# **ABBREVIATIONS**

A/C	AIR COOLING UNIT
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
BLK	BLOCK
BOT	BOTTOM
BRG	BEARING
CJ	CONTROL JOINT
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
ELEC	ELECTRIC
EQ	EQUAL
FF	FINISH FLOOR
FTG	FOOTING
НВ	HOSE BIB
HDR	HEADER
HGT	HEIGHT
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OPNG	OPENING
SIM	SIMILAR

#### area tabulation 'a'

GARAGE	403 SF
FRONT PORCH	38 SF
REAR PATIO	104 SF
FLOOR 1 LIVING	1,776 SF
TOTAL LIVING	1,776 SF

#### area tabulation 'b'

GARAGE	403 SF
FRONT PORCH	117 SF
REAR PATIO	104 SF
FLOOR 1 LIVING	1,776 SF
TOTAL LIVING	1,776 SF

# Radford

# INDEX

VLT

UNO

#### **ARCHITECTURAL**

**TYPICAL** 

VAULT

UNLESS NOTED OTHERWISE

NUMBER

06

DATE

03 04 2021

DESCRIPTION

08.24.21 Added stemwall options

Added Flevations A1 & B1

07.08.21 Added floor break transition strips to plan

GENERAL NOTES & LEGENDS

**EXTERIOR ELEVATIONS** 

SLAB PENETRATION PLAN

FLOOR PLANS

**SECTIONS & DETAILS** 

INTERIOR DETAILS

**ROOF PLAN** 

ELECTRICAL PLANS

CONSTRUCTION DETAILS

39' - 1776 - LH

06.14.21 Added outlet to BR2, Relocate & noted outlets to meet 6' max from wall break & 12' max between outlet spacing at habitable rooms (E1.1)

# Florida Region (Frame) **REVISIONS**

08.02.21 labeled egress windows, labeled accessible bath, smoke/carbon alarms near appliances noted

09.08.21 Carbon / smoke alarm moved 3' min away from bathroom door/opening with tub/shower

## ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCE CURRENTLY IN USE WITH THE LOCAL JURISDICTION. PRODUCT: NEW SINGLE FAMILY DETACHED OCCUPANCY CLASSIFICATION: RESIDENTIAL R-3 CONSTRUCTION CLASS UNPROTECTED CONSTRUCTION TYPE: TYPE VB EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM OF 5.7 SQUARE FEET FOLLOW ALL APPLICABLE STATE AND LOCAL CODES. FLORIDA STATE SUPPLEMENTS AND AMENDMENTS. 2020 Florida Building Code, Residential, 7th Edition 2017 National Electrical Code, NFPA 70

**BUILDING CODE COMPLIANCE** 



Reserve at Jewel Lake 404 SW Jewel Lake Drive Lake City, FL 32024

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RELEASE DATE: 02.22.2021

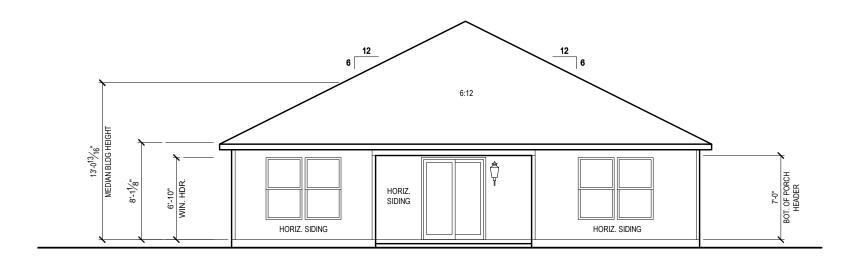
MODEL:
RADFORD

SHEET NO:

## Keynotes | Legend

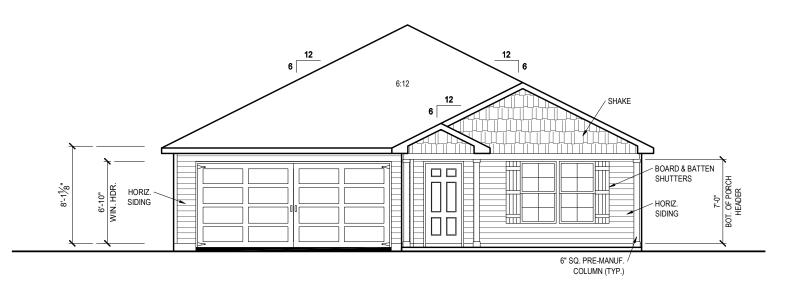
- CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS. CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED. BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP. STONE WAINSCOT WITH SLOPED STONE CAP.

- 3 1/2" VINYL TRIM SURROUND 36" H. GUARDRAIL AS REQUIRED



## **FRONT ELEVATION 'B1'**

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



# FRONT ELEVATION 'B1' 1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







Reserve at Jewel Lake Lot 028 404 SW Jewel Lake Drive

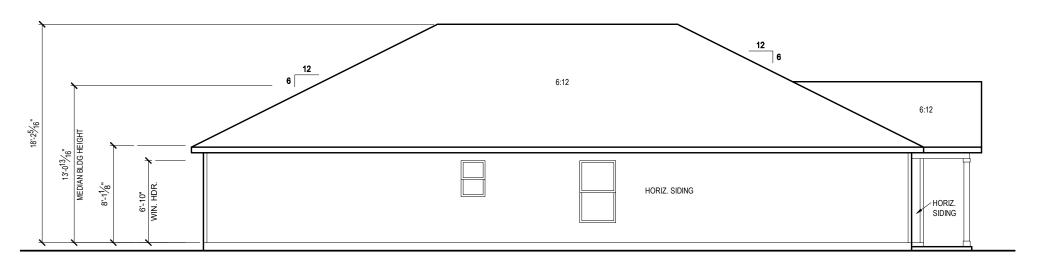
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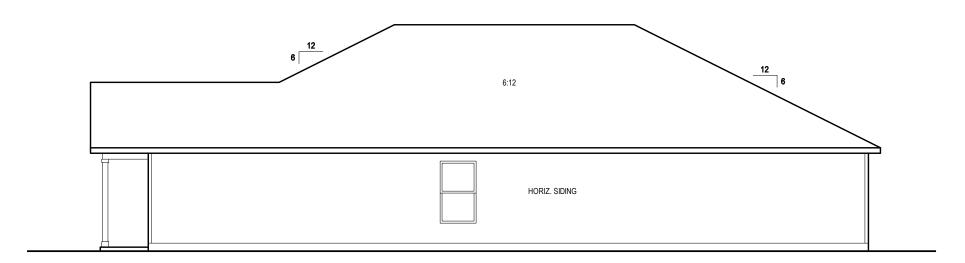
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DRAWING TITLE:	RELEASE DATE:	l c mmu
EXTERIOR ELEVATIONS	02.22.2021	onsent nities.

MODEL:
RADFORD SHEET NO:

1.1-B1



# LEFT SIDE ELEVATION 'B1' 1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



# RIGHT SIDE ELEVATION 'B1' 1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







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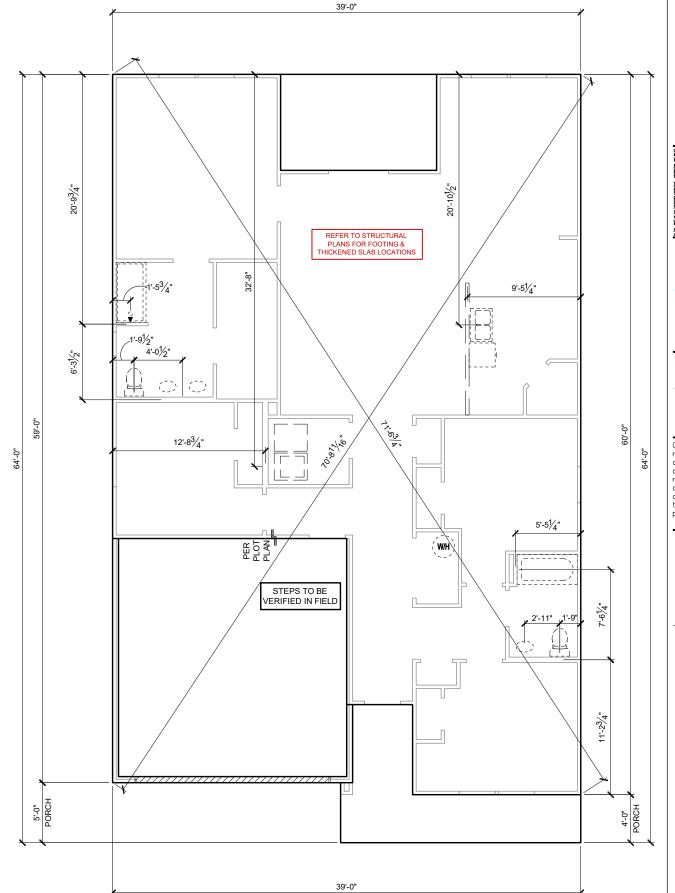
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EXTERIOR ELEVATIONS	02.22.2021	ut wr onsent nities.
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SHEET NO:

1.2-B1

#### GENERAL SLAB FOUNDATION NOTES

- PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING LOCATIONS.
- REFER TO EXTERIOR ELEVATIONS FOR BRICK/STONE LOCATIONS.
- GARAGE SLAB SHALL SLOPE TOWARD GARAGE DOOR OPENING.



# SLAB PENETRATION PLAN 'B1' 1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







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	33911776
	RELEASE DATE:
PLAN	02.22.2021

DRAWING TITLE:
SLAB PENETRATION P MODEL:
RADFORD

SHEET NO:

2.1-B

#### **NOTES & LEGENDS**

- 1. REFER TO ENGINEERING STRUCTURAL DRAWINGS (S-#) FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS
- 2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.
- 3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/VERTICAL CRIPPLERS @ 2'-0" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.
- 4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR

2X4 FRAME WALL

BALLOON FRAME WALL (PER STRUCTURALS)

#### **KEYNOTES**

A1 GARAGE CEILING - 5/8" TYPEX DRYWALL
VERTICAL SURFACE WALLS - 1/2" DRYWALL
A2 22"X30" ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X
AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT
A3 PROVIDE 6" MIN. FLAT CLG AT ANGLED CLG CONDITION

A3 PROVIDE 6" MIN. FLAT CLG AT ANGLED CLG CONDITION
A4 PULL DOWN STAIRS 255" x 6"
A5 TEMPERED SAFETY GLASS PER IRC R308.4
A6 HOUSE TO GARAGE DOOR SEPARATION. PROVIDE APPROVED 20
MINUTE RATED DOOR PER IRC 302.5.1
A7 A/C CONDENSER PAD. REFER TO SITE PLAN FOR FINAL LOCATION.
VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS
A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS
A9 LOUVERED DOOR W/ GAS FURNACE

D1 DRYWALL SOFFIT - 12" DROP FROM CEILING LINE D2 DRYWALL SOFFIT - 8" DROP FROM CEILING LINE

K1 39" KNEE WALL WITH CAP PER SPECS

K2 38" KNEE WALL WITH 1x CAP

K3 46" KNEE WALL WITH CAP PER SPECS K4 34 1/2" KNEE WALL

K5 42" KNEE WALL WITH 1x CAP

K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING

P1 30" X 60" SHOWER ENCLOSURE PER SPECS P2 30"X60" TUB PER SPECS

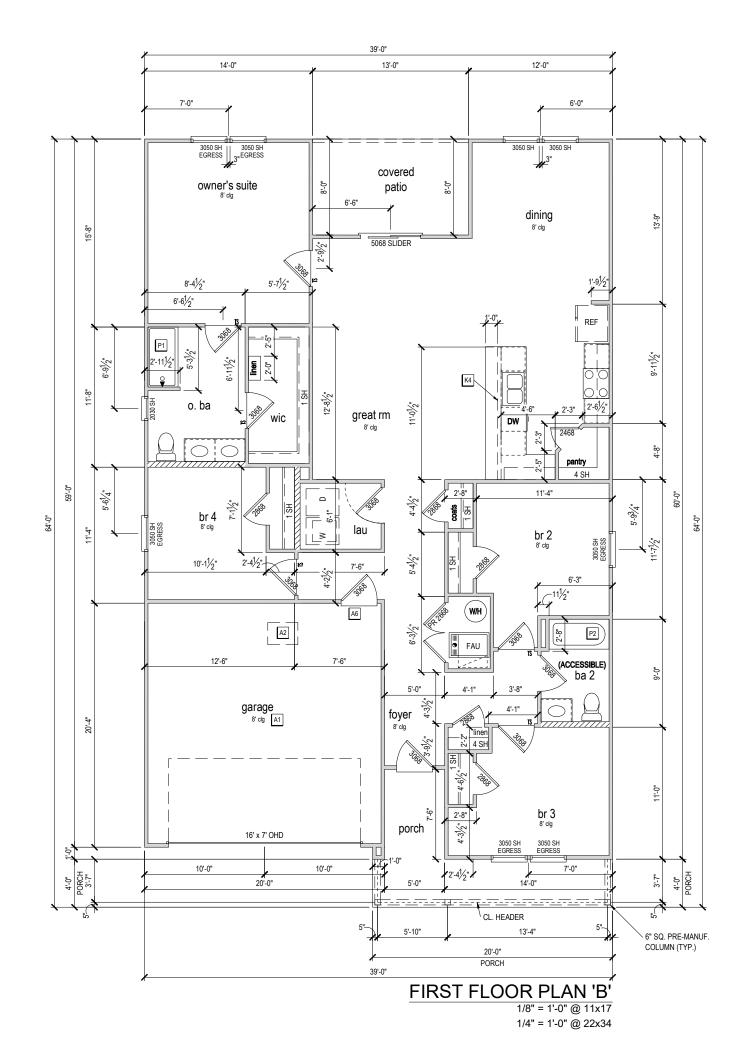
S1 BOX STAIR WITH 38" KNEE WALL & 1X CAP

S2 1X CAPPED STRINGER, TOP AT 3" ABOVE TREAD

S3 HANDRAIL AT +36" ABV. STAIR NOSING OR LANDING

## area tabulation 'b'

area tabalation	. ~
GARAGE	403 SF
FRONT PORCH	117 SF
REAR PATIO	104 SF
FLOOR 1 LIVING	1,776 SF
TOTAL LIVING	1 776 SF









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33911776 FLOOR PLAN

MODEL:
RADFORD SHEET NO:

FIRST

3.1-B

#### ATTIC VENT CALCULATION

ATTIC VENTILATION TO COMPLY w/ F.B.C RESIDENTIAL CODE. THE REQUIRED NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED. AREA MAY BE REDUCED TO 1/300 PROVIDED THAT 40 TO 50 PERCENT OF THE REQ'D VENTILATING AREA IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY THE EAVE OR CORNICE VENTS.

MANUFACTURE SELECTED TO VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AND TO MAINTAIN THE REQUIRED VENTILATION.

DO NOT LOCATE VENTS ON ROOF PLANE(S) FACING STREET.

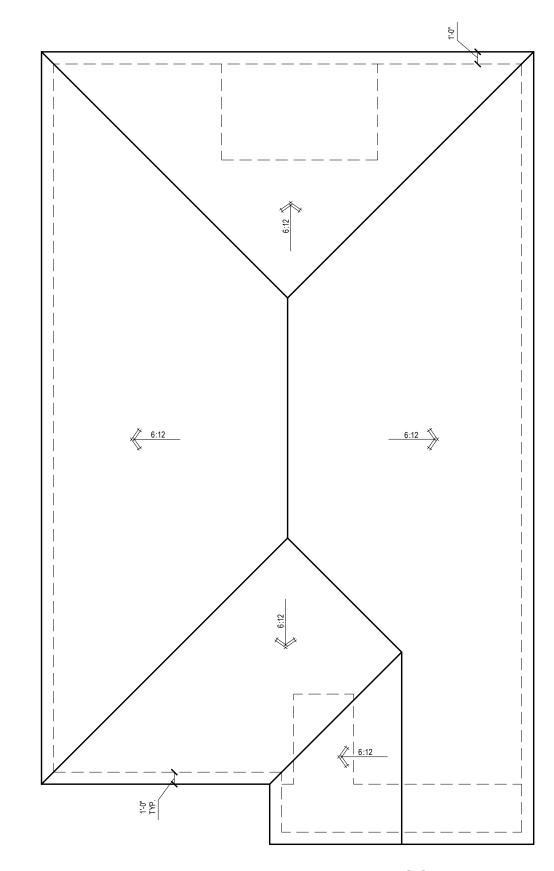
ROOF VENTILATION CALCULATIONS						
ROOF AREA	2,611 SF					
TOTAL NET FREE AREA REQ'D (1 TO 300)	1253.3 SQ. IN.					
MAIN HOUSE INLET (SOFFIT) VENTILATION	100.0 LF x	6.4 SQ. IN / LINEAR FT =	640.0 SQ. IN.			
POD VENT(S) REQUIRED WITH BASE HOUSE	9	VENTS AT 70.0 SQ. IN EA. =	630.0 SQ. IN.			
LOWER VENTING PROVIDED (626.6 SQ. IN. REQ'D)	640.0 SQ. IN	50.4%				
UPPER VENTING PROVIDED (626.6 SQ. IN. REQ'D)	630.0 SQ. IN	49.6%				

#### NOTE: TYPICAL VENTILATION INCLUDES:

SOFFIT VENTS

(AREA: 6.4 SQ. IN PER FOOT - VERIFY WITH MANUFACTURE)
2. LOMANCO 770\* ATTIC VENT LOCATED 12" MIN. FROM RIDGE

(AREA: 70 SQ. IN. - VERIFY W MANUFACTURE)
\*(1) LOMANCO 770D VENT AT 140 S.I. EA.CAN BE USED IN PLACE OF (2) 770 VENTS.



# ROOF PLAN 'B'

1/4" = 1'-0" @ 22x34







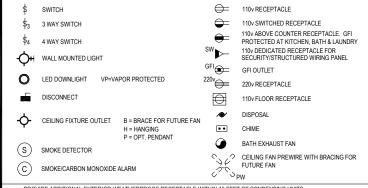
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_	Century Co	mmu	nities.	
PLAN NUMBER:	33911776	RELEASE DATE:	02.22.2021	
MODEL:	RADFORD	DRAWING TITLE:	<b>ROOF PLAN</b>	

SHEET NO:

#### **ELECTRICAL LEGEND**

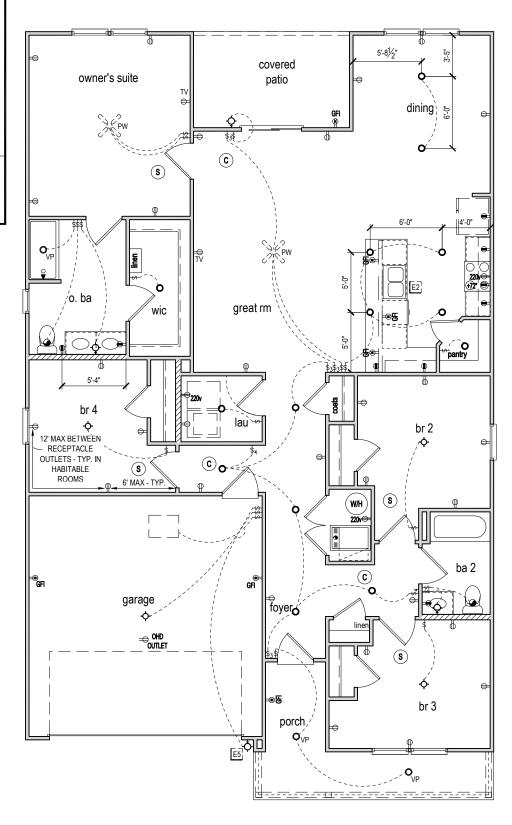


- PROVIDE ADDITIONAL EXTERIOR WEATHERPROOF RECEPTACLE WITHIN 15 FEET OF CONDENSING UNITS INSTALL GFCI AND ARC FAULT CIRCUIT INTERRUPTER PROTECTION PER NEC SECTIONS 210.52G ALL GRANGE OUTLETS SHALL BE ON A DEDICATED CIRCUIT INDICATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM)
- HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

  DWGS. ARE DIAGRAMMATICAL 8 INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL WORK. ANY DISCREPANCIES ON THE DOCUMENTS SHALL BE CALLED TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF WORK DO NOT SCALE ELECTRICAL DRAWNOS.

#### **KEYNOTES**

- E1 ELECTRICAL PANEL PER SPECS
- E2 INSTALL GFI OUTLET UNDER SINK FOR FUTURE DISPOSAL
- E3 DOOR CHIME TRANSFORMER LOCATION
- E4 MECHANICAL ROOMS TO INCLUDE KEYLESS LIGHT, PLUG AND DISCONNECT FOR AIR HANDLER
- E5 COACH LIGHT ONLY IF REQUIRED BY LOCAL MUNICIPALITY. INSTALL AT 68" AFF
- E6 INSTALL COACH LIGHT AT 68" AFF



## FIRST FLOOR ELECTRICAL PLAN 'B'

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



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PLAN NUMBER:	33911776	RELEASE DATE:	02.22.2021

FLOOR ELECTRICAL MODEL:
RADFORD FIRST

SHEET NO:

E1.1

# **REVISION SUMMARY**

#### **ABBREVIATIONS**

A.B.	Anchor Bolt	Flr. Sys.	Floor System	PSF	Pounds per square for
Abv.	Above	F.O.M.	Face Of Masonry	P.T.	Pressure Treated
Adj.	Adjustable	Ft.	Foot / Feet	Rad.	Radius
A.F.F.	Above Finished Floor	Ftg.	Footing	Req'd.	Required
ALT.	Alternate	Galv.	Galvanized	Rm.	Room
Bm.	Beam	G.C.	General Contractor	Rnd.	Round
B/Beam	Bottom of Beam	G.F.I.	Ground Fault Interrupter	S.F.	Square Ft.
Brg.	Bearing	G.T.	Girder Truss	SHT	Sheet
Cant.	Cantilever	Hdr.	Header	S.L.	Side Lights
Cir.	Circle	Hgt.	Height	S.P.F.	Spruce Pine Fir
Clg.	Ceiling	Int.	Interior	Sq.	Square
CJ	Control Joint	K/Wall	Kneewall	S.Y.P.	
Col.	Column	L.F.	Linear Ft.		Thicken
Cont.	Continuous	Mas.	Masonry	T.O.B.	Top of Block
Dbl.	Double	Max	Maximum	T.O.M.	Top of Masonry
Dia.	Diameter	Min	Minimum		Top of Plate
Ea.	Each	M.L.	Microlam	Trans.	Transom Window
E.W.	Each Way	Mir.	Mirror	Typ.	Typical
Elec.	Electrical	Mono	Monolithic	U.N.O.	Unless Noted Otherwis
Elev.	Elevation	N.T.S.	Not to Scale	Vert.	Vertical
E.O.R	Engineering or Record	O.C.	On center	V.L.	Versalam
Ext.	Exterior	Opn'g.	Opening	VTR	Vent through Roof
Exp.	Expansion	Opt.	Optional	W	Washer
F.B.C.	Florida Bldg. Code	Pc.	Piece	W/	With
Fin. Flr.	Finished Floor	P.L.	Parallam	W.A.	Wedge Anchor
Flr.	Floor	PLF	Pounds per linear foot	Wd	Wood
Fdn.	Foundation	Plt. Ht.	Plate Height	WP	Water Proof

# CENTURY COMPLETE 39-1776 RADFORD B LH

#### **GENERAL STRUCTURAL NOTES**

#### SECTION R318 PROTECTION AGAINST TERMITES

ESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVEI ETHODS OF TERMITE PROTECTION LABELED FOR USE A PREVENTIVE TREATMENT TO NEW

**TERMITE SPECIFICATIONS** 

- METHOD OF TREATMENT SHALL BE APPROVED BY THE GOVERNING JURISDICTION "LIQUID BORATE OR BOR-A-COR" PRODUCT METHODS MUST BE DETERMINED AT PERMIT STAGE AND PRODUCT APPROVAL DATA MUST BE ON FILE WITH THE BUILDING DEPARTMENT.

  PRESSURE TREATED LUMBER THAT HAS BEEN CUT OR DRILLED THAT EXPOSES UNTREATED
- PORTIONS OF WOOD ARE REQUIRED TO BE FIELD TREATED TO PREVENT INSECT INFESTATION OPTIONAL BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" A.F.F.

#### - - NOTICE TO BUILDER AND ALL SUBCONTRACTORS-

FIS THE INTENT OF THE ENGINEER LISTED IN THE TITLEBLOCK OF THESE DOCUMENTS THAT THESE OCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY TTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE

- JURIEU 10:
  REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER ARE NOT RESPONSIBLE FOR ANY PLAN ERFOMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER
- SHALL STRICTLY OBSERVE ALL APPLICATION CODES DURING THE COURSE OF CONSTRUCTION INCLUDING ALL STATE, CITY, AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS PRIOR TO
- COMMENCEMENT OF WORK.

  THE ARCHITECT / ENGINEER SHALL NOT BE RESPONSIBLE FOR SAFETY PROCEDURES, THE MEAN:
  THE ARCHITECT / ENGINEER SHALL NOT BE RESPONSIBLE FOR SAFETY PROCEDURES, THE MEAN:
  AND METHODS OF CONSTRUCTION, TECHNOLOGIES, OR THE CONTRACTION TO CARRY OUT THE
  WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS OR RELATED CODES.
  THE FRAMING PLAN SHOWN INDICATES THE "TRUSS SYSTEM AND IS THE RESPONSIBILITY OF THE
  TRUSS SYSTEM ENGINEER (DESIGN PROFESSIONAL OF RECORD). THE TRUSS DESIGN ENGINEER
  (DELEGATED DERIGNEER) HAS FINAL RESPONSIBILITY FOR EACH INDIVIDUAL TRUSS AND TRUSS
  PROFILE AND IS TO SUBMIT A FINAL SET OF TRUSS ENGINEERING SIGNED AND SEALED TRUSS
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  PROFILE AND TO THE ARCHITECTURES.
- DRAWINGS TO DESIGN PROFESSIONAL OF RECORD FOR REVIEW PRIOR TO FABRICATION ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES WITH IN THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE
- ALL CUNSTRUCTION MUST BE IN A REACONDAING. THE INFORMATION FOUND IN THESE PLANS SHOULD DOCUMENTS. ANY QUESTIES HE IN A REACONDAING THE INFORMATION FOUND IN THESE PLANS SHOULD BE DIRECTED TO DUR QUALITY ASSURANCE MANSAGER AT 321-97-9491 IMMEDIATELY. NO BACK CHARGES WILL BE CONSIDERED FOR REIMBURSAMERT AT 321-97-9491 IMMEDIATELY. NO BACK ADVANCED NOTIFICATION AND APPROVAL BY THE ENGINEER. PAYMENTS WILL BE MADE IN ACCORDANCE TO THE TERMS OF THE AGREEMENT.

#### HOME MAINTENANCE & INSPECTIONS

YEARLY MAINTENANCE AND INSPECTIONS BY THE BUILDER/HOMEOWNER ARE NECESSARY FOR THE FUTURE LIFE OF THIS HOME. CARE MUST BE TAKEN TO CHECK WINDOWS AND DOORS FOR CALILKING REMOVE LEAVES AND DEBRIS OFF ROOFS, MAKE SURE THAT WATER FLOW IS AWAY FROM THE HOUSE AND HAVE YOUR HOME REPAINTED EVERY 3 - 5 YEARS TO PROTECT HOUSE AND HAVE YOUR HOME REPAIN LED EVERY 3 - 5 YEARS 10 PROTECT THE COATINGS. THE DESIGNER AND ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR THE UPKEEP OF THE HOME AND WILL NOT BE HELD LIABLE FOR INSTANCES THAT MAY OCCUR OVER THE NORMAL LIFE OF THE HOME WITHOUT PROPER MAINTENANCE.

#### CAST IN PLACE REINFORCED CONCRETE

- PLUS OR MINUS 1\*, AND HAVE 2 TO 5% AR ENTRAINMENT, AND A MAXIMUM WATER/CEMENT RATIO OF 0.63
  HONGS SHALL BE PROVIDED AT DISCONTINUOUS ENDS OF ALL TOP BARS OF BEAMS.
  HORIZONTAL FOOTING BARS SHALL BE BENT 25\* AROUND CORNERS OR CORNER BARS WITH A 25\* LAP PROVIDED EA WAY.
  CONCRETE COVER MIN. 3\* WHEN EXPOSED TO BARTH OR 11 (27\* TO FORM U.N.).
  FIBER MESH LENGTH SHALL BE ½\* TO 2\*, DOSAGE AMOUNT SHALL BE FROM 1.0 TO 1.5 LBS PER CUBIC YARD IN ACCORDANCE WITH THE
  MANUFACTURERS AND SHALL COMPLY WITH ASTAIL C1116
  ALL REINFORCING STEEL / STIRRUPS AND TIES SHALL BE NEW DOMESTIC DEFORMED BARS FREE FROM RUST SCALE & OIL & SHALL MEET ASTM A615/
  ASTSM GRADE OIL NO. REINFORCING FOR FOOTING SHALL DE SUPPORTED ON PRE-CAST CONCRETE PADS. STEW RICE OR PLAYER TO PREINFORCING SHALL BE FOOTING SHALL BE SECURED IN REINFORCING SHALL BE POSITIVELY SUPPORTED BY TEMPORARY STRINGERS. DOWELS FOR COLUMNS & FILLED CELLS SHALL BE SECURED IN PLACE BY USING ADDITIONAL CROSS. REINFORCING THE TOP COTTING REINFORCING. SPLICES IN REINFORCING PER PERMITTED SHALL BE AS PER DETAIL M99501.

  HIGH STRENGTH SIMPSON SET EPOXY-TIE WAS USED IN THE DESIGN OF THIS PRODUCT. IF CONTRACTORS WISH TO USE A DIFFERENT EPOXY, THEY MUST RIFST CONTRACT THE ENGINEER OF RECORD FOR WRITTEN APPROVED.

  WHERE PROJECT IS TO BE LOCATED IN ROWON RIFDON ADD ON A STRENGTH OF THE FLORIDA BUILDING CODE THE EDITION (200) RESIDENTIAL IS TO BE MATERIAL BUILDING CODE THE EDITION (200) RESIDENTIAL IS TO BE MATERIAL BUILDING CODE THE EDITION (200) RESIDENTIAL IS TO BE MATERIAL BUILDING CODE THE EDITION (200) RESIDENTIAL IS TO BE AN EXAMINATED AND ADDITION FOR THE FORM THE PROPERTY IN THE SERVER AS HE TO BE AMINIMUM OF SO, THE THE FORM, AND ADDITION THE PROPERTY IN THE PROPERTY IN THE CONCRETE STRENGTH.

- HOLLOW LOAD BEARING UNITS SHALL BE NORMAL WEIGHT, GRADE N. TYPE 2, CONFORMING TO ASTM 090-014, WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 2000 PSI (fm = 2000 PSI)

  MORTAR SHALL BE TYPE "S", CONFORMING TO ASTM 0270-14A.

  COARSE GROUT SHALL LOOP FORM TO ASTM 0270-10 WITH A MAXIMUM AGGREGATE SIZE OF 38" AND A MINIMUM COMPRESSIVE STRENGTH AT 28 COARSE GROUT SHALL DON'T SHALL DE PROVIDED SHALL DE PLOY DON'T SHALL DON'T SHALL DE PROVIDED SHALL DON'T SHALL DE PROVIDED SHALL DON'T SHALL DON'T SHALL DON'T SHALL DE PROVIDED SHALL DON'T SH

- CBA-A OR CA-B REQUIRE HOT-DIPPED GALVANIZED OR STAINLESS STELE FASTENERS. DOT SODIUM BORATE (SBX) DOES NOT.

  ALL EXPOSED WOOD OR WOOD IN CONTACT WITH LEARTH OR CONCRETE TO BE PRESSURE TREATED.

  UNTREATED WOOD SHALL NOT BE IN DIRECT CONTACT WITH CONCRETE OR MASONRY. SEAT PLATES SHALL BE PROVIDED AT BEARING LOCATIONS
  WITHOUT WOOD ENT OP PLATES.

  SEE PLAN FOR STUD PACK AND BEAM NAILING PATTERNS.

  SEE PLAN FOR STUD PACK AND BEAM NAILING PATTERNS.

  ALL ENGINEERED LUMBER TO HAVE THE FOLLOWING MIN VALUES U.N.O.

  PARALLAM COLLIMIS: 18E Fb = 2400 PSI

  MICROLAM (LV) BEAMS: SUPE 74 PSI CATURY (1.7 EF B=2400 PSI) MIN.

  SEE PLAN NOTE FOR ADDITIONAL ROOF, WALL, SHEAR WALL AND FLOOR SHEATHING REQUIREMENTS ALONG WI NAILING INFORMATION OTHERWISE:

  ROOF DECK PLYWOOD C-CLCD, EXTERIOR OR OSE.

  FLOOR BEATHINGS: TAS CA GROUP 1 APA PARTEE (1824) SHEATHING SHALL FINISH FLUSH TO EXTERIOR WALL FOLSOW.

- 2. FLOOR SHEATHING: T&G AC GROUP 1 APA RATED (4824) SHEATHING SHALL FINISH FLUSH TO EXTERIOR WALL FACE.
  WALL SHEATHING: J'<sub>K</sub>: TSHUCUTURAL 10S BEYPOSURE 1 (197), RATEO 10S EXPOSURE 1 (197), GEO. MIN.). A MINIMUM J'<sub>K</sub>: SPACE IS RECOMMENDED BETWEEN PANELS AT EDGE AND END JOINTS TO ALLOW FOR EXPANSION. PER R604.3 SHEATHING SHALL NOT BE USED AS WEATHER RESISTANCE BARRIER UNLESS SPECIFIED.
  LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED TO WOOD SHEATHING WITH L'<sub>K</sub>: LONG, 11 GAGE NAILS HAVING A J'<sub>K</sub>: "HEAD, OR 1 J'<sub>K</sub>: LONG, 16 GAGE STAPLES, SPACED IN ACCORDANCE WITH ASTM C1062 OR C1787, OR AS OTHERWISE APPROVED (RFE. 2020 FBC-R7703.7.1).

# STRUCTURAL STEEL

- MATERIAL SPECIFICATIONS: WIDE FLANGE SECTIONS: ASTM A992, GRADE 50, Fy=50 KSI TUBE STEEL (HSS): ASTM A500, GRADE B, Fy = 46 KSI PIPE STEEL: ASTM F3125, TYPE E OR S, Fy = 35 KSI ALL OTHER STRUCTURAL & MISC. STEEL: A36 Fy=36 KSI STRUCTURAL CONNECTIONS: ALL STRUCTURAL
- STEEL: ASTM F3125, TYPE E OR S, Fy = 35 KSI ALL OTHER STRUCTURAL & MISC. STEEL: A36 Fy-36 KSI STRUCTURAL CONNECTIONS: ALL STRUCTURAL BOLTS TO BE A325 U.N.O.
  STRUCTURAL BOLTS SMALLER THAN 5/8\* DIA. TO BE A307 THREADED ROD SHALL CONFORM TO A36 OR A307 ANCHOR BOLTS SHALL CONFORM TO A5TM F1554 ALL BOLTS CAST IN CONCRETE: ASTM A36 OR A370 FSHOP AND FIELD WELDS: E70XX ELECTRODES STEEL REINFORCEMENT SHOP DRAWINGS TO BE PROVIDED TO ENGINEER OF RECORD BEFORE FABRICATION FOR REVIEW AND APPROVED EXTRACTION STRUCTURAL BOLTS TO BE A325N MOLTS. ALL A325N BOLTS SHALL BE BROUGHT TO A "SNUG-TIGHT" CONDITION, AS DEFINED IN THE SPECIFICATION. SLIP CRITICAL (SC) BOLTS MUST BE FULLY TENSIONED PER SPECIFICATION STRUCTURAL BOLTS TO SHALL BOLTS TO AST AND A TO A STATE A THE STRUCTURAL BOLTS SHALL BOLTS THE AST AND A THE ADDRESS AND SHALL BOLTS SHALL BOLTS SHALL BOLTS THE ADDRESS AND SHALL BY THAN 56" DIA. TO BE A307 THERADED ROOS SHALL CONFORM TO A STATE FIRST ALL BOLTS CAST IN CONCRETE.
- WELDS SHALL BE  $\frac{1}{4}$  "UNO.

  SHOP DRAWINGS OF ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO FABRICATION. SHOP SMOP DRAWINGS OF ALL INCULIDATES IEEL SMALL BE SUBMITED IN THE EMBINEER OF RECORD FOR REVIEW PRIOR TO PARTICAL TION. SHOP

  RAWINGS SHALL INCLUDE COMPLETE DETAILS AND SCHEDULES FOR FABRICATION AND ASSEMBLY OF STRUCTURAL STEEL MEMBERS,

  PROCEDURES, AND DIAGRAMS INCLUDING DETAILS OF CUTS, CAMBERS, HOLES, PROFILES, SIZES, SPACING, AND LOCATIONS OF STRUCTURAL

  MEMBERS, CONNECTION ATTACHMENTS, FASTENERS, LOAD, TOLERANCES, AND OTHER PERTINENT DATA. INDICATE WELDS BY STANDARD AWS

  SYMBOLS AND SHOW SIZE, LENGTHS, AND TYPES OF WELDS. PROVIDE SETTING DRAWINGS, TEMPLATES, AND DIRECTIONS FOR INSTALLATION OF
- A CERTIFIED TESTING AGENCY SHALL BE ENGAGED TO PERFORM INDUSTRY STANDARD INSPECTIONS TO ENSURE CONFORMANCE WITH PLANS AND

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR ANCHORS PER STRUCTURAL PLAN
  ANCHORS PER STRUCTURAL PLAN
  PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENERS" AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
  TRUSS MEMBERS AND CONNECTIONS SHALL BE FROPORTIONED WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 25%) TO WITHSTAND THE LUFE LOADS GIVEN IN THE NOTES AND TOTAL DEAD LOAD.
  BRIDDING FOR PRE-ENGIEERED TRUSSES SHALL BE AS REQUIRED BY THE TRUSS MANUFACTURER UNLESS NOTED ON THE PLANS.
  TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN, BUT SHALL BE
  DESIGN SPECIFICATIONS FOR LIGHT WEIGHT METAL PLATE CONNECTED WOOD TRUSSES PER THE TRUSS PLATE INSTITUTE TPLATEST EDITION.
  PREF-ENGINEERED WOOD TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH SPECIFICATIONS FOR CLORE AND SHOWN OF THE MANUFACTURER IN ACCORDANCE WITH SPECIFICATIONS AND SECTIONS OF A SHAD PLANS AND DETAILS SHOWN MEMBER SIZES BRACING, ANCHORAGE, CONNECTIONS, TRUSS
  SUBMITTALS SHALL INCLUDE TRUSS FRAMING PLANS AND DETAILS SHOWN MEMBER SIZES BRACING, ANCHORAGE, CONNECTIONS, TRUSS
  COCATIONS AND PERMANENT BRACING ADMINISTRATION SHOULD SHOW INFINITION FOR THE PERMANENT STRUCTURE FACE INJUNCTION. LOCATIONS, AND PERMANENT BRACING ANDOR BRIDGING AS REQUIRED FOR RECEION AND FOR THE PERMANENT STRUCTURE. EACH SUBMITTAL SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED STRUCTURAL ENGINEER. SUBMIT 3 COPIES FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- THE TRUSS MANUFACTURER SHALL DETERMINE ALL SPANS WORKING POINTS, BEARING POINTS, AND SIMILAR CONDITIONS. TRUSS SHOP DRAWINGS SHALL SHOW ALL TRUSSES, ALL BRACING MEMBERS, AND ALL TRUSS TO TRUSS HANGERS.

UPLIFT CONNECTORS SUCH AS HURRICANE CLIPS, TRUSS ANCHORS AND ANCHOR BOLTS ARE ONLY REQUIRED ON MEMBERS IN WALLS THAT ARE EXPOSED TO UPLIFT OR LATERAL FORCES. INTERIOR LOAD BEARING WALLS ARE NOT ALWAYS EXPOSED TO UPLIFT FORCES. THE MEMBERS OF THESE WALLS WOULD NOT NEED TO HAVE CONNECTORS APPLIED. PLEASE COORDINATE THE TRUSS ENGINEER FOR THE LOCATION OF THESE WALLS AND STRUCTURAL PLANS FOR MORE INFO.

- MISSED "J" BOLTS FOR WOOD BEARING WALLS MAY BE SUBSTITUTED WITH 1/2" DIA. EPOXY ANCHORS WITH 7" EMBEDMENT. SIMPSON "SET" EPOXY ADHESIVE BINDER FOLLOWING ALL MANUFACTURER'S RECOMMENDATIONS OR SIMPSON 1/2" TITEN HD BOLTS WITH MINIMUM 7" EMBEDMENT. SEE PLAN FOR EMBEDMENT DETH'A TFLOOR STEPS.
  FOR MISSED VERT. DOWELS, DRILL A 3/4" DIAMETER HOLE 6" DEEP AT THE LOCATION OF THE OMITTED REBAR AND INSTALL A 32" LONG #5 BAR INTO THE EPOXY FILLED HOLE. USE A TWO PART EMBEDMENT EPOXY (SIMPSON HIGH STENGTH EPOXY-TIE ANCHORING ADHESIVE) MIXED PER THE
- MANUFACTURERS INSTRUCTIONS. ASSURE THAT ALL DUST AND DEBRIS FROM DRILLING ARE REMOVED FROM THE HOLE BY BRUSHING AND USING COMPRESSED AIR PRIOR TO APPLYING THE EPOXY. ALLOW THE EPOXY TO CURE TO THE MANUFACTURER'S SPECIFICATIONS, THEN FILL THE CELL IN
- HE NORMAL WAY DURING BOND BEAM POUR.

  OR MORTAR JOINTS LESS THAN 1/4\*, PROVIDE (1) #5 VERT. IN CONC. FILLED CELL EACH SIDE OF THE JOINT (BAR DOES NOT HAVE TO BE CONT. TO FOOTING ).

  MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED WITH (1) SIMPSON MTSM16 TWIST STRAP WI (4) ½"x 2½" TITENS TO MASONRY AND (7)-10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 860 LBS (USE (2) MTSM16 FOR UPLIFTS LESS THAN 1660#). IF CORNER STRAP IS MISSED, CONTRACTOR IS TO INSTALL (2) SIMPSON HGAM10 WI (4) 14" x 1 1/2" SDS SCREWS AND (5) 1/4" x 2 14" TITENS ONE EACH SIDE OF TRUSS.

  MISSED, CONTRACTOR IS TO INSTALL (2) SIMPSON HGAM10 WI (4) 14" x 1 1/2" SDS SCREWS AND (5) 1/4" x 2 14" TITENS ONE EACH SIDE OF TRUSS. CONNECTION
- MISSED, CONTRACTOR 13 OHISTARE (2.) SIMPSON RATIONAL WIND AT 12 MS 25 MS 21MS 11 MS 10 MS 21 MS 11 MS 10 MS 21 MS 11 MS 20 MS 21 MS 11 MS 20 MS 21 MS 11 MS 20 MS 21 MS IF STRAPS ARE MISSED UNDER GIRDER JAMB STUD LOCATIONS.

#### STRUCTURAL DESIGN CRITERIA

- FLORIDA FIRE PREVENTION CODE 7TH EDITION (2020)
- NEPA 70-17 NATIONAL ELECTRICAL CODES (NEC 2017)
- BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14)
- BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-13).
- NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION 2018 EDITION
- APA PLYWOOD DESIGN SPECIFICATION E30-16
- AMERICAN SOCIETY OF CIVIL ENGINEERS: ASCE/SEI 7-16

	SHINGLE	METAL	TILE	HEAVY
	ROOF (PSF)	ROOF (PSF)	ROOF (PSF)	ROOF (PSF)
TOP CHORD LL	20	20	20	20
TOP CHORD DL	10	10	15	25
BOTTOM CHORD LL*	0	0	0	0
BOTTOM CHORD DL	10	10	10	10
TOTAL (PSF)	40	40	45	55
BOTTOM CHORD LL (OPT) ATTICS W/ LIMITED STORAGE ATTICS W/ HEAVY STORAGE * ATTICS W/ NO STORAGE (MON CONCURRENT)	20 50 10			

GENERAL ROOF LOADING

NOTE: LL REDUCTIONS ARE ALLOWED PER CODE BUT ONLY WITH WRITTEN APPROVAL FROM EOR OR INDICATED ON PLAN

#### GENERAL FLOOR LOADING

TOP CHORD LL TOP CHORD DL	40 (PSF) 10 (PSF)	COMMENTS:
BOTTOM CHORD LL BOTTOM CHORD DL	0 (PSF) 5 (PSF)	

## SPECIAL FLOOR LOADING

COMMENTS:

d. A SINGLE CONCENTRATED LOAD
APPLIED IN ANY DIRECTION AT AN
POINT ALONG THE TOP.
f. BALUSTERS AND PANELS FILLERS
SHALL BE DESIGNED TO WITHSTAI LCONIES/ DECKS LCONIES OVER 100 SQ:FT GHT STORAGE JARDRAILS AND HANDRAILS UARDRAILS AND FAINDRAILS UARDRAIL IN-FILL COMPONENTS TAIRS / NON SLEEPING ROOMS LEEPING ROOMS IBRARIES - STACK ROOMS ABITABLE ATTICS SERVED 30(PSF)

v/ FIXED STAIRS ASSENGER VEHICLE GARAGES

DEFLECTION CRITERIA

## WIND LOADING CRITERIA

OTE: MEAN ROOF HEIGHT FOR TYPICAL SINGLE STORY HOME IS 15FT, AND F

#### ASCE 7-16 WALL DESIGN ALLOWABLE COMPONENTS AND CLADDING WIND PRESSURES AND SUCTIONS FOR MEAN ROOF HEIGHT ≤ 60 ft

EFFECTIVE WIND AREA (SQ FEET)	(+) VALUE DENOT (-) VALUE DENO	TES PRESSURE	WIND PRESSURE AND SUCTION DIAGRAM
AREA	4	6	_
10 - 19.99	(+) 25.5 (-) 26.6	B (+) 25.5 (-) 33.6	
20 - 49.99	© (+) 24.4 (-) 26.6	① (+) 24.4 (-) 30.8	
50 - 99.99	(+) 22.8 (-) 23.8	(+) 22.8 (-) 28.0	
> 100	G (+) 21.7 (-) 23.8	(+) 21.7 (-) 26.6	(4) (S)(S) (4) (3)
GARAGE DOORS*		SOFFIT	
9'-0" x 7'-0"	' 16'-0" x 7'-0"		لواعا
(+) 22.5 (-) 25.5	① (+) 21.7 (K	(+) 25.5 (-) 33.6	DIAGRAM

#### GENERAL PRESSURE NOTES

## ILES: MULTIPLY THE ABOVE PRESSURES BY 1.67 TO GET ULTIMATE WIND

OTHERWISE USE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREAS DESIGNATED AREAS WHERE THE ULTIMATE WIND SPEED IS 140 MPH OR

# S0 NOTES & SCHEDULES

S1	FOUNDATION PLAN	
S2	ROOF FRAMING PLAN	
SN	NOTES & SCHEDULES	
D1	FOUNDATION DETAILS	
D2	FRAMING DETAILS	
D3	FRAMING DETAILS	
D4	FRAMING DETAILS	
D5	FRAMING DETAILS	

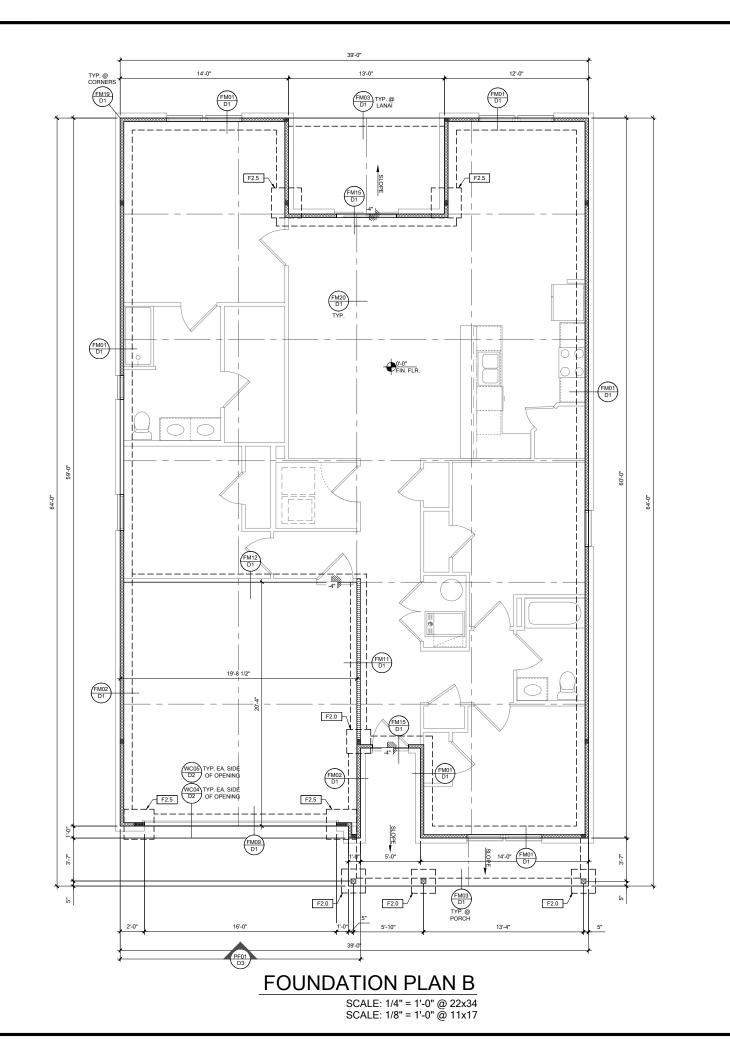


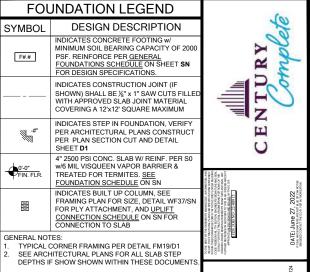
RESERVE @ JEWEL LAKI 404 SW JEWEL LAKE DR

PLAN NUMBER: 33911776

RADFORD

SHEET





#### PLAN KEY NOTES



BUILDER NOTE: ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO COMMENCEMENT OF CONSTRUCTION	LOT 28 RESERVE @ JEWEL LAKE 404 SW JEWEL LAKE DR. LAKE CITY, FL 32024

WALL TYPE				
SYMBOL	DESIGN DESCRIPTION			
	2x_INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS.			
	INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN			
	INTERIOR NON-BRG. WALL BY BUILDER			
	2x WOOD FRAME EXTERIOR WALL (SEE PLAN FOR MORE INFO)			

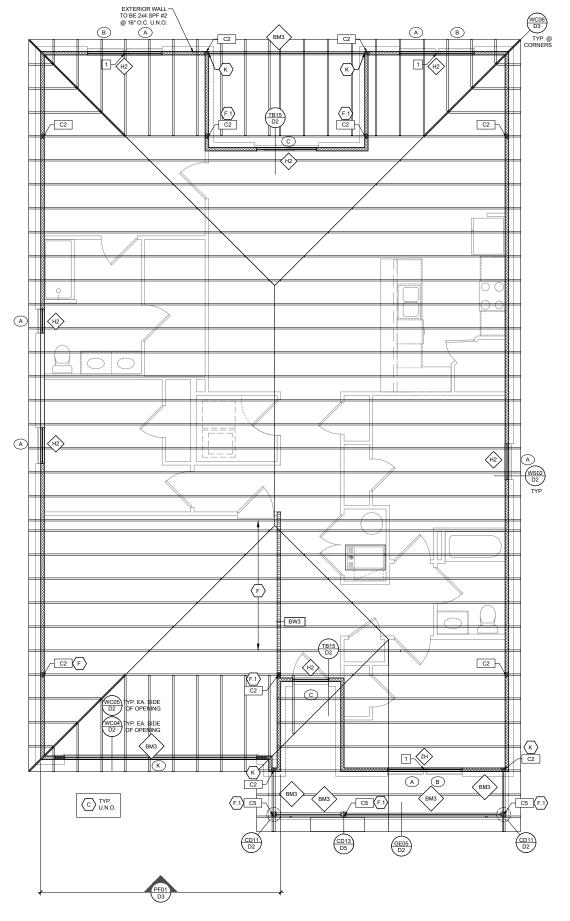
PLAN NUMBER: 33911776

DRAWING TITLE: FOUNDATION PLAN B

RADFORD

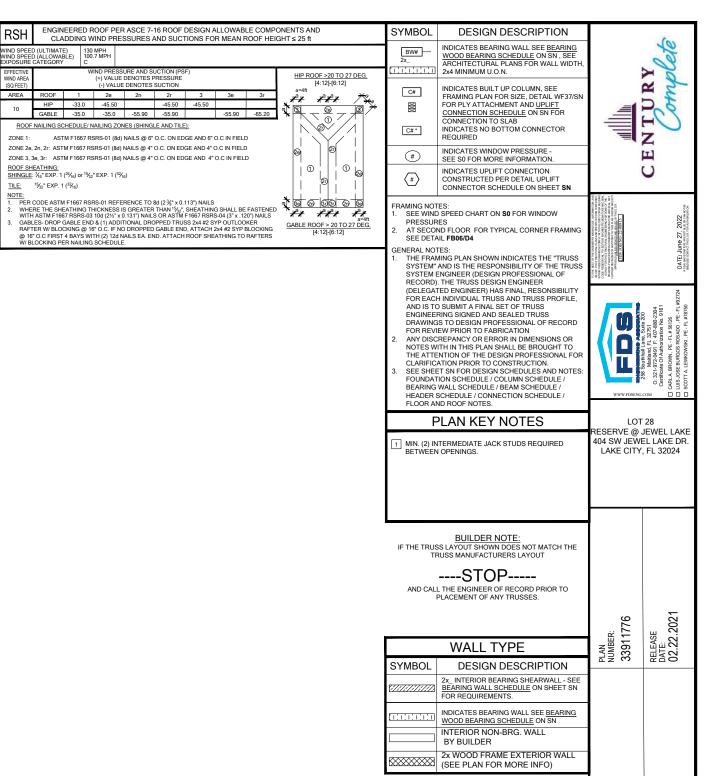
SHEET NO:

**S1** 



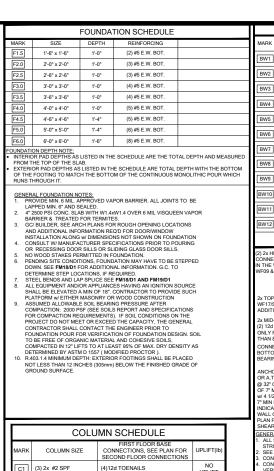
## **ROOF FRAMING PLAN B**

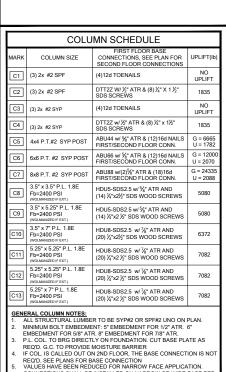
SCALE: 1/4" = 1'-0" @ 22x34 SCALE: 1/8" = 1'-0" @ 11x17



RADFORD

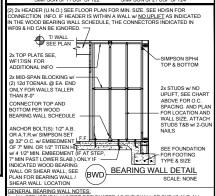
SHEET NO: **S2** 





- CONNECTIONS SHALL BE INSTALLED ON NARROW OR WIDE FACE PER SIMPSON TC-SCLCLM

WOOD BEARING WALL SCHEDULE NO UPLIFT #2 SPF SP1 w/ (6) 10d NAILS & ANCHOR BOLTS #2 SPF (2)16d TOENAILS ) 12d TOENAILS OR (2) 2d END OR BOX NAILS NO UPLIFT BW4 #2 SYP P1 w/ (6) 10d NAILS & #2 SYP SP1 w/ (6) 10d NAILS & #2 SYP ANCHOR BOLTS #2 SYP 878 ) 12d TOENAILS OR (2) 2d END OR BOX NAILS #2 SPF NO UPLIFT 12" SP1 w/ (6) 10d NAILS & #2 SPF ANCHOR BOLTS #2 SPF BW8 12" 535 2) SP1 w/ (6) 10d NAILS & ANCHOR BOLTS BW9 12" 3) 12d TOENAILS OR (2) 12d END OR BOX NAILS #2 SYP SP2 w/ (6)10d NAILS SP1 w/ (6) 10d NAILS & ANCHOR BOLTS 12" #2 SYP 585 #2 SYP CROSS REFERENCE CHART

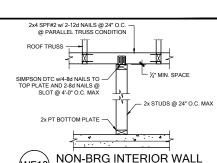


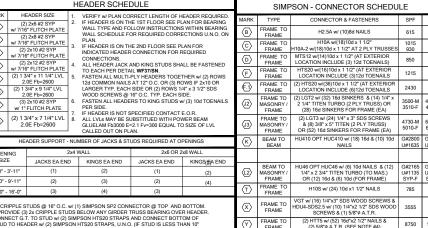
<u>NERAL BEARING WALL NOTES:</u> ALL STRUCTURAL LUMBER DESIGNATED AS SYP SHALL BE SYP #2 AND AL STRUCTURAL LUMBER DESIGNATED AS SPF SHALL BE SPF #2 U.N.O.

STRUCTURAL LUMBER DESIGNATEO AS SPF SHALL BE SPF #2 U.N.O. SEE FLOOR PLAN FOR WALL SEZ, ASSUME 24 STUDOS USED UND. CONNECTIONS TO BE INSTALLED TO EACH STUD AS INDICATED CONTACT E OR, IF SP44, SP65 OR SP85 CONNECTORS ARE SUBSTITUTED, I VERIFY THEY MEET THE STRUCTURAL REQUIREMENTS. VERIFY THEY MEET THE STRUCTURAL REQUIREMENTS. SEE WYDE AND FERSO OR INDICATED DETAIL FOR PROPER CONNECTIONS FOR 2ND FLOOR TO FIRST FLOOR CONNECTIONS. (NOTE: THIS IS FOR 2 STORY PROJECTS ONLY)

L TOP PLATES AND SILL PLATES SHALL BE THE SAME SPECIES AS THE WO

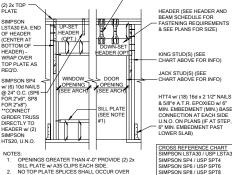
STUDS. F THE BEARING WALL IS INDICATED WITH THE BW1, BW4, BW7, BW10, THESE WAI IS ARE ONLY SUPPORTING THE FLOOR LOAD AND DO NOT HAVE UPLIFT. WALLS ARE ONE. SOPPORTING THE PLOOF COOR AND ON NOT PAVE OPEN T THE STUDS ARE TOE NAILED TO THE PLATE AND THE 2X PLATE CAN BE ATTACHED WITH HARD CASED NAILS (GUN NAILS) AND WILL NOT REQUIRE T ANCHOR BOLT ATTACHMENT INDICATED IN THE BEARING WALL SCHEDULE.





PHOVIDE (3) 2X CHIPPLE STUDS BELVOW ANY GIRDLER I RUSS BEARING OVER HEAD. ONNECT G.T. TO STUD W. (2) SIMPSON HTS20 STRAPS AND CONNECT BOTTOM OF TUD TO HEADER W. (2) SIMPSON HTS20 STRAPS, U.N.O. (IF STUD IS LESS THAN 10° ALL THEN USE SIMPSON CSI BINSTALLED FROM BOTTOM OF HEADER, UP STUD VER TOP PLATE & BACK DOWN OTHER SIDE OF WALL TO BOTTOM OF HEADER. ASTEN STRAP w/ (2) 10d NAILS @ 3" O.C.)

HEADER SCHEDULE



SIMPSON SP4 / USP SPT4 SIMPSON SP6 / USP SPT6 SIMPSON SP8 / USP SPT8

HD TYPICAL FRAMING CONNECTIONS AT OPENINGS

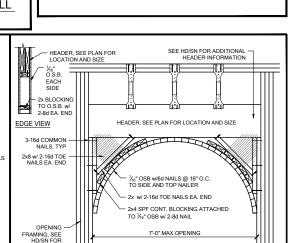
NO TOP PLATE SPLICES SHALL OCCUR OVER
OR WITHIN 2 FEET OF HEADER.
HOLD DOWN CONNECTIONS NOT REQUIRED AT
BEARING WALLS WITHOUT UPLIFT.

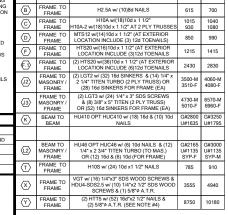
		BEAM SCHEDULE					
MARK	RK BEAM SIZE FASTENING SCHEDULE						
BM1	(2) 2x8 SYP #2 w/ 7/16" OSB FLITCH PLATE			LAN		LAN	
BM2	(2) 2x10 SYP #2 w/ 7/16" OSB FLITCH PLATE.	(2) ROWS OF 12d @ 12" O.C. TYP. EACH SIDE	U.N.O. ON FRAMING PLAN		U.N.O. ON FRAMING PLAN		
BM3	(2) 2x12 SYP #2 w/ 7/16" OSB FLITCH PLATE.			E		E.	
BM4	(2) 1 3/4"x11 1/4" LVL 2.0E Fb=2600			SIMPSON CONNECTOR WOOD POST: (2) LSTA18 OR (2) HTS20 CMU COLUMN: (2) HETA16		HTW20	
BM5	(2) 1 3/4"x11 7/8" LVL 2.0E Fb=2600	(00.00 / 00.00 /	VECTOR		CTOR	POST: (2) LSTA18 OR (2) HTW20 CMU COLUMN: (2) HTA16	
BM6	(2) 1 3/4"x16" LVL 2.0E Fb=2600	(2) ROWS 1/4" x 3 1/2" SDS WOOD SCREWS @ 16" O.C TYP. EACH SIDE OR (2) ROWS OF 12d NAILS @ 12" O.C. TYP. EACH SIDE	SIMPSON CONNECTOR	(2) LSTA LUMN: (2	USP CONNECTOR	(2) LSTA	
BM7	(3) 2x10 SYP #2 w/ (2) 7/16" OSB FLITCH PLATES			CMU CO	USF		
BM8	(3) 1 3/4"x9 1/4" LVL 2.0E Fb=2600			WOOI		MOOD	
CENE	DAL DEAM NOTES						

GENERAL BEAM NOTES:

1. VERIFY WITH PLAN CORRECT LENGTH OF BEAMS REQUIRED (MIN 4" BEARING EACH

END)
SEE PLAN FOR TOP OR BOTTOM OF BEAM NDICATIONS
BEAMS ARE NOT TO BE BOILLED OR NOTCHED IN ANY WAY WITHOUT WRITTEN
APPROVAL FROM THE E.O.R.
ALL LIVIS MAY BE SUBSTITUED WITH POWER BEAM GLUELAM FB3000 E-2.1 FV-300
EQUAL TO SIZE OF LIVI CALLED OUT ON PLAN.





ORNALS.
ALL FLOOR TRUSSES TO INTERIOR DESCRIPTION OF ALL FLOOR TRUSS CONNECTIONS ARE PROVIDED BY TRUSS MANUFACTURER, U.N.O. ON

FOR SINGLE PLY TRUSSES, SCAB ON FULL HEIGHT SYP #1 2"x4" TO TRUSS VERTICAL WEB w/ (2) ROWS OF 10d NAILS @ 3" O.C. STAGGERED.
MINIMUM A.T.R. EMBEDMENT: 5" EMBEDMENT FOR 1/2" A.T.R. 6" EMBEDMENT FOR 7/8" A.T.R.
8" EMBEDMENT FOR 7/8" A.T.R. (IF AT STEP, DEPTH IS FROM LOWER SLAB).

MINIMAL CONNECTOR UNO ON FRAMING PLAN

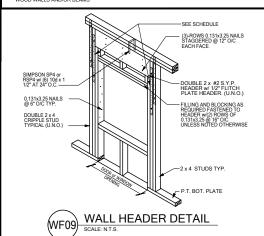
ON FOR ALL ROOF / FLOOR TRUSSES TO I

TO MASONRY WALLS SEE DETAIL FB12/D3 FOR MORE INFORMATION ON MORE INFORMATION ON ON THE CONTROL OF ALL HIP JACK (CORNER JACK) TO MASONRY WALLS (FOR WALLSLINTELS CONNECTION FOR ALL CHINIULOUS RIM BOARD TO TOP OF MASONRY AT 32" O.C MAX. W (2) AT EACH CORNER, G.C. TO VERIFY LOCATION DOES NOT CONFLICT WITJI (IF APPLICABLE) LAYOUT CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALL/BEAMS w/ (2) 12d

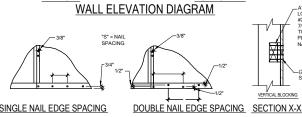
B MINIMAL CONNECTOR UNO ON FRAMING PLAN

CONNECTION FOR JACK TRUSS TO WOOD WALL OR BEAM

C MINIMAL CONNECTOR UNO ON FRAMING PLAN



(2)- 2y TOP PLATE REYOND -(F)-(D) -BH 2x STUDS BEYOND. SEE PLAN (IF 2 STORY SHEET STA FROM BOTT G / FLOOR SYSTEM -A-2x RIBBON OR BLOCKING BETWEEN FLOOR SYSTEM **HORIZONTAL** AT ALL PANEL BLOCKING LOCATIONS SHALL BE MIN 2 X 4 #2 SPF TURNED VERTICAL W 7/16" FLITCH PLATE TO W! (2) 12 TOENAILS EA. END. NAIL FLITCH PLATE TO VERTICAL W! (4) 8d NAILS



CH PER NAILING SCHEDULE. PANEL EDGES WILL NEED TO BE TACHED TO STUD AND OR BLOCKING AT ALL EDGES. A MINIMUM 1/8" ACE IS RECOMMENDED BETWEEN PANELS AT EDGES AND END NETRATE SURFACE MORE THAN 1/8".

A NAIL AT BASE 2 ROWS @ 4" O.C. w/ 8d COMMON NAIL

(B) NAIL AT TOP PLATE TWO ROWS @ 4" O.C. w/ 8d COMMON NAIL

NAIL OPENING PERIMETER W/ (2) ROWS @ 4" O.C. W/ 8d COMMON NAIL

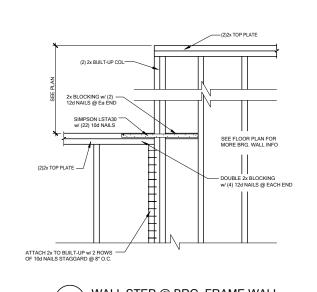
NAIL INTERIOR AT 6" O.C. w/ 8d COMMON NAIL.

E STAGGER ALL VERTICAL JOINTS & NAIL @ 4" O.C.

PLYWOOD SPLICES @ HEADER - NAIL SHEATHING TO HEADER w/ 8d COMMON NAILS @ 4\* O.C. (2) ROWS @ TOP & BOTT.

 $\begin{tabular}{ll} \end{tabular} (2) 8d \mbox{ NAILS } @ 3" \mbox{ O.C. TO EACH TRUSS END OR } @ \mbox{ VERTICAL MEMBER IF GABLE END.} \\ \end{tabular}$ 

TB13\ WALL SHEATHING INSTALL & NAILING SCHEDULE



WALL STEP @ BRG. FRAME WALL

LOT 28 RESERVE @ JEWEL LAKE 404 SW JEWEL LAKE DR. LAKE CITY, FL 32024 PLAN NUMBER: 33911776

RADFORD

SHEET NO:

(2) 8d NAILS @ 3" O.C. STAGGERED FOR SHEATHING

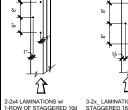
NTURY

2x4 STUDS, PER PLAN - TOP SPLICE 4 BEYOND AGAINST 2x8 STUD -AT ALL EXTERIOR CONDITIONS —
ATTACH 2x STUDS TO TOP PLATE w/ 4-16d NAILS (2 ON EA SIDE) 2x8 STUDS, PER PLAN (SIM w/2x6 STUDS) -PROVIDE 2x4 ON TOP OF 2x8 TO BLOCK — OUT TOP PLATE ATTACH w/ 2-ROWS OF 12d @ 3" O.C. (SOLID BLOCK w/ 2x6) TOP PLATE TRANSITION PIPE OR DUCT W PENETRATION
THRU TOP PLATE W MORE THAN
50% OF TOP PLATE WIDTH
INSTALL SIMPSON PSPNS162
W12-16d NAILS TOP AND BOTTOM
AT ALL PETERING COUNTIONS — 2x TOP PLATE WITH 2-ROWS OF 12d @ 3" O.C., TYPICAL - TOP PLATE SPLICE AT ALL EXTERIOR CONDITIONS ATTACH 2X STUDS TO TOP PLATE W/ (4) 16d NAILS (2 ON EA. SIDE) TYP

(WF17)

BOTTOM SPLICE OVER STUD

TOP PLATE SPLICE



2-2x4 LAMINATIONS w/
-ROW OF STAGGERED 10d
COMMON WIRE NAILS
ON E 0.148°, L= 3") OR EQUAL

(D = 0.162°, L= 3"-1/2") OR EQUAL

NOTES:

1. ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN.

2. ALL NAILS PENETRATE AT LEAST ¾" OF THE THICKNESS OF THE LAST LAMINATION

REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFO.

MULI-PLY FASTENING (WF37) SCALE: 3/4" = 1'-0" @ 22x34 SCALE: 3/8" = 1'-0" @ 11x17

