

DATE 08/08/2008

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000027251

APPLICANT NADEAN MCINTSH PHONE 754-8678
ADDRESS 289 NW CORINTH DRIVE LAKE CITY FL 32055
OWNER KARL & MELANIE ADAMS PHONE 755-7394
ADDRESS 615 SW SWEETBREEZE DR. LAKE CITY FL 32025
CONTRACTOR MICHAEL DELAHOZ PHONE 754-86788
LOCATION OF PROPERTY 90W, TL ON SWEETBREEZE DR, 2ND LOT PAST WOODDUCK CT,
ON LEFT
TYPE DEVELOPMENT POOL ENCLOSURE ESTIMATED COST OF CONSTRUCTION 11351.00
HEATED FLOOR AREA TOTAL AREA HEIGHT 15.00 STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING RSF-2 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 0 FLOOD ZONE N/A DEVELOPMENT PERMIT NO.

PARCEL ID 33-3S-16-02434-304 SUBDIVISION CYPRESS LAKES
LOT 4 BLOCK PHASE 4 UNIT 0 TOTAL ACRES

SCC056689
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X08-265 CS WR N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE

Check # or Cash 3708

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
 date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by
Framing Rough-in plumbing above slab and below wood floor
 date/app. by date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
 date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
 date/app. by date/app. by date/app. by
M/H tie downs, blocking, electricity and plumbing Pool
 date/app. by date/app. by
Reconnection Pump pole Utility Pole
 date/app. by date/app. by date/app. by
M/H Pole Travel Trailer Re-roof
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 60.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ **TOTAL FEE** 110.00
INSPECTORS OFFICE  CLERKS OFFICE 

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 6808-04 Date Received 8/4/08 By GP Permit # 27251
 Zoning Official CJS Date 8/6/08 Flood Zone N/A Land Use RLD Zoning RSF-2
 FEMA Map # _____ Elevation _____ MFE _____ River _____ Plans Examiner WLR Date 8/6/08
 Comments _____
☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
 IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
 School _____ = TOTAL _____

Septic Permit No. X-08-265 Fax 386-755-1751
 Name Authorized Person Signing Permit Robert or Madean M. Intosh Phone 386-754-8678
 Address 289 NW Corinth Dr Lake City, FL 32055
 Owners Name Karl Adams Phone _____
 911 Address 615 SW Sweetbreeze Dr Lake City, FL 32024
 Contractors Name Michael A Delahoz Phone 386-754-8678
 Address 927 Hickory St Altamonte Springs, FL 32701
 Fee Simple Owner Name & Address N/A
 Bonding Co. Name & Address N/A
 Architect/Engineer Name & Address Dokim & Associates 3300 Henderson Blvd Tampa, FL
 Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 33-38-16-02434-304 Estimated Cost of Construction 11,351.00
 Subdivision Name Cypress Lake Lot 4 Block _____ Unit _____ Phase 4
 Driving Directions W-90, Left at Cypress Lake S/D on SW Sweetbreeze Dr
curves to right, past 2nd road, 2nd House on left

Number of Existing Dwellings on Property 1
 Construction of Pool enclosure Total Acreage 135.83 Lot Size 245.06
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 15'3"
 Actual Distance of Structure from Property Lines - Front 97' Side 92' Side 98' Rear 38'
 Number of Stories 1 Heated Floor Area _____ Total Floor Area _____ Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Signature of Natural Person Signing (in line #10 above.)

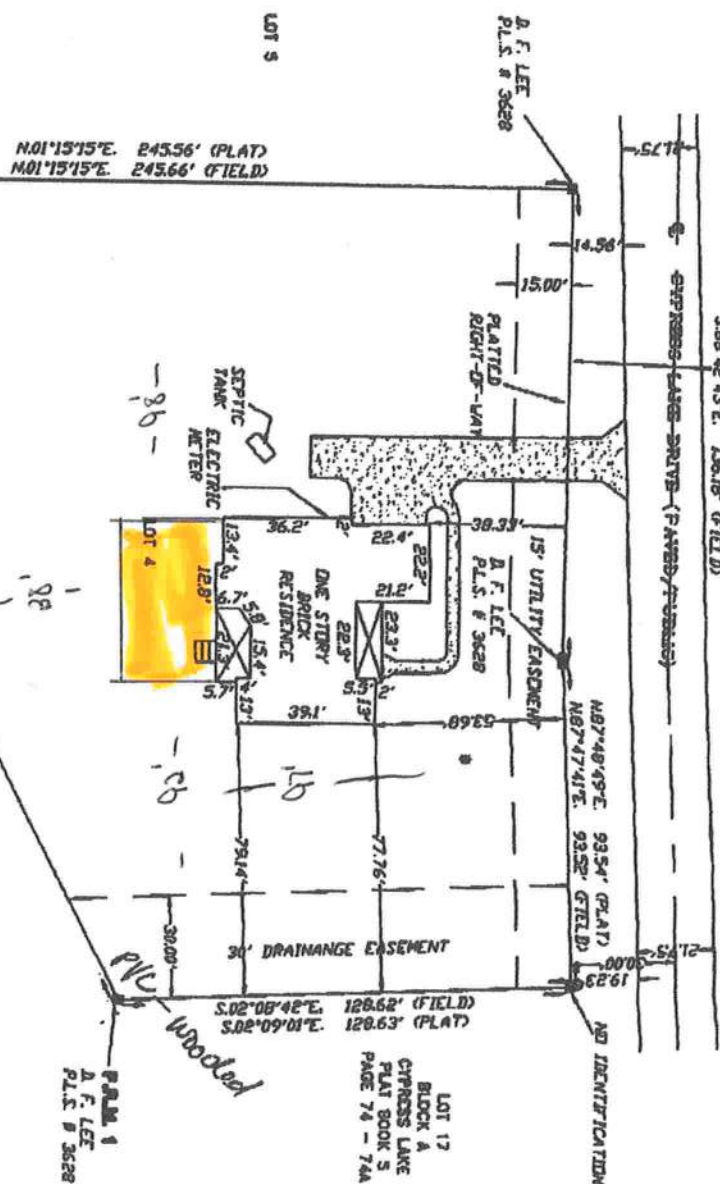
5-104200

- SCOT

BOUNDARY SURVEY IN SECTION 33, TOWNSHIP 16 EAST, COLUMBIA COUNTY

- SYMBOLS
- 4"x4" CONCRETE
 - 4"x4" CONCRETE
 - IRON PIPE FOR
 - IRON PIPE FOR
 - IRON PIPE FOR
 - WATER METER
 - CENTERLINE
 - WELL
 - SATELLITE DISH
 - TELEPHONE BOX
 - ELECTRIC LINE
 - WIRE FENCE
 - CHAIN LINK FENCE
 - WOODEN FENCE

SCALE: 1" = 40'



- SURVEYOR'S NOTES:
1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RECORD.
 2. THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
 3. MONUMENTS ARE BASED ON SAID PLAT OF RECORD.
 4. THIS PARCEL IS IN ZONE 'X' AND IS DETERMINED TO BE DURING THE SOL PLAN AS PER FLOODED MAP, DATED 6 JANUARY, 1988 COMMUNITY PLAN 180070 BUTS B. HOWEVER, THE FLOODED INSURANCE RATE MAPS ARE SUBJECT DATE OF FIELD SURVEY AS SHOWN HEREIN.
 5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE THIS SURVEY EXCEPT AS SHOWN HEREIN.
 6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITTEE POLICY.

DESCRIPTION:
LOT 4 OF 'CYPRESS LAKE PHASE 4' AS PER PLAT THEREOF, RECORD BOOK 6, PAGE 108 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY,

CERTIFIED TO:

KARL K. & MELANIE H. ADAMS
EDITH H. ANDERSON, P.A.
ATTORNEYS' TITLE INSURANCE FUND, INC.

New Federal Credit Union

FIELD BOOK: 244 PAGES: 05

ADDITIONAL CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY WAS MADE UNDER MY PERSONAL SUPERVISION AND THAT THE JOURNAL RECORDING INFORMATION AS SET FORTH BY THE PLAT, BOOK OF PROCEEDINGS, SURVEYOR'S AND HAYNES SURVEYING, INC., FLORIDA ADMINISTRATIVE CODE, SUBCHAPTER 12, SECTION 420.02, FLORIDA STATUTES, 11/27/07
FIELD SURVEY DATE: 11/27/07
DRAWN DATE: 11/27/07
CHECKED DATE: 11/27/07
CONTROLLED DATE: 11/27/07
I HAVE REVIEWED THE SURVEY AND THE ORIGINAL PLAT, BOOK OF PROCEEDINGS, SURVEYOR'S AND HAYNES SURVEYING, INC., FLORIDA ADMINISTRATIVE CODE, SUBCHAPTER 12, SECTION 420.02, FLORIDA STATUTES, 11/27/07
FIELD SURVEY DATE: 11/27/07
DRAWN DATE: 11/27/07
CHECKED DATE: 11/27/07
CONTROLLED DATE: 11/27/07



BRITT SURV
& ASSOCIATES

LAND SURVEYORS AND
608 WEST BIVALL STREET LAKE CITY
(386) 752-7163 FAX 752-7163
WORK ORDER #

Columbia County Property Appraiser

DB Last Updated: 3/10/2008

Parcel: 33-3S-16-02434-304 HX DV

2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	ADAMS KARL K & MELANIE N		
Site Address	SWEETBREEZE		
Mailing Address	615 SW SWEETBREEZE DR LAKE CITY, FL 32024		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	33316.02	Tax District	2
UD Codes	MKTA06	Market Area	06
Total Land Area	0.000 ACRES		
Description	LOT 4 CYPRESS LAKE PHASE 4 & BEG SW COR OF SAID LOT 4, RUN NE 266.82 FT TO SE COR OF LOT4 S 100.99 FT, SW 130.90 FT, NW 159.35 FT TO POB. ORB 808-1429, 957-1884, WD ORB 1138-1477, WD 1142-2743		

GIS Aerial**Property & Assessment Values**

Mkt Land Value	cnt: (1)	\$42,500.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$160,531.00
XFOB Value	cnt: (1)	\$3,114.00
Total Appraised Value		\$206,145.00

Just Value		\$206,145.00
Class Value		\$0.00
Assessed Value		\$206,145.00
Exempt Value	(code: HX DV)	\$35,000.00
Total Taxable Value		\$171,145.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
2/8/2008	1142/2743	PR	I	U		\$12,500.00
12/17/2007	1138/1477	WD	I	Q		\$249,000.00
7/11/2002	957/1884	WD	V	Q		\$23,500.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2004	Common BRK (19)	2000	2822	\$160,531.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	2004	\$3,114.00	1557.000	0 x 0 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	1.000 LT - (.000AC)	1.00/1.00/1.00/1.00	\$42,500.00	\$42,500.00

Columbia County Property Appraiser

DB Last Updated: 3/10/2008

1 of 1

Adams

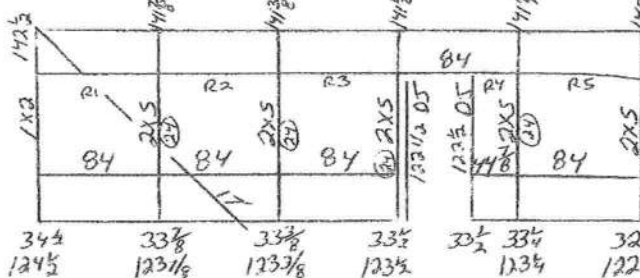
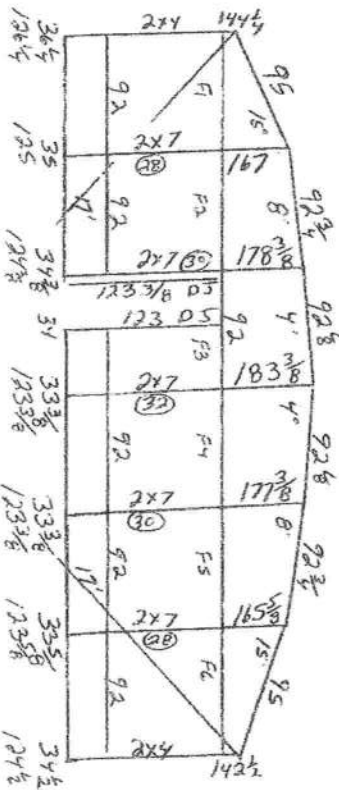
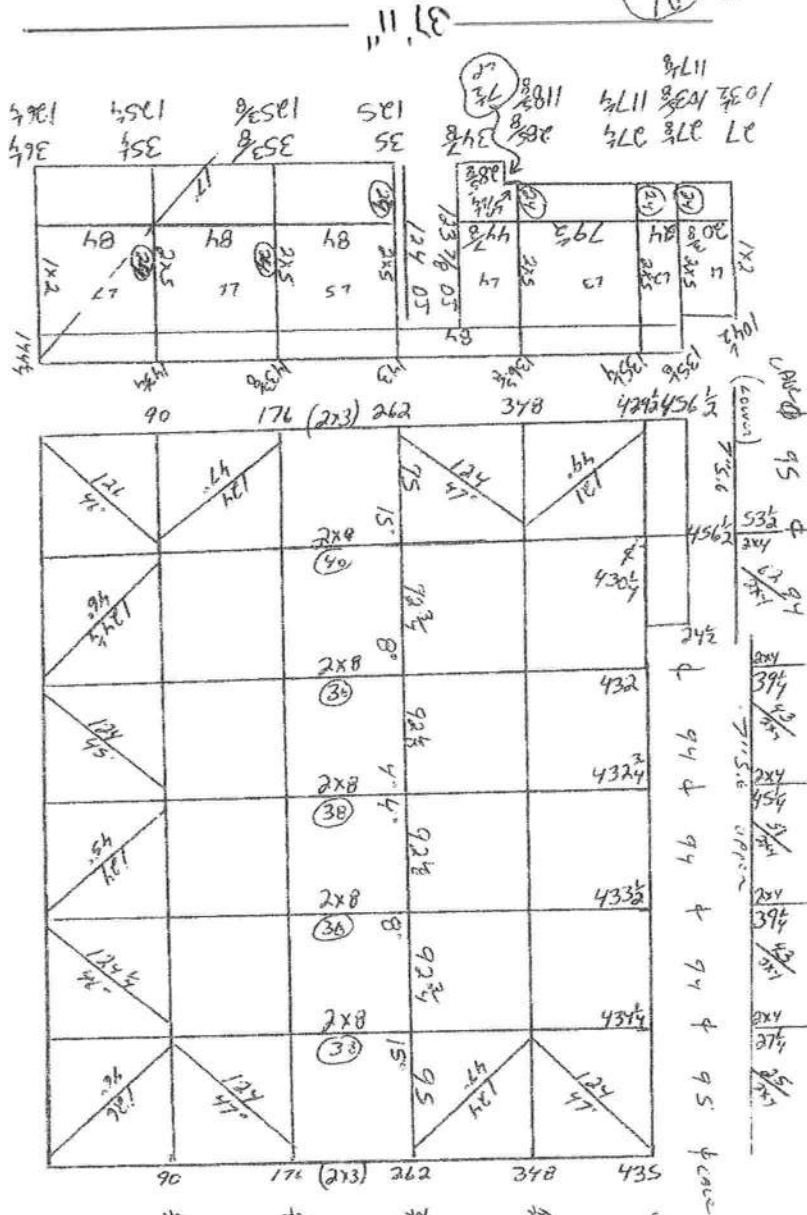
Kale City
Adams Job

Trac
Beam
BRONZE

MAR LIST

- 1-7" 5.6 36'
- 1-7" 5.6 24'
- 2-2x8 40'
- 2-2x8 36'
- 6-2x8 36'
- 1-2x7 32'
- 2-2x7 30'
- 2-2x7 28'
- 11-2x5 24'
- 3-2x4 24'
- 2-2x3 30'
- 21-2x3 24'
- 12-2x2 24'
- 14-1x2 24'
- 2-0.5mB
- 2-Downs/comple
- 4-cables 17'
- 3-20115 96"
- 1-2011 102"
- 1-2011 90"

9-1730 21'
14-1482 21'
Total - 3212 21'



S-Frame wall
Knee Braces



36' 3"

5-4222

S. 88° 44' 45" E. 135.83' (PLAT)
S. 88° 42' 43" E. 136.18' (FIELD)



SCALE: 1" = 40'

DESCRIPTION
LOT 4 OF "EXPRESS LAKE PHASE 4" AS PER PLAY THEREOF RECORD
BOOK 6, PAGE 108 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY.

SURVIVOR'S ADVICE:

- BOUNDARY BASED ON DOCUMENTATION FOUND IN ACCORDANCE WITH THE RECORDS OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
BEARINGS ARE BASED ON SAID PLAT OF RECORD.
THIS PARCEL IS IN ZONE "X" AND IS DETONATING TO BE OUTSIDE THE 500 FEET FLOOD INSURANCE RATE MAP DATED JANUARY, 1988 COMMUNITY PLAN AS PER FLOOD RATE MAP. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO REVISIONS. IF ANY, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO THE IMPROVEMENTS, IF ANY, SHOWN HEREIN.
DATE OF FIELD SURVEY AS SHOWN HEREIN.
IF THEY EXIST, NO UNDERGROUND ENCUMBRANCES AND/OR UTILITIES WERE FOUND BY THIS SURVEY EXCEPT AS SHOWN HEREIN.
THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITTEE POLICY.

CERTIFIED TO:

KARL K. & MELANIE N. ADAMS
ERDIE H. ANDERSON, P.A.
HYPERNETS' TITLE INSURANCE FUND, INC.

Navy Federal Credit Union

FIELD BOOK: 244 PAGES: 25

MANUSCRIPT COLLECTION

1. MODERN CERTAINITY THAT THIS AGENCY WAS MADE WEAK BY REDUCIBLE CHARGE AND ACTS FOR AGRICULTURAL PRODUCTION, PROBABLY AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS IN CHAPTER 600-2. FLORIDA ADMINISTRATIVE CODE, RELATING TO SECTION 600.02, FLORIDA STATUTES.

FIELD SURVEY DATE	DRAINAGE DATE	
11/27/07	11/27/07	

WHO WALKS BY HEARS THE SIGNATURE AND THE SOUND. RAJESH KUMAR, A FLORENCE LINDA SARTER AND
WALKER THIS MORNING. GATEWAY PLAY IS FOR INFORMATION. PURCHASE ONLY AND IS NOT VALID.

**BRITT SURV
& ASSOCIATES**



LAND SURVEYORS AND
630 WEST DUVAL STREET, LAKE CITY

(385) 752-7167 FAX (385) 752-7168

23020 YKOA

FIELD BOOK: SET PAGE: 514

DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

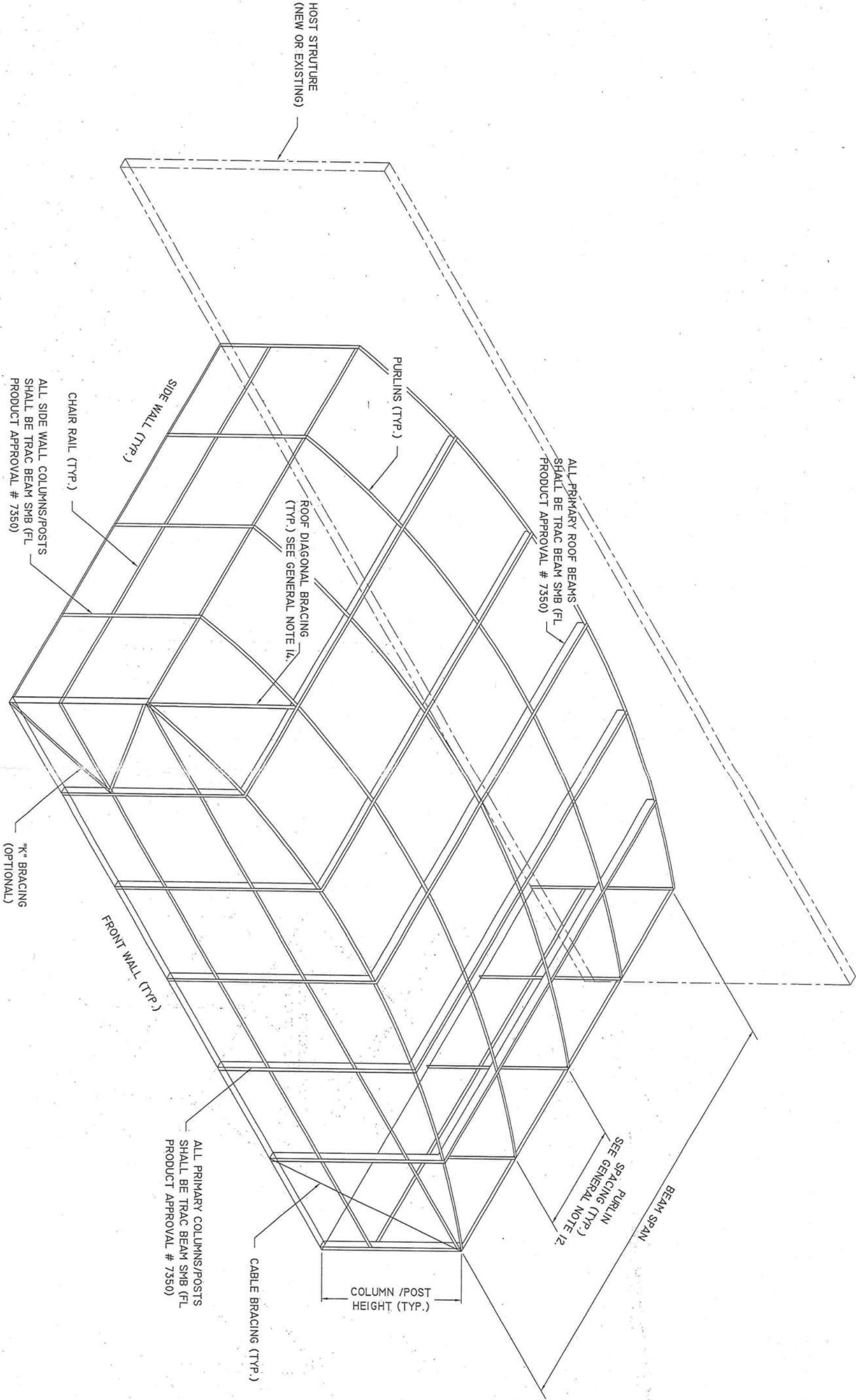
Rev/Date	Description
0/2006	ISSUED
1/2006	ADDED MANSARD SPICE CONNECTION
2/2006	REVISED DETAILS
3/2006	
4/2006	

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO KIM, P.E.
FLA REG. NUMBER 49487
DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

TYPICAL DOME ROOF
NOTE: Sketch is only a representation of a Dome Style Enclosure.
Contractor shall provide detailed layout drawings.



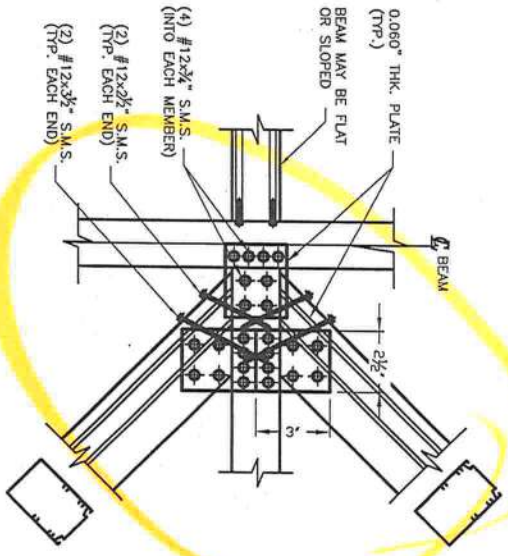
Rev./Date	Description
1005 2006	ISSUED
1009 2006	ADDED MANSARD SPICE CONNECTION
10031 2006	REVISED DETAILS

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

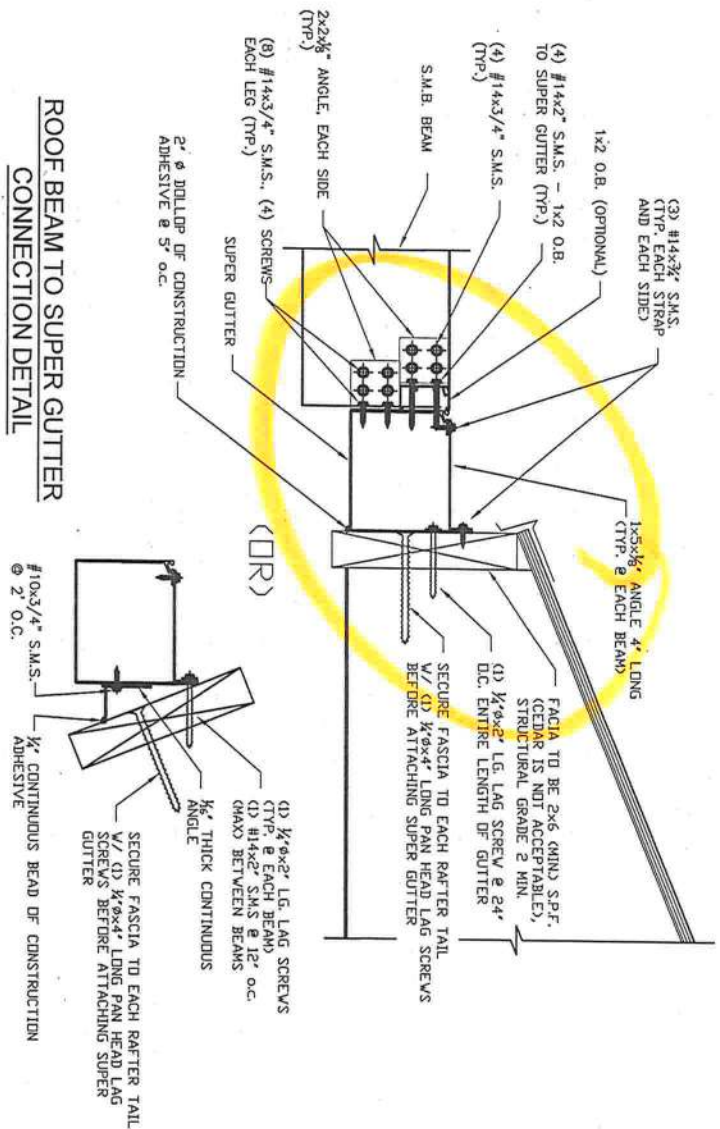
DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/06

DO KIM & ASSOCIATES, LLC
C/A# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33604

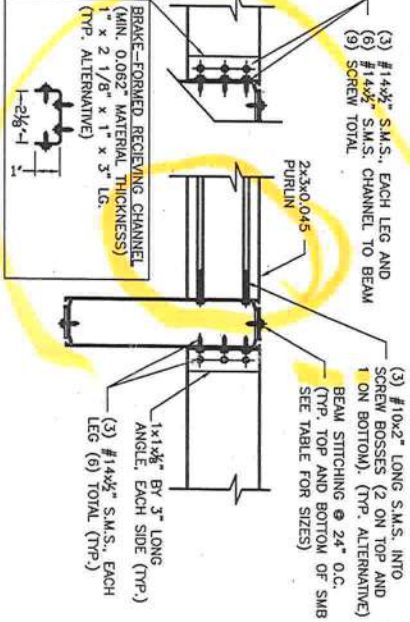
PLAN - TYPICAL ROOF
BRACE TO BEAM CONNECTION



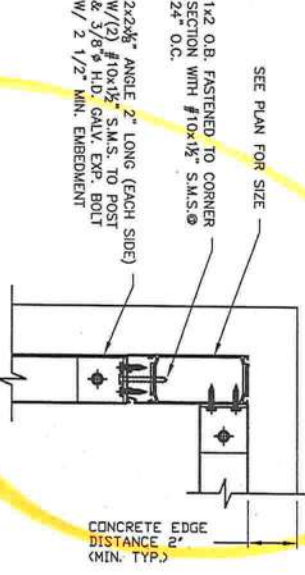
ROOF BEAM TO SUPER GUTTER
CONNECTION DETAIL



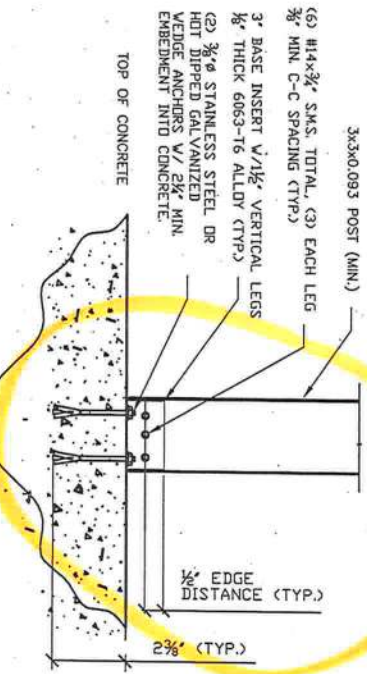
PURLIN TO ROOF BEAM
CONNECTION DETAIL



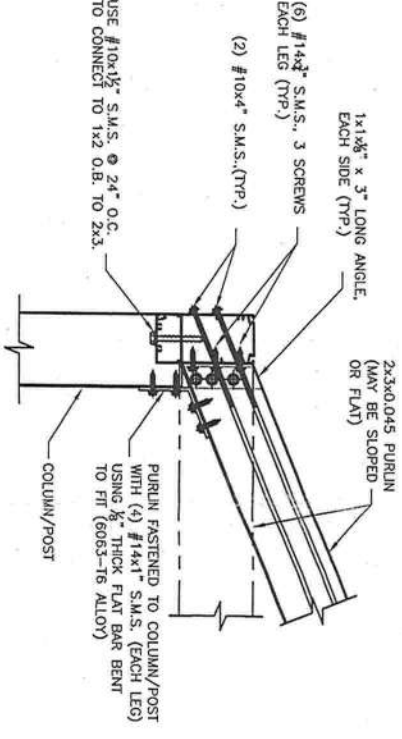
CORNER POST / COLUMN
TO FOUNDATION
CONNECTION DETAIL



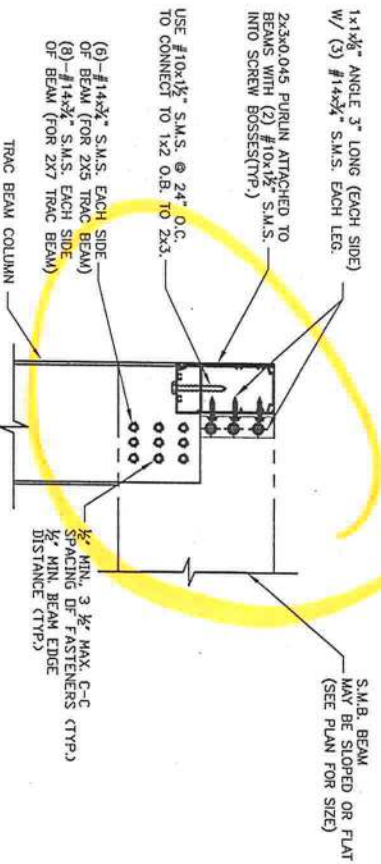
SCREEN ROOF TO PANEL/COMPOSITE
COLUMN TO FOUNDATION
CONNECTION DETAIL



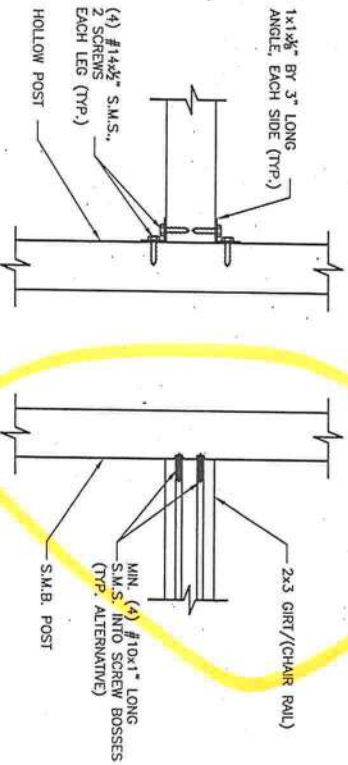
SIDEWALL POST / COLUMN TO PURLIN
CONNECTION DETAIL



MAIN POST / COLUMN TO ROOF BEAM
CONNECTION DETAIL



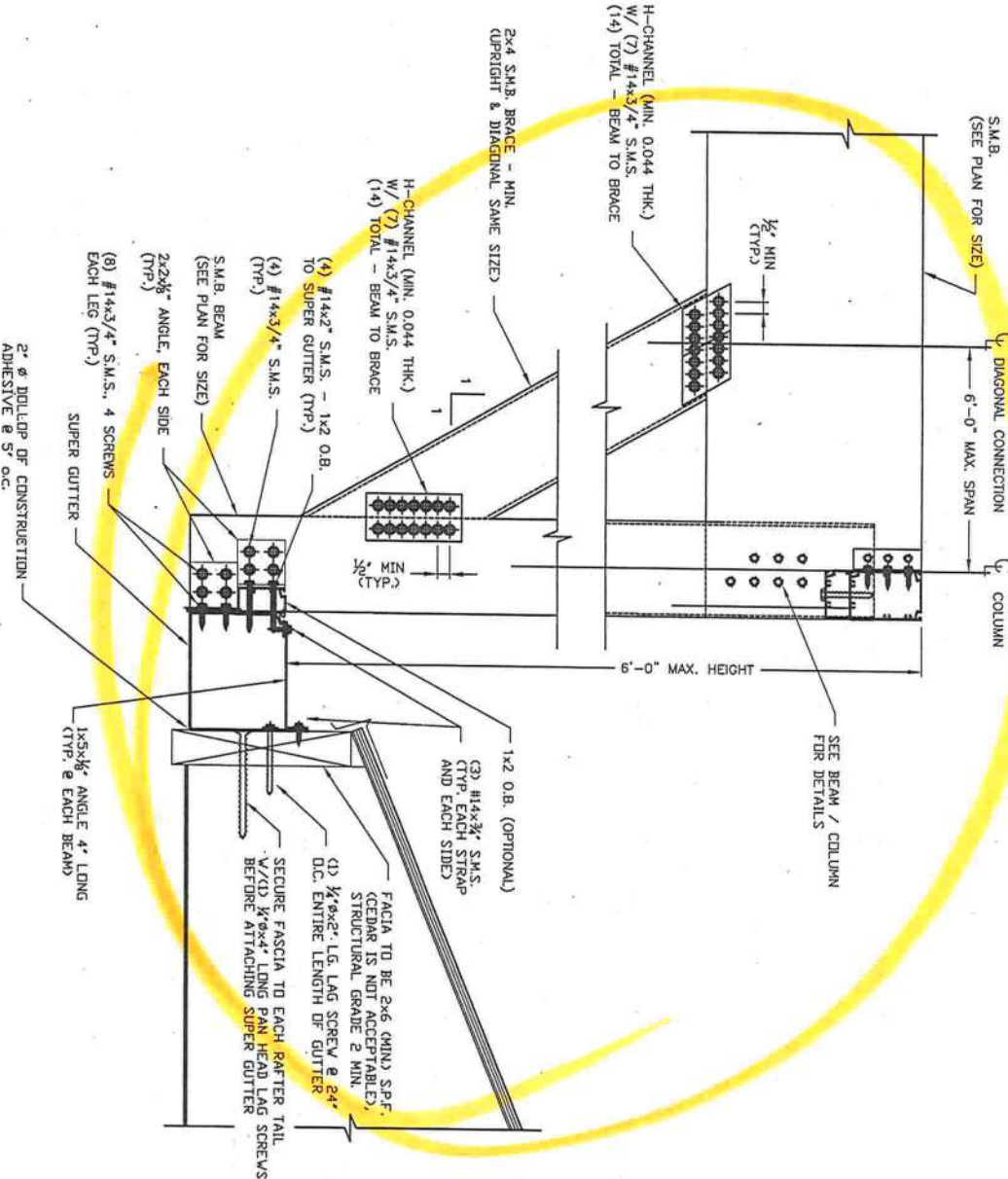
CHAIR RAIL / GIRT TO POST
CONNECTION DETAIL



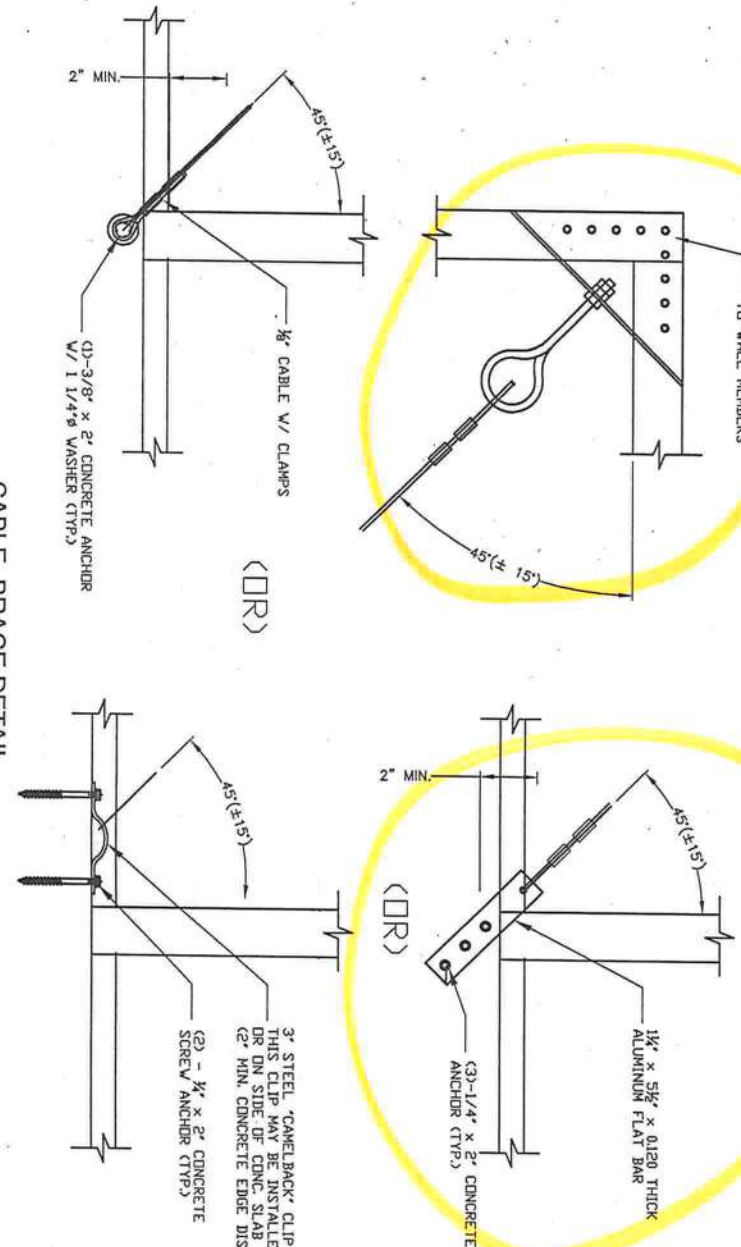
General Notes and Specifications:

- Contractor shall field verify all dimensions before construction and shall notify engineer of discrepancies for immediate consideration.
- Concrete shall be minimum 28 day compressive strength of $f'c \geq 2500$ psi, and be in accordance with the requirements of ACI 318. Reinforcing steel shall have a min. yield strength of 40,000 psi (grade 40) and be provided with cover in accordance with ACI 318. If existing concrete slabs/footings are deemed satisfactory, it may be incorporated into new slab/footing by observing the following procedure:
 - Clean and scabble all connecting edges.
 - Drill and epoxy embed #5 reinforcing placed @ 12" O.C. mid depth. The rebar should be embedded a min. of 7" (using Hilti HY 150 Epoxy or equal approved), leaving 24" exposed to be incorporated into new slab/footing.
- All dimensions are provided by contractor, DO Kim & Associates, LLC have made interpretations where necessary.
- The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good condition and of sufficient strength to hold the proposed addition. If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.
- Screen density shall be a maximum of 20 x 20 mesh.
- Connections using screw bosses shall have minimum (4)-#10x1" per connection unless shown otherwise.
- Every panel of screen mesh shall be fastened securely in place with spline. Each panel shall be fastened at all sides, independent of surrounding panels. This requirement shall include purlins and chair/kickplate rails. Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.
- Unless otherwise shown, screws shall have minimum edge distance and center-to-center distances as shown in this table.

C-1022 Low Carbon Steel SMS & Self-Drilling (TEK) Screws (Industry Standard Screws)			
Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#10	0.188	$\frac{5}{8}"$	$\frac{1}{2}"$
#12	0.219	$\frac{3}{4}"$	$\frac{5}{8}"$
#14 (1 1/4")	0.250	$\frac{1}{2}"$	$\frac{5}{8}"$
- Structure has been designed to meet the 2004 FBC with 2006 supplements. Project is sited where the basic wind speed is 120 mph (3-sec gust), $I=0.77$ for screen enclosures. Exposure B. Design wind pressures are from 2004 FBC. Minimum design pressure is 10 psf. Pressures are based on wind tunnel testing with main wind force resisting system coefficient, G_{CF} , of ± 0.25 for screen roof and 0.7-1.25 for walls.
- All concrete anchors shall be Simpson Strong-Tie Wedge All Anchors or Titan Screws or approved equal.
- Maximum spacing of Purlins shall be less than 8'-0" o.c. Maximum spacing of Chair Rails (Girts) shall be less than 9'-0" o.c.
- Composite panel or riser panel metal shall be of aluminum alloy 3105-H15 or 3105-H25.
- Diagonal bracing shall be installed on all roof screen panels that have at least one side adjacent to an exterior screen wall.
- Construction adhesive shall meet ASTM C-557, MIN shear strength @ 7 days = 425 P.S.I.
- When knee braces are utilized at uprights and beams, beam spans shown in tables are from the interior side of the knee brace supporting the beam.
- Lateral cable bracing shall be provided at each screened wall parallel to host structure, unless it is directly attached to host structure. One set of cable braces shall be provided for each 500 sf of screened wall area that the wind load is being applied.
- Structures that exceed 45 feet of beam span or heights exceeding 25 feet or are located in Exposure C shall require site specific evaluation by the engineer of record. Roof beams that are 2x8 Trac Beam having spans greater than 35 feet shall use 2x7 Trac or 2x8 Trac uprights.
- All Aluminum members shall be 6063-T6 Alloy unless otherwise noted. Trac Beams shall be 6005-T5 Alloy.



NON-CABLE ROOF TRANSOM (RISER) WALL CONNECTION DETAIL



MAXIMUM SPANS FOR CARRIER BEAMS (SUPPORTING SCREEN ROOF ONLY)

BEAM	TRIBUTARY WIDTH			
	10'	15'	20'	25'
2X5 TRAC	23.5'	19.8'	17.0'	15.0'
2X7 TRAC	25.7'	22.3'	20.1'	18.1'
2X8 TRAC	40.0'	34.3'	29.6'	28.2'

Beam Spacing Screw for all Legacy S.M.B.'s (NOT FOR TRAC BEAMS)

Beam Size	Beam Spacing Screw @ 24" o.c.
2" x 4" x 0.046 x 0.100	#8 x 1/2"
2" x 5" x 0.050 x 0.116	#8 x 1/2"
2" x 6" x 0.050 x 0.120	#10 x 3/4"
2" x 7" x 0.055 x 0.120	#10 x 3/4"
2" x 8" x 0.072 x 0.224	#12 x 3/4"
2" x 9" x 0.082 x 0.306	#14 x 3/4"
2" x 10" x 0.092 x 0.389	#14 x 3/4"

DO KIM & ASSOCIATES, LLC
CONSULTING STRUCTURAL ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5800
Fax: (813) 874-5959

Rev/Date	Description
9/05/2006	ISSUED
10/01/2006	REVISED DETAILS AS SHOWN
9/17/2007	REVISED DETAILS AS SHOWN

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/06

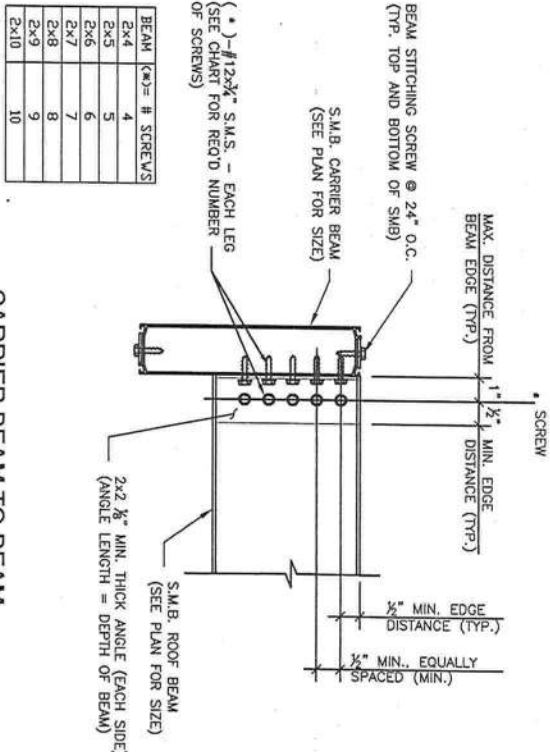
DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD., SUITE 106
Tampa, FL 33604

Rev/Date	Description
9/05 2006	ISSUED
10/9 2006	ADDED MANSARD SPLICE CONNECTION
2/10/31 2006	REVISED DETAILS
△	
△	
△	

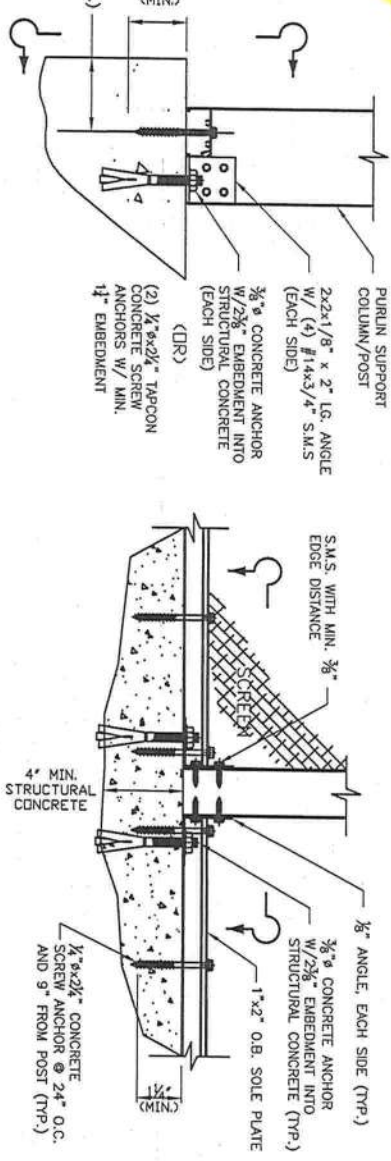
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/06

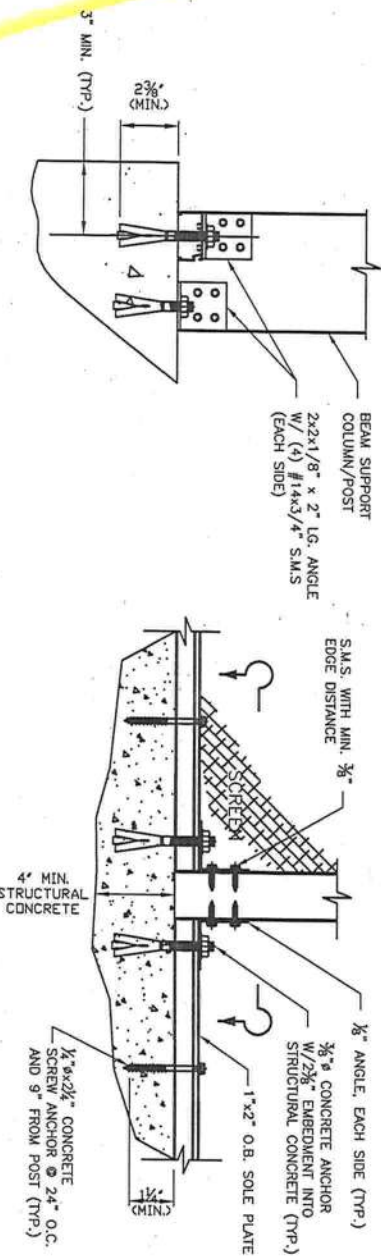
DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684



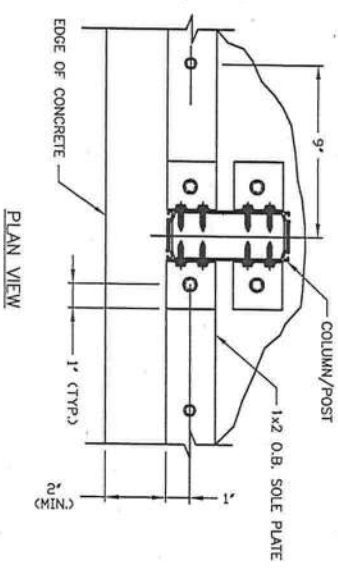
CARRIER BEAM TO BEAM
CONNECTION DETAIL



SIDEWALL COLUMN TO FOUNDATION
CONNECTION DETAIL

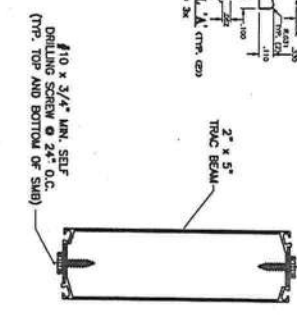
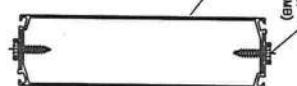
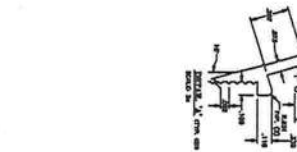
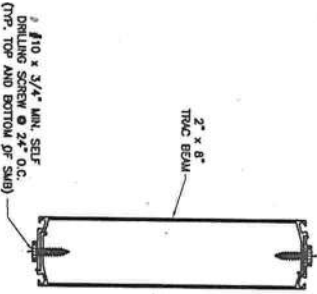
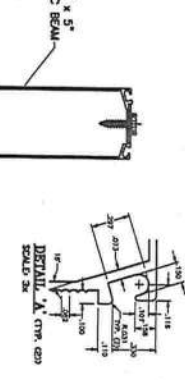
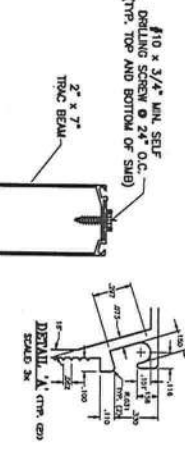
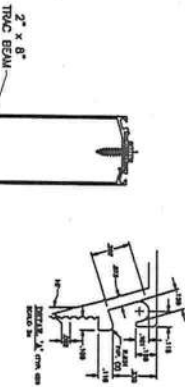
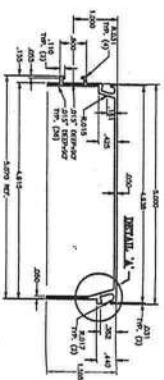
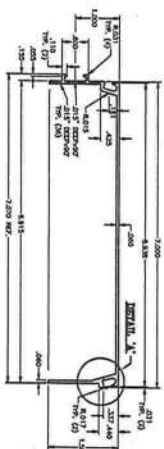
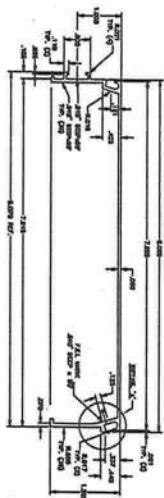


MAIN COLUMN TO FOUNDATION
CONNECTION DETAIL



BEAM TO HOST
STRUCTURE DETAIL

Pool Enclosure Collective, LLC
Trac Beam (FL State Product Approval #7350 & #9328)



2" x 8" TRAC SELF-MATING BEAM (SHB)
[patent pending]

2" x 7" TRAC SELF-MATING BEAM (SHB)
[patent pending]

2" x 5" TRAC SELF-MATING BEAM (SHB)
[patent pending]

1. Refer to Florida Product Approval #FL7350 & #FL9328 for project specific requirements to be used by design professional.
2. Drawings are illustrative purposes only.
3. Tables developed from loads in FL9328 tables which are allowable working loads and may be used without any additional reductions. Spans are based on ten feet wall height. For wall heights exceeding ten feet, allowable column spans shall be reduced 7% for each five feet increment.
4. Allowable point loads and deflections are converted to allowable uniform loads and deflections using analytic and comparative analysis.
5. Allowable spans tables are based on 2004 Florida Building Code with 2006 Updates. Wind loads are based on Chapter 20 and Table 2004.4.
6. Consult a licensed design professional for use of this product information.
7. Maximum allowable deflections limits of L/60 shall be considered by design professional. L/80 in HWHZ.

2x8 TRAC SPAN (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	32.5'	30.0'	28.9'	27.7'	26.3'
6' D.C.	29.5'	28.7'	27.6'	26.3'	25.0'
7' D.C.	28.7'	27.8'	26.7'	24.9'	23.5'
8' D.C.	27.8'	26.5'	25.2'	23.4'	21.8'

2x8 TRAC BEAM CLEAR SPAN (FLAT ROOF)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	40.0'	40.0'	40.0'	40.0'	36.0'
6' D.C.	40.0'	40.0'	40.0'	37.0'	35.0'
7' D.C.	40.0'	40.0'	38.0'	35.5'	34.0'
8' D.C.	40.0'	38.0'	36.0'	34.2'	32.0'

2x8 TRAC BEAM SPAN (MANSARD ROOF)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	52.0'	52.0'	52.0'	52.0'	47.0'
6' D.C.	52.0'	52.0'	52.0'	50.0'	46.0'
7' D.C.	52.0'	52.0'	52.0'	47.5'	44.8'
8' D.C.	52.0'	50.0'	47.0'	45.0'	42.8'

2x5 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	25'	25'	25'	24.12'	23.27'
6' D.C.	25'	25'	25'	23.06'	22.12'
7' D.C.	25'	25'	23.51'	22.16'	21.33'
8' D.C.	25'	25'	22.94'	21.36'	20.35'

2x5 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	20.31'	19.00'	17.01'	15.00'	13.33'
6' D.C.	18.57'	17.00'	14.57'	13.07'	12.28'
7' D.C.	16.89'	15.00'	13.00'	12.15'	11.24'
8' D.C.	15.11'	13.52'	12.28'	11.13'	10.12'

2x7 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	37.82'	37.62'	34.63'	31.23'	28.00'
6' D.C.	35.18'	35.01'	31.23'	27.37'	23.61'
7' D.C.	32.65'	32.43'	28.00'	23.48'	23.05'
8' D.C.	30.00'	29.82'	24.76'	23.21'	22.61'

2x7 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	23.04'	22.42'	21.48'	20.53'	19.59'
6' D.C.	22.22'	21.47'	20.34'	19.21'	18.08'
7' D.C.	21.41'	20.53'	19.20'	17.80'	16.68'
8' D.C.	20.55'	19.59'	18.08'	16.58'	15.08'

DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
905 2006	ISSUED
907 2007	2x8 Trac Added

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY: DYK
CHECKED BY: DYK
SCALE: AS SHOWN
DATE: 9/05/06

DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33694

Rev/Date	Description
905 2005	ISSUED
1009 2005	ADDED MANSARD SPLICE CONNECTION
10031 2006	REVISED DETAILS
△	
△	
△	

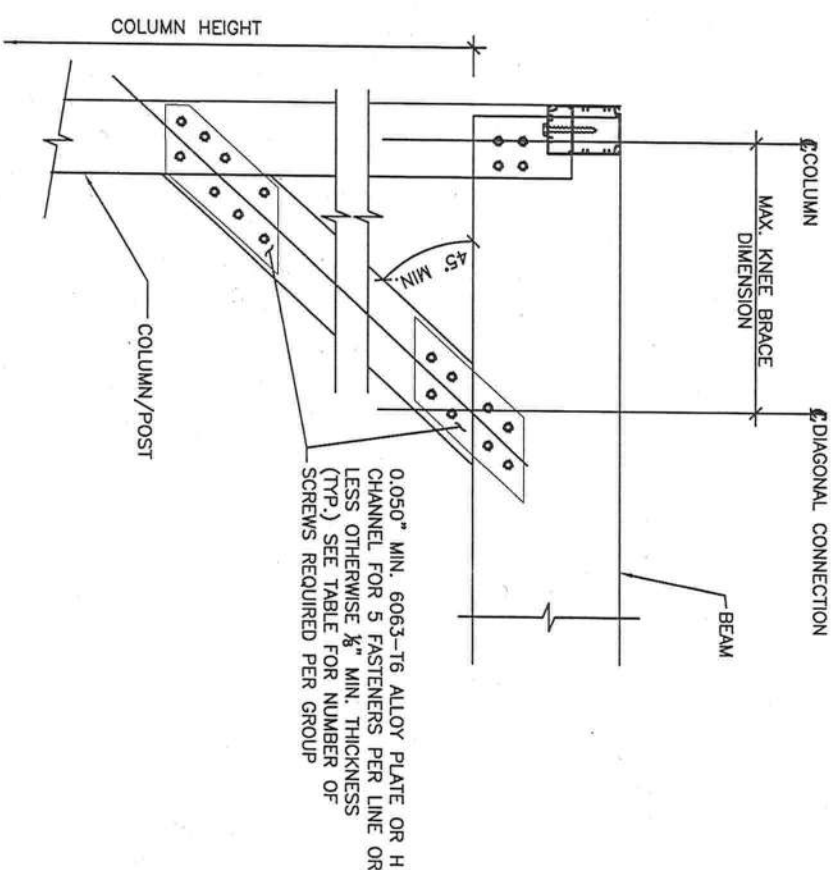
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/05

DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684



TYP. FRONT WALL KNEE BRACE CONNECTION DETAIL

KNEE BRACE SECTION	MAX. LENGTH	#10x $\frac{3}{8}$ " S.M.S.
2"x2"x0.044" HOLLOW	36 INCHES	3
2"x3"x0.045" HOLLOW	44 INCHES	4
2"x4"x0.050 HOLLOW	52 INCHES	5
2"x4"x0.046x0.100 SMB	62 INCHES	6