

Parcel:
06-2S-17-04671-001 (23847)

04669-010

Owner & Property Info

Result: 2 of 2

Owner **LIZZA JONATHAN**
GRAHAM DEBORAH
2996 PERCY RD
JACKSONVILLE, FL 32218

Sheryl Northway
Deed Attached

Site

Description* ALL THAT PORTION OF NE1/4 OF NE1/4 LYING S OF THE S MAINT R/W LINE OF NW CRIPPLE CREEK ST. WD 1343-2367, WD 1471-826,

Area 4.48 AC

S/T/R 06-2S-17

Use Code** TIMBERLAND 70-79 (5600)

Tax District 3

Prepared by and return to:
Caroline R. Nichols
Landmark Title, FL
7220 Financial Way
Jacksonville, FL 32256

Inst: 202212016665 Date: 08/24/2022 Time: 3:27PM
Page 1 of 3 B: 1474 P: 214, James M Swisher Jr, Clerk of Court
Columbia, County, By: BR
Deputy Clerk Doc Stamp-Deed: 0.70

*Note: This Deed prepared without benefit of a title search, title insurance, or attorney's opinion of title. No warranty or representation, express or implied, is given as to the marketability or condition of the title to the property, the quality of lands included therein, the location of the boundaries, or the existence of liens, encumbrances or unpaid taxes.

Note to Clerk: Pursuant to Rule 12B-4.014(2)(B), F.A.C., this Deed requires only minimum tax.

QUIT-CLAIM DEED

THIS QUIT CLAIM DEED is made this 24 day of August, 2022 between Deborah Graham, whose address is 2996 Percy Road, Jacksonville, FL 32218, Grantor, and Sherilyn Jackson Northway, whose address is 2997 Percy Road, Jacksonville, FL 32218, Grantee.

(Whenever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees.)

WITNESSETH, that said Grantor, in consideration of grantor's love and affection, does hereby remise, release, and quitclaim to the said Grantee, Grantee's heirs and assigns forever, the right, title, interest, claim and demand which grantor has in and to the following described land, situate, lying and being in Columbia County, Florida to wit:

See Exhibit "A"

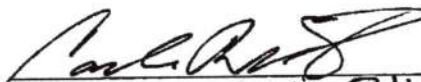
Parcel ID: _____

Subject to taxes for the year 2022 and subsequent years; covenants, conditions, restrictions, easements, reservations, and limitations of record, if any. Said property is not the constitutional homestead of the Grantor and no members of the Grantor's household reside thereon.

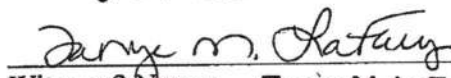
TO HAVE AND TO HOLD the same, together with all rights and appurtenances to the same belonging, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said Grantor, either in law or equity, to the only proper use, benefit and behoof of the said Grantee forever.

IN WITNESS WHEREFORE, the said party of the first part have hereunto set their hand and seal the day and year first above written.

Witnessed in the presence of:


Witness 1 Name: Caroline R Nichols
Date: 8-24-22


Deborah Graham


Witness 2 Name: Tanya M. LaFary
Date: 8-24-22

**STATE OF FLORIDA
COUNTY OF CLAY**

I HEREBY CERTIFY THAT BEFORE ME personally appeared by means of physical presence Deborah Graham who (check one) ☐ is personally known to me or ☒ has produced a valid driver's license as identification, and who did take an oath and who executed the foregoing deed of conveyance, and acknowledged before me that he/she executed the same for the purposes therein expressed.

WITNESS my hand and official seal in the county and state last aforesaid this 24 day of August, 2022.


Notary Public

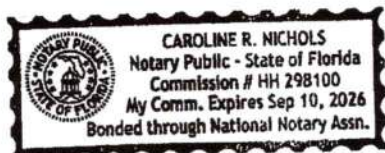


EXHIBIT "A"

TRACT "A1"

A PART OF LANDS FORMERLY DESCRIBED IN OFFICIAL RECORDS BOOK 1338, PAGES 2572-2573, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PART OF THE NORTHWEST 1/4 OF SECTION 5, AND A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 2 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.

COMMENCE AT THE NORTHWEST CORNER OF SECTION 5, ALSO BEING THE NORTHEAST CORNER OF SAID SECTION 6, AND RUN THENCE S. 00°19'29" E., ALONG THE WEST LINE OF SECTION 5, TO THE SOUTH MAINTAINED RIGHT OF WAY LINE OF NW CRIPPLE CREEK STREET A DISTANCE OF 587.37 FEET, TO THE POINT OF BEGINNING; THENCE N. 37°07'32" E., ALONG SAID SOUTH MAINTAINED RIGHT OF WAY LINE, A DISTANCE OF 282.66 FEET; THENCE N. 47°48'16" E., ALONG SAID SOUTH MAINTAINED RIGHT OF WAY LINE, A DISTANCE OF 24.33 FEET; THENCE S. 00°19'29" E., A DISTANCE OF 1431.48, TO THE NORTHERLY MAINTAINED RIGHT OF WAY OF NW COWCATCHER ROAD; THENCE N. 78°05'45" W., ALONG SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 270.95 FEET, TO THE WEST LINE OF SAID SECTION 5; THENCE N. 00°19'29" W., ALONG SAID WEST LINE OF SECTION 5, A DISTANCE OF 413.96 FEET TO THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 6; THENCE S. 88°23'46" W., ALONG SAID SOUTH LINE, A DISTANCE OF 516.39 FEET TO THE SOUTH MAINTAINED RIGHT OF WAY LINE OF NW CRIPPLE CREEK STREET; THENCE N. 34°21'08" E., ALONG SAID SOUTH MAINTAINED RIGHT OF WAY LINE, A DISTANCE OF 352.24 FEET; THENCE N. 32°55'00" E., ALONG SAID SOUTH MAINTAINED RIGHT OF WAY LINE, A DISTANCE OF 374.30 FEET; THENCE N. 37°07'32" E., ALONG SAID SOUTH MAINTAINED RIGHT OF WAY LINE, A DISTANCE OF 182.22 FEET TO THE POINT OF BEGINNING. CONTAINING 10.06 ACRES MORE OR LESS

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____ CONTRACTOR _____ PHONE _____

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name <u>Whittington Electric</u> License #: <u>EC13002957</u>	Signature <u>[Signature]</u> Phone #: <u>386-684-4601</u>
	Qualifier Form Attached <input type="checkbox"/>	
MECHANICAL/ A/C _____	Print Name <u>Stephan Mollman</u> License #: <u>CAC1819696</u>	Signature <u>[Signature]</u> Phone #: <u>352-339-4640</u>
	Qualifier Form Attached <input type="checkbox"/>	

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Mobile Home Permit Worksheet

Application Number: _____

Date: _____

Installer: Dale Houston License # 141133271

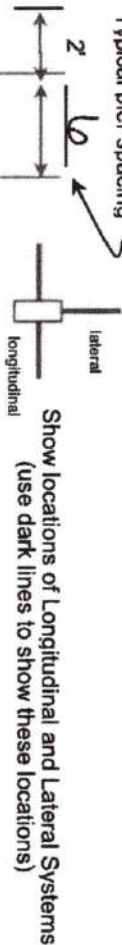
Address of home being installed: 780 NW Campbell Creek St Lake City, FL 32055

Manufacturer: Deerly Length x width: 32 x 68

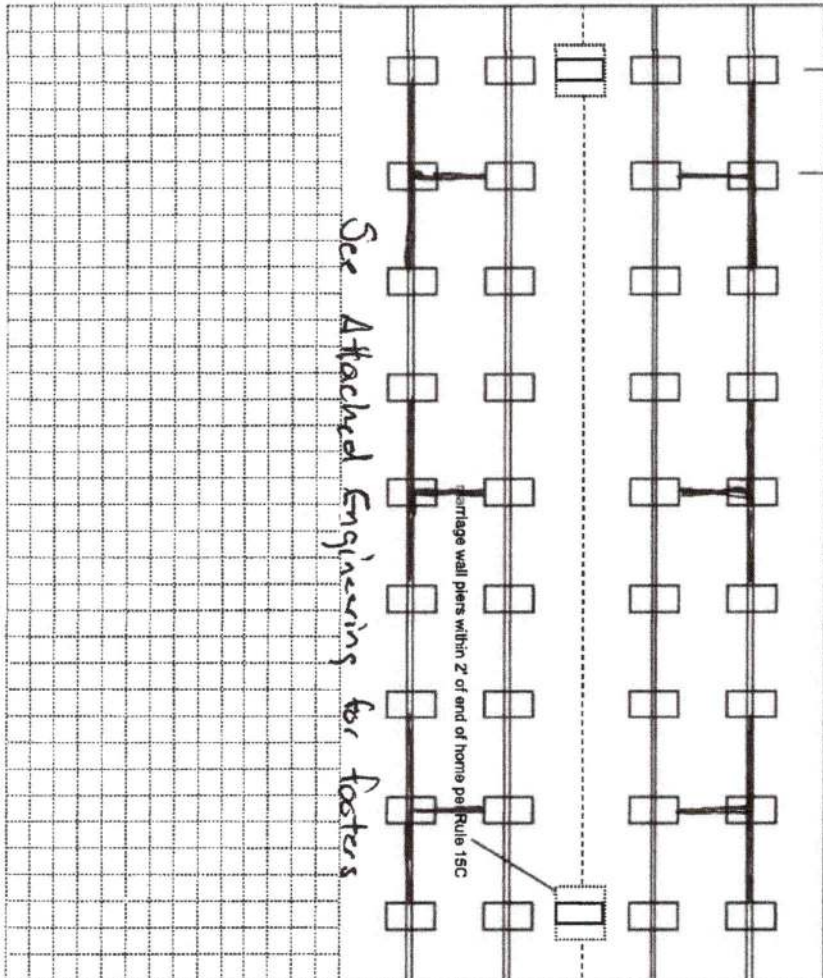
NOTE: If home is a single wide fill out one half of the blocking plan. If home is a triple or quad wide sketch in remainder of home. I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's Initials: DH

Typical pier spacing



See Attached Engineering for factors



New Home ☒ Used Home ☐
Home installed to the Manufacturer's Installation Manual Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐
Double wide ☒ Installation Decal # 90868
Triple/Quad ☐ Serial # DISH 12135 6AAB

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	16" x 16" (256)	18 1/2" x 18 (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4'6"	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'
2500 psf	7'6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size: Buried factors
Perimeter pier pad size: 16 x 16
Other pier pad sizes (required by the mfg.): _____

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening: _____ Pier pad size: _____

See attached Diagram

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Longitudinal Stabilizing Device (LSD)
Manufacturer: _____
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer: _____

Sidewall Longitudinal Marriage wall Shearwall
Number: 514
514

Mobile Home Permit Worksheet

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil without testing.

X _____ X _____ X _____

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X _____ X _____ X _____

TORQUE PROBE TEST

The results of the torque probe test is _____ inch pounds or check here if you are declaring 5' anchors without testing _____. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

DA Installer's Initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Dave Houston

Date Tested

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 7, 8

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 7, 1

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 7, 1

Application Number: _____

Date: _____

Site Preparation

Debris and organic material removed _____
Water drainage: Natural _____ Swale _____ Pad ☒ Other _____

Fastening multi wide units

Floor: Type Fastener: lag Length: 6" Spacing: 24"
Walls: Type Fastener: Screw Length: 4.5" Spacing: 24"
Roof: Type Fastener: Screw Length: 4.5" Spacing: 24"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's Initials DA

Type gasket: Cam Pad Pg. 4, 28

Installed:
Between Floors Yes ☒
Between Walls Yes ☒
Bottom of ridgebeam Yes ☒

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg. 4, 9
Siding on units is installed to manufacturer's specifications. Yes ☒
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

Miscellaneous

Skirting to be installed. Yes ☒ No ☒
Dryer vent installed outside of skirting. Yes ☒ N/A ☒
Range downflow vent installed outside of skirting. Yes ☒ N/A ☒
Drain lines supported at 4 foot intervals. Yes ☒
Electrical crossovers protected. Yes ☒
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Dave Houston

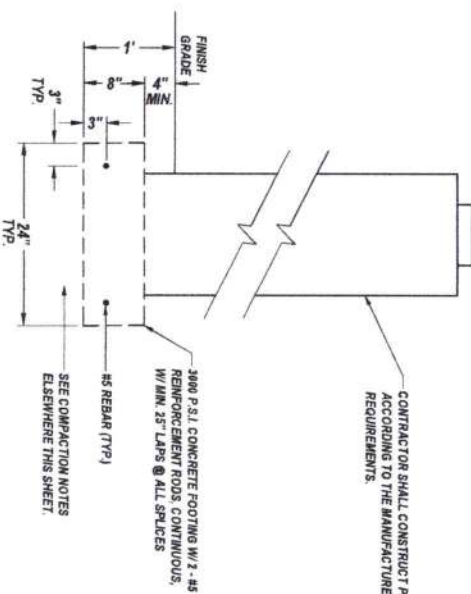
Date 8/17/2022

128/06	IBERLINE	NOV. NO.	DIS10249
C17		SIG. FT.	E724-430-96
		REVISED	2040
			-

CONCRETE & RELATED REQUIREMENTS

1. CONCRETE CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318" AND "MANUAL OF CONCRETE PRACTICE PART 1 ACI 305 & ACI 308" & "MANUAL OF CONCRETE PRACTICE PART 1 ACI 305 & ACI 308" LATEST EDITION
 2. CEMENT FOR CONCRETE SHALL MEET THE REQUIREMENTS OF ASTM C 150
 3. AGGREGATES FOR CONCRETE SHALL MEET THE REQUIREMENTS OF ASTM C 33
 4. WATER FOR CONCRETE SHALL BE POTABLE WATER
 5. OPTIONAL TEST CONCRETE FOR COMPRESSION WITH 1 SET OF 3 CYLINDERS FOR EACH 50 CUBIC YARDS OF CONCRETE PLACED ON A GIVEN DAY. BREAK 1 CYLINDER @ 7 DAYS AND THE OTHERS @ 28 DAYS. TESTING WILL BE PAID FOR BY OWNER
 6. CONCRETE SHALL HAVE STRENGTHS AND CHARACTERISTICS AS INDICATED ELSEWHERE THESE PLANS
 7. SAWED JOINTS MUST BE SAWED WITHIN 24 HOURS OF PLACEMENT OF CONCRETE
 8. REINFORCING STEEL SHALL MEET THE REQUIREMENTS OF ASTM A615 GR 60 UNLESS OTHERWISE NOTED
 9. SLAB REINFORCING SHALL BE IN TOP 1% OF SLAB OR AS ILLUSTRATED
 10. VIBRATE OR SCREEN ALL CONCRETE THOROUGHLY INTO PLACE
 11. MINIMUM COVER OF REINFORCEMENT SHALL BE AS REQUIRED BY CODE
 12. MOST CURE CONCRETE FOR 7 DAYS AFTER PLACING
 13. PROVIDE VAPOR BARRIER OF POLYETHYLENE ON BOTTOM OF SLAB(S)
 14. PLACE CONTROL JOINTS IN SLAB TO PROVIDE MAXIMUM SLAB SIZE OF 360 SQUARE FEET
 15. CONCRETE TEMPERATURE SHALL NOT EXCEED 90 DEGREES F DURING PLACEMENT
 16. CONCRETE SHALL BE PLACED IN A MANNER TO PREVENT SEGREGATION
 17. CONCRETE SHALL NOT BE ALLOWED TO FREE FALL MORE THAN 60 INCHES
 18. AREAS TO RECEIVE CONCRETE SHALL BE CLEAR OF ANY DEBRIS AND SHALL HAVE REINFORCING STEEL PROPERLY POSITIONED PRIOR TO CONCRETE PLACEMENT
 19. FOR LOCATION OF CONTROL OR CONSTRUCTION JOINTS OTHER THAN THOSE ILLUSTRATED VERIFY W/ ENGINEER
 20. ANCHOR BOLT SHALL MEET THE REQUIREMENTS OF ASTM A 307
 21. ANCHOR BOLTS AND DOWELS SHALL BE SET IN SUCH A MANNER THAT THEIR FULL EMBEDDED LENGTH SHALL BE COVERED WITH CONCRETE
 22. LAP SPICES SHALL BE 40 BAR DIAMETERS OR AS SHOWN OR NOTED ELSEWHERE THESE PLANS
 23. DETAILING FABRICATION AND PLACEMENT OF REINFORCEMENT STEEL SHALL CONFORM TO CURRENT CRSI AND ACI SPECIFICATIONS
 24. REINFORCING STEEL SHALL BE FREE OF LOOSE RUST, MIL SCALE AND COATING THAT WOULD REDUCE OR DESTROY BOND
 25. REINFORCING BARS SHALL NOT BE REDUCED IN SECTION, KINKED OR BENT OTHER THAN INDICATED
 26. SUPPORT REINFORCING STEEL IN CHAIRS
 27. KEEP ONE SET OF CONCRETE CYLINDERS ON SITE AT ALL TIMES TO MAKE SAMPLES IN CASE CONCRETE CHARACTER CHANGES
- REINFORCING STEEL**
1. REINFORCING STEEL SHALL BE #5 UNLESS OTHERWISE NOTED
 2. ALL REINFORCING STEEL SHALL BE A MINIMUM OF GRADE 60 AND IDENTIFIED IN ACCORDANCE W/ ASTM A615, A616, A617 OR A 706
 3. SPICES SHALL BE LAP SPICES W/ A MINIMUM OF 35" FOR #5 BARS

4. FOR MINIMUM COVER OVER REINFORCEMENT - SEE DETAILS & SECTIONS ELSEWHERE THESE PLANS
 5. ALL REINFORCEMENT IN CHAIRS SHALL EXTEND A MINIMUM 6" INTO ALL FOOTINGS W/ A 6" STANDARD BEND
- METAL ACCESSORIES**
1. ALL JOINT REINFORCEMENT & ANCHOR TIES SHALL CONFORM TO ASTM A36 & A36 AS REQUIRED
 2. LONGITUDINAL WIRES OF JOINT REINFORCEMENT SHALL BE FULLY EMBEDDED IN MORTAR OR GROUT W/ A MINIMUM COVER OF 5/8" WHEN EXPOSED TO EARTH OR WEATHER AND A MINIMUM OF 1/2" WHEN NOT EXPOSED TO EARTH OR WEATHER
 3. METAL ACCESSORIES USED IN EXTERIOR WALL CONSTRUCTION SHALL BE GALVANIZED IN ACCORDANCE W/ ASTM A153 CLASS B2
 4. METAL ACCESSORIES USED IN INTERIOR WALL CONSTRUCTION SHALL BE MILD GALVANIZED IN ACCORDANCE W/ ASTM A414, CLASS 1
- FILL COMPACTION**
1. PRIOR TO GRADING OPERATIONS ALL SOIL, ORGANIC LITTER AND FILL SHALL BE STRIPPED FROM BUILDING AREA
 2. COMPACTION SHALL NOT BE LESS THAN 85% OF THE STANDARD PROCTOR DENSITY
 3. ALL FILL MATERIAL SHALL BE NON-ORGANIC W/ NOT MORE THAN 30% BY WEIGHT FINER THAN 200 U.S. STANDARD SIEVE CONFORMING TO
 - a. LIQUID LIMIT, LW 30, MAXIMUM
 - b. ELASTICITY, LV 15, MAXIMUM
 - c. DRY UNIT WEIGHT 100 LBS PER CU FT.
 4. ALL FILL MATERIAL SHALL BE UNIFORMLY PLACED @ OPTIMUM MOISTURE CONTENT IN 6" UNIFORM LAYERS AND COMPACTED TO A DENSITY OF 85% OF THE STANDARD PROCTOR IN ACCORDANCE W/ ASTM D1557



1 SECTION THROUGH CONCRETE FOOTER
5/10' NOT TO SCALE

5. FOOTINGS EXCAVATIONS SHALL BE INSPECTED PRIOR TO PLACING ANY CONCRETE TO ENSURE THAT FOOTINGS REST UPON SOUND EARTH
 6. ALL SUBGRADES MUST BE LEVEL, SMOOTH AND UNIFORMLY COMPACTED
 7. SUBGRADE MUST BE ACCURATE WITHIN 1/4" OF THE DESIGNATED LEVEL
 8. ANY WALL WHICH IS TO RECEIVE BACK FILL ON BOTH SIDES SHALL HAVE THE BACK FILL PLACED SUBSEQUENTLY ON BOTH SIDES IN EVEN LAYERS AS PREVIOUSLY DESCRIBED SO AS NOT TO APPLY UNEVEN LOADS
- GENERAL**
1. FOOTINGS SHALL BE LEVEL OR STEPPED AS INDICATED ON PLAN VIEWS & DETAILS OR SECTIONS
 2. SOIL, WASTE PILES OR BUILDING DRAINS PASSING UNDER A FOOTING OR THROUGH A FOUNDATION SHALL BE PROVIDED W/ A RELEVING ARCH OR AN IRON PIPE SLEEVE A MINIMUM OF 2" PIPE SIZES GREATER THAN THE PIPE PASSING THROUGH
 3. STEM WALLS SHALL EXTEND NO GREATER THAN 3 FEET ABOVE THE FINISH GRADE AND CONSTRUCTED W/ THE PREVIOUSLY DESCRIBED MASONRY UNITS
 4. ALL STATE AND LOCAL CODES SHALL BE COMPLIED WITH BY THE CONTRACTOR
 5. 1000 P.S.F. SOIL BEARING PRESSURE MAY BE ASSUMED WITHOUT TESTING PER U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT (HUD), VISUAL INSPECTION OF SOIL MUST CONTRADICT APPLICABILITY OF 1000 P.S.F. SOIL BEARING PRESSURE ASSUMPTION ACCORDING TO THE PARAMETERS SET FORTH IN THE CODE OF FEDERAL REGULATIONS (CFR 248.202).

SITE NOTES:

1. ALL DRAWINGS AND NOTES CONTAINED ON THESE PLANS SHALL BE USED EXCLUSIVELY FOR THE PROPERTY LOCATED AT ADDRESS 408 WEST HWY 90 WITH PARCEL I.D. 05-25-17-04461402 USE OF THESE PLANS FOR ANY OTHER PURPOSE AND AT ANY OTHER PROPERTY IS STRICTLY PROHIBITED.
2. ANY DETAILS NOT SHOWN ON THIS SHEET AND ARE DEEMED NECESSARY FOR THE CONSTRUCTION OF THE FOUNDATION SYSTEM PER MANUFACTURER'S REQUIREMENTS SHALL NOT BE THE RESPONSIBILITY OF THE ENGINEER OF RECORD SIGNING AND SEALING THESE PLANS. THE SCORE OF DESIGN THE ENGINEER OF RECORD IS RESPONSIBLE FOR ON THESE PLANS IS LIMITED TO THE CONCRETE FOOTER EXCLUSIVELY. ALL OTHER DESIGN SPECIFICATIONS AND REQUIREMENTS FOR CONSTRUCTION OF THE STRUCTURE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE FOOTER DESIGN SHOWN HEREIN SHALL BE USED BENEATH ALL BEAMS OF THE PROPOSED STRUCTURE. MARRIAGE LINE AND SIDEWALL BLOCKING SHALL FOLLOW THE REQUIREMENTS OF THE MANUFACTURER'S INSTALLATION MANUAL.
4. EXCEPT FOR THE CONCRETE FOOTERS SHOWN IN THESE PLANS, THE PROPOSED RESIDENCE CAN BE SET UP PER THE MANUFACTURER'S REQUIREMENTS AS OUTLINED IN THEIR INSTALLATION MANUAL.
5. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE 2010 FLORIDA BUILDING CODE, THE MANUFACTURER'S INSTALLATION MANUAL, AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.

NO.	REVISIONS	DATE	DATE	SUBMITTALS	DATE
		2022.12.22	2022.12.22	CONSTRUCTION DOCUMENTS	2022.12.22
		2022.12.22	2022.12.22	DESIGNED A/C	2022.12.22
		2022.12.22	2022.12.22	CHECKED A/C	2022.12.22
		2022.12.22	2022.12.22	2022.12.22	2022.12.22

PREPARED BY
ADAM COLLINS
ENGINEER
2022.12.22 - 2022.12.22 - WWW.COLLINSINC.COM

CUSTOMER
ROYAL MOBILE HOMES
408 WEST HWY 90
LAKE CITY, FL 32055

SHEET TITLE
FOUNDATION NOTES
AND DETAILS

PROJECT
CLINTON NORTHWAY
FOUNDATION

SECTION
NUMBER
S-100

SHEET NO.
S-100

STATE OF
FLORIDA
PROFESSIONAL ENGINEER
ADAM T. COLLINS
No. 75584

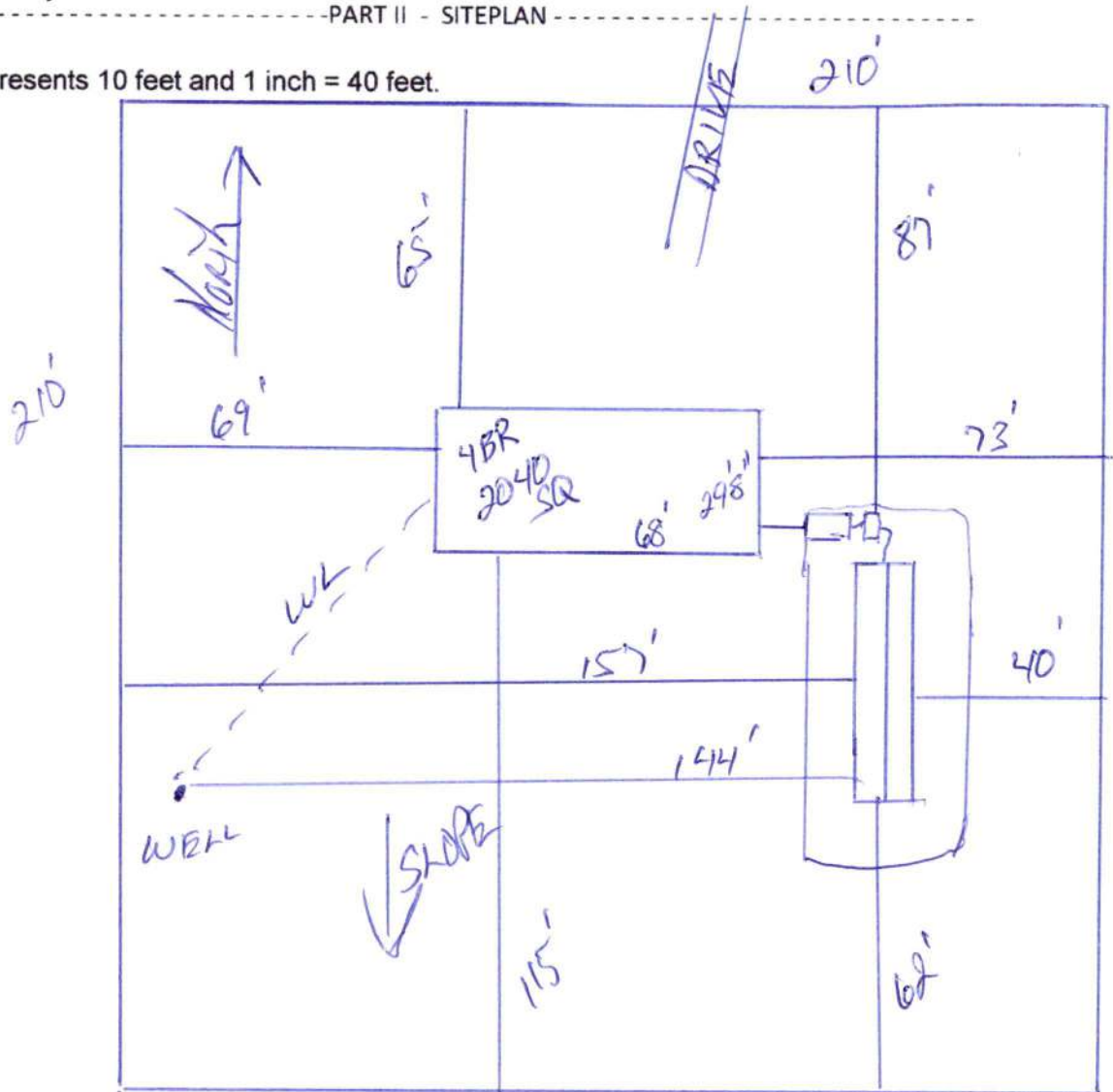
STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number _____

Northway

-----PART II - SITEPLAN-----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes: _____

LOS 10.06 ACRES
SER ATTACHED

Site Plan submitted by: _____

Contractor _____

Plan Approved _____

Not Approved _____

Date _____

By _____ County Health Department

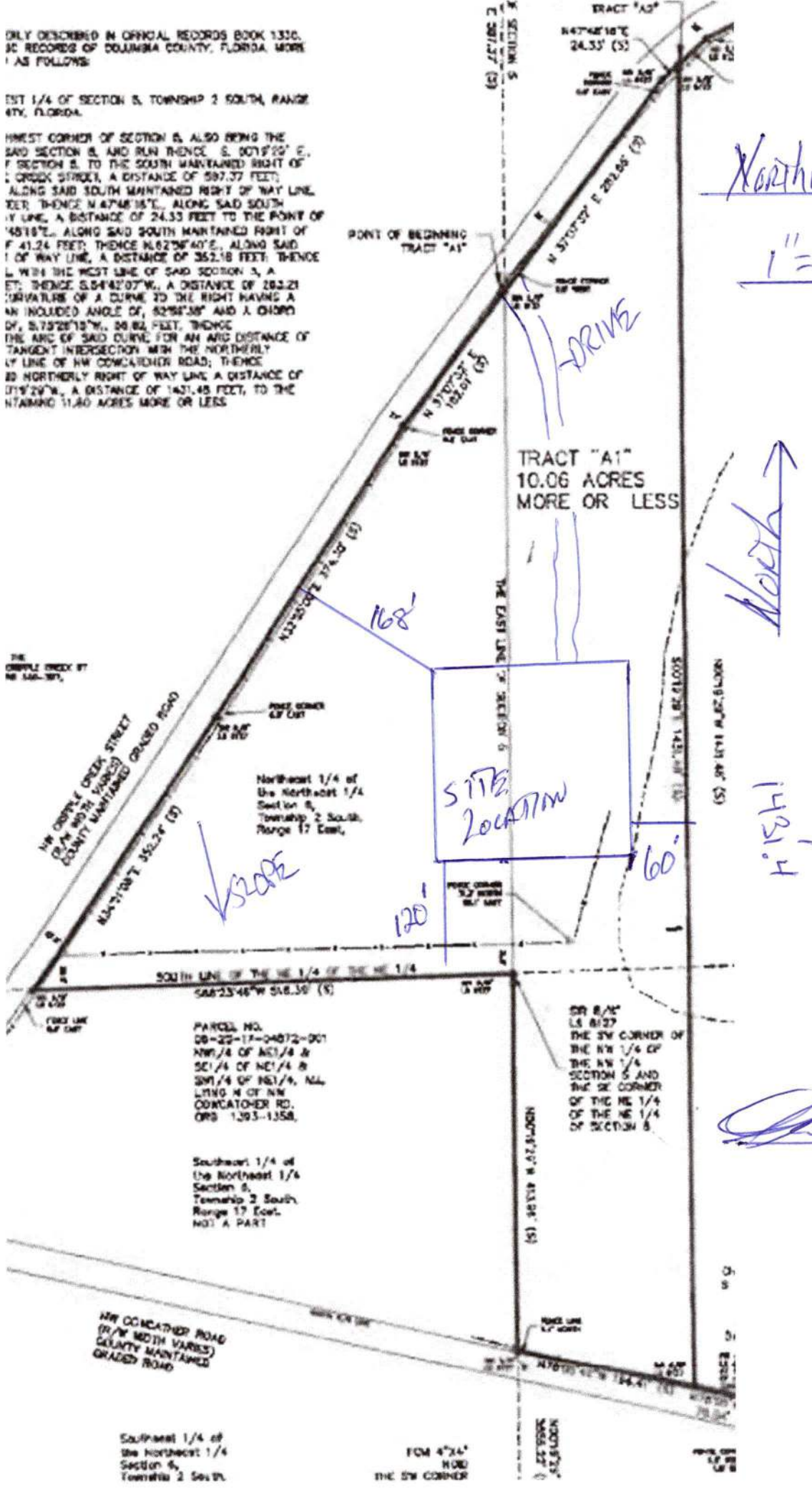
ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

ONLY DESCRIBED IN OFFICIAL RECORDS BOOK 1330,
 30 RECORDS OF DUNBAR COUNTY, FLORIDA, MORE
 AS FOLLOWS:

EST 1/4 OF SECTION 5, TOWNSHIP 2 SOUTH, RANGE
 47N, FLORIDA.

HINERST CORNER OF SECTION 5, ALSO BEING THE
 SAID SECTION 5, AND RUN THENCE S. 80°15'22" E.,
 F. SECTION 5, TO THE SOUTH MAINTAINED RIGHT OF
 CROOK STREET, A DISTANCE OF 587.37 FEET;
 ALONG SAID SOUTH MAINTAINED RIGHT OF WAY LINE
 100 FEET, THENCE N. 47°46'18" E., ALONG SAID SOUTH
 1/4 LINE, A DISTANCE OF 24.33 FEET TO THE POINT OF
 145°18" E., ALONG SAID SOUTH MAINTAINED RIGHT OF
 F. 41.24 FEET, THENCE N. 62°28'40" E., ALONG SAID
 1 OF WAY LINE, A DISTANCE OF 352.18 FEET, THENCE
 L WITH THE WEST LINE OF SAID SECTION 5, A
 EY, THENCE S. 54°42'07" W., A DISTANCE OF 283.21
 CURVATURE OF A CURVE TO THE RIGHT HAVING A
 AN INCLUDED ANGLE OF, 52°54'38" AND A CHORD
 OF, 575°22'15" W., 38.84 FEET, THENCE
 THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF
 TANGENT INTERSECTION WITH THE NORTHERLY
 LY LINE OF NW CORNATION ROAD, THENCE
 20 NORTHERLY RIGHT OF WAY LINE A DISTANCE OF
 171°22'28" W., A DISTANCE OF 1431.48 FEET, TO THE
 HAVING 11.40 ACRES MORE OR LESS

THE
 CRIPPLE CREEK BY
 NE 1/4-107,

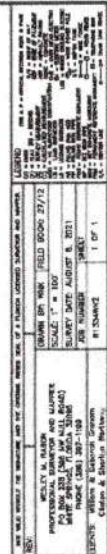


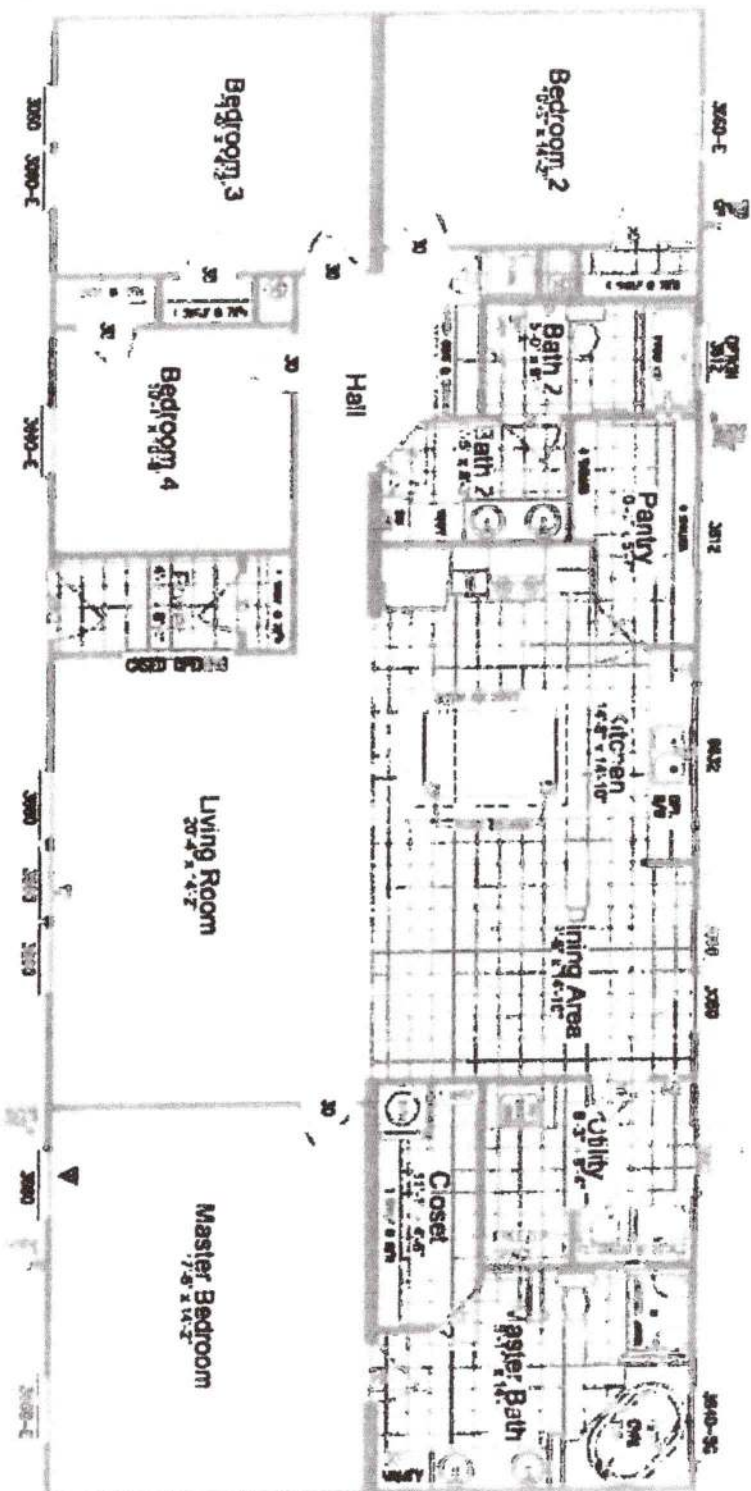
[Signature]
 8/25/22



1" = 200'

1 PART OF THE NORTHWEST 1/4 OF SECTION 5, AND A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 2 SOUTH, RANGE 17 EAST.





MODEL: 290TE32684A 4BR ~ 2BA
32'x68' ~ 2017 SQ. FT.