

ABBREVIATIONS

| | |
|------|------------------------|
| A/C | AIR COOLING UNIT |
| ADJ | ADJACENT |
| AFF | ABOVE FINISHED FLOOR |
| AHU | AIR HANDLING UNIT |
| ALUM | ALUMINUM |
| BLK | BLOCK |
| BOT | BOTTOM |
| BRG | BEARING |
| CJ | CONTROL JOINT |
| CLG | CEILING |
| COL | COLUMN |
| CONC | CONCRETE |
| CONT | CONTINUOUS |
| CPT | CARPET |
| DIA | DIAMETER |
| DN | DOWN |
| DWG | DRAWING |
| EA | EACH |
| ELEC | ELECTRIC |
| EQ | EQUAL |
| FF | FINISH FLOOR |
| FTG | FOOTING |
| HB | HOSE BIB |
| HDR | HEADER |
| HGT | HEIGHT |
| MAX | MAXIMUM |
| MIN | MINIMUM |
| NTS | NOT TO SCALE |
| OPNG | OPENING |
| SIM | SIMILAR |
| TYP | TYPICAL |
| VLT | VAULT |
| UNO | UNLESS NOTED OTHERWISE |

| | |
|----------------|----------|
| GARAGE | 403 SF |
| FRONT PORCH | 38 SF |
| REAR PATIO | 104 SF |
| | |
| FLOOR 1 LIVING | 1,776 SF |
| TOTAL LIVING | 1,776 SF |

| | |
|----------------|----------|
| GARAGE | 403 SF |
| FRONT PORCH | 117 SF |
| REAR PATIO | 104 SF |
| | |
| FLOOR 1 LIVING | 1,776 SF |
| TOTAL LIVING | 1,776 SF |

BUILDING CODE COMPLIANCE

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCE CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

PRODUCT: NEW SINGLE FAMILY DETACHED

OCCUPANCY CLASSIFICATION:

RESIDENTIAL R-3

CONSTRUCTION CLASS:

UNPROTECTED

CONSTRUCTION TYPE:

TYPE VB

EMERGENCY ESCAPE:

EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM OF 5.7 SQUARE FEET

APPLICABLE CODES:
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.
FLORIDA STATE SUPPLEMENTS AND AMENDMENTS.

2020 Florida Building Code, Residential, 7th Edition
2017 National Electrical Code, NFPA 70



CENTURY Complete



CENTURY

Signing Date: 06/27/2022

TO THE BEST OF MY KNOWLEDGE AND BELIEF, I AM THE OWNER OF THE PROPERTY DESCRIBED HEREIN, AND I HAVE THE AUTHORITY TO SELL THE SAME.

I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SIGNATURE OF SELLER: _____

DATE: _____

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DATE: _____

Reserve at Jewel Lake
Lot 028
404 SW Jewel Lake Drive
Lake City, FL 32024

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ARCHITECTURAL

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| E1 | ELECTRICAL PLANS |
| CD | CONSTRUCTION DETAILS |

ARCHITECTURAL

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| REVISIONS | | |
|-----------|------------|---|
| NUMBER | DATE | DESCRIPTION |
| 01 | 03.04.2021 | Added Elevations A1 & B1 |
| 02 | 06.14.21 | Added outlet to BR2, Relocate & noted outlets to meet 6' max from wall break & 12' max between outlet spacing at habitable rooms (E1.1) |
| 03 | 07.08.21 | Added floor break transition strips to plan |
| 04 | 07.21.21 | Added Elevations A4 & B4 |
| 05 | 08.02.21 | labeled egress windows, labeled accessible bath, smoke/carbon alarms near appliances noted |
| 06 | 08.24.21 | Added stemwall options |
| 07 | 09.08.21 | Carbon / smoke alarm moved 3' min away from bathroom door/opening with tub/shower |
| | | |

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| | | | |
|----------------|--------------------|---------------|------------|
| MODEL: | RADFORD | PLAN NUMBER: | 33911776 |
| DRAWING TITLE: | COVER SHEET | RELEASE DATE: | 02.22.2021 |

SHEET NO:

CS

Keynotes | Legend

1.

CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2.

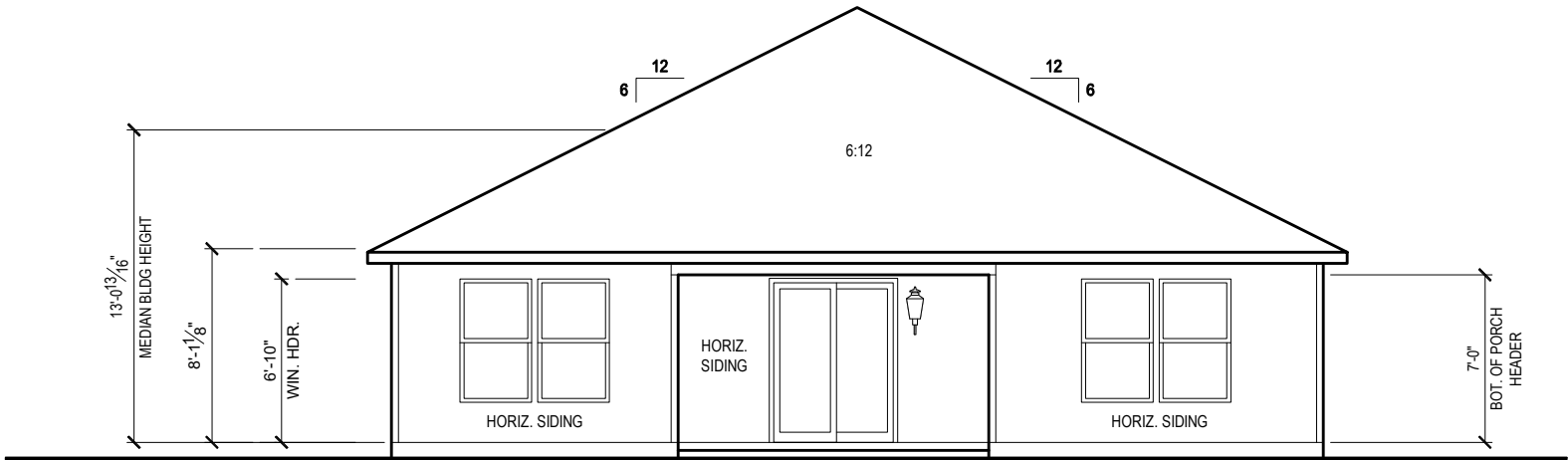
CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
3.

BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP.
4.

STONE WAINSCOT WITH SLOPED STONE CAP.
5.

3 1/2" VINYL TRIM SURROUND
6.

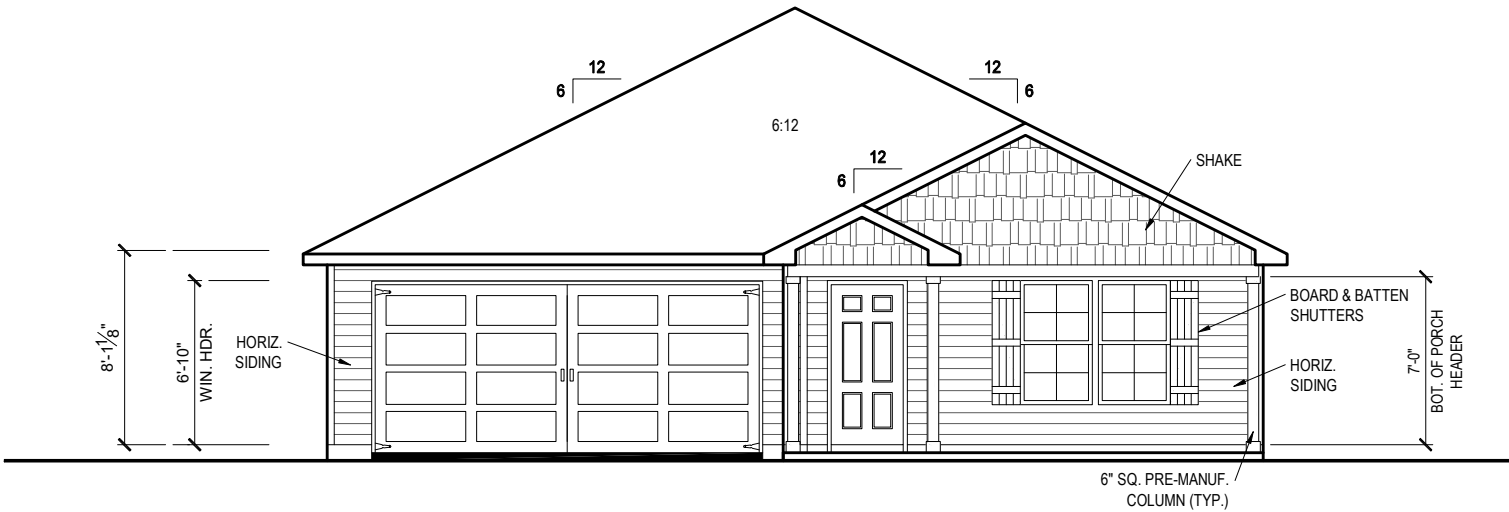
36" H. GUARDRAIL AS REQUIRED



FRONT ELEVATION 'B1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'B1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



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6-24-2022



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Ocala, FL 32197-0484
Tel: 352-472-0484
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May 2, 2022
FDS ENGINEERING ASSOCIATES, INC.
CARLA A. BROWN, P.E., F.L. # 55128
LUIS JOSE BURGOS RODRIGUEZ, P.E., F.L. # 63724
SCOTT A. LENKOWSKI, P.E., F.L. # 78750

Reserve at Jewel Lake
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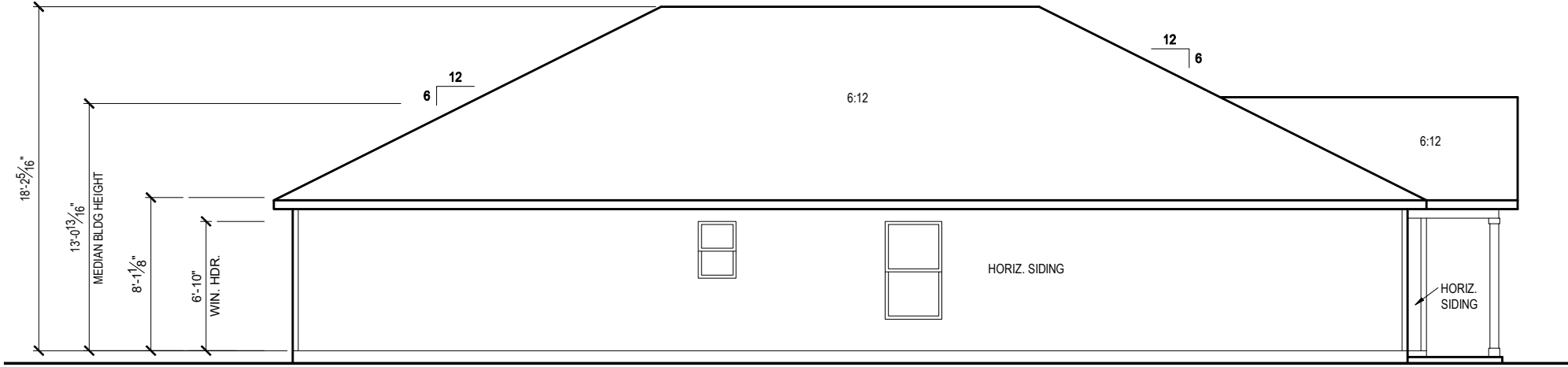
RELEASE DATE:
02.22.2021

MODEL:
RADFORD

DRAWING TITLE:
EXTERIOR ELEVATIONS

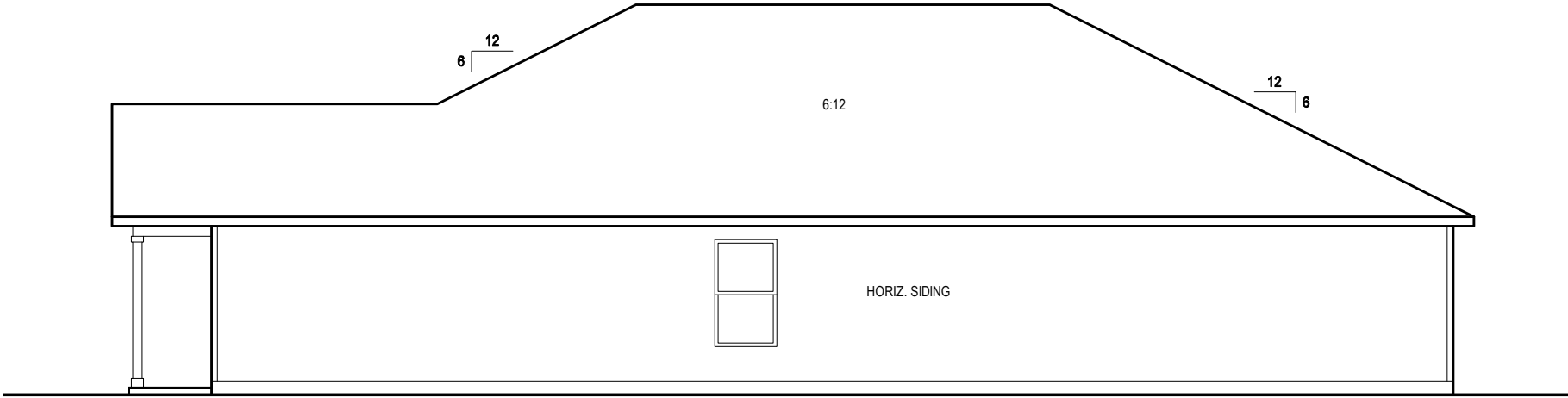
SHEET NO:

1.1-B1




LEFT SIDE ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34




RIGHT SIDE ELEVATION 'B1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



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DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:

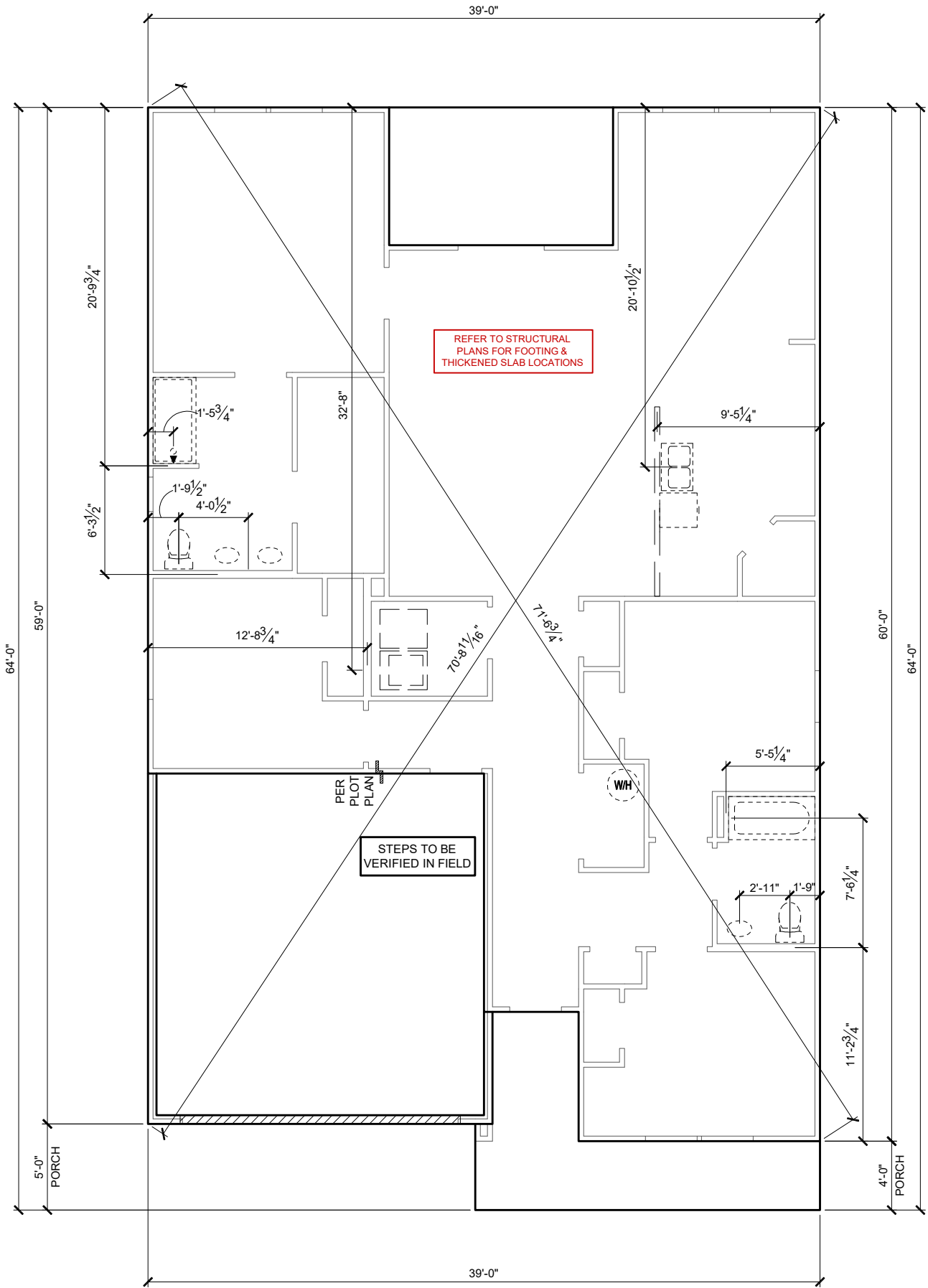
1.2-B1

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May 2, 2022
Luis Jose Burgos Robles, P.E. - FL #178790
Scott A. Lemkowksi, P.E. - FL #178790

GENERAL SLAB FOUNDATION NOTES


- PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING LOCATIONS.
- REFER TO EXTERIOR ELEVATIONS FOR BRICK/STONE LOCATIONS.
- GARAGE SLAB SHALL SLOPE TOWARD GARAGE DOOR OPENING.



SLAB PENETRATION PLAN 'B1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



6-24-2022

FDS
ENGINEERING ASSOCIATES
256 Southrail Lane, Suite 200
O 321.972-2451 F 407.880-2304
Certificate Of Authorization No. 9161
☐ CARLA BROWN, PE - FL # 58128
☐ LUIS PABLO TORRES, PE - FL # 17184

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| | | | |
|--------------|----------|----------------|-----------------------|
| PLAN NUMBER: | 33911776 | RELEASE DATE: | 02.22.2021 |
| MODEL: | RADFORD | DRAWING TITLE: | SLAB PENETRATION PLAN |
| SHEET NO: | 2.1-B | | |


NOTES & LEGENDS


1. REFER TO ENGINEERING STRUCTURAL DRAWINGS (S-#) FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS


2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.

3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/VERTICAL CRIPPLERS @ 2'-0" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.

4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR
-  OPTIONAL WINDOW

 2X4 FRAME WALL

 2X6 FRAME WALL

 BALLOON FRAME WALL (PER STRUCTURALS)

KEYNOTES

- A1 GARAGE CEILING - 5/8" TYPE X DRYWALL, VERTICAL SURFACE WALLS - 1/2" DRYWALL

A2 22X30" ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT

A3 PROVIDE 6" MIN. FLAT CLG AT ANGLED CLG CONDITION

A4 PULL DOWN STAIRS 25.5" x 54"

A5 TEMPERED SAFETY GLASS PER IRC R308.4

A6 HOUSE TO GARAGE DOOR SEPARATION, PROVIDE APPROVED 20 MINUTE RATED DOOR PER IRC 302.5.1

A7 A/C CONDENSER PAD, REFER TO SITE PLAN FOR FINAL LOCATION, VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS

A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS

A9 LOUVERED DOOR w/ GAS FURNACE
- D1 DRYWALL SOFFIT - 12" DROP FROM CEILING LINE

D2 DRYWALL SOFFIT - 8" DROP FROM CEILING LINE
- K1 39" KNEE WALL WITH CAP PER SPECS

K2 38" KNEE WALL WITH 1x CAP

K3 46" KNEE WALL WITH CAP PER SPECS

K4 34 1/2" KNEE WALL

K5 42" KNEE WALL WITH 1x CAP

K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING
- P1 30" X 60" SHOWER ENCLOSURE PER SPECS

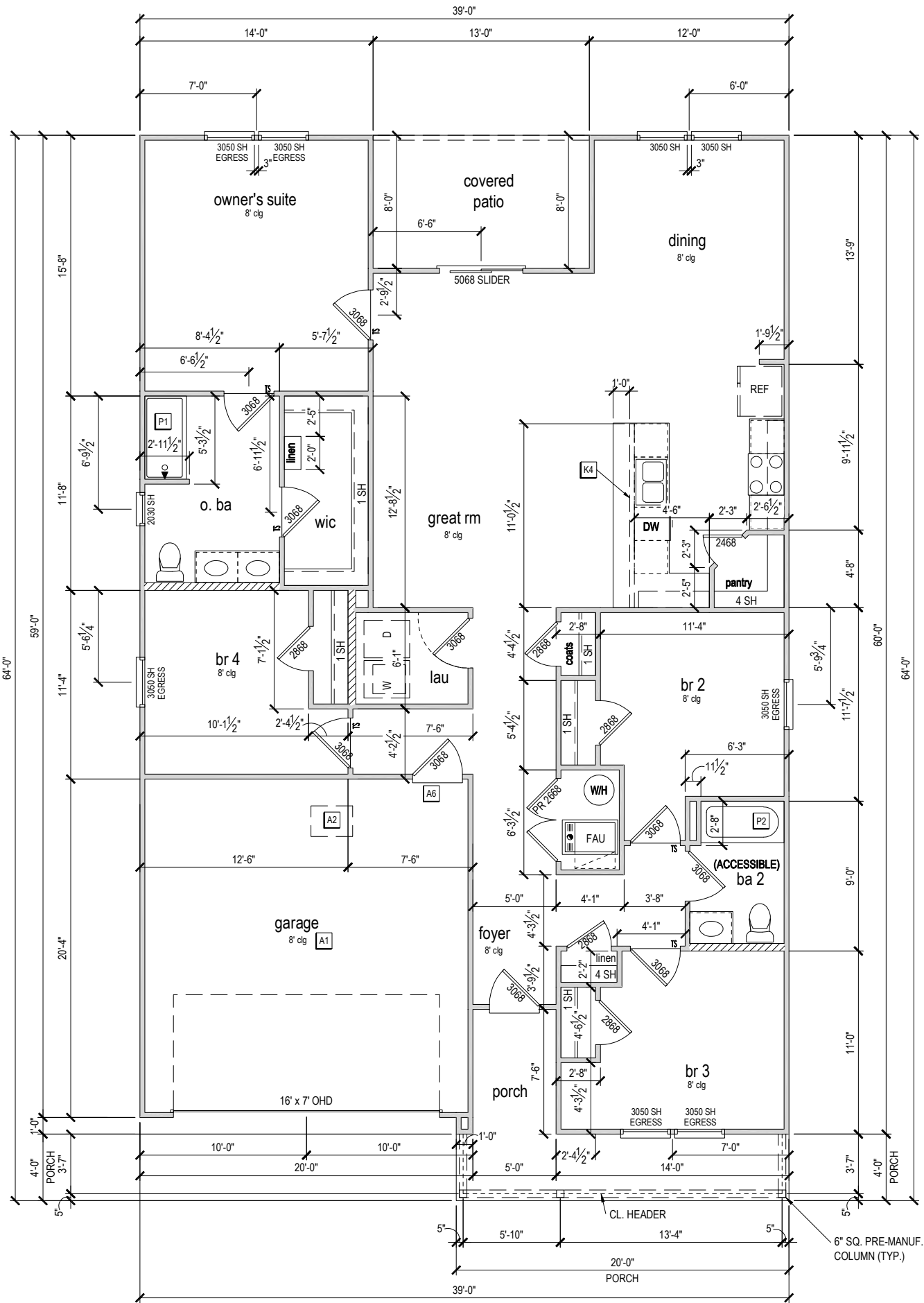
P2 30"x60" TUB PER SPECS
- S1 BOX STAIR WITH 38" KNEE WALL & 1X CAP

S2 1X CAPPED STRINGER, TOP AT 3" ABOVE TREAD

S3 HANDRAIL AT +36" ABV. STAIR NOSING OR LANDING

area tabulation 'b'


| | |
|----------------|----------|
| GARAGE | 403 SF |
| FRONT PORCH | 117 SF |
| REAR PATIO | 104 SF |
| | |
| FLOOR 1 LIVING | 1,776 SF |
| TOTAL LIVING | 1,776 SF |




FIRST FLOOR PLAN 'B'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



6-24-2022


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02.22.2021

MODEL:
RADFORD

DRAWING TITLE:
FIRST FLOOR PLAN

SHEET NO:
3.1-B

ATTIC VENT CALCULATION

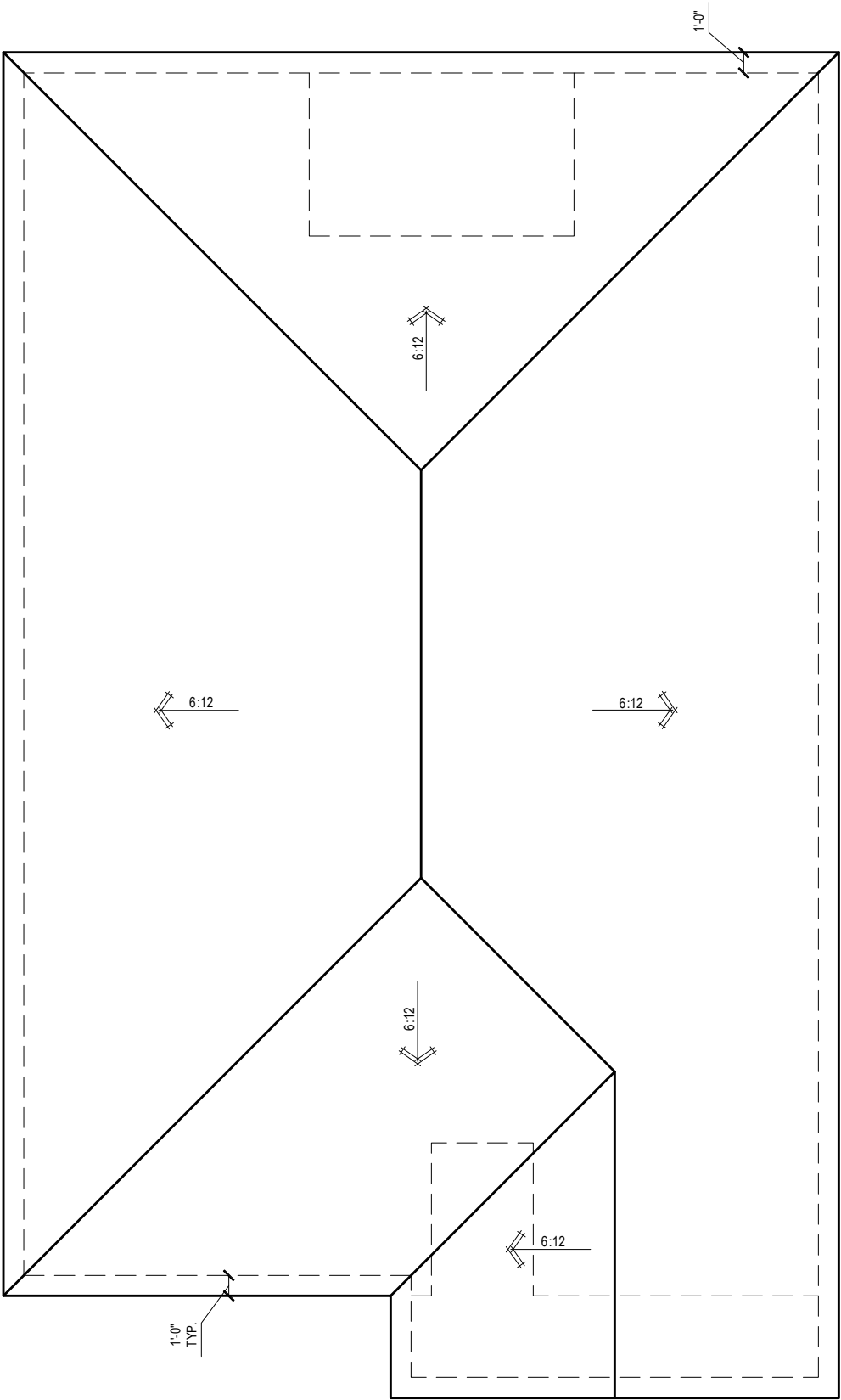
ATTIC VENTILATION TO COMPLY w/ F.B.C RESIDENTIAL CODE. THE REQUIRED NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED. AREA MAY BE REDUCED TO 1/300 PROVIDED THAT 40 TO 50 PERCENT OF THE REQ'D VENTILATING AREA IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY THE EAVE OR CORNICE VENTS.

MANUFACTURE SELECTED TO VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AND TO MAINTAIN THE REQUIRED VENTILATION.


DO NOT LOCATE VENTS ON ROOF PLANE(S) FACING STREET.

| ROOF VENTILATION CALCULATIONS | | | |
|--|----------------|----------------------------|---------------|
| ROOF AREA | 2,611 SF | | |
| TOTAL NET FREE AREA REQ'D (1 TO 300) | 1253.3 SQ. IN. | | |
| MAIN HOUSE INLET (SOFFIT) VENTILATION | 100.0 LF x | 6.4 SQ. IN / LINEAR FT = | 640.0 SQ. IN. |
| POD VENT(S) REQUIRED WITH BASE HOUSE | 9 | VENTS AT 70.0 SQ. IN EA. = | 630.0 SQ. IN. |
| LOWER VENTING PROVIDED (626.6 SQ. IN. REQ'D) | 640.0 SQ. IN | 50.4% | |
| UPPER VENTING PROVIDED (626.6 SQ. IN. REQ'D) | 630.0 SQ. IN | 49.6% | |


NOTE: TYPICAL VENTILATION INCLUDES:
1. SOFFIT VENTS
(AREA: 6.4 SQ. IN PER FOOT - VERIFY WITH MANUFACTURE)
2. LOMANCO 770" ATTIC VENT LOCATED 12" MIN. FROM RIDGE
(AREA: 70 SQ. IN. - VERIFY W MANUFACTURE)
*(1) LOMANCO 770D VENT AT 140 S.I. EA.CAN BE USED IN PLACE OF (2) 770 VENTS.



ROOF PLAN 'B'
1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



6-24-2022



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02.22.2021

MODEL:
RADFORD

DRAWING TITLE:
ROOF PLAN

SHEET NO:

6.1-B

ELECTRICAL LEGEND

\$

SWITCH

\$3

3 WAY SWITCH

\$4

4 WAY SWITCH

WALL MOUNTED LIGHT

LED DOWNLIGHT

DISCONNECT

CEILING FIXTURE OUTLET

S

SMOKE DETECTOR

C

SMOKE/CARBON MONOXIDE ALARM

SW

110v RECEPTACLE

110v SWITCHED RECEPTACLE

110v ABOVE COUNTER RECEPTACLE. GFI PROTECTED AT KITCHEN, BATH & LAUNDRY

110v DEDICATED RECEPTACLE FOR SECURITY/STRUCTURED WIRING PANEL

220v

220v RECEPTACLE

110v FLOOR RECEPTACLE

DISPOSAL

CHIME

BATH EXHAUST FAN

CEILING FAN PREWIRE WITH BRACING FOR FUTURE FAN

VP=VAPOR PROTECTED

B = BRACE FOR FUTURE FAN

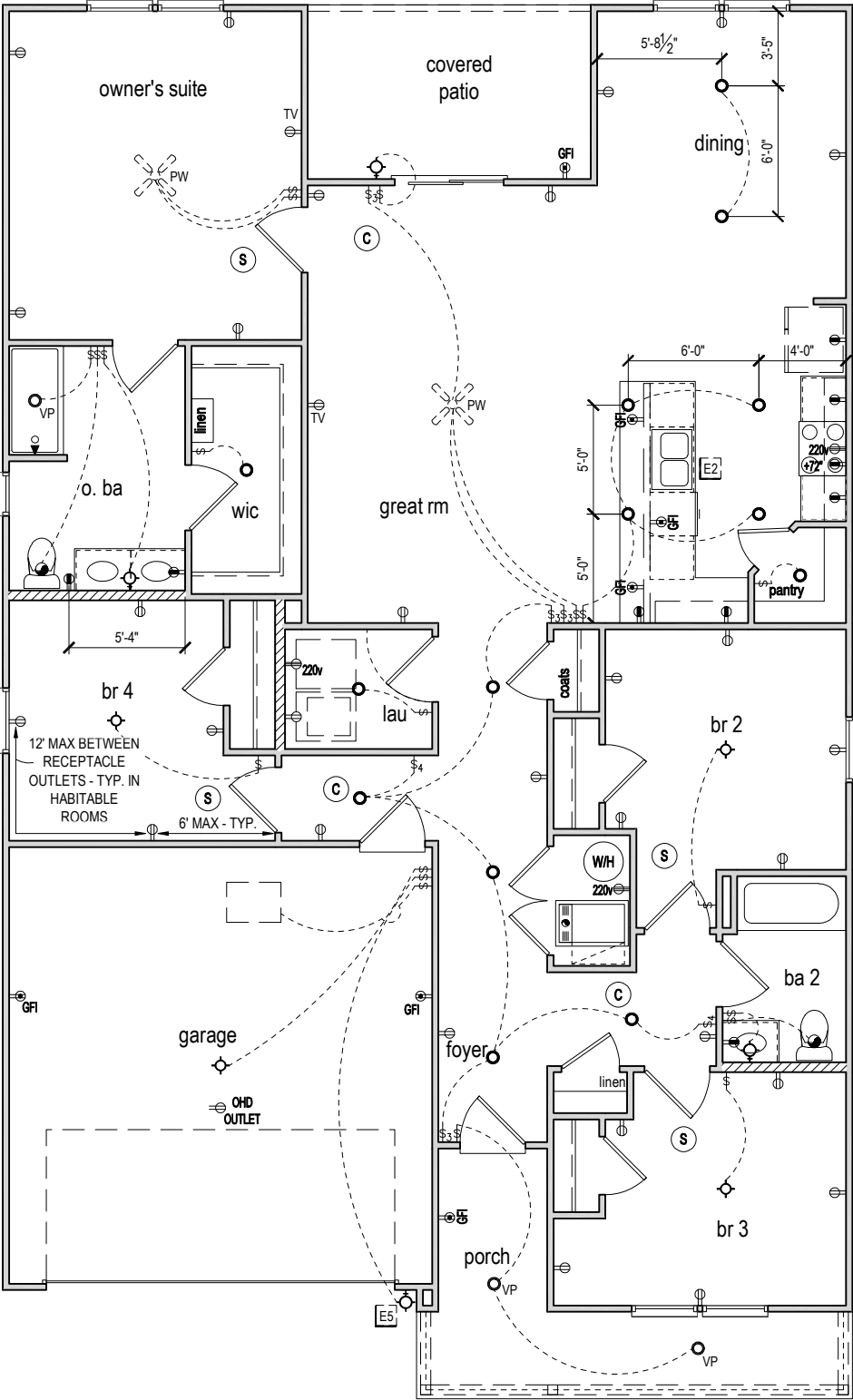
H = HANGING

P = OPT. PENDANT

- PROVIDE ADDITIONAL EXTERIOR WEATHERPROOF RECEPTACLE WITHIN 15 FEET OF CONDENSING UNITS
- INSTALL GFCI AND ARC FAULT CIRCUIT INTERRUPTER PROTECTION PER NEC SECTIONS 210.52G
- ALL GARAGE OUTLETS SHALL BE ON A DEDICATED CIRCUIT
- IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
- DWGS. ARE DIAGRAMMATICAL & INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL WORK. ANY DISCREPANCIES ON THE DOCUMENTS SHALL BE CALLED TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE ELECTRICAL DRAWINGS.

KEYNOTES

- E1 ELECTRICAL PANEL PER SPECS
- E2 INSTALL GFI OUTLET UNDER SINK FOR FUTURE DISPOSAL
- E3 DOOR CHIME TRANSFORMER LOCATION
- E4 MECHANICAL ROOMS TO INCLUDE KEYLESS LIGHT, PLUG AND DISCONNECT FOR AIR HANDLER
- E5 COACH LIGHT ONLY IF REQUIRED BY LOCAL MUNICIPALITY. INSTALL AT 68" AFF
- E6 INSTALL COACH LIGHT AT 68" AFF



FIRST FLOOR ELECTRICAL PLAN 'B'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



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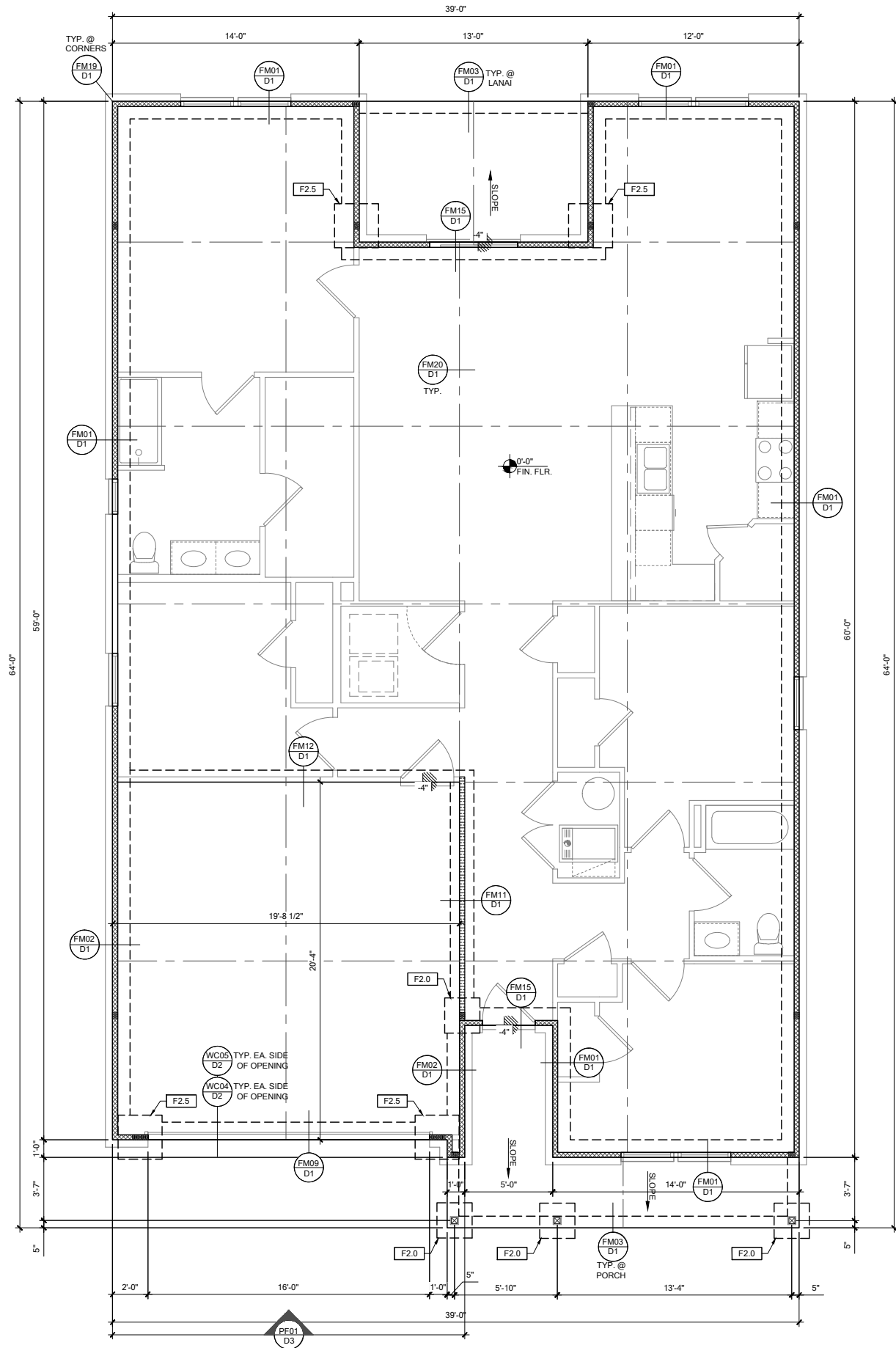
MODEL:
RADFORD

DRAWING TITLE:
FIRST FLOOR ELECTRICAL

SHEET NO:

E1.1

| | |
|---------------------------|-----------------------------------|
| MODEL: RAD | DRAWING TITLE: NOTES |
| SHEET NO: 50 | |



FOUNDATION PLAN B

SCALE: 1/4" = 1'-0" @ 22x34
SCALE: 1/8" = 1'-0" @ 11x17


| FOUNDATION LEGEND | |
|-------------------|--|
| SYMBOL | DESIGN DESCRIPTION |
| [F#] | INDICATES CONCRETE FOOTING w/ MINIMUM SOIL BEARING CAPACITY OF 2000 PSF. REINFORCE PER GENERAL FOUNDATIONS SCHEDULE ON SHEET SN FOR DESIGN SPECIFICATIONS. |
| [---] | INDICATES CONSTRUCTION JOINT (IF SHOWN) SHALL BE 1/2" x 1" SAW CUTS FILLED WITH APPROVED SLAB JOINT MATERIAL COVERING A 12"x12" SQUARE MAXIMUM |
| [4"] | INDICATES STEP IN FOUNDATION, VERIFY PER ARCHITECTURAL PLANS CONSTRUCT PER PLAN SECTION CUT AND DETAIL SHEET D1 |
| [0'-0" FIN. FLR.] | 4" 2500 PSI CONC. SLAB W/ REINF. PER S0 w/6 MIL VISQUEEN VAPOR BARRIER & TREATED FOR TERMITES. SEE FOUNDATION SCHEDULE ON SN |
| [] | INDICATES BUILT UP COLUMN. SEE FRAMING PLAN FOR SIZE, DETAIL WF37/SN FOR PLY ATTACHMENT, AND UPLIFT CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB |

- GENERAL NOTES:
- TYPICAL CORNER FRAMING PER DETAIL FM19/D1
 - SEE ARCHITECTURAL PLANS FOR ALL SLAB STEP DEPTHS IF SHOW SHOWN WITHIN THESE DOCUMENTS.


| PLAN KEY NOTES | |
|----------------|--|
| | |

BUILDER NOTE:
ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO COMMENCEMENT OF CONSTRUCTION

| WALL TYPE | |
|-----------------|---|
| SYMBOL | DESIGN DESCRIPTION |
| [Hatched] | 2x INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS. |
| [Dashed] | INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN |
| [Solid] | INTERIOR NON-BRG. WALL BY BUILDER |
| [Cross-hatched] | 2x WOOD FRAME EXTERIOR WALL (SEE PLAN FOR MORE INFO) |



DATE: June 27, 2022
PROJECT: 33911776



www.fdseng.com

LOT 28
RESERVE @ JEWEL LAKE
404 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

PLAN NUMBER: 33911776
RELEASE DATE: 02.22.2021

MODEL: RADFORD
DRAWING TITLE: FOUNDATION PLAN B

SHEET NO: S1

SCALE: 1/4" = 1'-0" @ 22x34
SCALE: 1/8" = 1'-0" @ 11x17

| | | |
|---|--|---|
| <p>MODEL:</p> <p style="font-size: 24pt; font-weight: bold; text-align: center;">RADFORD</p> | <p>PLAN NUMBER:</p> <p style="font-size: 24pt; font-weight: bold; text-align: center;">33911776</p> | <p>RELEASE DATE:</p> <p style="font-size: 24pt; font-weight: bold; text-align: center;">02.22.2021</p> |
| <p>DRAWING TITLE:</p> <p style="font-size: 24pt; font-weight: bold; text-align: center;">ROOF FRAMING PLAN B</p> | | <p>DATE: June 27, 2022</p> <p style="font-size: 10pt;"> PREPARED BY: JENNY L. FORD, P.E. (FL 4787250) CHECKED BY: JENNY L. FORD, P.E. (FL 4787250) </p> |

SHEET NO:

S2

LOT 28

RESERVE @ JEWEL LAKE

404 SW JEWEL LAKE DR.

LAKE CITY, FL 32024

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FDS ENGINEERING

228 Southrail Lane, Suite 200
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C: 407-580-2304 FAX: 407-580-9161

☐ CARL A. BROWN, P.E. FL # 56126

☐ LUIS JOSE BURROS ROSADO, P.E. FL # 62724

☐ SCOTT A. LEVAKOVSKI, P.E. FL 4787250

DATE: June 27, 2022

PREPARED BY: JENNY L. FORD, P.E. (FL 4787250)
 CHECKED BY: JENNY L. FORD, P.E. (FL 4787250)

CENTURY

Complete

DATE: June 27, 2022

PREPARED BY: JENNY L. FORD, P.E. (FL 4787250)
 CHECKED BY: JENNY L. FORD, P.E. (FL 4787250)

LOT 28

RESERVE @ JEWEL LAKE

404 SW JEWEL LAKE DR.

LAKE CITY, FL 32024

DATE: June 27, 2022

PREPARED BY: JENNY L. FORD, P.E. (FL 4787250)
 CHECKED BY: JENNY L. FORD, P.E. (FL 4787250)

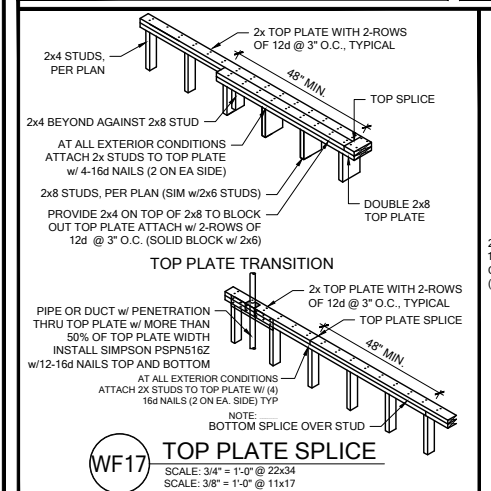
| FOUNDATION SCHEDULE | | | | |
|---------------------|---------------|-------|------------------|--|
| MARK | SIZE | DEPTH | REINFORCING | |
| F1.5 | 1'-6" x 1'-6" | 1'-0" | (2) #5 E.W. BOT. | |
| F2.0 | 2'-0" x 2'-0" | 1'-0" | (3) #5 E.W. BOT. | |
| F2.5 | 2'-6" x 2'-6" | 1'-0" | (3) #5 E.W. BOT. | |
| F3.0 | 3'-0" x 3'-0" | 1'-0" | (4) #5 E.W. BOT. | |
| F3.5 | 3'-6" x 3'-6" | 1'-0" | (4) #5 E.W. BOT. | |
| F4.0 | 4'-0" x 4'-0" | 1'-0" | (5) #5 E.W. BOT. | |
| F4.5 | 4'-6" x 4'-6" | 1'-4" | (5) #5 E.W. BOT. | |
| F5.0 | 5'-0" x 5'-0" | 1'-4" | (6) #5 E.W. BOT. | |
| F6.0 | 6'-0" x 6'-0" | 1'-5" | (8) #5 E.W. BOT. | |

FOUNDATION DEPTH NOTE:
 • INTERIOR PAD DEPTHS AS LISTED IN THE SCHEDULE ARE THE TOTAL DEPTH AND MEASURED FROM THE TOP OF THE SLAB.
 • EXTERIOR PAD DEPTHS AS LISTED IN THE SCHEDULE ARE TOTAL DEPTH WITH THE BOTTOM OF THE FOOTING TO MATCH THE BOTTOM OF THE CONTINUOUS MONOLITHIC POUR WHICH RUNS THROUGH IT.

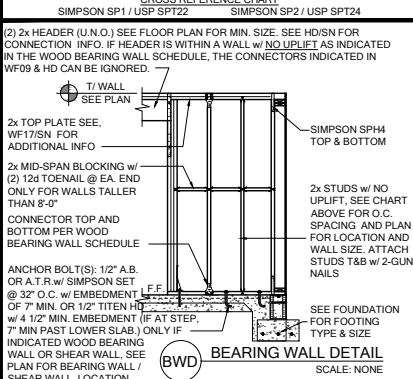
GENERAL FOUNDATION NOTES:
 1. PROVIDE MIN. 6" MIL. APPROVED VAPOR BARRIER. ALL JOINTS TO BE LAPPED MIN. 6" AND SEALED.
 2. 4" 2500 PSI CONC. SLAB WITH W1.4W1.4 OVER 6 MIL. VISOQUEEN VAPOR BARRIER & TREATED FOR TERMITES.
 3. GC/BUILDER: SEE ARCH PLANS FOR ROUGH OPENING LOCATIONS AND ADDITIONAL INFORMATION REQ'D FOR DOOR/WINDOW INSTALLATION ALONG W/ DIMENSIONS NOT SHOWN ON FOUNDATION CONSULT W/ MANUFACTURER SPECIFICATIONS PRIOR TO POURING OR RECESSING DOOR SILLS OR SLIDING GLASS DOOR SILLS.
 4. NO WOOD STAKES PERMITTED IN FOUNDATION.
 5. PENDING SITE CONDITIONS, FOUNDATION MAY HAVE TO BE STEPPED DOWN. SEE FPM101 FOR ADDITIONAL INFORMATION. G.C. TO DETERMINE STEP LOCATIONS, IF REQUIRED.
 6. STEEL BENDS AND LAP SPLICE SEE FPM101 AND FPM101.
 7. ALL EQUIPMENT AND/OR APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED A MIN OF 18". CONTRACTOR TO PROVIDE SUCH PLATFORM W/ EITHER MASONRY OR WOOD CONSTRUCTION.
 8. ASSUMED ALLOWABLE SOIL BEARING PRESSURE AFTER COMPACTION: 2000 PSF (SEE SOILS REPORT AND SPECIFICATIONS FOR COMPACTION REQUIREMENTS). IF SOIL CONDITIONS ON THE PROJECT DO NOT MEET OR EXCEED THE CAPACITY, THE GENERAL CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO FOUNDATION POUR FOR VERIFICATION OF FOUNDATION DESIGN. SOIL TO BE FREE OF ORGANIC MATERIAL AND COHESIVE SOILS, COMPACTED IN 12" LIFTS TO AT LEAST 95% OF MAX. DRY DENSITY AS DETERMINED BY ASTM D 1557 (MODIFIED PROCTOR).
 9. R.403.1.4 MINIMUM DEPTH: EXTERIOR FOOTINGS SHALL BE PLACED NOT LESS THAN 12 INCHES (305mm) BELOW THE FINISHED GRADE OF GROUND SURFACE.

| COLUMN SCHEDULE | | | | |
|-----------------|--|---|-----------------------|--|
| MARK | COLUMN SIZE | FIRST FLOOR BASE CONNECTIONS, SEE PLAN FOR SECOND FLOOR CONNECTIONS | UPLIFT (lb) | |
| C1 | (3) 2x #2 SPF | (4) 12d TOENAILS | NO UPLIFT | |
| C2 | (3) 2x #2 SPF | DTT22 w/ 1/2" ATR & (8) 1/4" x 1 1/2" SDS SCREWS | 1835 | |
| C3 | (3) 2x #2 SYP | (4) 12d TOENAILS | NO UPLIFT | |
| C4 | (3) 2x #2 SYP | DTT22 w/ 1/2" ATR & (8) 1/4" x 1 1/2" SDS SCREWS | 1835 | |
| C5 | 4x4 P.T.#2 SYP POST | ABU44 w/ 1/2" ATR & (12) 16d NAILS FIRST/SECOND FLOOR CONN. | G = 6665 U = 1782 | |
| C6 | 6x6 P.T.#2 SYP POST | ABU66 w/ 1/2" ATR & (12) 16d NAILS FIRST/SECOND FLOOR CONN. | G = 12000 U = 2070 | |
| C7 | 8x8 P.T.#2 SYP POST | ABU88 w/ (2) 1/2" ATR & (18) 16d FIRST/SECOND FLOOR CONN. | G = 24335 U = 2088 | |
| C8 | 3.5" x 3.5" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.) | HDU5-SDS2.5 w/ 1/2" ATR AND (14) 1/2"x2 1/2" SDS WOOD SCREWS | 5080 | |
| C9 | 3.5" x 5.25" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.) | HDU5-SDS2.5 w/ 1/2" ATR AND (14) 1/2"x2 1/2" SDS WOOD SCREWS | 5080 | |
| C10 | 3.5" x 7" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.) | HDU8-SDS2.5 w/ 1/2" ATR AND (20) 1/2"x2 1/2" SDS WOOD SCREWS | 6372 | |
| C11 | 5.25" x 5.25" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.) | HDU8-SDS2.5 w/ 1/2" ATR AND (20) 1/2"x2 1/2" SDS WOOD SCREWS | 7082 | |
| C12 | 5.25" x 5.25" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.) | HDU8-SDS2.5 w/ 1/2" ATR AND (20) 1/2"x2 1/2" SDS WOOD SCREWS | 7082 | |
| C13 | 5.25" x 7" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.) | HDU8-SDS2.5 w/ 1/2" ATR AND (20) 1/2"x2 1/2" SDS WOOD SCREWS | 7082 | |

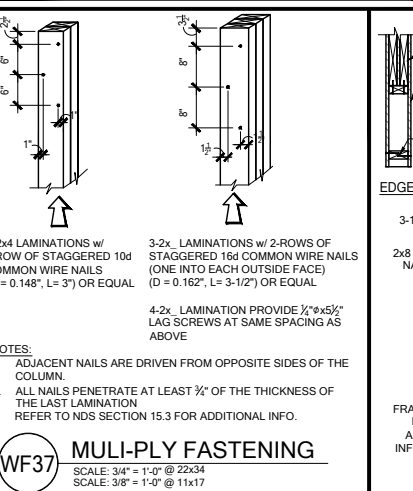
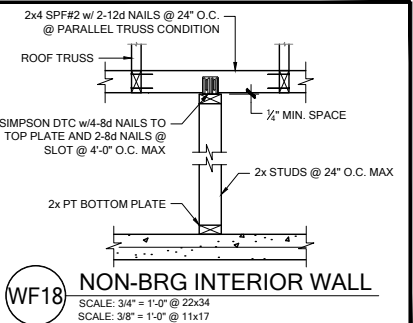
GENERAL COLUMN NOTES:
 1. ALL STRUCTURAL LUMBER TO BE SYP#2 OR SPF#2 UNO ON PLAN.
 2. MINIMUM BOLT EMBEDMENT: 5" EMBEDMENT FOR 1/2" ATR. 6" EMBEDMENT FOR 5/8" ATR. 8" EMBEDMENT FOR 7/8" ATR.
 3. P.L. COL. TO BRG DIRECTLY ON FOUNDATION. CUT BASE PLATE AS REQ'D. G.C. TO PROVIDE MOISTURE BARRIER.
 4. IF COL. IS CALLED OUT ON 2ND FLOOR, THE BASE CONNECTION IS NOT REQ'D. SEE PLANS FOR BASE CONNECTION.
 5. VALUES HAVE BEEN REDUCED FOR NARROW FACE APPLICATION. CONNECTIONS SHALL BE INSTALLED ON NARROW OR WIDE FACE PER SIMPSON TC-SCLCLM



| WOOD BEARING WALL SCHEDULE | | | | |
|----------------------------|--------------|---|----------------|------------------|
| MARK | STUD SPACING | CONNECTION & FASTENERS | LUMBER SPECIES | UPLIFT CAP. [lb] |
| WB1 | 16" | (2) 16d TOENAILS (3) 12d TOENAILS OR (2) 12d END OR BOX NAILS | #2 SPF | NO UPLIFT |
| WB2 | 16" | SP2 w/ (6) 10d NAILS | #2 SPF | 402 |
| WB3 | 16" | (2) SP2 w/ (6) 10d NAILS | #2 SPF | 804 |
| WB4 | 16" | (2) 16d TOENAILS | #2 SYP | NO UPLIFT |
| WB5 | 16" | SP2 w/ (6) 10d NAILS | #2 SYP | 439 |
| WB6 | 16" | (2) SP2 w/ (6) 10d NAILS | #2 SYP | 878 |
| WB7 | 12" | (2) 16d TOENAILS (3) 12d TOENAILS OR (2) 12d END OR BOX NAILS | #2 SPF | NO UPLIFT |
| WB8 | 12" | SP2 w/ (6) 10d NAILS | #2 SPF | 535 |
| WB9 | 12" | (2) SP2 w/ (6) 10d NAILS | #2 SPF | 1070 |
| WB10 | 12" | (2) 16d TOENAILS (3) 12d TOENAILS OR (2) 12d END OR BOX NAILS | #2 SYP | NO UPLIFT |
| WB11 | 12" | SP2 w/ (6) 10d NAILS | #2 SYP | 585 |
| WB12 | 12" | (2) SP2 w/ (6) 10d NAILS | #2 SYP | 1170 |

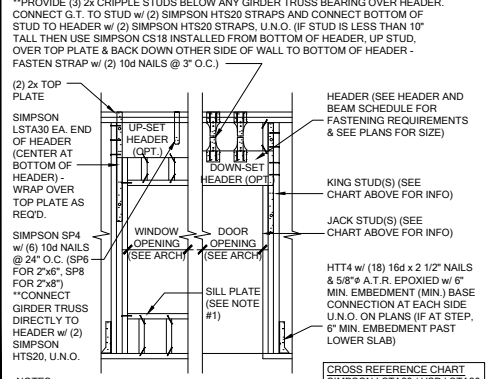


GENERAL BEARING WALL NOTES:
 1. ALL STRUCTURAL LUMBER DESIGNATED AS SYP SHALL BE SYP #2 AND ALL STRUCTURAL LUMBER DESIGNATED AS SPF SHALL BE SPF #2 UNO.
 2. SEE FLOOR PLAN FOR WALL SIZE. ASSUME 2x4 STUDS USED UNO.
 3. CONNECTIONS TO BE INSTALLED TO EACH STUD AS INDICATED.
 4. CONTACT E.O.R. IF SP4's, SP6's OR SP8's CONNECTORS ARE SUBSTITUTED, TO VERIFY THEY MEET THE STRUCTURAL REQUIREMENTS.
 5. IF "BW" IS INDICATED ON SECOND FLOOR BASE CONNECTION TO BE IGNORED. SEE WF06 AND FB06 OR INDICATED DETAIL FOR PROPER CONNECTIONS FOR 2ND FLOOR TO FIRST FLOOR CONNECTIONS. (NOTE: THIS IS FOR 2 STORY PROJECTS ONLY).
 6. IF "SW" IS INDICATED ON PLAN THE WALL IS CONSIDERED A SHEAR WALL AND REQUIRES MIN. 7/16" OSB / PLYWOOD w/ 8d NAILS @ 4" O.C. IN FIELD AND EDGE TO ONE SIDE OF WALL. UNO ON PLANS.
 7. ALL 2x EXTERIOR WALLS W/ SHEATHING ATTACHED PER NAILING SCHEDULE TB13/SN ACTS AS SHEAR WALLS. SEE PLAN AND WALL SECTIONS FOR STUD SPACING AND GRADE.
 8. ALL TOP PLATES AND SILL PLATES SHALL BE THE SAME SPECIES AS THE WOOD STUDS.
 9. IF THE BEARING WALL IS INDICATED WITH THE BW1, BW4, BW7, BW10, THESE WALLS ARE ONLY SUPPORTING THE FLOOR LOAD AND DO NOT HAVE UPLIFT. THE STUDS ARE TOE NAILED TO THE 2x PLATE CAN BE ATTACHED WITH HARD CASED NAILS (GUN NAILS) AND WILL NOT REQUIRE THE ANCHOR BOLT ATTACHMENT INDICATED IN THE BEARING WALL SCHEDULE.



| HEADER SCHEDULE | | | | |
|-----------------|---------------------------------------|---------------------------------------|----------------|------------------|
| MARK | HEADER SIZE | CONNECTION & FASTENERS | LUMBER SPECIES | UPLIFT CAP. [lb] |
| H1 | (2) 2x6 #2 SYP w/ 7/16" FLUTCH PLATE | (2) 2x10 #2 SYP w/ 7/16" FLUTCH PLATE | #2 SPF | NO UPLIFT |
| H2 | (2) 2x10 #2 SYP w/ 7/16" FLUTCH PLATE | (2) 2x12 #2 SYP w/ 7/16" FLUTCH PLATE | #2 SPF | 804 |
| H3 | (2) 1 3/4" x 11 1/4" LVL 2.0E Fb=2600 | (2) 1 3/4" x 9 1/4" LVL 2.0E Fb=2600 | #2 SYP | 439 |
| H4 | (2) 1 3/4" x 9 1/4" LVL 2.0E Fb=2600 | (2) 2x10 #2 SYP w/ 1" FLUTCH PLATE | #2 SYP | 878 |
| H5 | (2) 1 3/4" x 7 1/4" LVL 2.0E Fb=2600 | (2) 2x10 #2 SYP w/ 1" FLUTCH PLATE | #2 SYP | 878 |

| HEADER SUPPORT - NUMBER OF JACKS & STUDS REQUIRED AT OPENINGS | | | | |
|---|--------------|--------------|--------------|--------------|
| OPENING SIZE | JACKS EA END | KINGS EA END | JACKS EA END | KINGS EA END |
| 1'-0" - 3'-11" | (1) | (2) | (1) | (2) |
| 4'-0" - 9'-11" | (2) | (3) | (2) | (4) |
| 10'-0" - 16'-0" | (3) | (4) | (3) | |

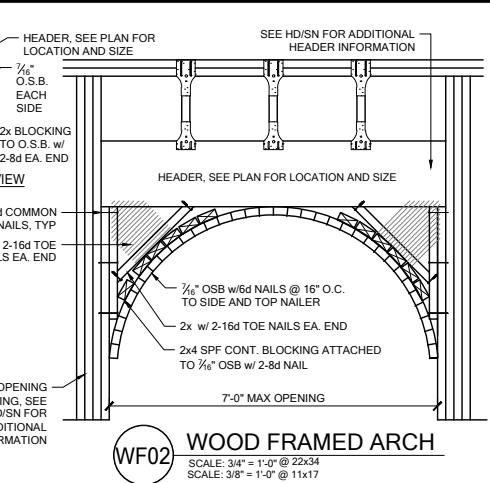


NOTES:
 1. OPENINGS GREATER THAN 4'-0" PROVIDE (2) 2x SILL PLATE w/ A35 CLIPS EACH SIDE.
 2. NO TOP PLATE SPLICES SHALL OCCUR OVER OR WITHIN 2 FEET OF HEADER.
 3. HOLD DOWN CONNECTIONS NOT REQUIRED AT BEARING WALLS WITHOUT UPLIFT.

CROSS REFERENCE CHART
 SIMPSON LSTA30 / USP LST430
 SIMPSON SP4 / USP SPT4
 SIMPSON SP6 / USP SPT6
 SIMPSON SP8 / USP SPT8
 SIMPSON HTS20 / USP HTW20
 SIMPSON SP2 / USP SPT24
 SIMPSON A35 / USP MPA1
 SIMPSON HT4 / USP HTT45

| BEAM SCHEDULE | | | | |
|---------------|--|--|---------------------|---------------------|
| MARK | BEAM SIZE | FASTENING SCHEDULE | UNO ON FRAMING PLAN | UNO ON FRAMING PLAN |
| BM1 | (2) 2x8 SYP #2 w/ 7/16" OSB FLUTCH PLATE | (2) ROWS OF 12d @ 12" O.C. TYP. EACH SIDE | | |
| BM2 | (2) 2x10 SYP #2 w/ 7/16" OSB FLUTCH PLATE | (2) ROWS OF 12d @ 12" O.C. TYP. EACH SIDE | | |
| BM3 | (2) 2x12 SYP #2 w/ 7/16" OSB FLUTCH PLATE | (2) ROWS OF 12d @ 12" O.C. TYP. EACH SIDE | | |
| BM4 | (2) 1 3/4"x11 1/4" LVL 2.0E Fb=2600 | (2) ROWS 14" x 3 1/2" SDS WOOD SCREWS @ 16" O.C. TYP. EACH SIDE OR (2) ROWS OF 12d NAILS @ 12" O.C. TYP. EACH SIDE | | |
| BM5 | (2) 1 3/4"x11 7/8" LVL 2.0E Fb=2600 | (2) ROWS 14" x 3 1/2" SDS WOOD SCREWS @ 16" O.C. TYP. EACH SIDE OR (2) ROWS OF 12d NAILS @ 12" O.C. TYP. EACH SIDE | | |
| BM6 | (2) 1 3/4"x16" LVL 2.0E Fb=2600 | (2) ROWS 14" x 3 1/2" SDS WOOD SCREWS @ 16" O.C. TYP. EACH SIDE OR (2) ROWS OF 12d NAILS @ 12" O.C. TYP. EACH SIDE | | |
| BM7 | (3) 2x10 SYP #2 w/ (2) 7/16" OSB FLUTCH PLATES | (3) 1 3/4"x9 1/4" LVL 2.0E Fb=2600 | | |
| BM8 | (3) 1 3/4"x9 1/4" LVL 2.0E Fb=2600 | | | |

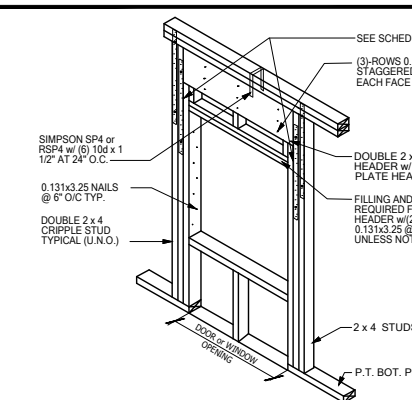
GENERAL BEAM NOTES:
 1. VERIFY WITH PLAN CORRECT LENGTH OF BEAMS REQUIRED (MIN 4" BEARING EACH END).
 2. SEE PLAN FOR TOP OR BOTTOM OF BEAM INDICATIONS.
 3. BEAMS ARE NOT TO BE DRILLED OR NOTCHED IN ANY WAY WITHOUT WRITTEN APPROVAL FROM THE E.O.R.
 4. ALL LVLS MAY BE SUBSTITUTED WITH POWER BEAM GULIELM FB3000 E=2.1 FV=300 EQUAL TO SIZE OF LVL CALLED OUT ON PLAN.



| SIMPSON - CONNECTOR SCHEDULE | | | | |
|------------------------------|--------------------------|--|---------------------|---------------------|
| MARK | TYPE | CONNECTOR & FASTENERS | SPF | SYP |
| B | FRAME TO FRAME | H2.5A w/ (10) 8d NAILS | 615 | 700 |
| C | FRAME TO FRAME | H10A w/ (18) 10d x 1 1/2" AT 2 PLY TRUSSES | 1015 | 1040 |
| D | FRAME TO FRAME | H10A-2 w/ (18) 10d x 1 1/2" AT 2 PLY TRUSSES | 930 | 1080 |
| E | FRAME TO FRAME | MTS12 w/ (14) 10d x 1 1/2" (AT EXTERIOR LOCATION INCLUDE (3) 12d TOENAILS) | 850 | 990 |
| F | FRAME TO FRAME | HTS20 w/ (16) 10d x 1 1/2" (AT EXTERIOR LOCATION INCLUDE (3) 12d TOENAILS) | 1215 | 1415 |
| G | FRAME TO FRAME | HTS20 w/ (36) 10d x 1 1/2" (AT EXTERIOR LOCATION INCLUDE (6) 12d TOENAILS) | 2430 | 2830 |
| H | FRAME TO MASONRY / FRAME | (2) LGT2 w/ (24) 1/4" x 3" SDS SCREWS & (8) 3/8" x 5" TITEN (2 PLY TRUSSES) OR (28) 16d SINKERS FOR FRAME (EA) | 3500-M 3510-F | 4060-M 4080-F |
| I | FRAME TO MASONRY / FRAME | (2) LGT3 w/ (24) 1/4" x 3" SDS SCREWS & (8) 3/8" x 5" TITEN (2 PLY TRUSSES) OR (52) 16d SINKERS FOR FRAME (EA) | 4730-M 5010-F | 6570-M 6960-F |
| J | BEAM TO BEAM | HU410 OPT HUCA10 w/ (18) 16d & (10) 10d NAILS | G42800 UH1635 | G43250 UH1795 |
| K | BEAM TO MASONRY / FRAME | HU46 OPT HUC46 w/ (6) 10d NAILS & (12) 1/4" x 2 3/4" TITEN TURBO (TO MAS.) OR (12) 16d & (6) 10d (FOR FRAME) | G42165 UH1135 SYP-F | G43000 UH1135 SYP-M |
| L | FRAME TO FRAME | H105 w/ (24) 10d x 1 1/2" NAILS | 785 | 910 |
| M | FRAME TO FRAME | VGT w/ (16) 1/4"x3" SDS WOOD SCREWS & HDU4-SDS2.5 w/ (10) 1/4"x2 1/2" SDS WOOD SCREWS & (1) 5/8" A.T.R. | 3555 | 4940 |
| N | FRAME TO FRAME | (2) HTT5 w/ (52) 16d x 2 1/2" NAILS & (2) 5/8" A.T.R. (SEE NOTE #4) | 8750 | 10180 |

GENERAL CONNECTOR NOTES:
 1. CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALLS / BEAMS w/ (2) 12d TOENAILS.
 2. ALL TRUSS TO TRUSS CONNECTIONS ARE PROVIDED BY TRUSS MANUFACTURER, UNO ON PLAN.
 3. G.C. MAY USE EITHER SIMPSON OR USP CONNECTIONS. SEE FRAMING PLAN FOR CONNECTOR CALL OUT.
 4. FOR SINGLE PLY TRUSSES, SCAB ON FULL HEIGHT SYP #1 2"x4" TO TRUSS VERTICAL WEB w/ (2) ROWS OF 10d NAILS @ 3" O.C. STAGGERED.
 5. MINIMUM A.T.R. EMBEDMENT: 5" EMBEDMENT FOR 1/2" A.T.R. 6" EMBEDMENT FOR 5/8" A.T.R. 8" EMBEDMENT FOR 7/8" A.T.R. IF AT STEP, DEPTHS FROM LOWER SLAB.
 6. MINIMAL CONNECTOR UNO ON FRAMING PLAN

| | |
|---|--|
| (B) MINIMAL CONNECTOR UNO ON FRAMING PLAN | (C) MINIMAL CONNECTOR UNO ON FRAMING PLAN |
| 1. CONNECTION FOR JACK TRUSS TO WOOD WALL OR BEAM | 1. CONNECTION FOR ALL TRUSSES TO INTERIOR/EXTERIOR BEARING WOOD WALLS AND/OR BEAMS |



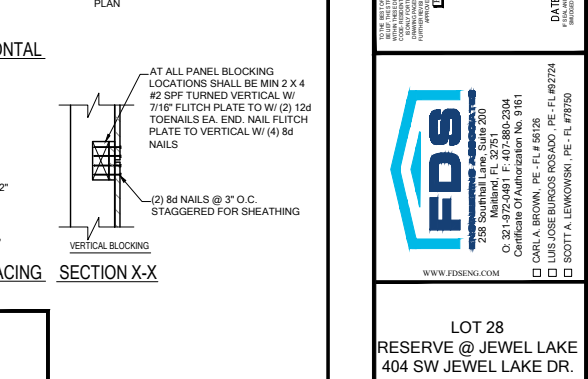
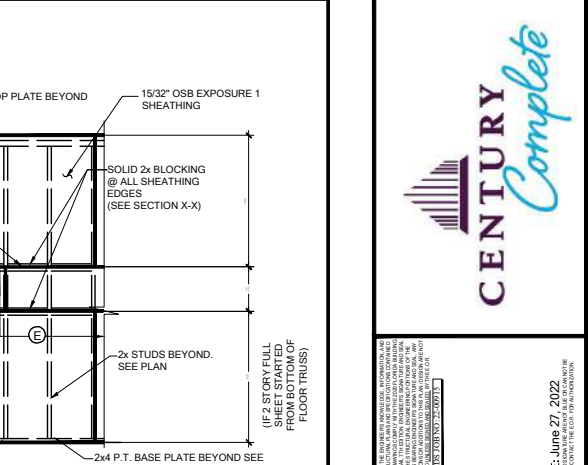
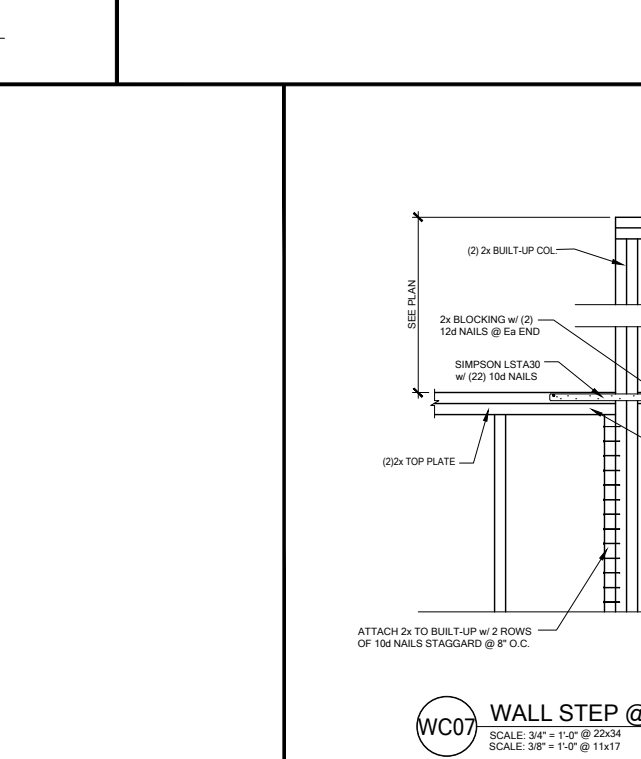
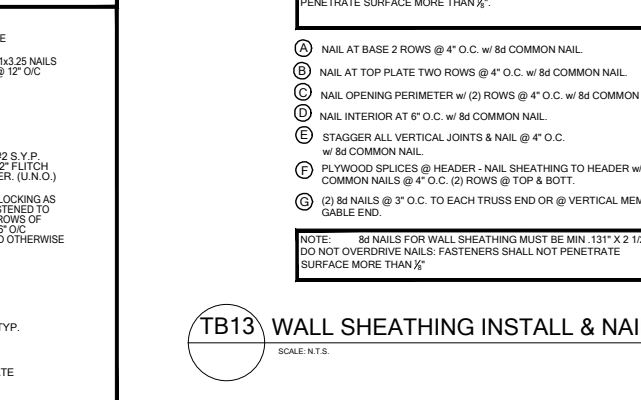
WALL SHEATHING INSTALL & NAILING SCHEDULE
 SCALE: N.T.S.



| MARK | TYPE | CONNECTOR & FASTENERS | SPF | SYP |
|------|--------------------------|--|---------------------|---------------------|
| B | FRAME TO FRAME | H2.5A w/ (10) 8d NAILS | 615 | 700 |
| C | FRAME TO FRAME | H10A w/ (18) 10d x 1 1/2" AT 2 PLY TRUSSES | 1015 | 1040 |
| D | FRAME TO FRAME | H10A-2 w/ (18) 10d x 1 1/2" AT 2 PLY TRUSSES | 930 | 1080 |
| E | FRAME TO FRAME | MTS12 w/ (14) 10d x 1 1/2" (AT EXTERIOR LOCATION INCLUDE (3) 12d TOENAILS) | 850 | 990 |
| F | FRAME TO FRAME | HTS20 w/ (16) 10d x 1 1/2" (AT EXTERIOR LOCATION INCLUDE (3) 12d TOENAILS) | 1215 | 1415 |
| G | FRAME TO FRAME | HTS20 w/ (36) 10d x 1 1/2" (AT EXTERIOR LOCATION INCLUDE (6) 12d TOENAILS) | 2430 | 2830 |
| H | FRAME TO MASONRY / FRAME | (2) LGT2 w/ (24) 1/4" x 3" SDS SCREWS & (8) 3/8" x 5" TITEN (2 PLY TRUSSES) OR (28) 16d SINKERS FOR FRAME (EA) | 3500-M 3510-F | 4060-M 4080-F |
| I | FRAME TO MASONRY / FRAME | (2) LGT3 w/ (24) 1/4" x 3" SDS SCREWS & (8) 3/8" x 5" TITEN (2 PLY TRUSSES) OR (52) 16d SINKERS FOR FRAME (EA) | 4730-M 5010-F | 6570-M 6960-F |
| J | BEAM TO BEAM | HU410 OPT HUCA10 w/ (18) 16d & (10) 10d NAILS | G42800 UH1635 | G43250 UH1795 |
| K | BEAM TO MASONRY / FRAME | HU46 OPT HUC46 w/ (6) 10d NAILS & (12) 1/4" x 2 3/4" TITEN TURBO (TO MAS.) OR (12) 16d & (6) 10d (FOR FRAME) | G42165 UH1135 SYP-F | G43000 UH1135 SYP-M |
| L | FRAME TO FRAME | H105 w/ (24) 10d x 1 1/2" NAILS | 785 | 910 |
| M | FRAME TO FRAME | VGT w/ (16) 1/4"x3" SDS WOOD SCREWS & HDU4-SDS2.5 w/ (10) 1/4"x2 1/2" SDS WOOD SCREWS & (1) 5/8" A.T.R. | 3555 | 4940 |
| N | FRAME TO FRAME | (2) HTT5 w/ (52) 16d x 2 1/2" NAILS & (2) 5/8" A.T.R. (SEE NOTE #4) | 8750 | 10180 |

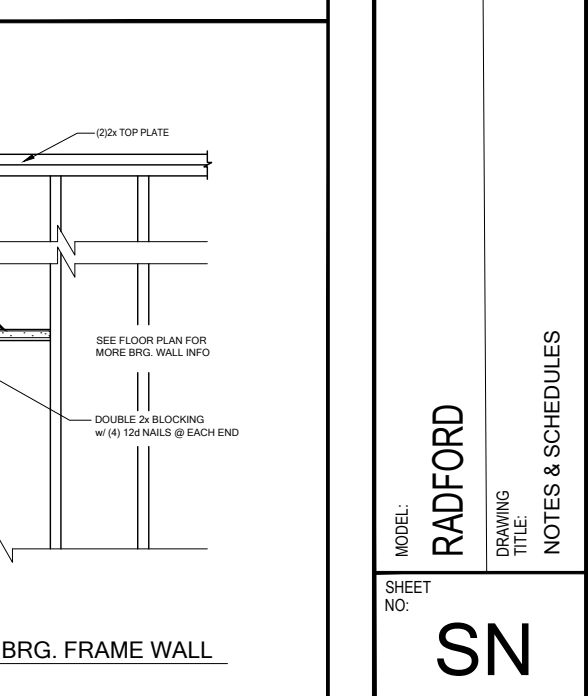
GENERAL CONNECTOR NOTES:
 1. CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALLS / BEAMS w/ (2) 12d TOENAILS.
 2. ALL TRUSS TO TRUSS CONNECTIONS ARE PROVIDED BY TRUSS MANUFACTURER, UNO ON PLAN.
 3. G.C. MAY USE EITHER SIMPSON OR USP CONNECTIONS. SEE FRAMING PLAN FOR CONNECTOR CALL OUT.
 4. FOR SINGLE PLY TRUSSES, SCAB ON FULL HEIGHT SYP #1 2"x4" TO TRUSS VERTICAL WEB w/ (2) ROWS OF 10d NAILS @ 3" O.C. STAGGERED.
 5. MINIMUM A.T.R. EMBEDMENT: 5" EMBEDMENT FOR 1/2" A.T.R. 6" EMBEDMENT FOR 5/8" A.T.R. 8" EMBEDMENT FOR 7/8" A.T.R. IF AT STEP, DEPTHS FROM LOWER SLAB.
 6. MINIMAL CONNECTOR UNO ON FRAMING PLAN

| | |
|---|--|
| (B) MINIMAL CONNECTOR UNO ON FRAMING PLAN | (C) MINIMAL CONNECTOR UNO ON FRAMING PLAN |
| 1. CONNECTION FOR JACK TRUSS TO WOOD WALL OR BEAM | 1. CONNECTION FOR ALL TRUSSES TO INTERIOR/EXTERIOR BEARING WOOD WALLS AND/OR BEAMS |



WALL SHEATHING MAY BE INSTALLED VERTICALLY OR HORIZONTALLY. ATTACH PER NAILING SCHEDULE. PANEL EDGES WILL NEED TO BE ATTACHED TO STUD AND OR BLOCKING AT ALL EDGES. A MINIMUM 1/2" SPACE IS RECOMMENDED BETWEEN PANELS AT EDGES AND END JOINTS TO ALLOW FOR EXPANSION. FASTENERS SHALL NOT PENETRATE SURFACE MORE THAN 1/2".

NOTES:
 8d NAILS FOR WALL SHEATHING MUST BE MIN. 131" X 2 1/2". DO NOT OVERDRIVE NAILS: FASTENERS SHALL NOT PENETRATE SURFACE MORE THAN 1/2".



DATE: June 27, 2022
 REVISED/COMPACT EDITION FOR INFORMATION

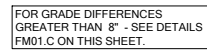
238 S. SHAWANEE AVE. SUITE 200
 MARIETTA, FL 32751
 O 321-972-0481 F 321-972-0481
 CARLA A. BROWN, P.E. - FL # 55126
 SCOTT A. LEWIS, P.E. - FL # 55126

LOT 28
 RESERVE @ JEWEL LAKE
 404 SW JEWEL LAKE DR.
 LAKE CITY, FL 32024

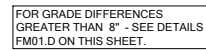
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 RELEASE DATE: 02.22.2021

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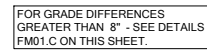
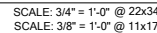
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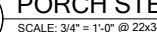
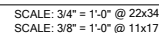
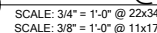
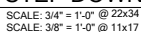
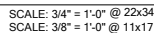
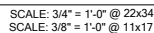
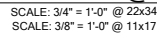
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SCALE: 3/8" = 1'-0" @ 11x17



SCALE: 3/4" = 1'-0" @ 22x34
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SCALE: 3/4" = 1'-0" @ 22x34
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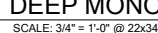
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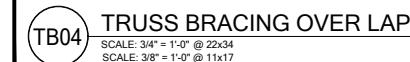
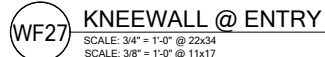
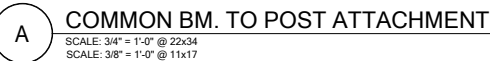
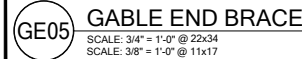
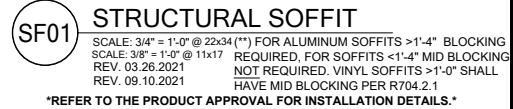
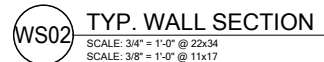
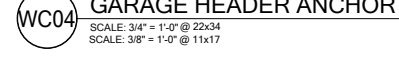
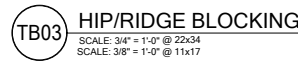
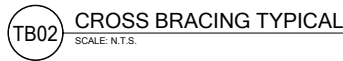
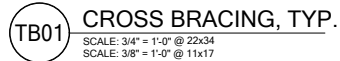


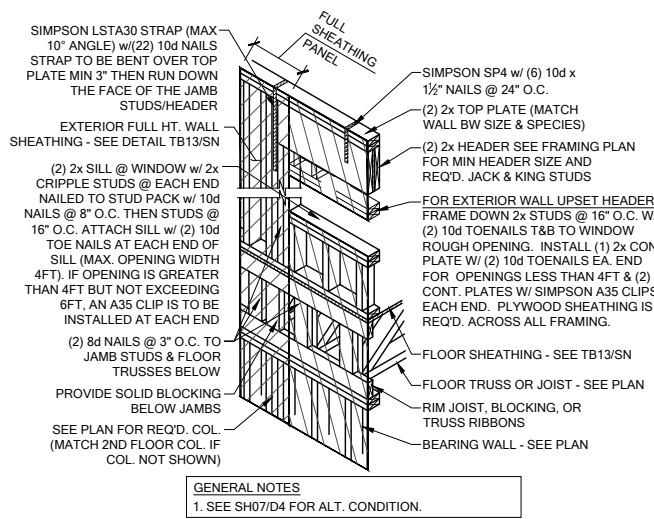
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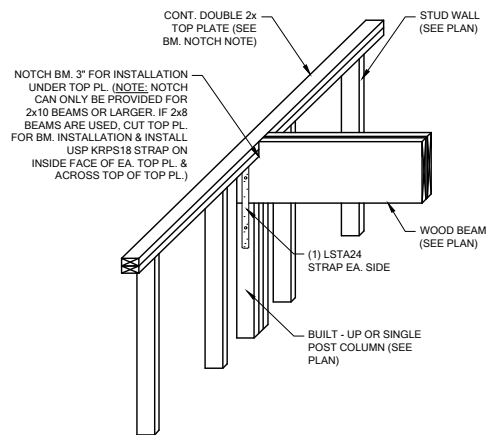
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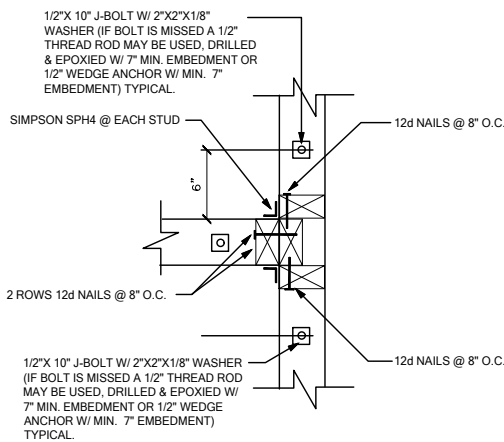




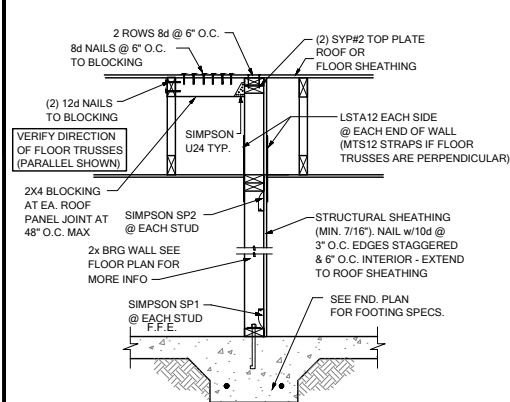
SH00 HEADER CONN. @ 2ND FLOOR (NO BASE STRAP)
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



WF103 TYP. WOOD BEAM TO WOOD WALL CONN.
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

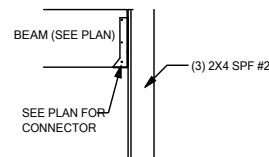


WC03 WALL TO WALL @ END OF SHEAR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

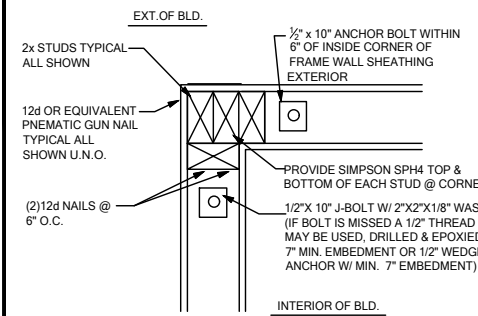


SW04 INTERIOR SHEAR WALL @ TRUSSES
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

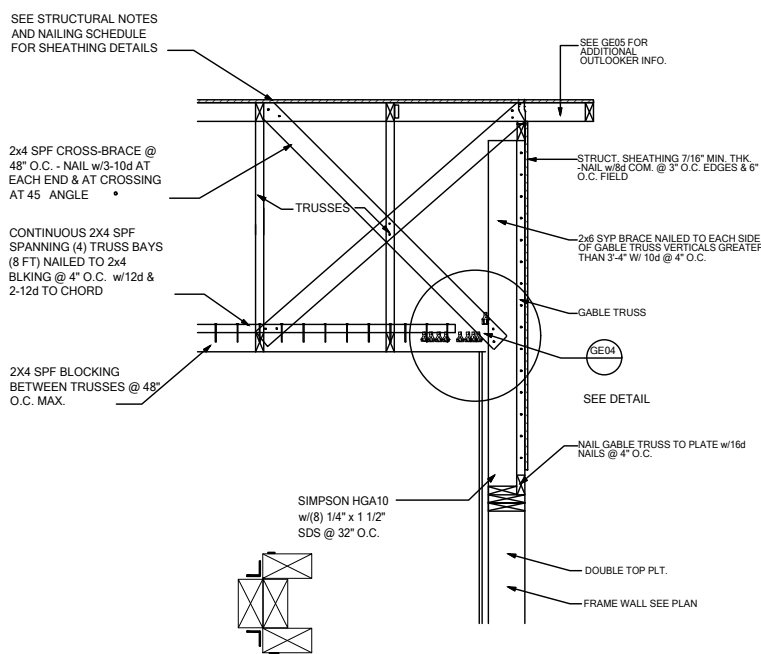
NOTE: @ ALL EXT. CONDITIONS ATTACH 2x STUDS TO TOP PLATE W/ (4) 16d TOENAILS (2) ON EA. SIDE TYP. TOE NAILS MAY BE SUBSTITUTED W/ (1) SIMPSON H2.5A CONNECTOR @ EA. STUD TO TOP PLATE W/ 8d 2 1/2" x 0.131 NAILS



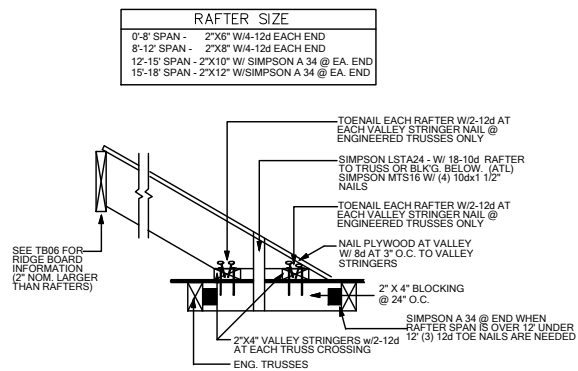
CD25 BEAM TO WALL CONNECTION
SCALE: 3/4" = 1'-0"



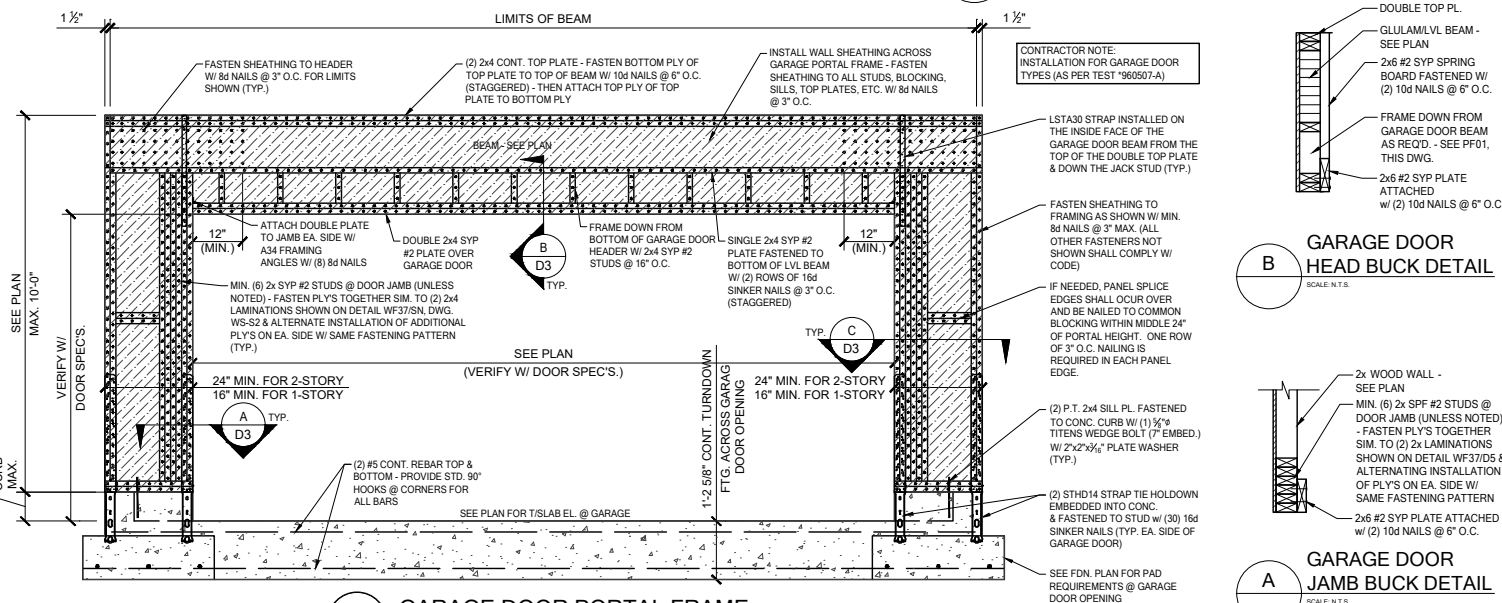
WC06 EXTERIOR FRAME CORNER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



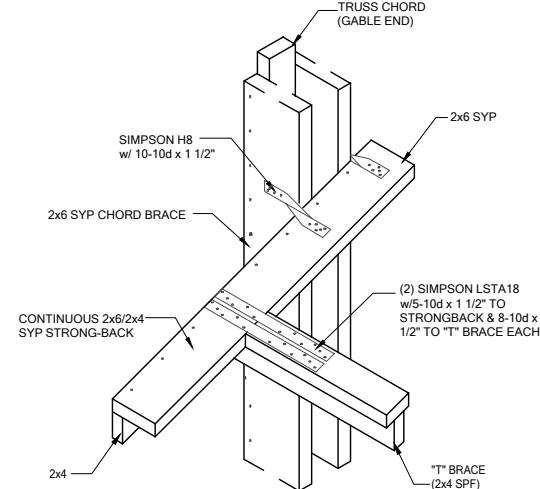
GE03 GABLE END BRACIN w/ VOLUME CEILING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



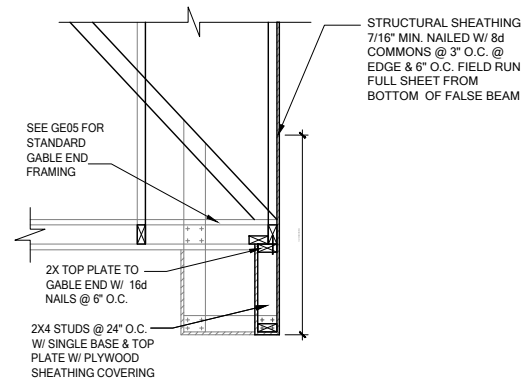
TB17 CONV. FRAMING & VALLEY FRAMING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



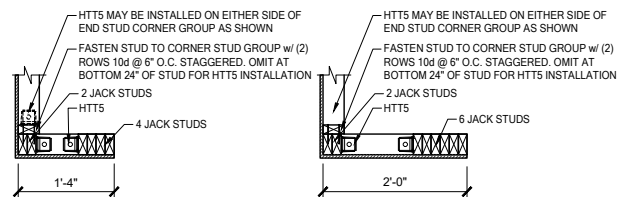
PF01 GARAGE DOOR PORTAL FRAME
SCALE: 3/4" = 1'-0" @ 22x34
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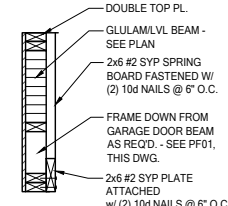
GE04 "T" BRACE CONNECTION @ VOLUME CEILING
SCALE: 3/4" = 1'-0" @ 22x34
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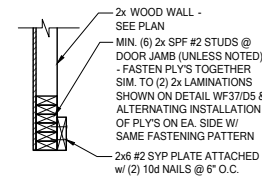
GE15 FALSE BEAM @ GABLE END
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



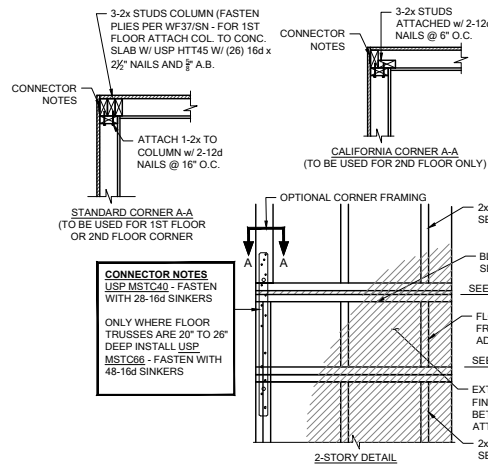
C ALT. PORTAL FRAME BASE ATTACH.
SCALE N.T.S.



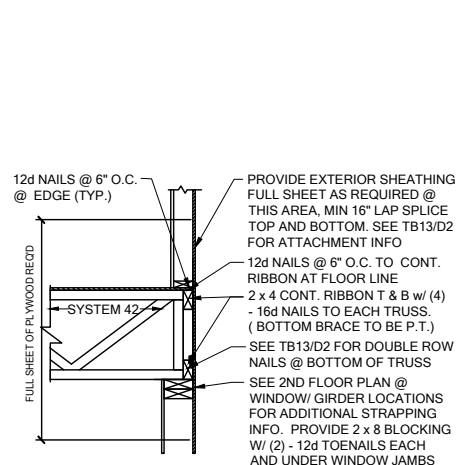
B GARAGE DOOR HEAD BUCK DETAIL
SCALE N.T.S.



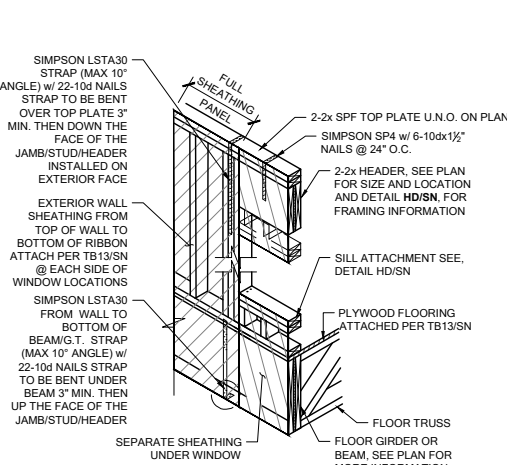
A GARAGE DOOR JAMB BUCK DETAIL
SCALE N.T.S.



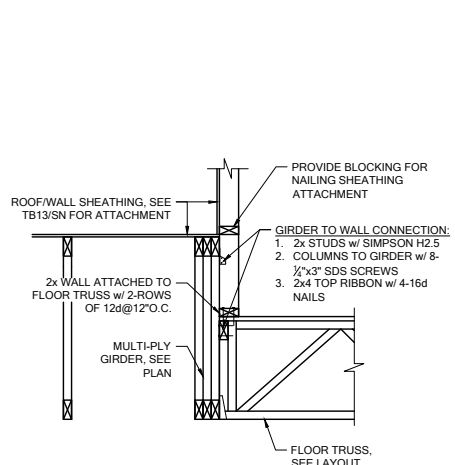
FB06 TYP. CORNER FRAMING
SCALE: 3/4" = 1'-0" @ 22x34
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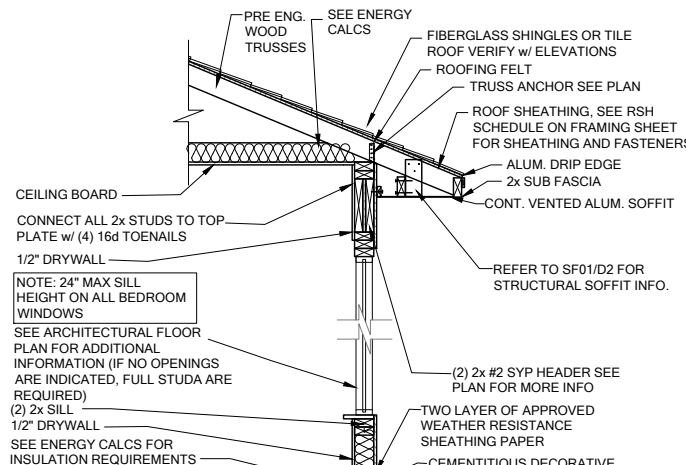
WS06 FLOOR ATTACHMENT
SCALE: 3/4" = 1'-0" @ 22x34
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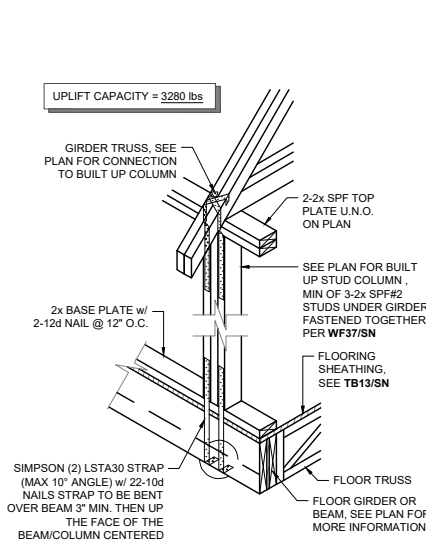
SH05 HEADER CONN. @ BEAM
SCALE: N.T.S.



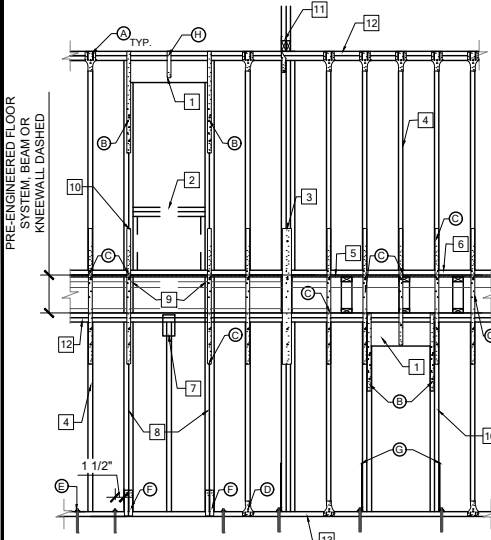
WF100 BRG. WALL OVER FLOOR SYSTEM
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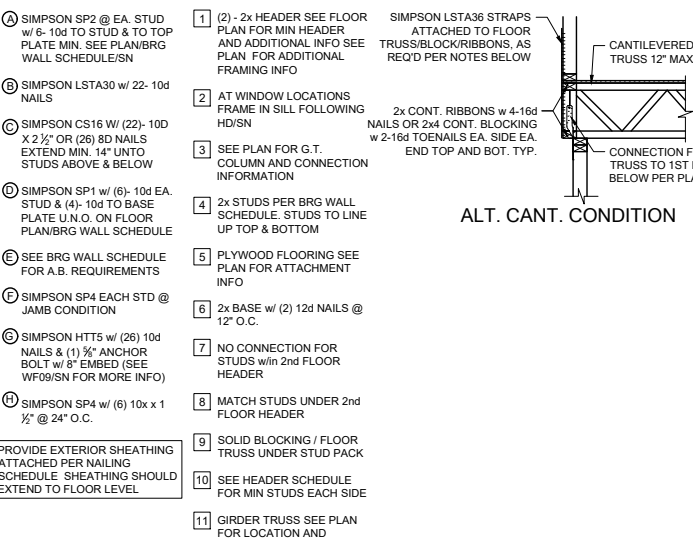
WS04 2 STORY FRAME WALL SECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



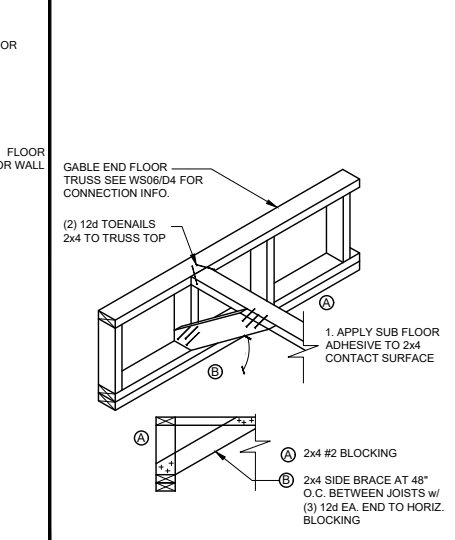
SG01 COLUMN CONN. @ BEAM
SCALE: 3/4" = 1'-0" @ 22x34
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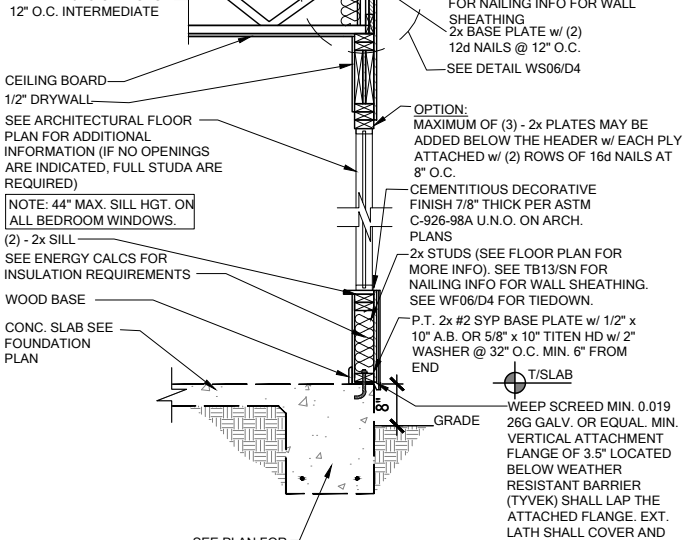
WF06 2-STORY INT. BEAR & EXT. WALL
SCALE: 3/4" = 1'-0" @ 22x34
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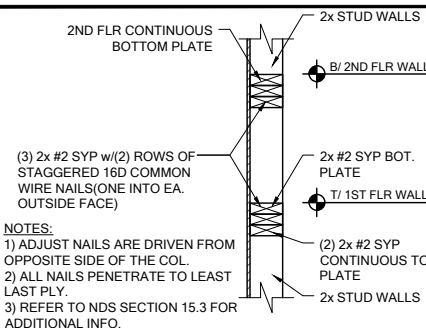
FC03 CANTILEVER FLOOR
SCALE: 3/4" = 1'-0" @ 22x34
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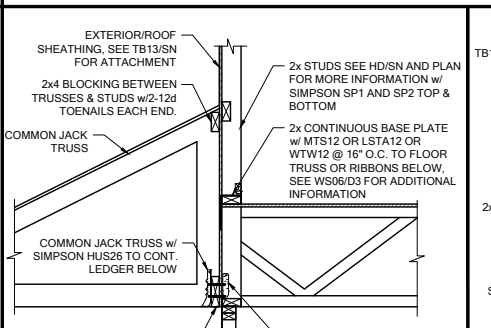
FB12 BLOCKING w/BOTTOM CHORD
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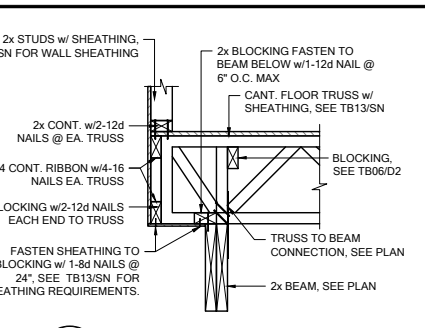
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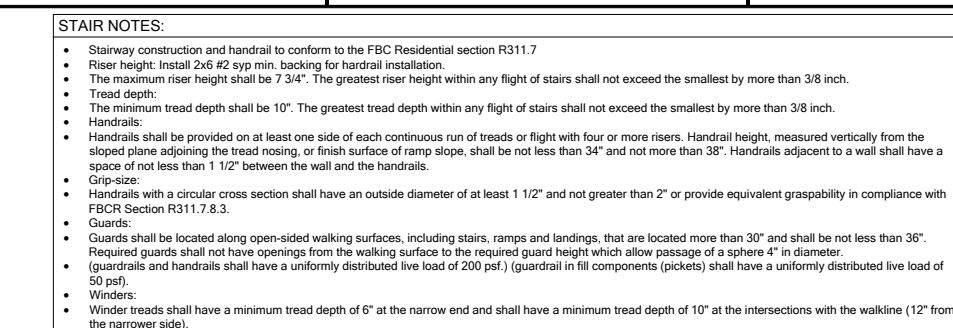
WF03 WALL SPLICE DETAILS
SCALE: 3/4" = 1'-0" @ 22x34
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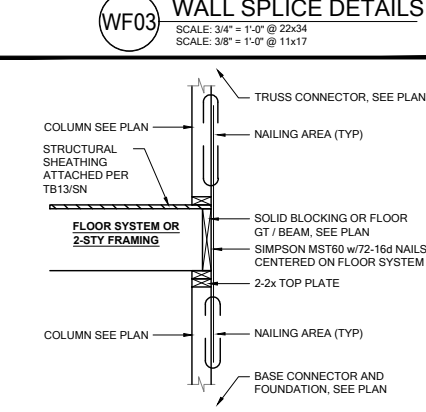
LD07 LEDGER CONNECTION
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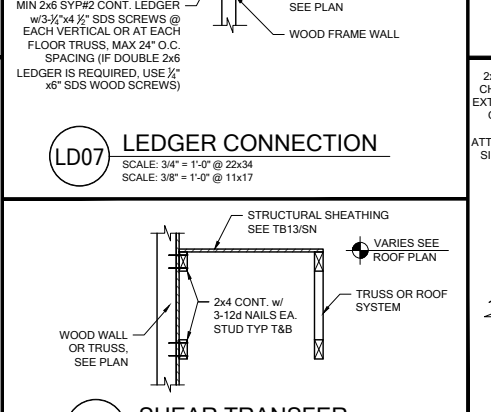
FC03 CANTILEVER FLOOR
SCALE: 3/4" = 1'-0" @ 22x34
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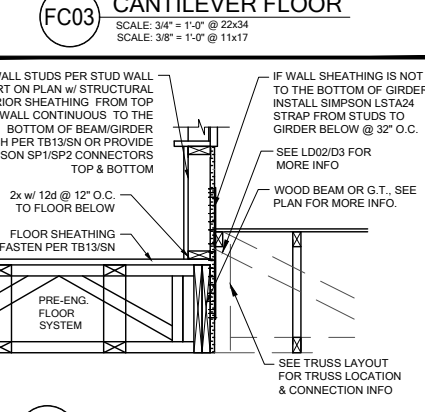
SD02 GENERAL STAIR SECTIONS & PLANS
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



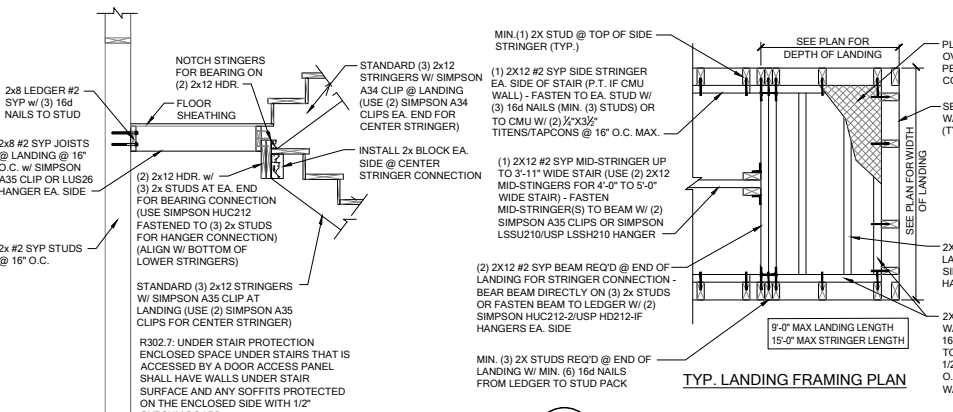
SG07 2-STORY COLUMN @ GIRDER
SCALE: 3/4" = 1'-0" @ 22x34
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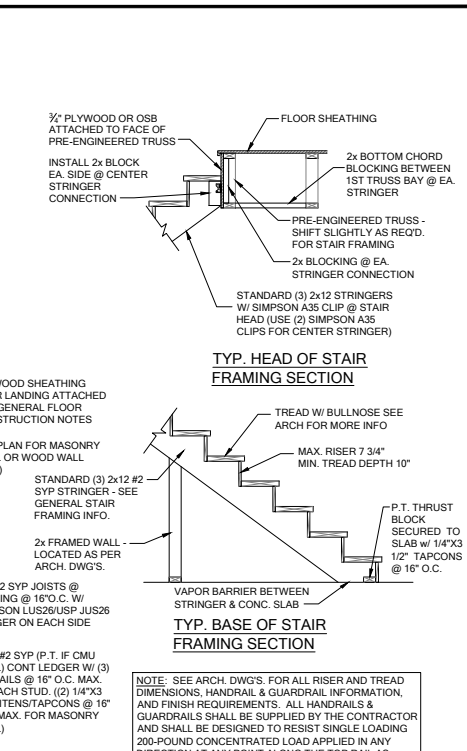
LD02 SHEAR TRANSFER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



WF31 TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



SD02 GENERAL STAIR SECTIONS & PLANS
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



SD02 GENERAL STAIR SECTIONS & PLANS
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

DATE: June 27, 2022
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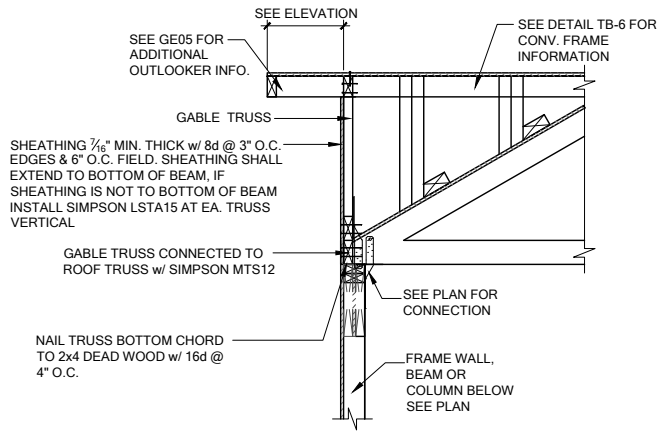
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RELEASE DATE:
02.22.2021

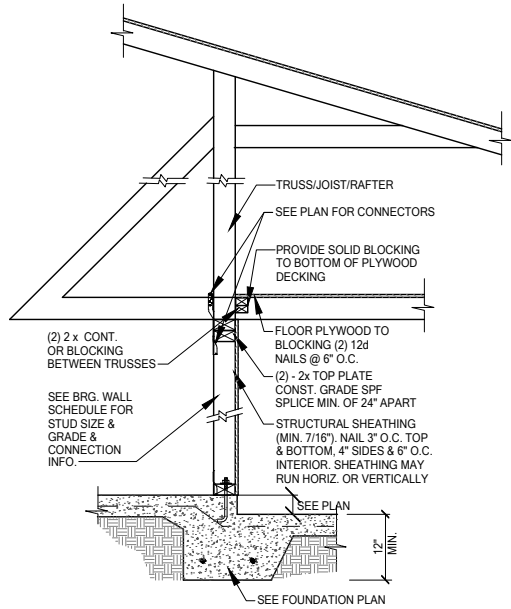
MODEL:
RADFORD

DRAWING TITLE:
FLOOR FRAMING DETAILS

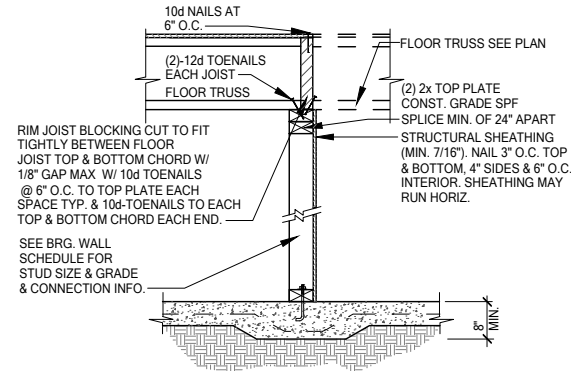
SHEET NO:
D4



GE13A SECTION AT HIP GABLE
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17

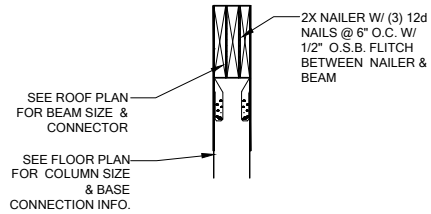


SW01 INTERIOR BEARING STEP-DOWN SHEARWALL w/UPLIFT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

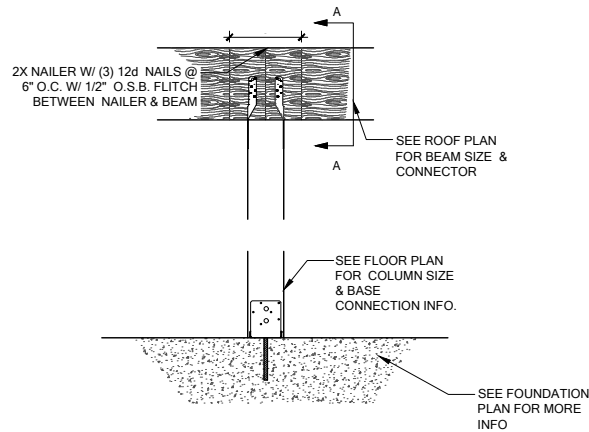


UPLIFT VALUES - (DOUBLE SIDE PLYWOOD DOUBLES VALUE BELOW)
SHEATHING I-SIDE - 860 LBS. PER TRUSS/JOIST/RAFTER

SW02 INTERIOR SHEAR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



SECTION A-A
SCALE: 3/4" = 1'-0"



CD13 COLUMN BM. ATTACHMENT
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17