND EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING DEVICES.
- 2.) THE AREA OF FLCLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL L BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWAYARD THE MAIN VEHICLE ENTRY DOORWAY.
- 3.) EACH SLEEPING & ROOM SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE
- E DENOTES EMERGGENCY ESCAPE AND RESCUE OPENING MEETING OR EXCEEDING A NEVET CLEAR OPENING OF 5.7 SQUARE FEET WITH A MINIMUM NET CLEAR WIDTI, TH OF 20" AND A NET CLEAR HEIGHT OF 24" WITH THE SILL NOT MORE THAN N 44" ABOVE THE FLOOR.

GAINESVILLE, FL

JOB NO. 131-105305

GROUP, ENGINEERING

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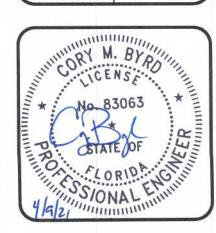
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ARCHITECTURA ORTON, IL 61550 COA # 8 400 FEN DESIGN ,

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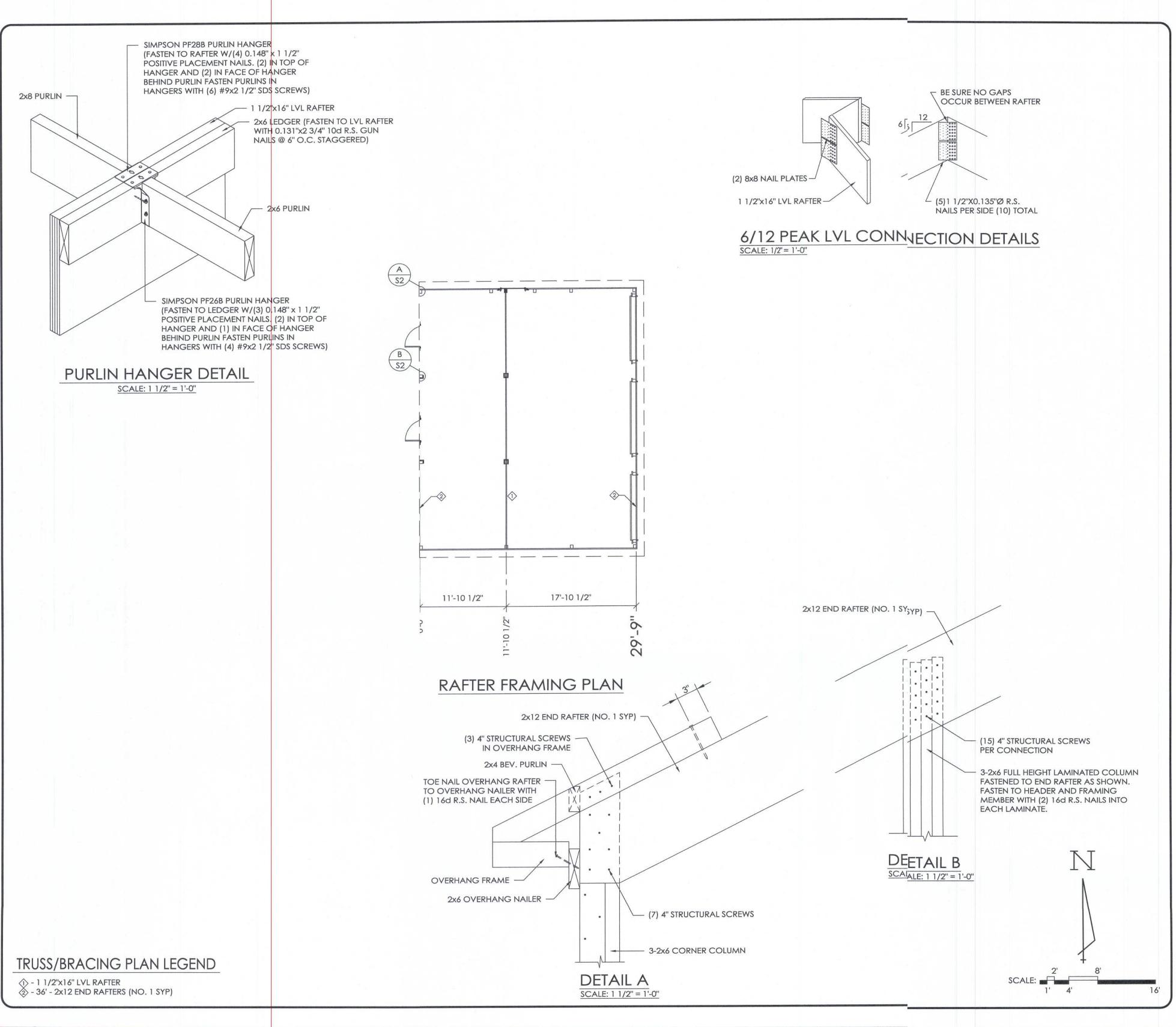
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## COLUMN PLAN LEGEND

- 3-2x6 LAMINATED COLUMN LOCATION
- HEADERED TRUSS/COLUMN LOCATION
- 3068 MB910 9-LITE 2 PANEL WALKDOORS, OUT SWING, RIGHT HINGE WITH SINGLE CYLINDER DEADBOLT, LOCKSET
- ↑ 3'-6"x4'-0" PELLA IMPERVIA DOUBLE HUNG WITH GRIDS
- € A (2) 3'-6'x5'-0" PELLA IMPERVIA DOUBLE HUNG WINDOWS WITH GRIDS IN GABLES
  - (2) 9'-0"x8'-0" OVERHEAD DOOR
  - 10'-0''x8'-0" OVERHEAD DOORS
- ⊕ DOUBLE 3/4" OSB SHEARWALL (SEE DETAILS ON SHEET S8)
- 7/16" OSB AND ROOFING FELT UNDER HI-RIB STEEL
- ALL STEEL FASTENED WITH STAINLESS STEEL SCREWS 18"M - 18" DIAMETER FOOTING WITH 4' TO BOTTOM OF 21" THICK CONCRETE PAD (2500 PSI MINIMUM). 20" BELOW BOTTOM OF PRECAST CONCRETE COLUMN AROUND EXPÓSED REBAR CAGE AND 3/4"x14" THREADED ROD WITH AN ADDITIONAL MINIMUM 1" ABOVE BOTTOM OF PRECAST CONCRETE COLUMN. PLACE CONCRETE BELOW AND ABOVE BOTTOM
- OF LOWER COLUMN IN ONE OPERATION. 24"M - 24" DIAMETER FOOTING WITH 4' TO BOTTOM OF 21" THICK CONCRETE PAD (2500 PSI MINIMUM). 20" BELOW BOTTOM OF PRECAST CONCRETE COLUMN AROUND EXPOSED REBAR CAGE AND 3/4"x14" THREADED ROD WITH AN ADDITIONAL MINIMUM 1" ABOVE BOTTOM OF PRECAST CONCRETE COLUMN. PLACE CONCRETE BELOW AND ABOVE BOTTOM OF LOWER COLUMN IN ONE OPERATION.
- 36"M 36" DIAMETER FOOTING WITH 4' TO BOTTOM OF 21" THICK CONCRETE PAD (2500 PSI MINIMUM). 20" BELOW BOTTOM OF PRECAST CONCRETE COLÚMN AROUND EXPÓSED REBAR CAGE AND 3/4"x14" THREADED ROD WITH AN ADDITIONAL MINIMUM 1" ABOVE BOTTOM OF PRECAST CONCRETE COLUMN. PLACE CONCRETE BELOW AND ABOVE BOTTOM OF LOWER COLUMN IN ONE OPERATION.



> RELYEA **OR MICHAEL**

P.C. -263-4105

GROUP, PHONE NUMBER: 309-2

ENGINEERING

DONNALEE

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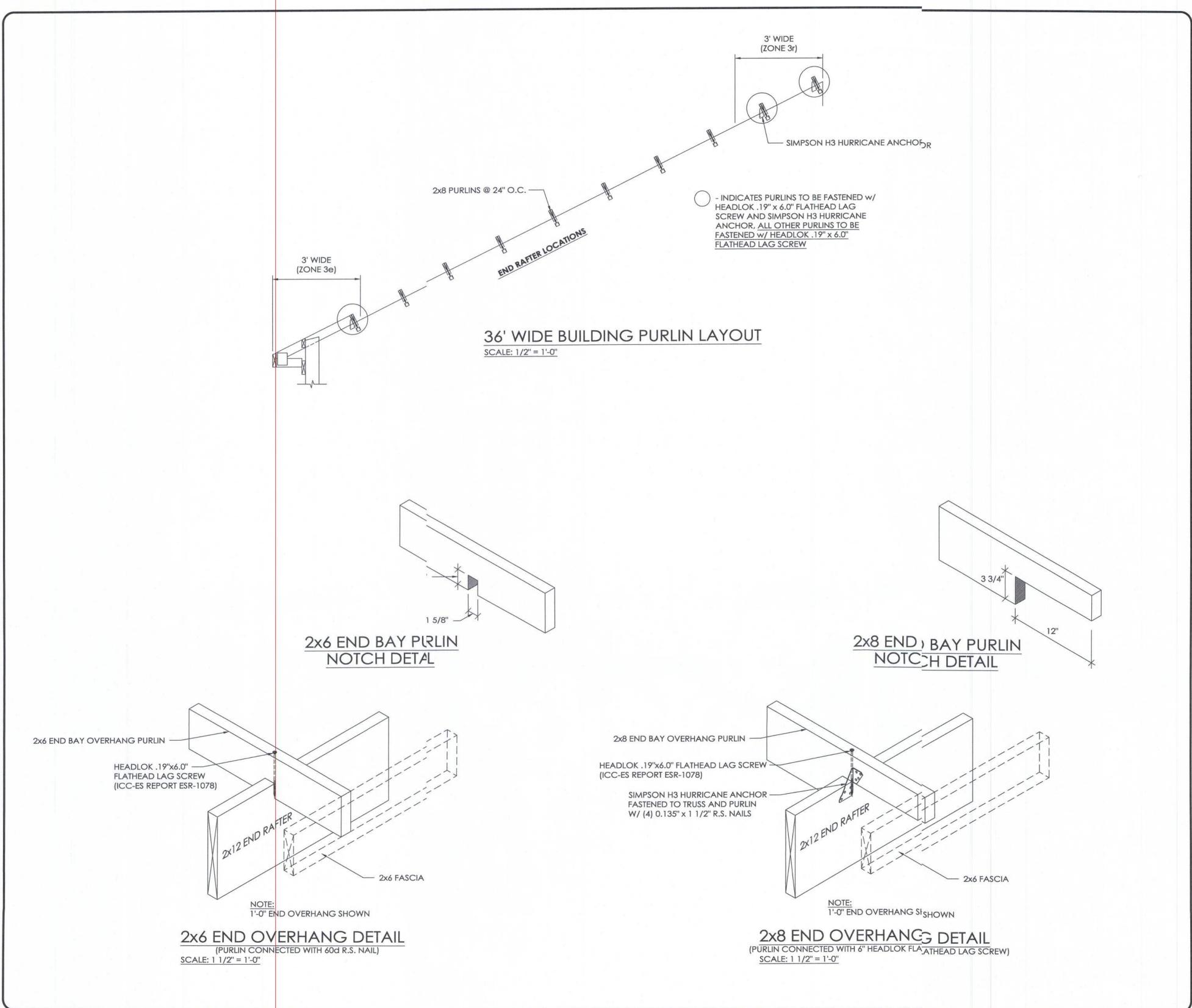
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DONNALEE OR MICHAEL RELYEA

5 GROUP, P.C. PHONE NUMBER: 309-263-4105

ENGINEERING

DONNALEE

DRAWN BY: MILICH

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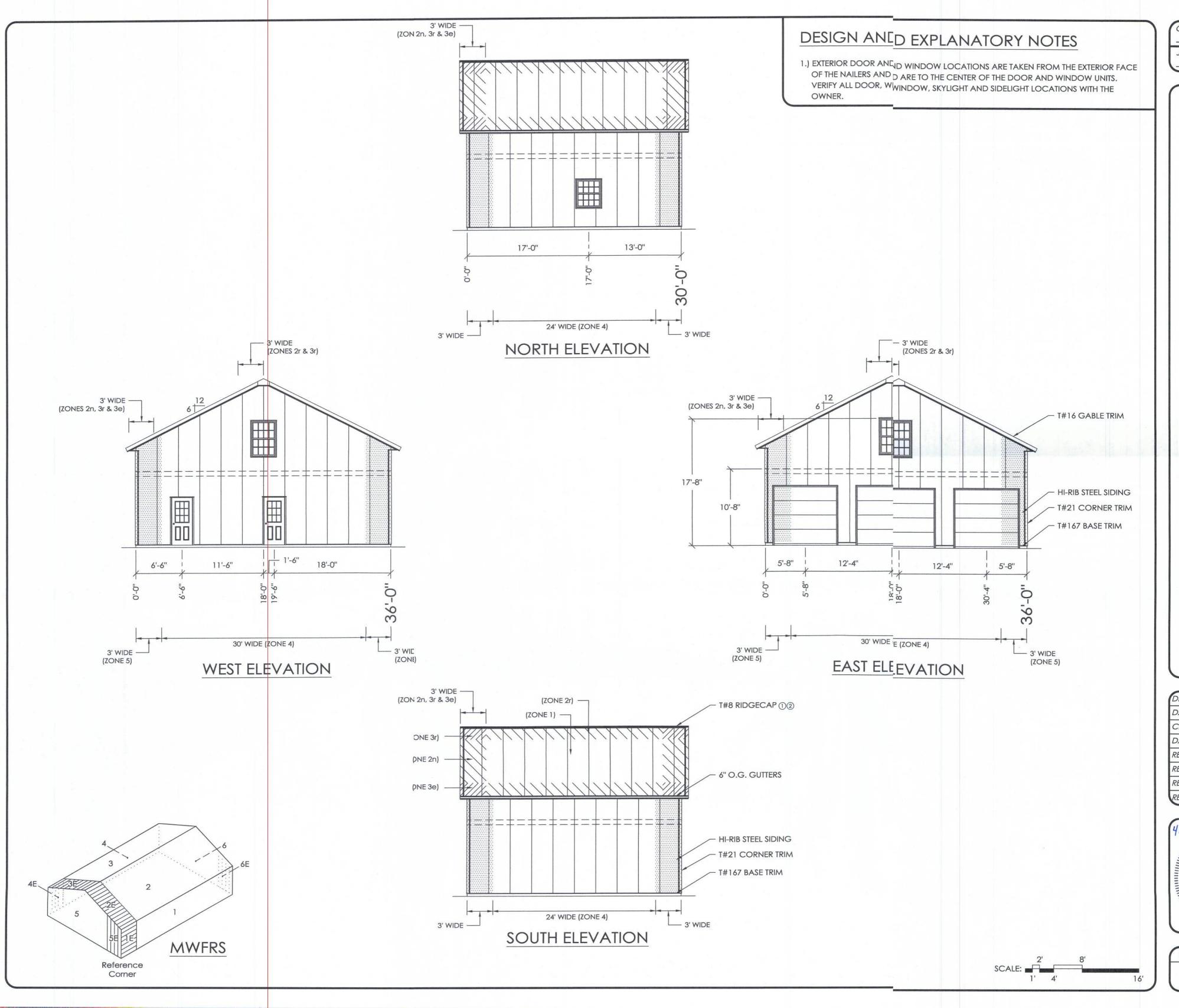
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OFFICE:
GAINESVILLE, FL

JOB NO. \_\_\_\_131-105305

GROUP, P.C. PHONE NUMBER: 309-263-4105

ENGINEERING (COA # AA003469 (AR)

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DONNALEE OR MICHAEL RELYEA

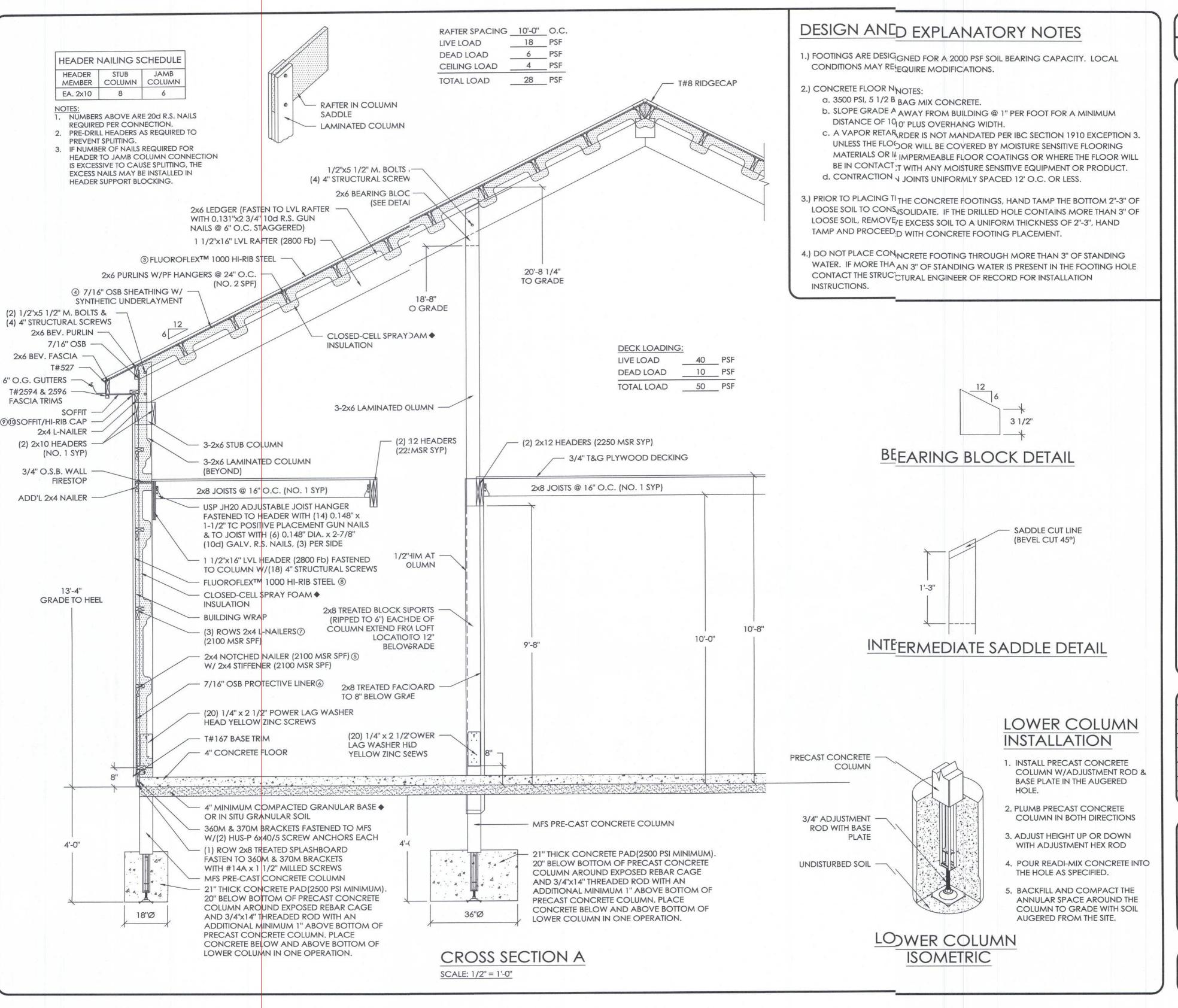
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JOB NO.

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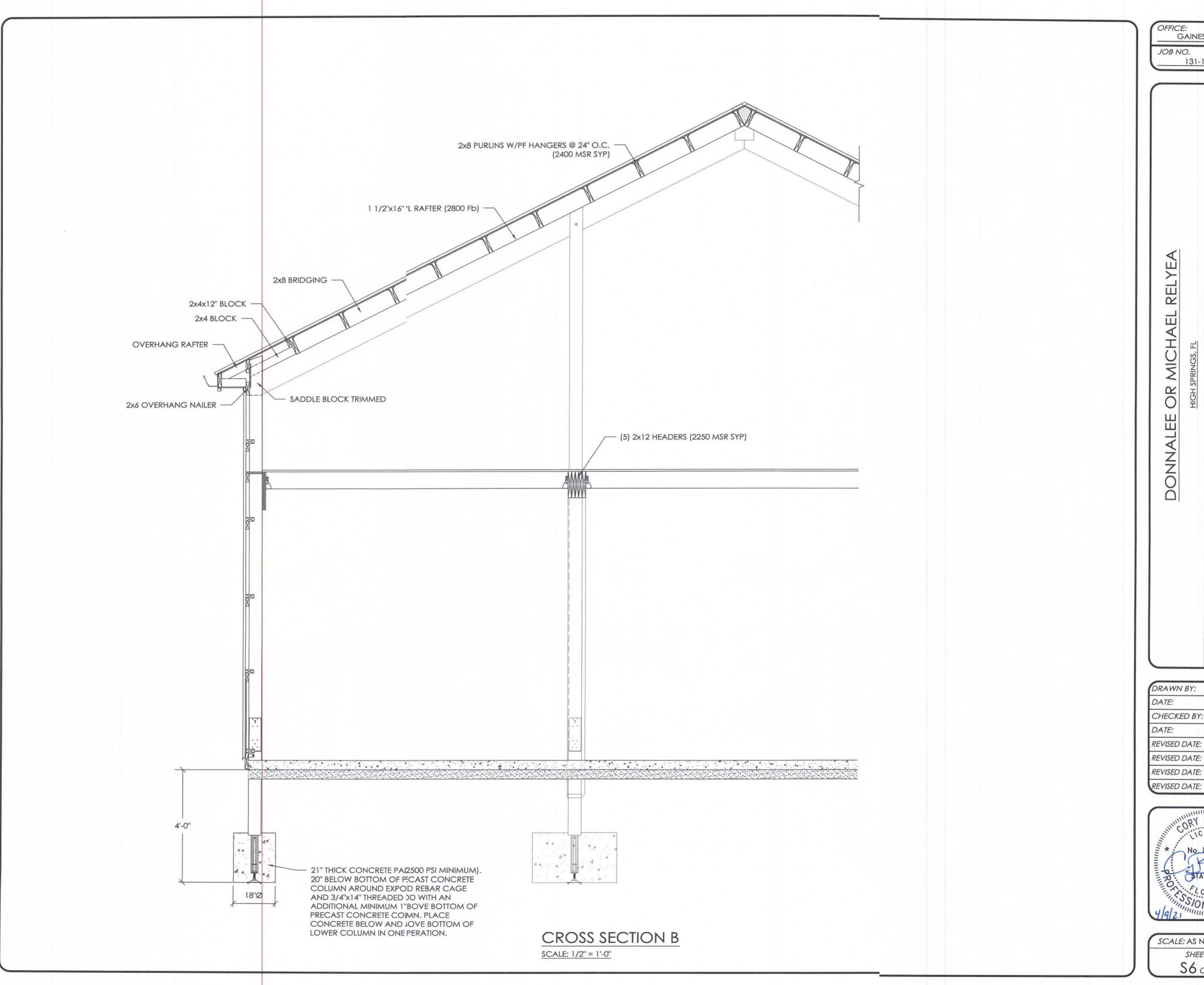
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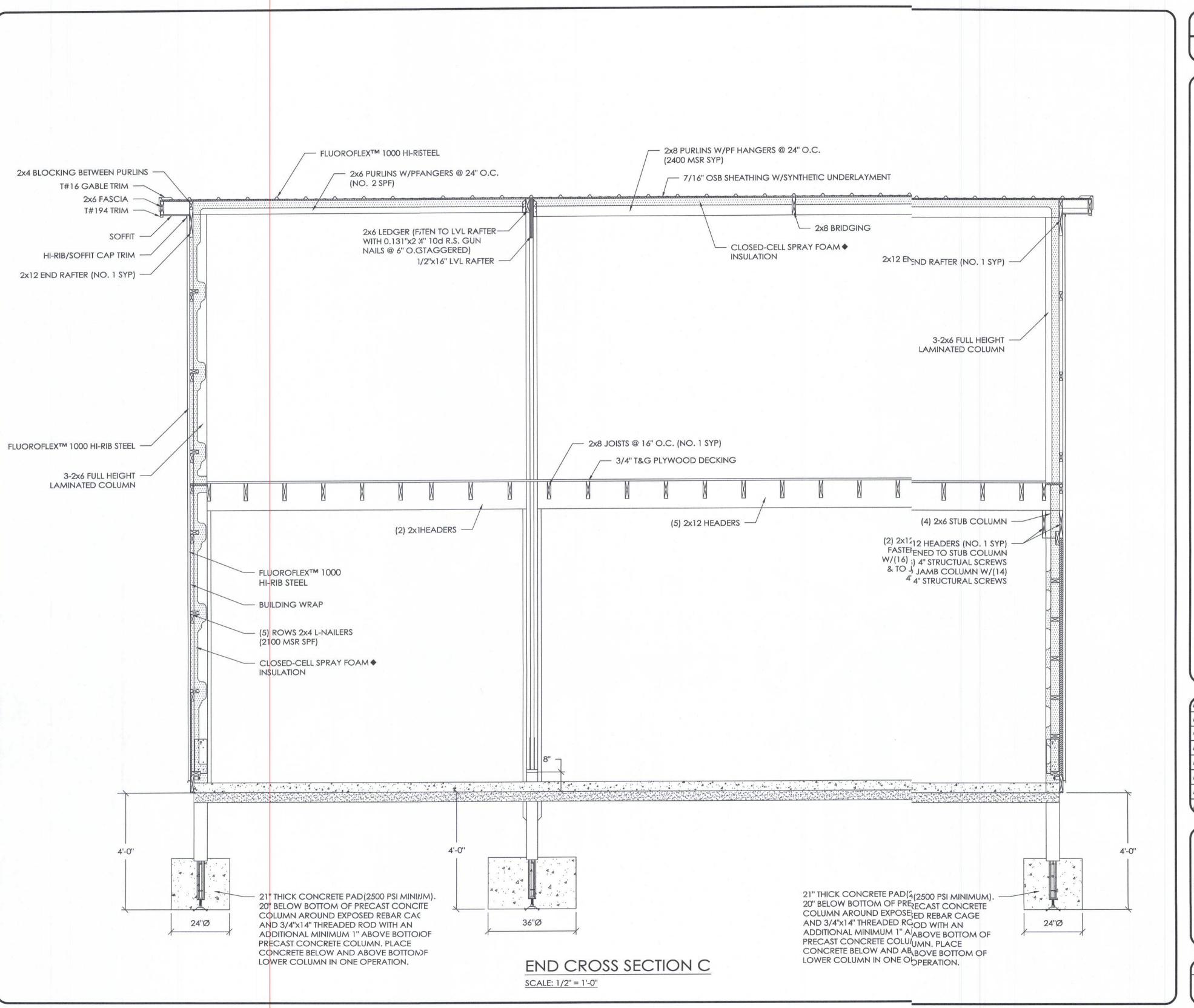
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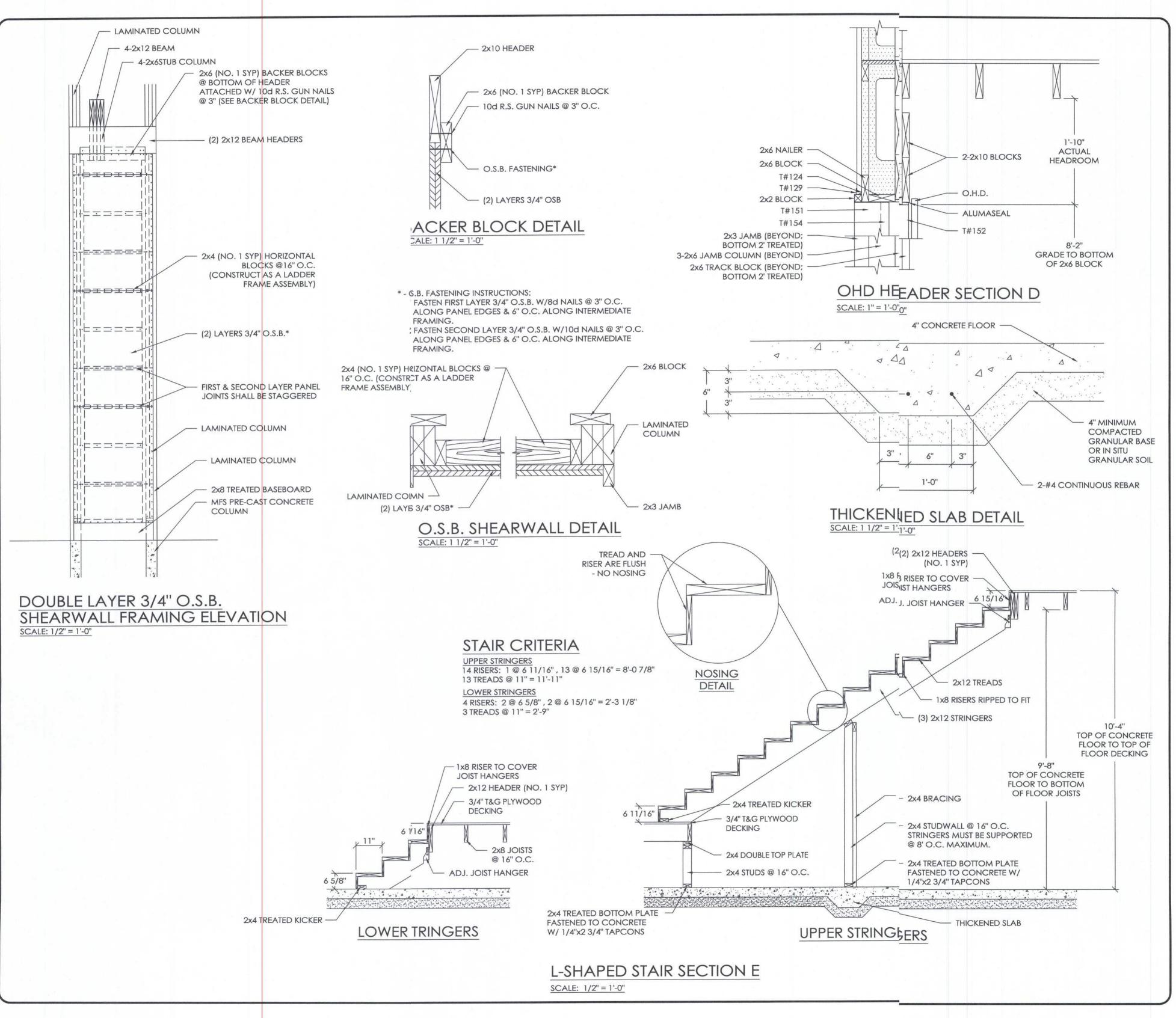
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SCALE: AS NOTED SHEET NO. S7 OF S10



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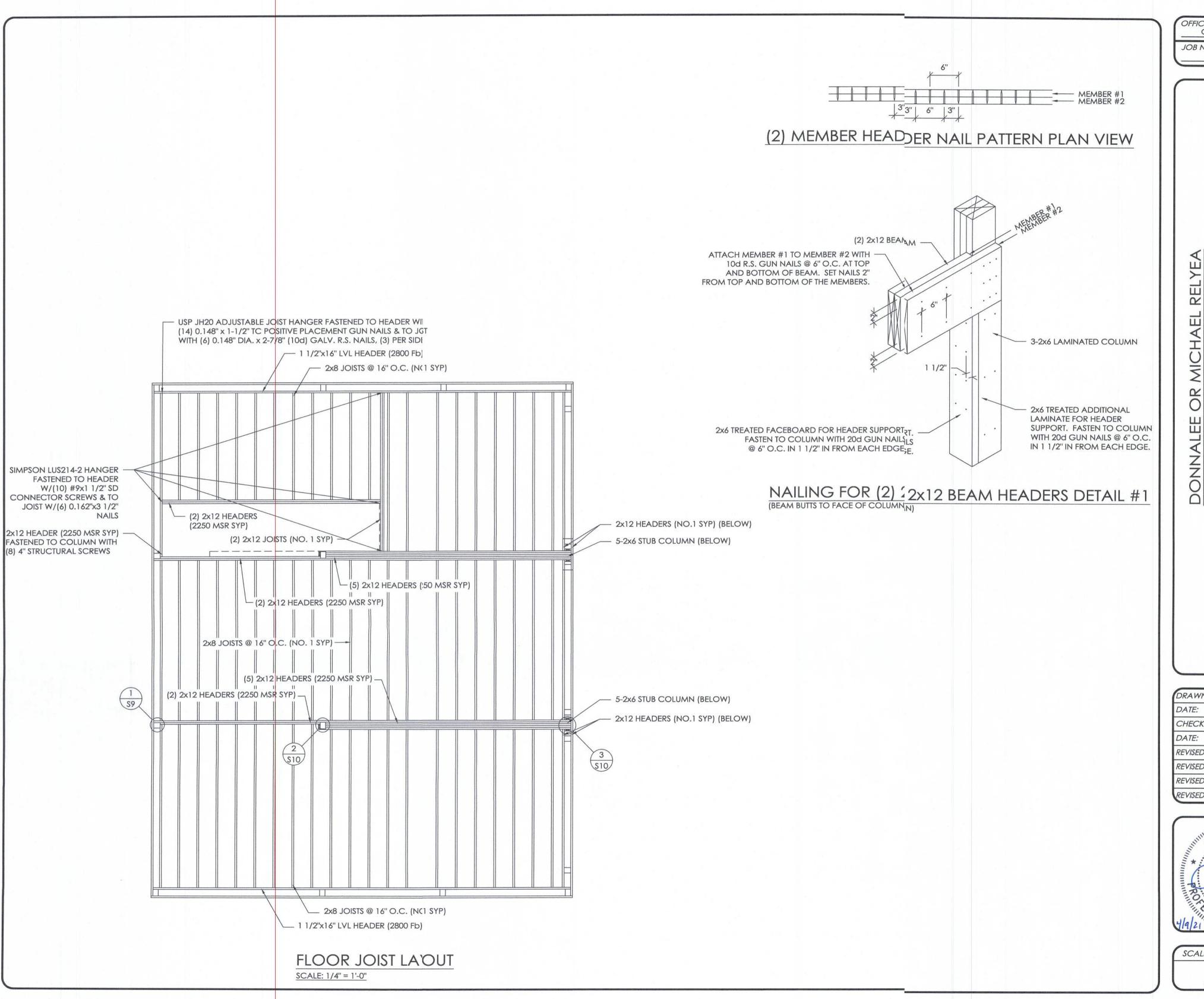
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GAINESVILLE, FL

131-105305

GROUP, P.C. PHONE NUMBER: 309-263-4105 ENGINEERING

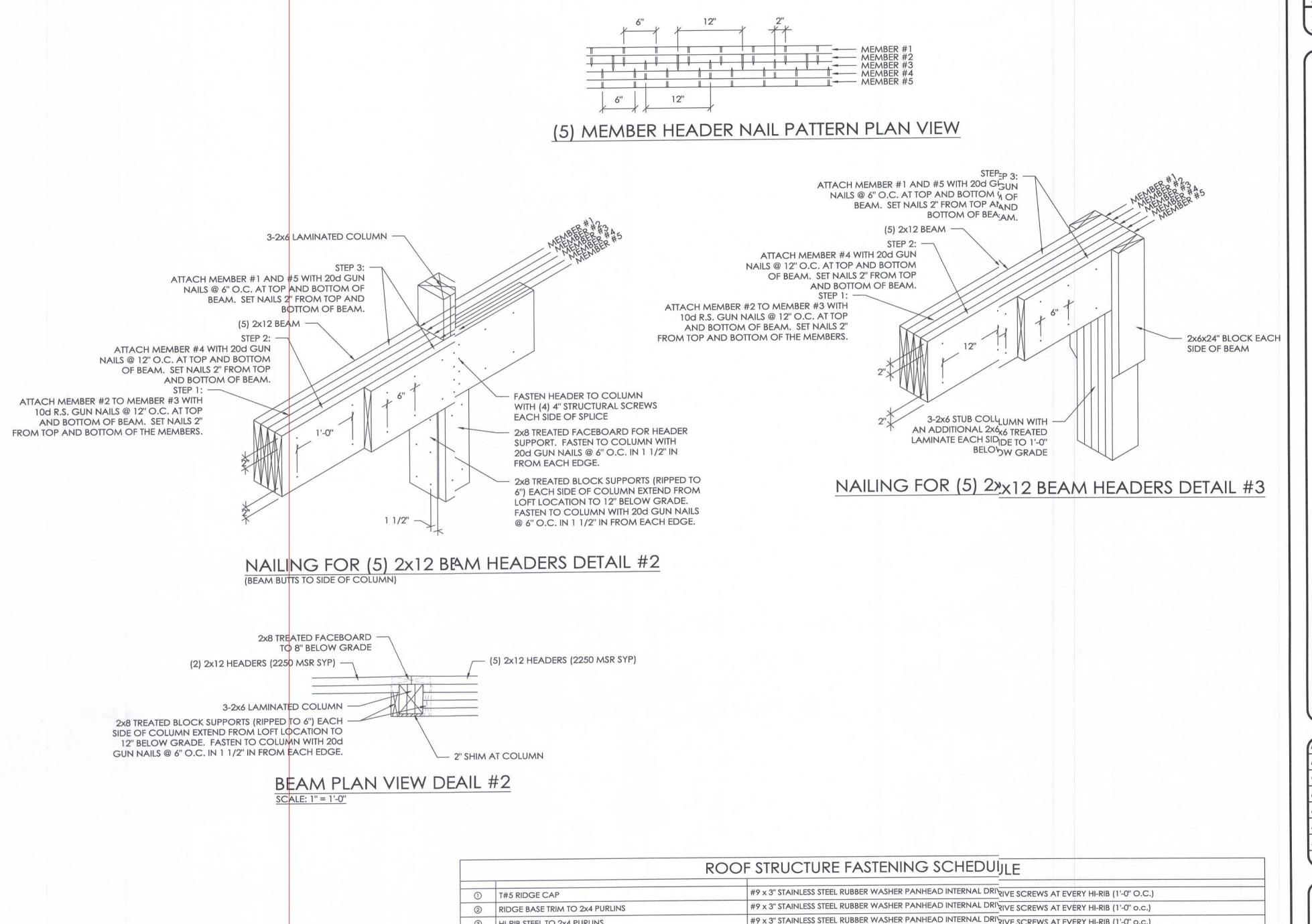
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S9 OF S10



#9 x 3" STAINLESS STEEL RUBBER WASHER PANHEAD INTERNAL DRIVE SCREWS AT EVERY HI-RIB (1'-0" o.c.) 3 HI-RIB STEEL TO 2x4 PURLINS 0.113" x 2-3/8" RING SHANK COIL NAILS @ 12" O.C., 6" O.C. @ PAPANEL EDGES 4 7/16" OSB SHEATHING TO PURLINS WALL FRAMING FASTENING SCHEDULLE (4) 0.148" x 3-1/2" (16d) NAILS @ SPLICE/ (4) 0.148" x 3-1/2" (16d) NAILS @ STANDARD CONNECTION 3 2x4 NOTCHED NAILER W/ 2x4 STIFFENER TO COLUMN 0.099" x 1-1/4" ASBESTOS SIDING NAILS 7/16" OSB TO SPLASHBOARD & NOTCHED NAILER (4) 0.148" x 3-1/2" (16d) RING SHANK NAILS @ SPLICE/ (4) 0.148" x 3-1/2" (16d) RING SHANK NAILS @ STANDARD CONNECTION ② 2x4 L-NAILER TO COLUMN #9 x 2" STAINLESS STEEL RUBBER WASHER PANHEAD INTERNAL DRI'RIVE SCREWS AT EVERY HI-RIB (1'-0" o.c.) 8 HI-RIB STEEL TO NAILERS INSERTED IN PRE-FORMED SLOT IN SOFFIT/HI-RIB CAP SOFFIT TO WALL T-50 MONEL STAPLES (2) PER PIECE 10 SOFFIT TO FASCIA

OFFICE:
GAINESVILLE, FL

JOB NO.
131-105305

P. 263-4105

GROUP, PHONE NUMBER: 309-2

ENGINEERING

ALLIED DESIGN ARCHITECTURA 100 S. PERSHING P.O. BOX 110 MORTON, IL 61550 COA # 8,400 (EN

DONNALEE OR MICHAEL RELYEA
HIGH SPRINGS, FL

| DRAWN BY:     | MILICH     |
|---------------|------------|
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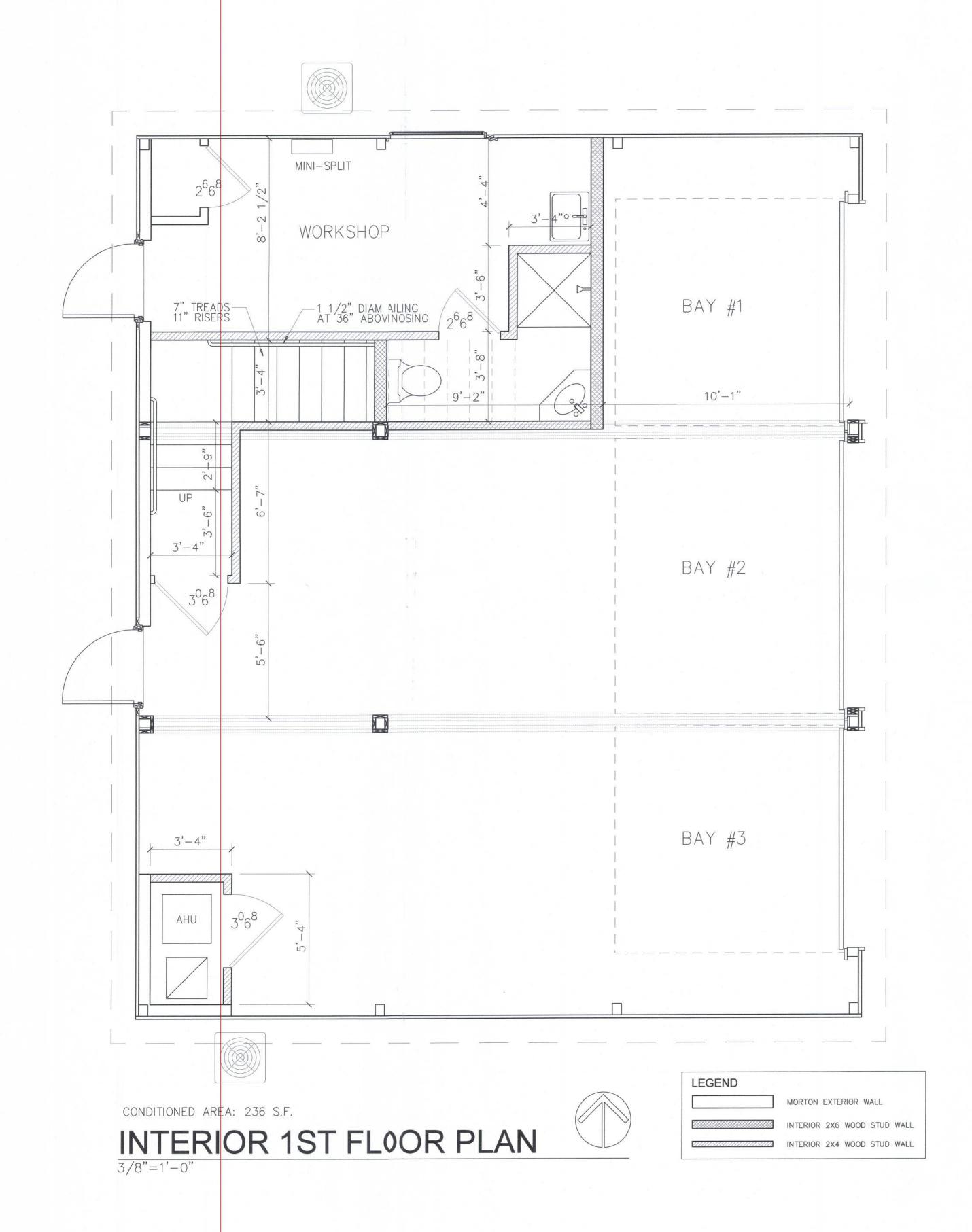
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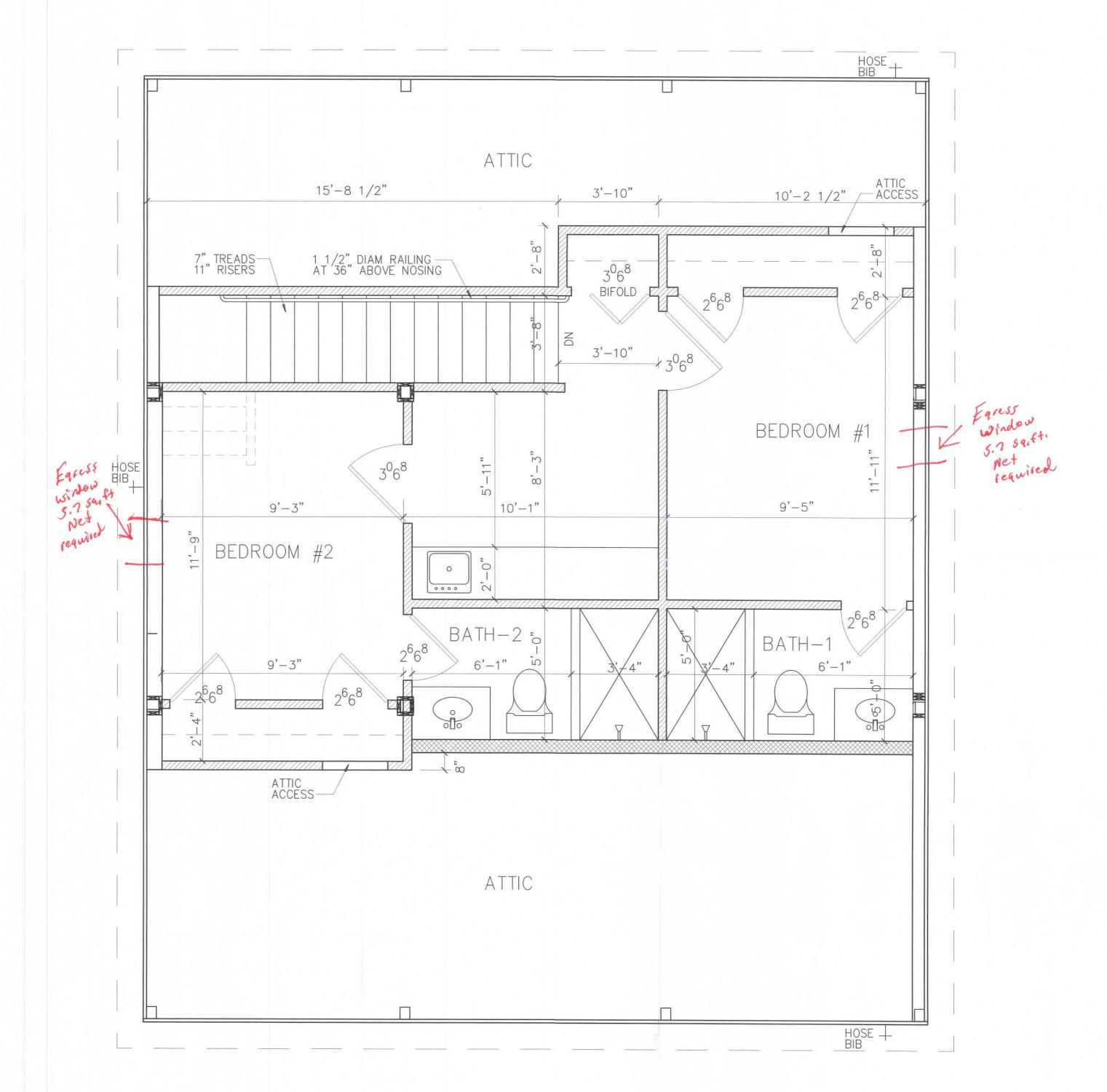
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DRAWN BY: J.W.S

CHECKED:





CONDITIONED AREA:

INTERIOR 2ND FLOOR PLAN
3/8"=1'-0"





PROJECT: SA-2106
DRAWN BY: J.W.S.
CHECKED:
DATE: 4-13-2021

A2.0

PROVIDE WALL LATERAL SUPPORT AS REQ'D. DO NOT BEAR TRUSS ON WALL

VARIES 8' MIN. (VERIFY WITH SHELL CDS)

1/2" GYP. BD. CEILING

CONT. 2X4 WD. TOP PLATE

1/2" GYP. BD. (BOTH SIDES) TYPICAL

2X4 WD. STUDS AT 24" O.C.

P.T. 2X4 BOTTOM PLATE CONT. SECURE TO NEW SLAB WITH 2" LONG POWER ACT. FASTENER AT 2'-0" O.C. TYPICAL

CONT. BASE AND FLOORING (SELECTED BY OWER)

0'-0" AT FIN. FLR.

TYPICAL INTERIOR NON-BEARING WALL SECTION 1

NOTES:

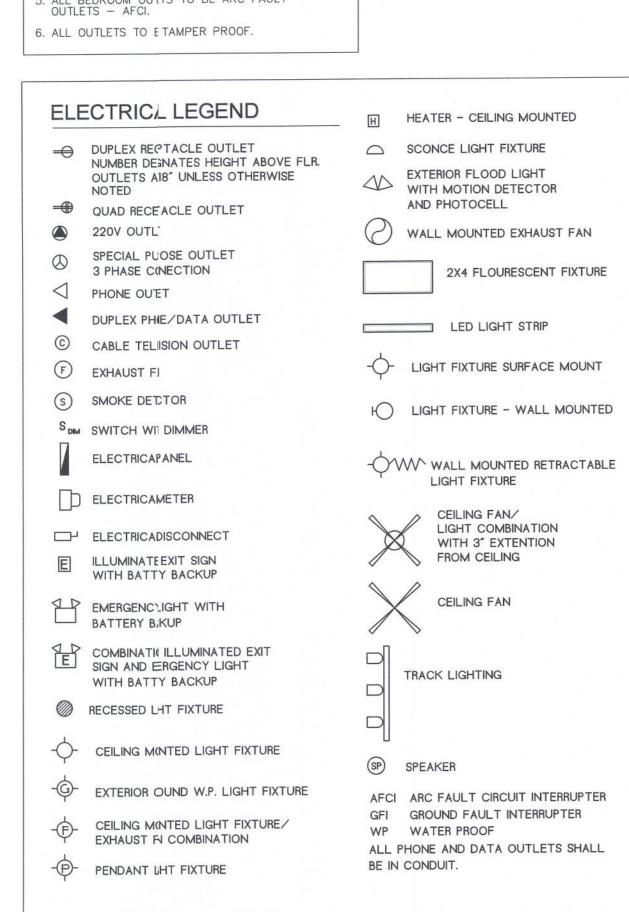
1. ALL WORK SHALL IMPLY WITH FBC 2017
RESIDENTIAL 5TH ETION CHAPTERS 34 THROUGH
43.

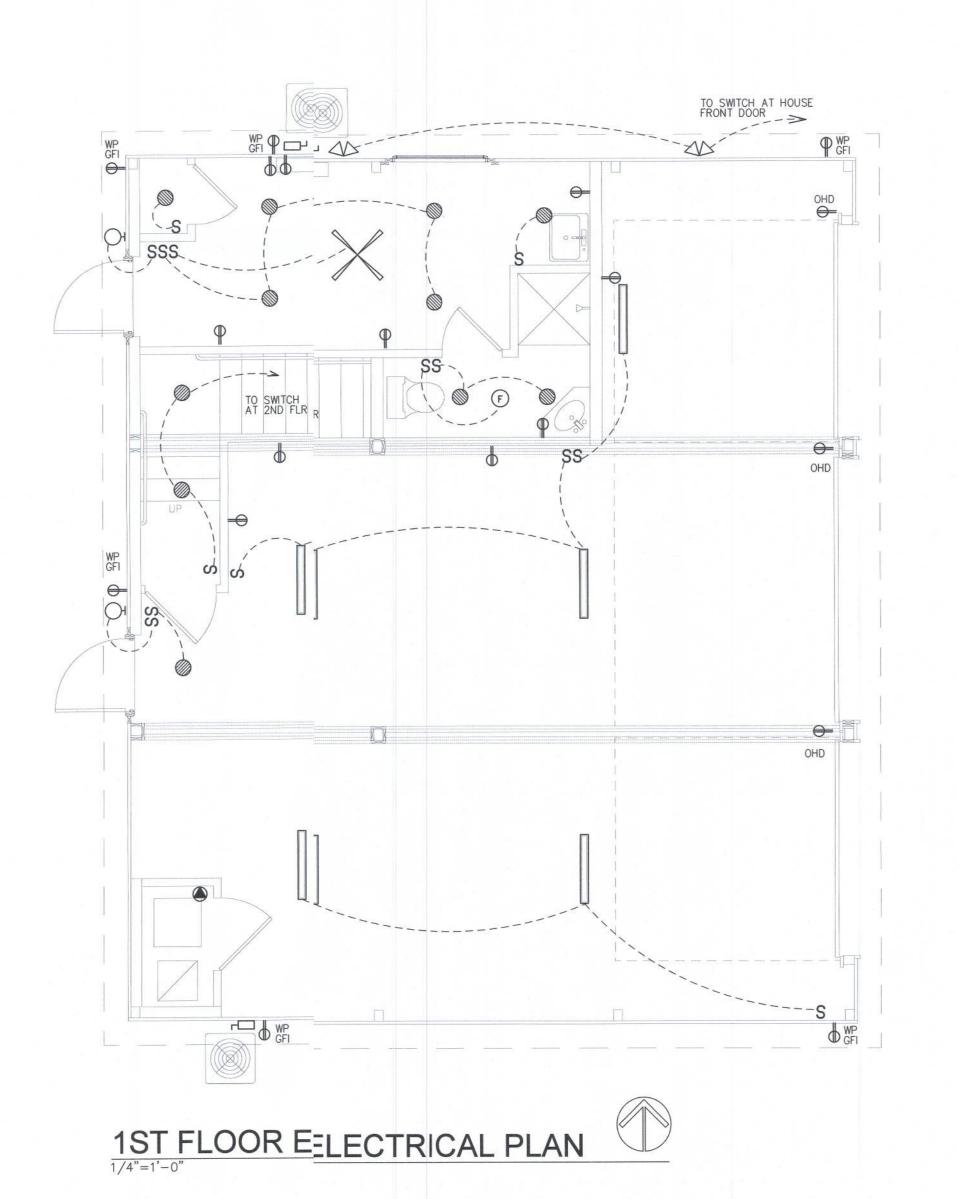
2. PROVIDE GFCI OUTTS AT KITCHEN, BATHROOMS,
GARAGE AND SHOF

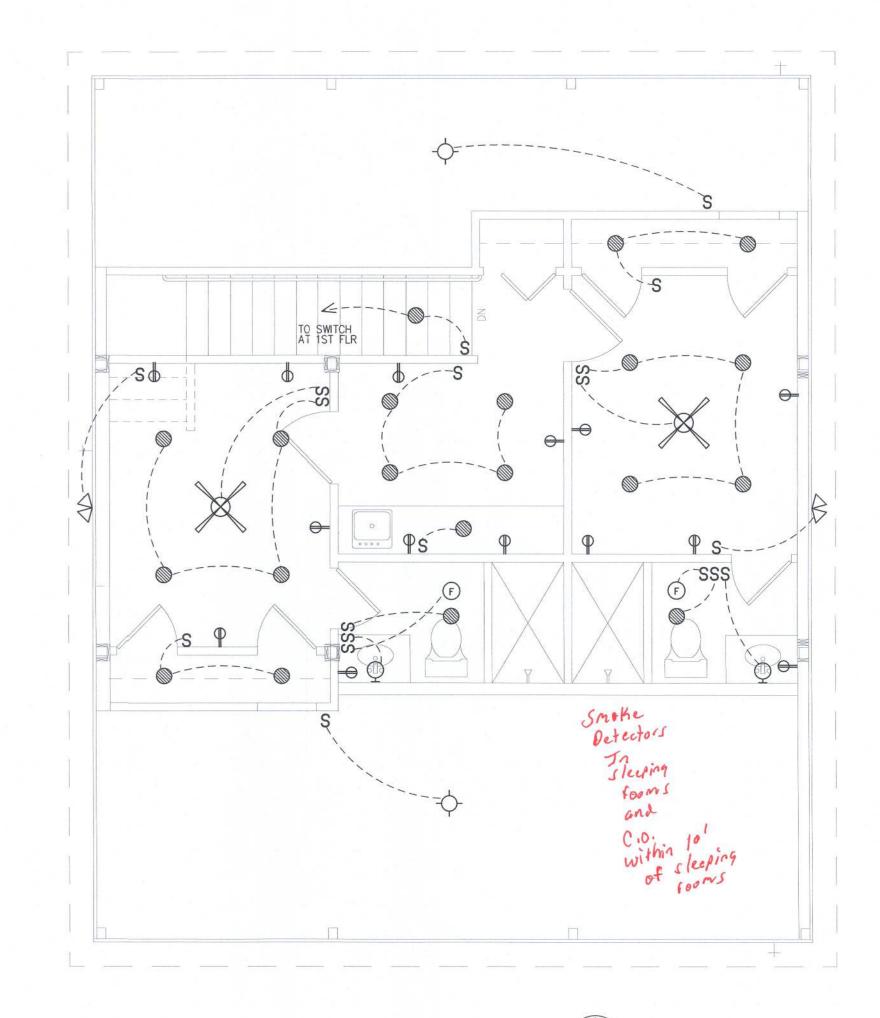
3. OUTLETS SUPPLYIN POWER TO THE STOVE, RANGE,
A/C, WATER HEAT, DRYER, AND DISH WASHER
TO BE WIRED ON PARATE DEDICATED CIRCUITS.

4. CONNECT ALL SMC DETECTORS TOGETHER.

5. ALL BEDROOM OUTTS TO BE ARC FAULT
OUTLETS — AFCI.







2ND FLOOR ELECTRICAL PLAN