

DATE 05/07/2008

Columbia County Building Permit  
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT  
000026982

APPLICANT NADEAN MCINTOSH PHONE 386.755.1751  
ADDRESS 289 NW CORINTH DRIVE LAKE CITY FL 32055  
OWNER DEBORAH STEWART PHONE  
ADDRESS 451 NW FAIRWAY DRIVE LAKE CITY FL 32055  
CONTRACTOR MICHEL DELAHOZ PHONE  
LOCATION OF PROPERTY 90-W TO COMMERCE BLVD,TR TO FAIRWAY DR,TR GO PAST  
CLUBVIEW CIRCLE,4TH HOME ON R.  
TYPE DEVELOPMENT POOL ENCLOSURE ESTIMATED COST OF CONSTRUCTION 7677.00  
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES  
FOUNDATION WALLS ROOF PITCH FLOOR  
LAND USE & ZONING RSF-2 MAX. HEIGHT  
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00  
NO. EX.D.U. 1 FLOOD ZONE DEVELOPMENT PERMIT NO.

PARCEL ID 26-3S-16-02309-010 SUBDIVISION FAIRWAY VIEW  
LOT 10 BLOCK PHASE UNIT 1 TOTAL ACRES

SCC056689  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING X-08-144 CFS JTH N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE.

Check # or Cash 3651

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by  
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by  
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by  
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 40.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 90.00  
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



## Columbia County Building Permit Application

CK# 3651

For Office Use Only Application # 0804-65 Date Received 4/30/08 By GT Permit # 26982  
Zoning Official cjs Date 5/1/08 Flood Zone N/A FEMA Map # \_\_\_\_\_ Zoning PSF-2  
Land Use RLD Elevation \_\_\_\_\_ MFE \_\_\_\_\_ River \_\_\_\_\_ Plans Examiner OKJH Date 5-1-08  
Comments \_\_\_\_\_

☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # \_\_\_\_\_  
☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☐ Letter of Authorization from Contractor  
☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter

Septic Permit No. \_\_\_\_\_ Fax 386-755-1751

Name Authorized Person Signing Permit Robert or Madean McIntosh Phone 386-754-8678

Address 289 NW Corinth Dr, Lake City, FL 32055

Owners Name Stewart, Deborah Phone \_\_\_\_\_

911 Address 451 NW Fairway Dr Lake City FL 32055

Contractors Name Michael A Delattoz Phone 386-754-8678

Address 927 Hickory St Altamonte Springs, FL 32701

Fee Simple Owner Name & Address n/a

Bonding Co. Name & Address n/a

Architect/Engineer Name & Address Do Kim & Ass 3300 Henderson Blvd Tampa, FL

Mortgage Lenders Name & Address n/a

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 26-38-16-02309-010HX Estimated Cost of Construction 7677.00

Subdivision Name Fairway View S/D Lot 10 Block \_\_\_\_\_ Unit 1 Phase \_\_\_\_\_

Driving Directions W 90, Right on NW Commerce to NW Fairway Dr, past Clubview Cir, 4th house on Right

Number of Existing Dwellings on Property 1

Construction of Pool Enclosure Total Acreage \_\_\_\_\_ Lot Size 145' x 175.60'

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height \_\_\_\_\_

Actual Distance of Structure from Property Lines - Front 106' Side 34' Side 74' Rear 28'

Number of Stories 1 Heated Floor Area \_\_\_\_\_ Total Floor Area \_\_\_\_\_ Roof Pitch \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

left message  
5/2/08

NOTICE OF COMMENCEMENT FORM  
COLUMBIA COUNTY, FLORIDA

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 26-35-16-02309-010HX

1. Description of property: (legal description of the property and street address or 911 address)

Lot 10 Fairway View S/D Unit 1 ORB 431-240, 765-00, DC Lucille  
Vogel 825-106, WB 825-107, 878-766, 929-2108, WD 1068-698  
451 NW Fairway Dr Lake City, FL 32055

2. General description of improvement: pool enclosure

3. Owner Name & Address Stewart Deborah  
451 NW Fairway Dr Lake City FL 32055 Interest in Property Owner

4. Name & Address of Fee Simple Owner (if other than owner): N/A

5. Contractor Name Mike DelaHoz Phone Number 386-754-8678  
Address 927 Hickory St Altamonte Springs FL 32701

6. Surety Holders Name N/A Phone Number \_\_\_\_\_

Address \_\_\_\_\_

Amount of Bond \_\_\_\_\_

Inst: 200812008306 Date: 4/29/2008 Time: 12:26 PM  
✓ DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1149 P: 241

7. Lender Name N/A Phone Number \_\_\_\_\_

Address \_\_\_\_\_

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name \_\_\_\_\_ Phone Number \_\_\_\_\_

Address \_\_\_\_\_

9. In addition to himself/herself the owner designates Florida Pool Enclosure of  
289 NW Corinth Dr LC 32055 to receive a copy of the Lender's Notice as provided in Section 713.13 (1) -  
(a) 7. Phone Number of the designee 386-754-8678

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording,  
(Unless a different date is specified) \_\_\_\_\_

**NOTICE AS PER CHAPTER 713, Florida Statutes:**

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

Deborah Stewart  
Signature of Owner

Sworn to (or affirmed) and subscribed before  
day of March 31, 2008

NOTARY STAMP SEAL Nadean G.S. McIntosh  
Commission # DD371494  
Expires November 14, 2008  
Bonded Troy Fish - Insurance, Inc. 800-365-7018

Nadean G.S. McIntosh  
Signature of Notary



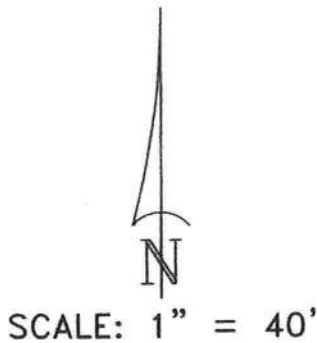
[illegible]

Radius= 480.00  
Delta= 12°30'09"  
Arc= 104.74  
Tangent= 52.58  
Chord= 104.53  
Chord Brg. S.25°11'08"W.

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL R/ MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORM.

PAGE(S): 32

BOUNDARY SURVEY IN SECTION 26 , TOWNSHIP 3 SOUTH,  
RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.



SYMBOL LEGEND:

■	4"x4" CONCRETE MONUMENT FOUND
□	4"x4" CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON PIN AND CAP SET
⊕	POWER POLE
▲	WATER METER
Ⓢ	CENTERLINE
*	WELL
Ⓐ	SATELLITE DISH
Ⓣ	TELEPHONE BOX
—E—	ELECTRIC LINES
—X—	WIRE FENCE
—○—	CHAIN LINK FENCE
—□—	WOODEN FENCE

DESCRIPTION:

LOT 10 OF 'FAIRWAY VIEW, UNIT 1' AS PER PLAT THEREOF RECORDED IN PLAT BOOK 3, PAGES 97 - 99 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SURVEYOR'S NOTES:

1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
2. BEARINGS ARE BASED ON SAID PLAT OF RECORD.
3. SOME PORTIONS OF THIS PARCEL ARE IN ZONE 'A' AND MAY BE SUBJECT TO FLOODING. HOWEVER, NO BASE FLOOD ELEVATION HAS BEEN DETERMINED FOR ZONE 'A'. AS PER FLOOD INSURANCE RATE MAP, DATED 6 JAN. 1988 COMMUNITY PANEL NO. 120070 0175 B. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.

TION

RESPONSIBLE CHARGE AND MEETS THE MINIMUM  
OF PROFESSIONAL SURVEYORS AND MAPPERS  
INT TO SECTION 472.027, FLORIDA STATUTES.

L. SCOTT BRITT, P.S.M.  
CERTIFICATION # 5757

ED SEAL OF A FLORIDA LICENSED SURVEYOR AND  
ONAL PURPOSES ONLY AND IS NOT VALID.



BRITT SURVEYING

LAND SURVEYORS AND MAPPERS

830 WEST DUVAL STREET LAKE CITY, FLORIDA 32055

(386)752-7163 FAX (386)752-5573

WORK ORDER # L-16892

**Columbia County Property Appraiser**

DB Last Updated: 3/10/2008

Parcel: 26-3S-16-02309-010 HX

**2008 Proposed Values**

Tax Record

Property Card

Interactive GIS Map

Print

**Owner & Property Info**

&lt;&lt; Prev Search Result: 28 of 53 Next &gt;&gt;

<b>Owner's Name</b>	STEWART JEFFREY R & DEBORAH L		
<b>Site Address</b>	FAIRWAY		
<b>Mailing Address</b>	451 NW FAIRWAY DR LAKE CITY, FL 32055		
<b>Use Desc. (code)</b>	SINGLE FAM (000100)		
<b>Neighborhood</b>	26316.03	<b>Tax District</b>	2
<b>UD Codes</b>	MKTA06	<b>Market Area</b>	06
<b>Total Land Area</b>	0.000 ACRES		
<b>Description</b>	LOT 10 FAIRWAY VIEW S/D UNIT 1 ORB 431-240, 765-100, DC LUCILLE VOGEL 825-106, WD 825-107, 878-766, 929-2108, WD 1068-698.		

**GIS Aerial****Property & Assessment Values**

<b>Mkt Land Value</b>	cnt: (1)	\$41,300.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (1)	\$140,368.00
<b>XFOB Value</b>	cnt: (4)	\$9,884.00
<b>Total Appraised Value</b>		\$191,552.00

<b>Just Value</b>		\$191,552.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$183,756.00
<b>Exempt Value</b>	(code: HX)	\$25,000.00
<b>Total Taxable Value</b>		\$158,756.00

**Sales History**

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
12/15/2005	1068/698	WD	I	Q		\$287,000.00
6/22/2001	929/2108	WD	I	Q		\$143,900.00
4/9/1999	878/766	WD	I	Q		\$155,000.00

**Building Characteristics**

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1973	Common BRK (19)	2447	3205	\$140,368.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

**Extra Features & Out Buildings**

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	0	\$1,672.00	1.000	0 x 0 x 0	(.00)
0120	CLFENCE 4	1999	\$1,000.00	1.000	0 x 0 x 0	(.00)
0294	SHED WOOD/	1999	\$300.00	1.000	0 x 0 x 0	(.00)
0281	POOL R/VIN	1993	\$6,912.00	512.000	16 x 32 x 0	(.00)

**Land Breakdown**

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	1.000 LT - (.000AC)	1.00/1.00/1.40/1.00	\$41,300.00	\$41,300.00

Columbia County Property Appraiser

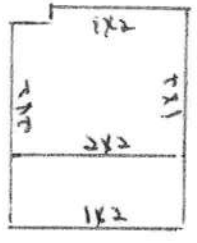
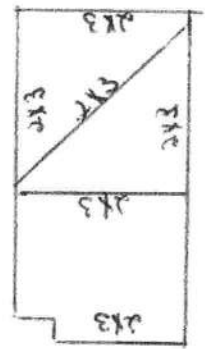
DB Last Updated: 3/10/2008

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28 of 53

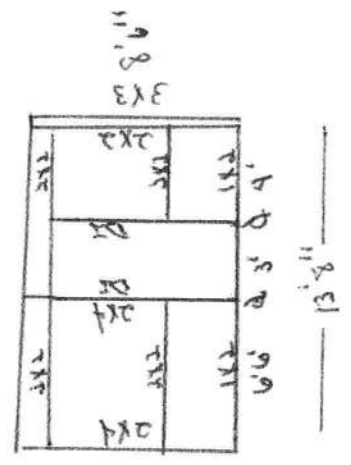
Next &gt;&gt;

# Frame in G & Ford



7'10"

9'



9'



**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

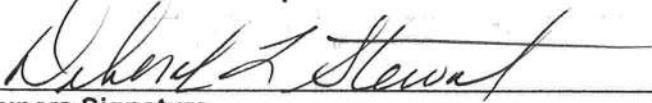
**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment**

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:**

**YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**OWNERS CERTIFICATION:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

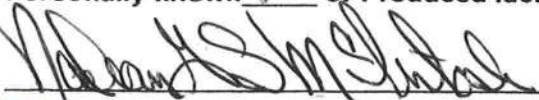
  
Owners Signature

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

  
Contractor's Signature (Permitee)

Contractor's License Number SC056689  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 14 day of April 2008.  
Personally known ☒ or Produced Identification \_\_\_\_\_

  
State of Florida Notary Signature (For the Contractor)

SEAL:



Nadean G.S. McIntosh  
Commission # DD371494  
Expires November 14, 2008  
Bonded Troy Fain - Insurance, Inc. 800-355-7819



Stewart

LAKE CITY

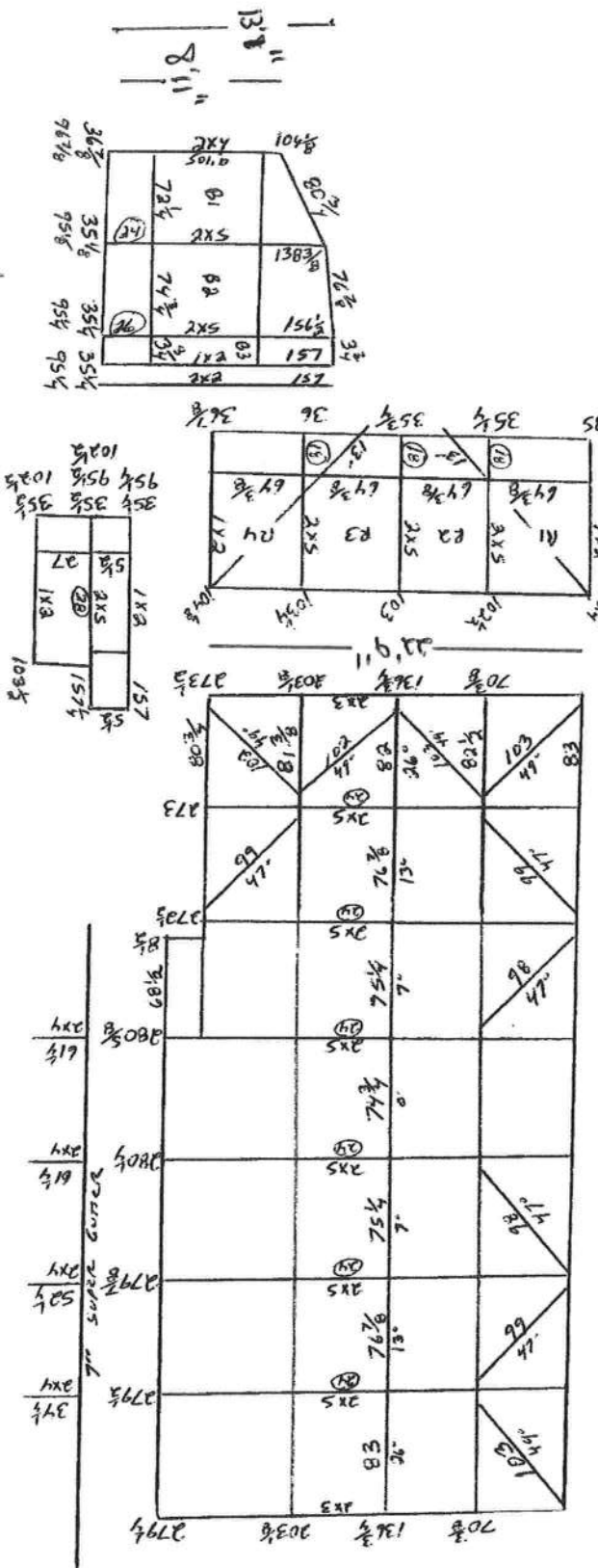
CL Beam  
 77 3/4" 76 3/4" 76 3/4" 76 3/4" 76 3/4"

MATERIAL  
 BRONZE

- 15 pcs 2x5x24' T.B
- 3 pcs 2x5x26' T.B
- 2 pcs 2x5x28' T.B
- 3 pcs 2x5x18' T.B
- 2-2x4x24' PATIO
- 12-2x3x30' > PATIO
- 2-2x3x24'
- 5-2x2x24'
- 2-2x2x30'
- 6-1x2x24'
- 4-1x2x30'
- 1-DOOR JAMB
- 1-DOOR



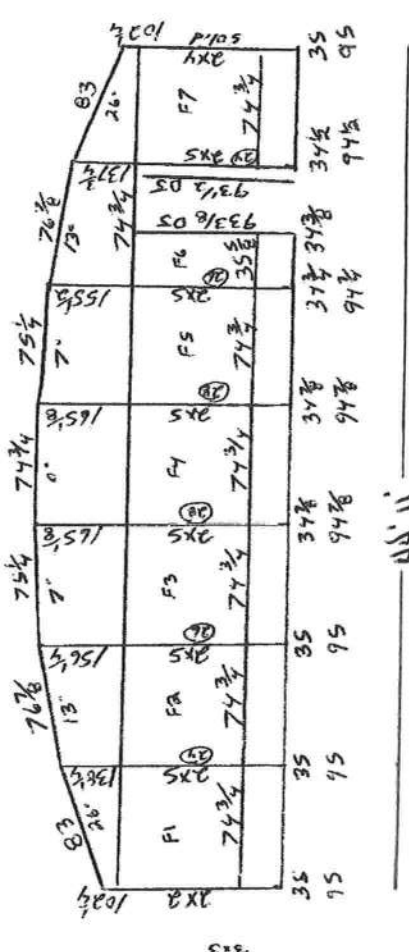
EXISTING C. Beam  
 23' 3"



13' 9"  
 8"  
 8"

12-knee braces 34"  
 2x2

Trac Benn  
 Engineering



44' 11"

DO KIM  
& ASSOCIATES, LLC  
CONSULTING  
STRUCTURAL  
ENGINEERS

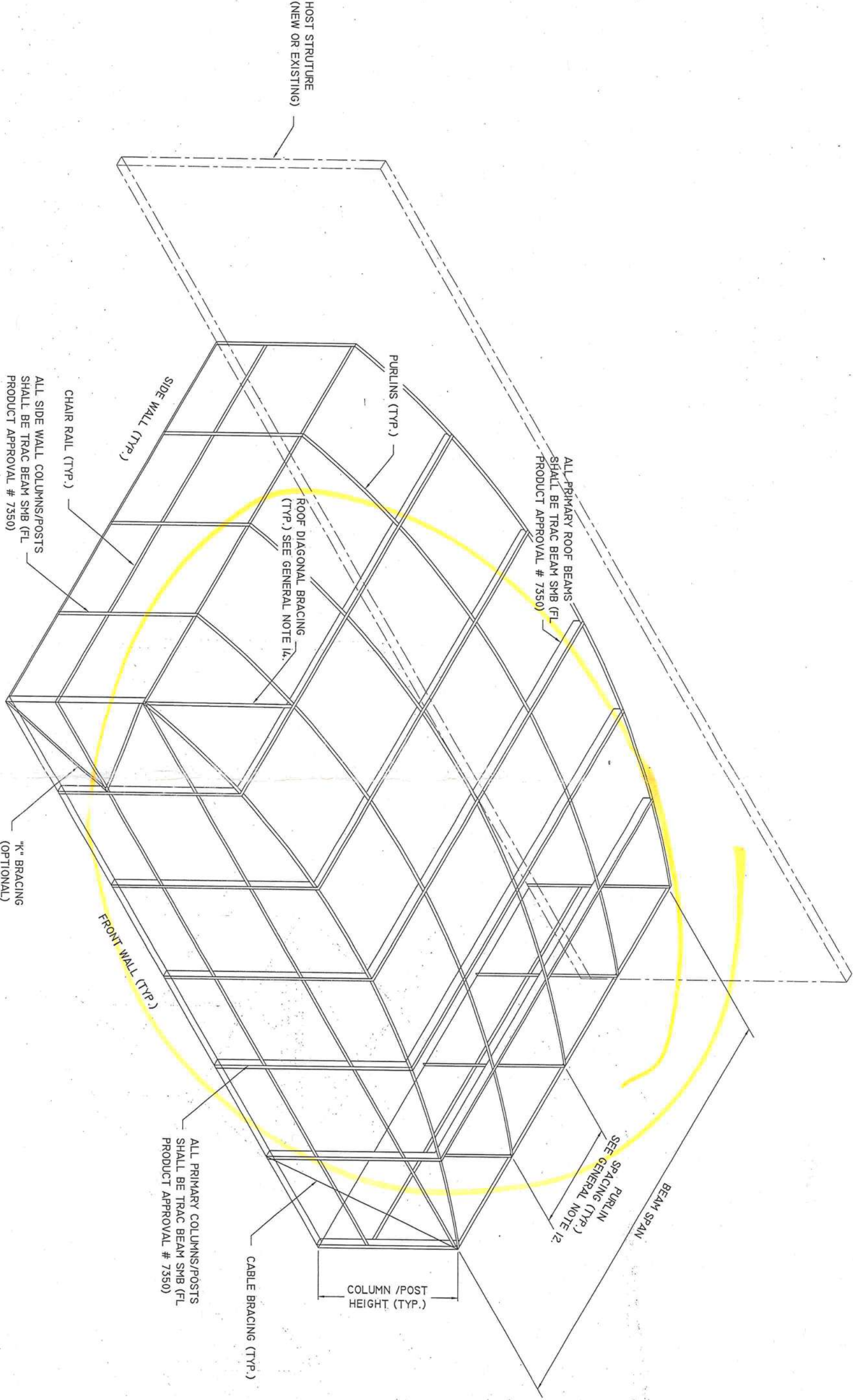
3300 Henderson Blvd., Suite 106  
Tampa, FL 33609  
Tel: (813) 874-5900  
Fax: (813) 874-5959

Rev/Date	Description
Δ 9/05 2006	ISSUED
Δ 10/9 2006	ADDED MANSARD SPRICE CONNECTION
Δ 10/31 2006	REVISED DETAILS
Δ	
Δ	

CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO KIM & ASSOCIATES, LLC  
FLA REG. NUMBER 49497  
CA# 26867  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33604



TYPICAL DOME ROOF

NOTE: Sketch is only a representation of a Dome Style Enclosure.  
Contractor shall provide detailed layout drawings.

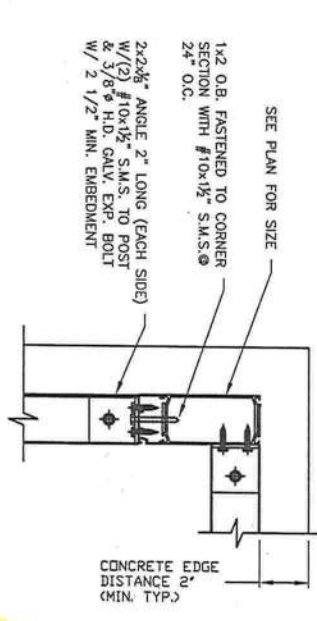
FILE COPY

FILE COPY



CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

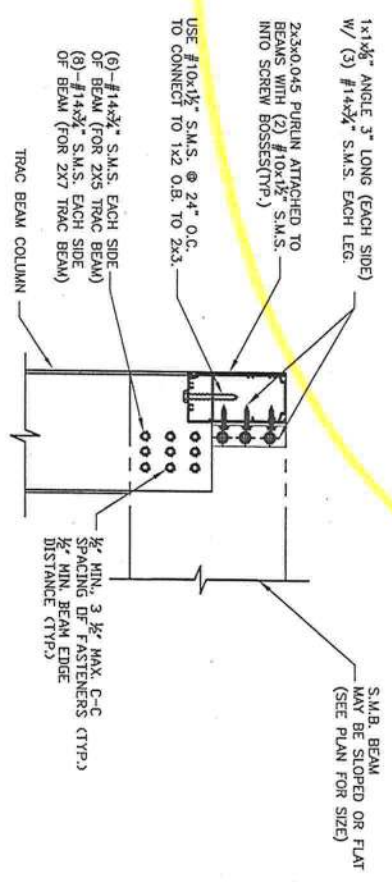
DO TERN K.M.P.E.  
FLA. REG. NUMBER 49497  
CA# 26887  
DO KIM & ASSOCIATES, LLC  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33664



PLAN - TYPICAL ROOF  
BRACE TO BEAM CONNECTION



**CORNER POST / COLUMN  
TO FOUNDATION  
CONNECTION DETAIL**



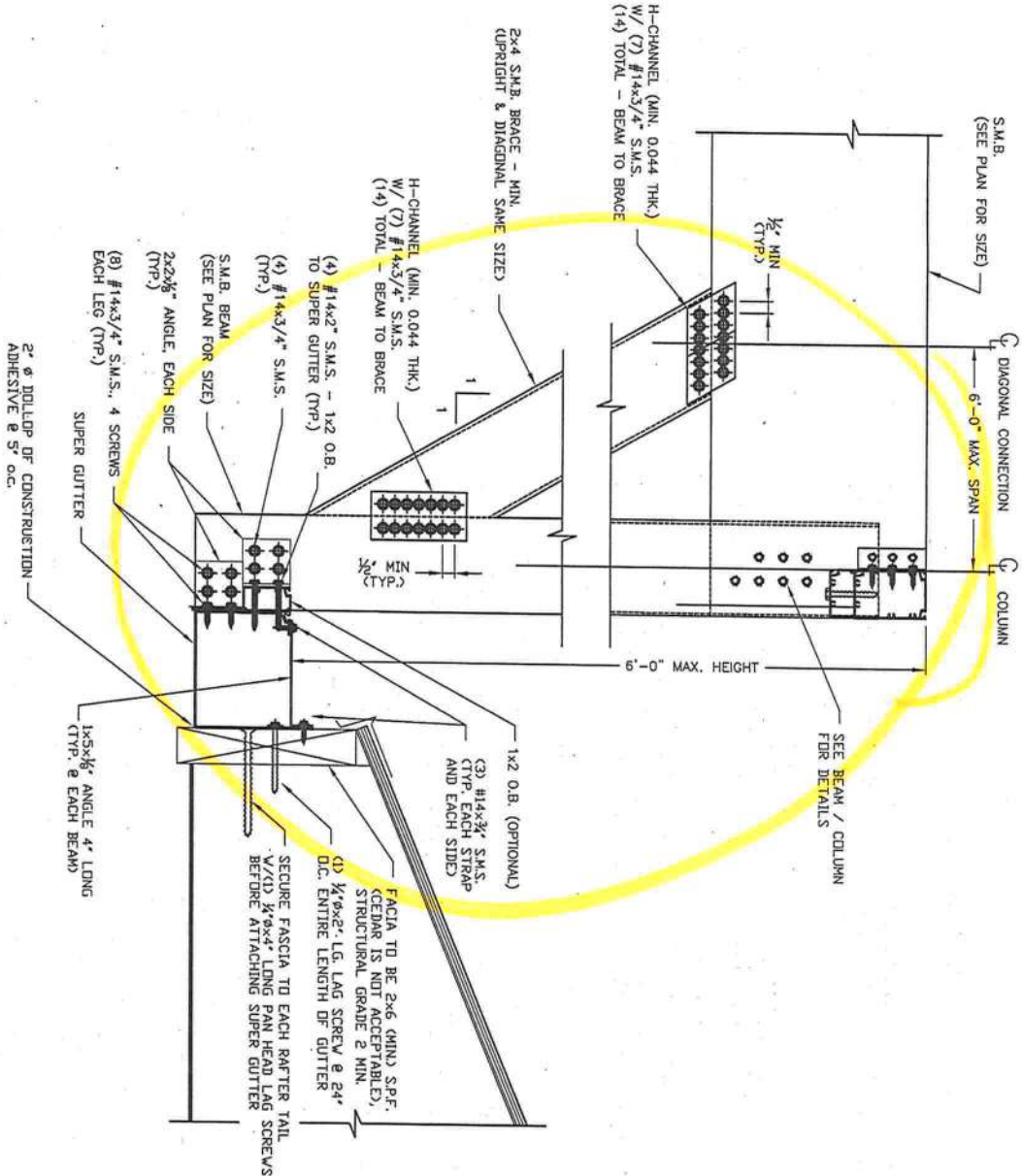
MAIN POST / COLUMN TO ROOF BEAM  
CONNECTION DETAIL



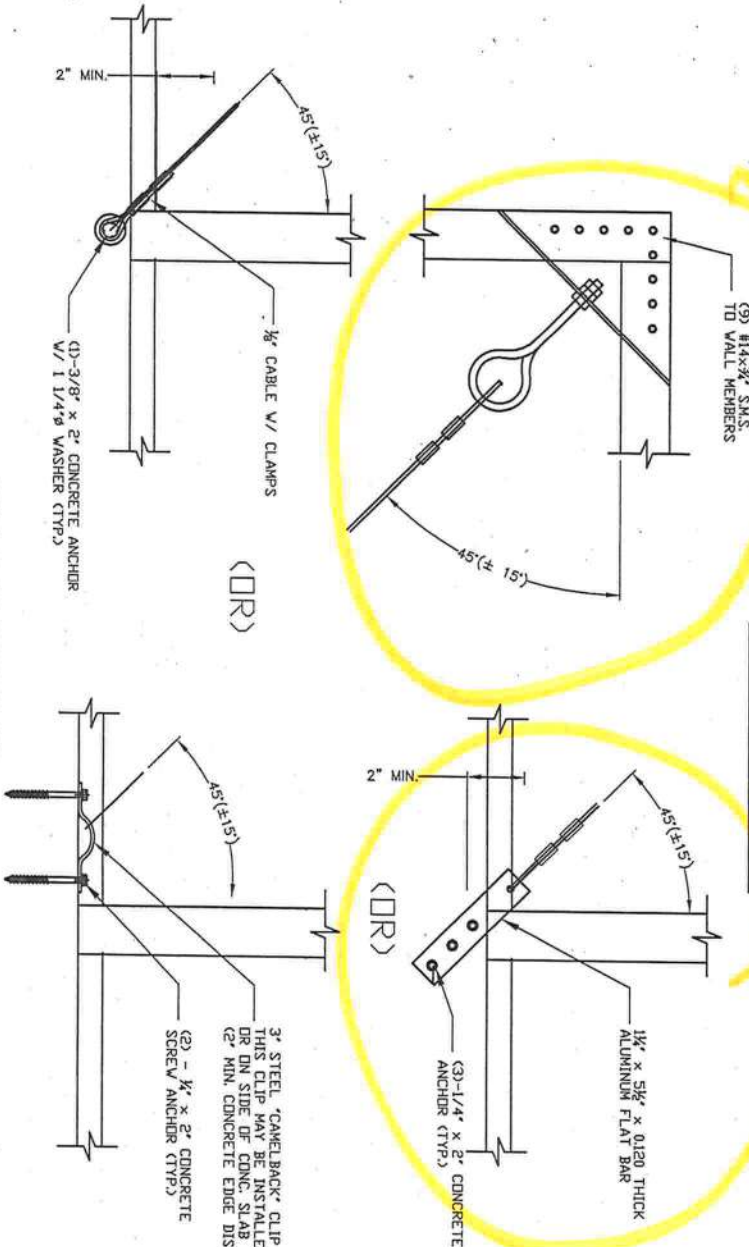
General Notes and Specifications:

- Contractor shall field verify all dimensions before construction and shall notify engineer of discrepancies for immediate consideration.
- Concrete shall be minimum 28 day compressive strength of  $f'c=2500$  psi, and be in accordance with the requirements of ACI 318. Reinforcing steel shall have a min. yield strength of 40,000 psi (grade 40) and be provided with cover in accordance with ACI 318. If existing concrete slabs/footings are deemed satisfactory, it may be incorporated into new slab/footing by observing the following procedure:
  - Clean and scabble all connecting edges.
  - Drill and epoxy embed #5 reinforcing placed @ 12" O.C. mid depth. The rebar should be embedded a min. of 7" (using Hilti HY 150 Epoxy or equal approved), leaving 24" exposed to be incorporated into new slab/footing.
- All dimensions are provided by contractor. DO Kim & Associates, LLC have made interpretations where necessary.
- The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good condition and of sufficient strength to hold the proposed addition. If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.
- Screen density shall be a maximum of 20 x 20 mesh.
- Connections using screw bosses shall have minimum (4) #10x1" per connection unless shown otherwise.
- Every panel of screen mesh shall be fastened securely in place with spline. Each panel shall be fastened at all sides, independent of surrounding panels. This requirement shall include purlins and chair/kickplate rails. Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.
- Unless otherwise shown, screws shall have minimum edge distance and center-to-center distances as shown in this table.

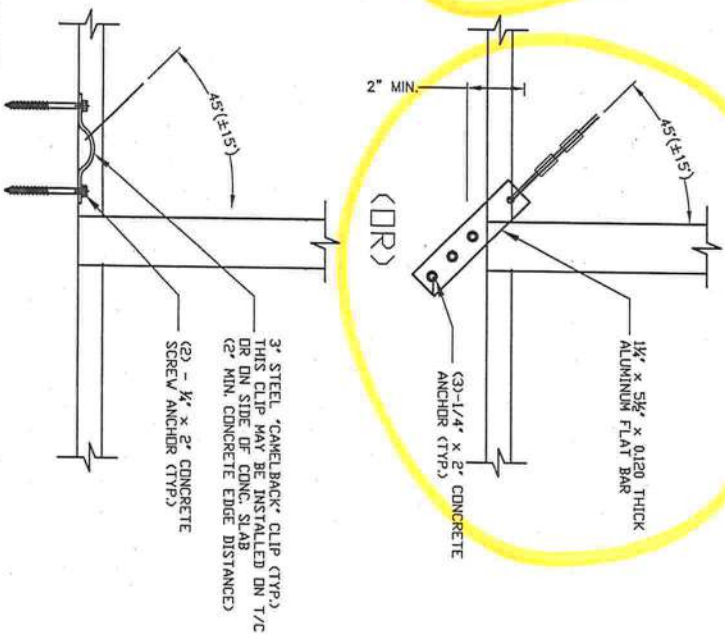
C-1022 Low Carbon Steel SMS & Self-Drilling (TEX) Screws (Industry Standard Screws)			
Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#10	0.188	$\frac{5}{8}"$	$\frac{1}{2}"$
#12	0.219	$\frac{3}{4}"$	$\frac{5}{8}"$
#14 (1 1/4")	0.250	$\frac{7}{8}"$	$\frac{5}{8}"$
- Structure has been designed to meet the 2004 FBC with 2006 supplements. Project is sited where the basic wind speed is 120 mph (3-sec gust),  $I=0.77$  for screen enclosures. Exposure B. Design wind pressures are from 2004 FBC. Minimum design pressure is 10 psf. Pressures are based on wind tunnel testing with main wind force resisting system coefficient,  $G_{Cp}$  of  $\pm 0.25$  for screen roof and 0.7-1.25 for walls.
- All concrete anchors shall be Simpson Strong-Tie Wedge All Anchors or Titan Screws or approved equal.
- Maximum spacing of Purlins shall be less than 8'-0" o.c. Maximum spacing of Chair Rails (Girts) shall be less than 9'-0" o.c.
- Composite panel or riser panel metal shall be of aluminum alloy 3105-H15 or 3105-H25.
- Diagonal bracing shall be installed on all roof screen panels that have at least one side adjacent to an exterior screen wall.
- Construction adhesive shall meet ASTM C-557. MIN shear strength @ 7 days = 425 P.S.I.
- When knee braces are utilized at uprights and beams, beam spans shown in tables are from the interior side of the knee brace supporting the beam.
- Lateral cable bracing shall be provided at each screened wall parallel to host structure, unless it is directly attached to host structure. One set of cable braces shall be provided for each 500 sf of screened wall area that the wind load is being applied.
- Structures that exceed 45 feet of beam span or heights exceeding 25 feet or are located in Exposure C shall require site specific evaluation by the engineer of record. Roof beams that are 2x8 Trac Beam having spans greater than 35 feet shall use 2x7 Trac or 2x8 Trac uprights.
- All Aluminum members shall be 6063-T6 Alloy unless otherwise noted. Trac Beams shall be 6005-T5 Alloy.



NON-GABLE ROOF TRANSOM (RISER) WALL CONNECTION DETAIL



CABLE BRACE DETAIL



MAXIMUM SPANS FOR CARRIER BEAMS (SUPPORTING SCREEN ROOF ONLY)

BEAM	TRIBUTARY WIDTH			
	10'	15'	20'	25'
2X5 TRAC	23.5'	19.8'	17.0'	15.0'
2X7 TRAC	25.7'	22.3'	20.1'	18.1'
2X8 TRAC	40.0'	34.3'	29.6'	28.2'

Design wind speed up to 120 mph. Exposure B.

DO KIM & ASSOCIATES, LLC CONSULTING STRUCTURAL ENGINEERS

3300 Henderson Blvd., Suite 106  
Tampa, FL 33609  
Tel: (813) 874-5900  
Fax: (813) 874-5959

Rev/Date	Description
9/05 2006	ISSUED
10/31 2006	REVISED DETAILS AS SHOWN
9/7 2007	REVISED DETAILS AS SHOWN

CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO KIM & ASSOCIATES, P.E.  
FL REG. NUMBER 49497  
DO KIM & ASSOCIATES, LLC  
CA# 26887  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684

Drawing No. - 060905



DO KIM  
& ASSOCIATES, LLC  
CONSULTING  
STRUCTURAL  
ENGINEERS

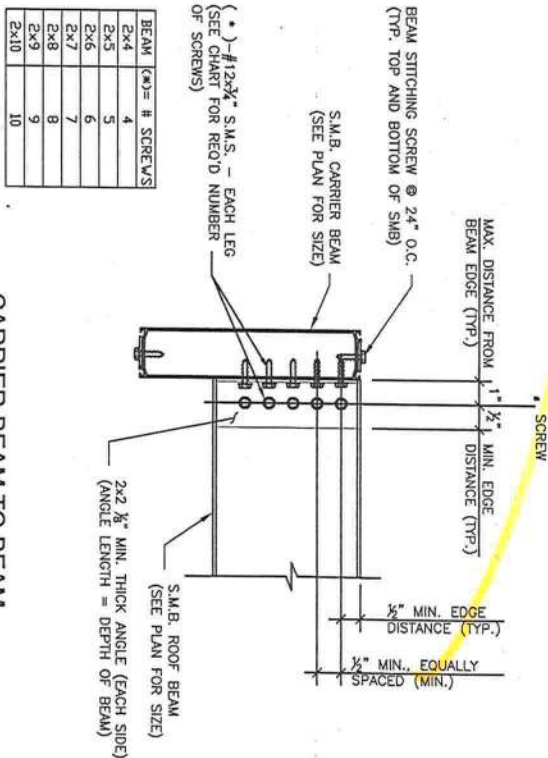
3300 Henderson Blvd., Suite 106  
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Tel: (813) 874-5900  
Fax: (813) 874-5959

Rev/Date	Description
9/05/2006	ISSUED
1/10/2006	ADDED MANSARD SPICE CONNECTION
2/10/2006	REVISED DETAILS

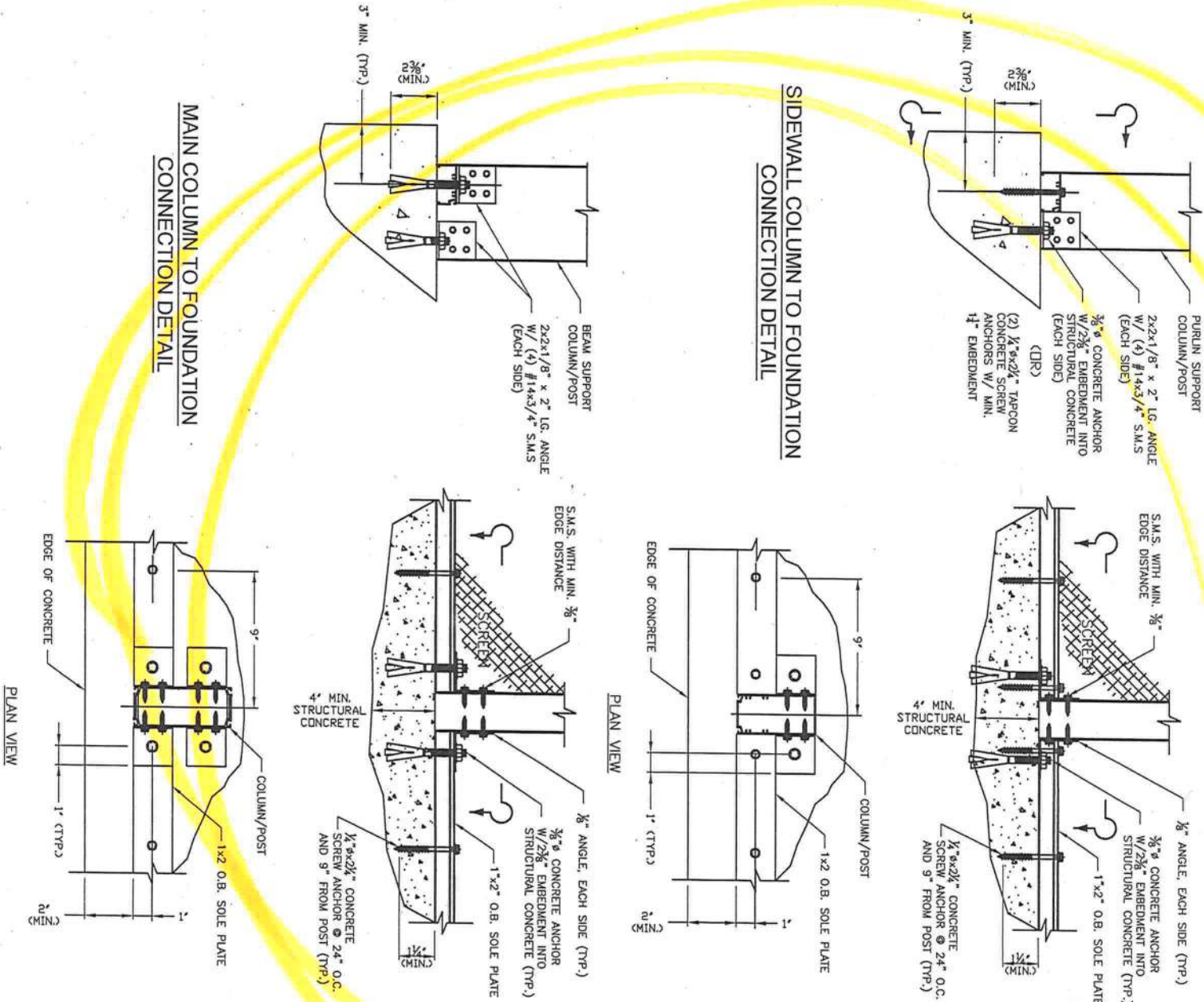
CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/06

DO KIM & ASSOCIATES, LLC  
CA# 26887  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684

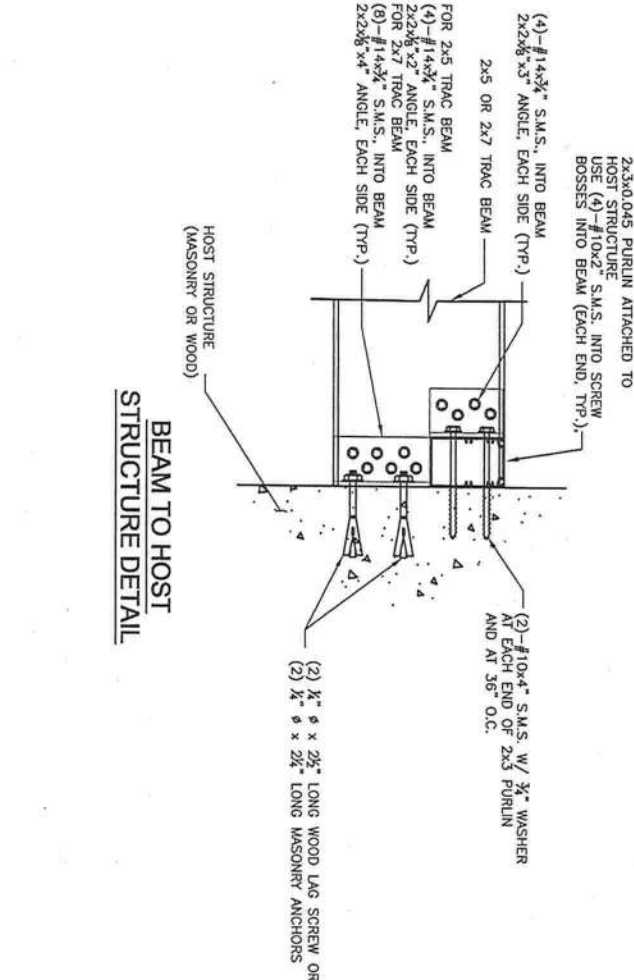


CARRIER BEAM TO BEAM  
CONNECTION DETAIL



MAIN COLUMN TO FOUNDATION  
CONNECTION DETAIL

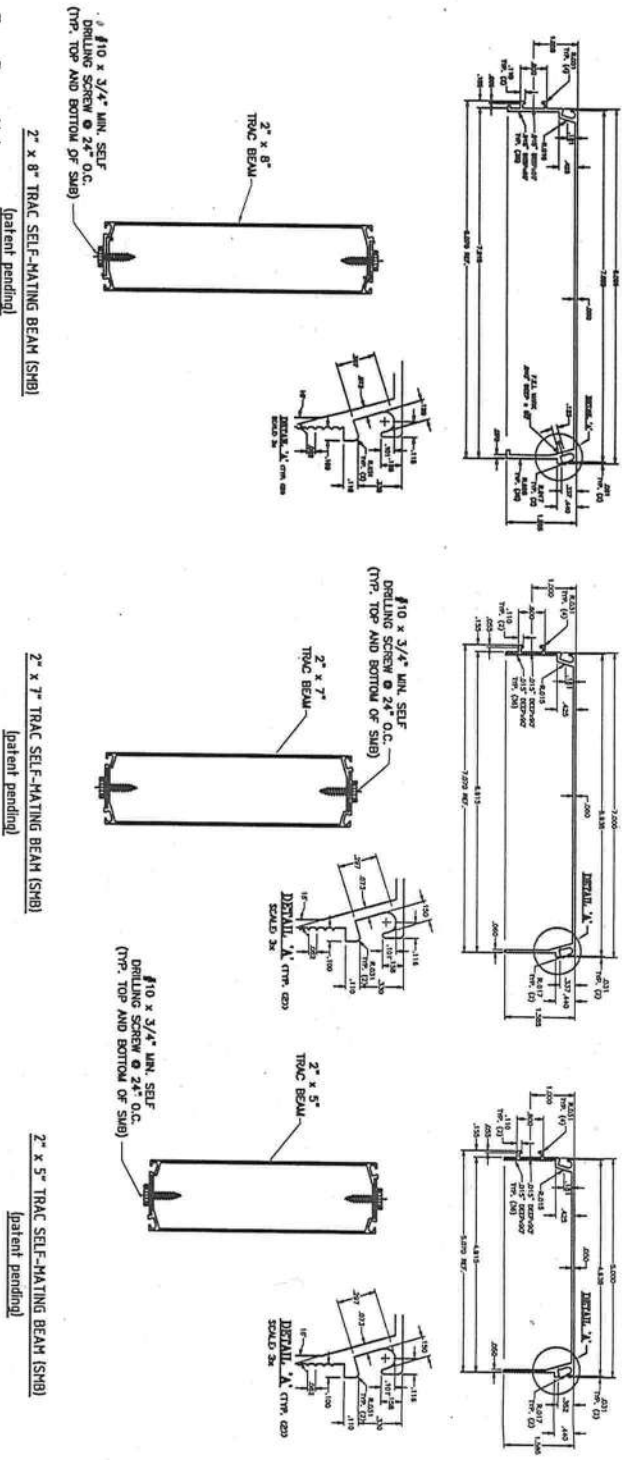
SIDEWALL COLUMN TO FOUNDATION  
CONNECTION DETAIL



BEAM TO HOST  
STRUCTURE DETAIL



Pool Enclosure Collective, LLC  
Trac Beam (FL State Product Approval #7350 & #9328)



- Trac Beam Notes:
1. Refer to Florida Product Approval #FL7350 & #FL9328 for project specific requirements to be used by design professional.
  2. Drawings are illustrative purposes only.
  3. Tables developed from loads in FL9328 tables which are allowable working loads and may be used without any additional reductions. Spans are based on ten feet well height. For well heights exceeding ten feet, allowable column spans shall be reduced 7% for each five feet increment.
  4. Allowable point loads and deflections are converted to allowable uniform loads and deflections using analytic and comparative analysis.
  5. Allowable spans tables are based on 2004 Florida Building Code with 2006 Updates. Wind loads are based on Chapter 20 and Table 2004.4.
  6. Consult a licensed design professional for use of this product information.
  7. Maximum allowable deflections limits of L/80 in H/HZ shall be considered by design professional. L/80 in H/HZ.

2x8 TRAC SPAN (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	32.5'	30.0'	28.9'	27.7'	26.3'
6' D.C.	29.5'	28.7'	27.6'	26.3'	25.0'
7' D.C.	28.7'	27.8'	26.7'	24.9'	23.5'
8' D.C.	27.8'	26.5'	25.2'	23.4'	21.8'

2x8 TRAC BEAM CLEAR SPAN (FLAT ROOF)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	40.0'	40.0'	40.0'	40.0'	36.0'
6' D.C.	40.0'	40.0'	40.0'	37.0'	35.0'
7' D.C.	40.0'	40.0'	38.0'	35.5'	34.0'
8' D.C.	40.0'	38.0'	36.0'	34.2'	32.0'

2x8 TRAC BEAM SPAN (MANSARD ROOF)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	52.0'	52.0'	52.0'	52.0'	47.0'
6' D.C.	52.0'	52.0'	52.0'	50.0'	46.0'
7' D.C.	52.0'	52.0'	52.0'	47.5'	44.8'
8' D.C.	52.0'	50.0'	47.0'	45.0'	42.8'

2x5 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	25'	25'	25'	24.12'	23.27'
6' D.C.	25'	25'	25'	23.06'	22.12'
7' D.C.	25'	25'	23.51'	22.16'	21.33'
8' D.C.	25'	25'	22.94'	21.36'	20.35'

2x5 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	20.31'	19.00'	17.01'	15.00'	13.33'
6' D.C.	18.57'	17.00'	14.57'	13.07'	12.28'
7' D.C.	16.89'	15.00'	13.00'	12.15'	11.24'
8' D.C.	15.11'	13.52'	12.28'	11.13'	10.12'

2x7 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	37.82'	37.62'	34.63'	31.23'	28.00'
6' D.C.	35.18'	35.01'	31.23'	27.37'	23.61'
7' D.C.	32.65'	32.43'	28.00'	23.48'	23.05'
8' D.C.	30.00'	29.82'	24.76'	23.21'	22.61'

2x7 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	23.04'	22.42'	21.48'	20.53'	19.59'
6' D.C.	22.22'	21.47'	20.34'	19.21'	18.08'
7' D.C.	21.41'	20.53'	19.20'	17.80'	16.68'
8' D.C.	20.55'	19.59'	18.08'	16.58'	15.08'

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ENGINEERS

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Fax: (813) 874-5959

Rev/Date	Description
9/05 2006	ISSUED
9/07 2007	2x8 Trac Added

CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/05

DO KIM & ASSOCIATES, P.E.  
F.A. REGISTERED PROFESSIONAL ENGINEER  
CA# 26887  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684

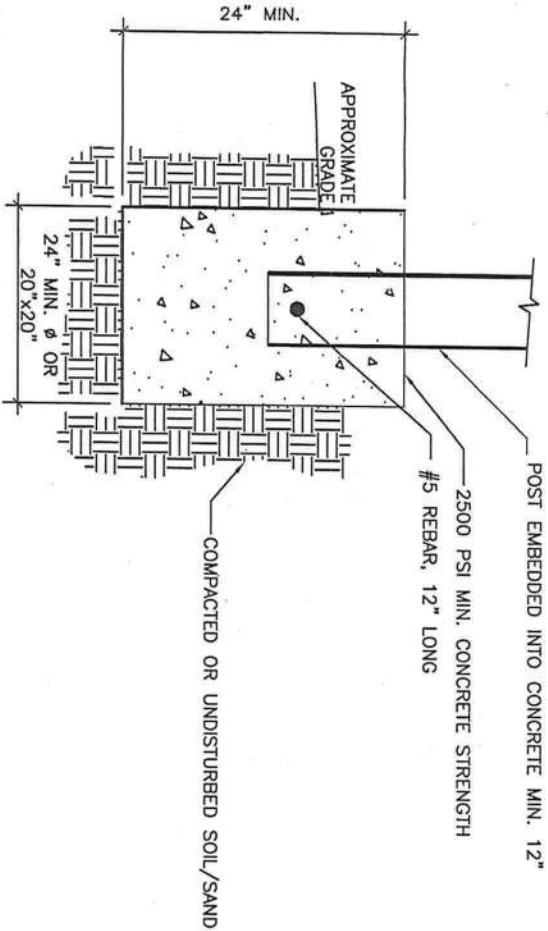


Rev/Date	Description
9/05 2006	ISSUED
10/9 2006	ADDED MANSARD SPICE CONNECTION
10/31 2006	REVISED DETAILS

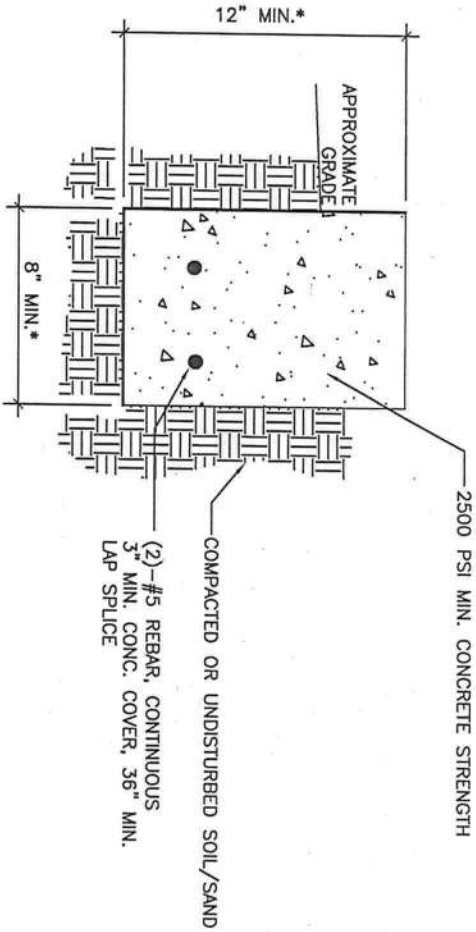
CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/06

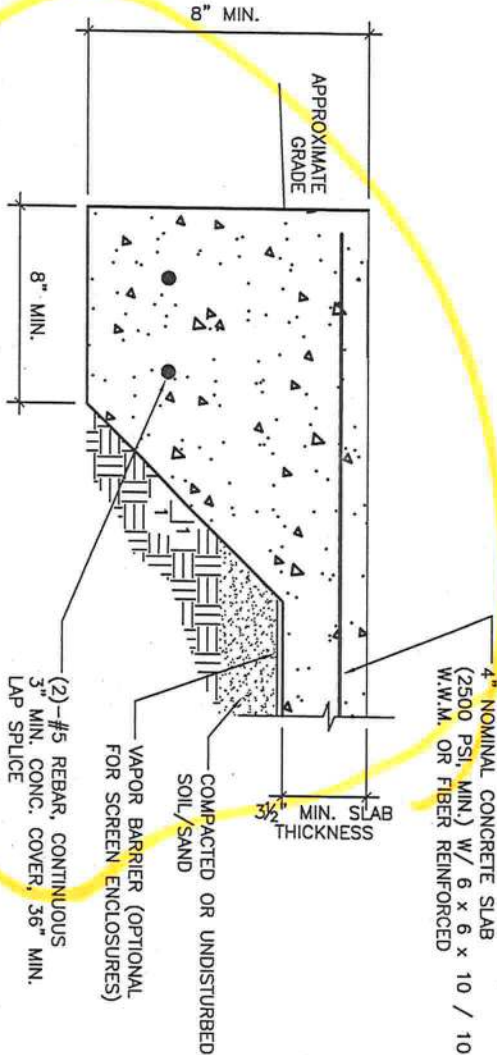
DO KIM, P.E.  
FL REG. NUMBER 49497  
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Tampa, FL 33684



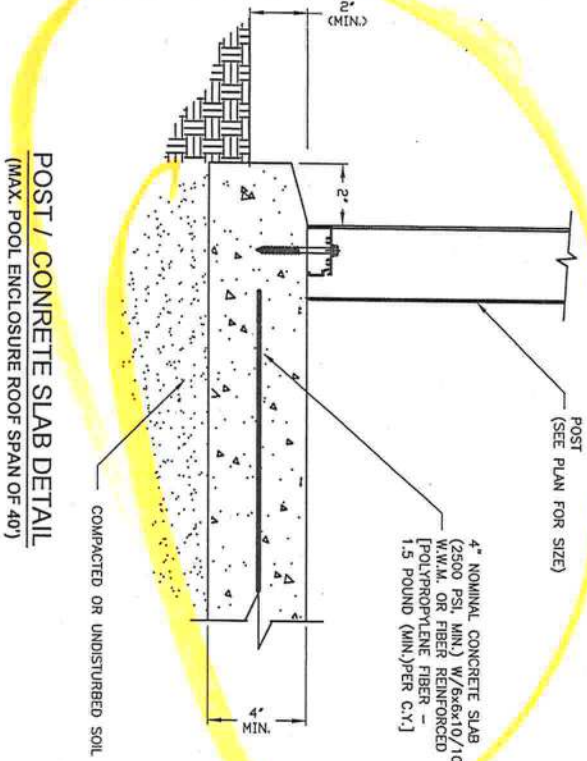
STANDARD TYP. ISOLATED FOOTER



STANDARD TYP. CONTINUOUS PERIMETER FOOTING  
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



STANDARD TYP. TURNDOWN SLAB FOOTING  
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



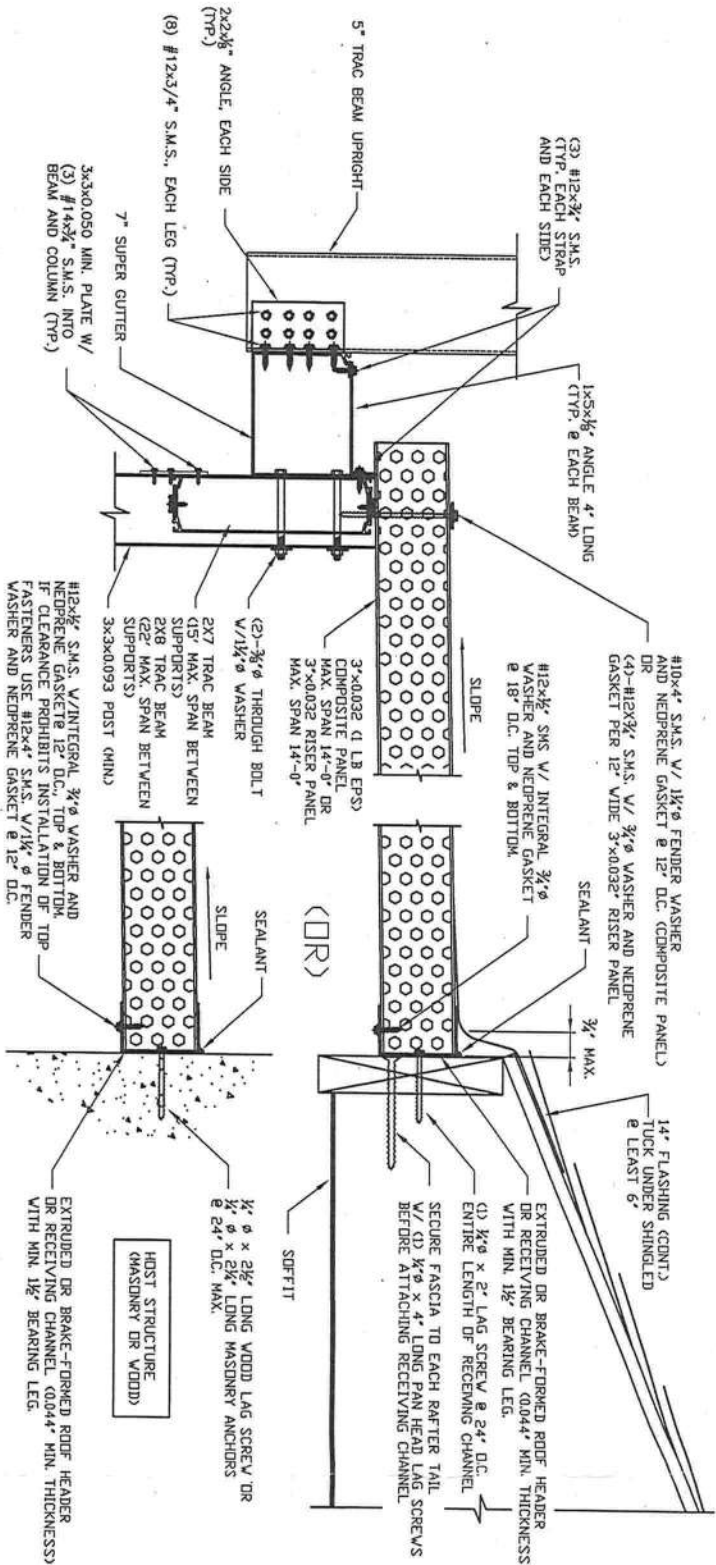
POST / CONCRETE SLAB DETAIL  
(MAX. POOL ENCLOSURE ROOF SPAN OF 40')

Rev/Date	Description
905 2006	ISSUED
109 2006	ADDED MANSARD SPICE CONNECTION
10031 2006	REVISED DETAILS
△	
△	
△	

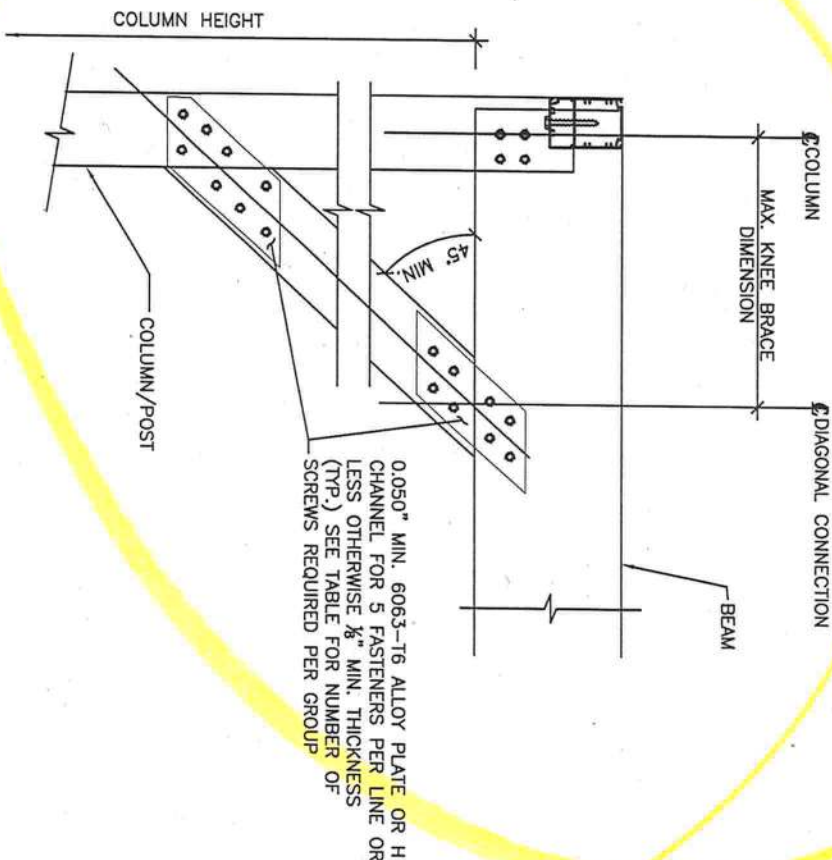
CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO KIM, P.E.  
FLA. REG. NUMBER 49497  
DO KIM & ASSOCIATES, LLC  
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3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33694



SCREEN ROOF TO  
PANEL OR COMPOSITE ROOF  
CONNECTION DETAIL



TYP. FRONT WALL KNEE BRACE CONNECTION DETAIL

KNEE BRACE SECTION	MAX. LENGTH	#10x $\frac{1}{2}$ " S.M.S.
2"x2"x0.044" HOLLOW	36 INCHES	3
2"x3"x0.045" HOLLOW	44 INCHES	4
2"x4"x0.050 HOLLOW	50 INCHES	5
2"x4"x0.046x0.100 SMB	62 INCHES	6