

**Columbia County New Building Permit Application**

<b>For Office Use Only</b>		Application # <u>44460</u>	Date Received <u>2/4</u>	By <u>MG</u>	Permit # <u>39413</u>
Zoning Official <u>LW</u>	Date <u>2-5-20</u>	Flood Zone <u>X</u>	Land Use <u>Ag</u>	Zoning <u>A-3</u>	
FEMA Map # <u></u>	Elevation <u></u>	MFE <u></u>	River <u></u>	Plans Examiner <u>TC</u>	Date <u>2-1-20</u>
Comments <u></u>					
<input checked="" type="checkbox"/> NOC <input checked="" type="checkbox"/> DEH <input checked="" type="checkbox"/> Deed or PA <input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> State Road Info <input type="checkbox"/> Well Letter <input type="checkbox"/> 911 Sheet <input type="checkbox"/> Parent Parcel # <u></u> <input type="checkbox"/> Dev Permit # <u></u> <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Auth. from Contractor <input type="checkbox"/> F W Comp. letter <u></u> <input type="checkbox"/> Owner Builder Disclosure Statement <input type="checkbox"/> Land Owner Affidavit <input type="checkbox"/> Ellisville Water <input checked="" type="checkbox"/> App Fee Paid <input checked="" type="checkbox"/> Sub VF Form <u></u>					
Septic Permit No. <u>20-0139</u>		OR City Water <input type="checkbox"/>		Fax <u></u>	
Applicant (Who will sign/pickup the permit) <u>Rami Al-Chacar</u>			Phone <u>336-429-6445</u>		
Address <u>820 Reeves Dr, Mt Airy, NC 27030</u>					
Owners Name <u>John Blanchard</u>			Phone <u>386-867-1724</u>		
911 Address <u>427 NW Cracknel Way Lake City, FL 32055</u>					
Contractors Name <u>Steel Buildings and Structures, Inc</u>			Phone <u>336-429-6445</u>		
Address <u>820 Reeves Drive, Mt. Airy, NC 27030</u>					
Contractor Email <u>Sbspermitting@sbsinc.com</u>			***Include to get updates on this job.		
Fee Simple Owner Name & Address <u></u>					
Bonding Co. Name & Address <u></u>					
Architect/Engineer Name & Address <u>Wayne S. Moore, 401 S. Main St, Mt. Airy, NC 27030</u>					
Mortgage Lenders Name & Address <u></u>					
Circle the correct power company <input type="checkbox"/> FL Power & Light <input type="checkbox"/> Clay Elec. <input type="checkbox"/> Suwannee Valley Elec. <input type="checkbox"/> Duke Energy					
Property ID Number <u>28-25-16-01772-122</u>		Estimated Construction Cost <u>12,852.59</u>			
Subdivision Name <u>Suwannee Hills</u>		Lot <u>22</u> Block <u>A</u> Unit <u></u> Phase <u></u>			
Driving Directions from a Major Road <u></u>					
<u></u>					
Construction of <u>30x36 accessory structure</u>		Commercial OR <input checked="" type="checkbox"/> Residential			
Proposed Use/Occupancy <u>Storage</u>		Number of Existing Dwellings on Property <u>1</u>			
Is the Building Fire Sprinkled? <u>No</u> If Yes, blueprints included <u></u> Or Explain <u></u>					
Circle Proposed <input type="checkbox"/> Culvert Permit or <input type="checkbox"/> Culvert Waiver or <input type="checkbox"/> D.O.T. Permit or <input type="checkbox"/> Have an Existing Drive					
Actual Distance of Structure from Property Lines - Front <u></u> Side <u></u> Side <u>25'</u> Rear <u>15'</u>					
Number of Stories <u></u>		Heated Floor Area <u>0</u>		Total Floor Area <u>1080</u> Acreage <u></u>	
Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) <u></u>					

## Columbia County Building Permit Application

**CODE: Florida Building Code 2017 and the 2014 National Electrical Code.**

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**TIME LIMITATIONS OF APPLICATION:** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT:** YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

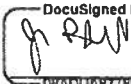
**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

John Blanchard iv

Print Owners Name

DocuSigned by:  
  
 OWNERS SIGNATURE

**\*\*Property owners must sign here before any permit will be issued.**

**\*\*If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

  
 Contractor's Signature

Contractor's License Number CBC1260497  
 Columbia County  
 Competency Card Number 1838 ✓

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 31st day of January 2020.

Personally known ☒ or Produced Identification

  
 State of Florida Notary Signature (For the Contractor)  
 North Carolina

SEAL:

**FRANCES GARCIA**  
 NOTARY PUBLIC  
 SURRY COUNTY  
 STATE OF NORTH CAROLINA

## SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # \_\_\_\_\_ JOB NAME \_\_\_\_\_

### THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

**NOTE:** It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

**Use website to confirm licenses:** <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

**NOTE:** If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

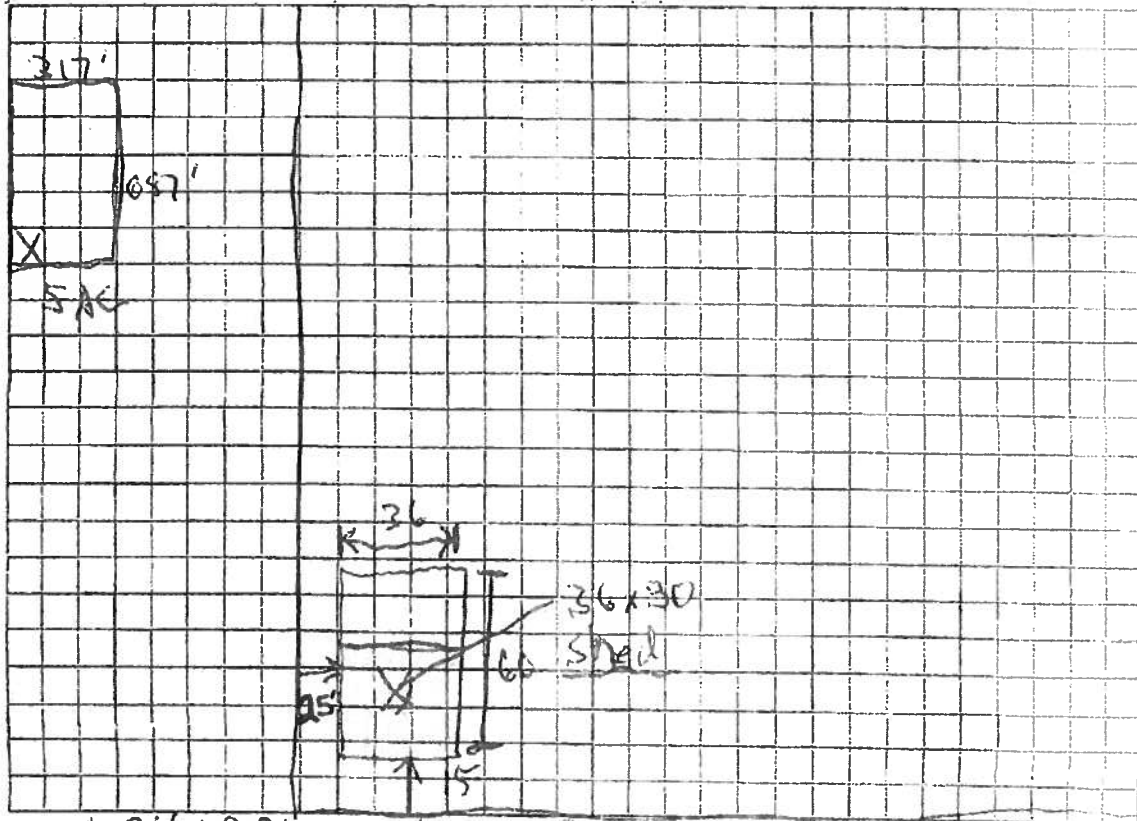
Violations will result in stop work orders and/or fines.

<b>ELECTRICAL</b> <input type="checkbox"/>	Print Name <u>No electrical</u> Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>MECHANICAL/A/C</b> <input type="checkbox"/>	Print Name <u>No mechanical</u> Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>PLUMBING/GAS</b> <input type="checkbox"/>	Print Name <u>No plumbing</u> Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>ROOFING</b> <input type="checkbox"/>	Print Name <u>No roofing</u> Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SHEET METAL</b> <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>FIRE SYSTEM/SPRINKLER</b> <input type="checkbox"/>	Print Name <u>No Fire System</u> Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SOLAR</b> <input type="checkbox"/>	Print Name <u>No solar</u> Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>STATE SPECIALTY</b> <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number \_\_\_\_\_

----- PART II - SITEPLAN -----



Notes: A 36' x 30' metal shed will be built on a 36' x 60' concrete slab on the south east corner of property.

Site Plan submitted by: John Blanked ID

Plan Approved \_\_\_\_\_

Not Approved \_\_\_\_\_

Date \_\_\_\_\_

By \_\_\_\_\_

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

DH 40-6, 09/09 (Obsoletes previous editions which may not be used) Incorporated: 64E-6.001, FAC  
(Stock Number: 5744-092-4015-5)

Page 2 of 4

# NOTICE OF COMMENCEMENT

Tax Parcel Identification Number: \_\_\_\_\_

## Clerk's Office Stamp

Inst: 202012082832 Date: 02/05/2020 Time: 8:40AM  
Page 1 of 1 B: 1404 P: 2710, P.DeWitt Cason, Clerk of Court  
Columbia, County, By: BD  
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 28-25-16-01772-122  
a) Street (job) Address: 427 NW Cracknel Way, Lake City, FL 32055
2. General description of improvements: 30 x 36 detached accessory structure
3. Owner Information or Lessee information if the Lessee contracted for the improvements:  
a) Name and address: John Blanchard : 427 NW Cracknel Way, Lake City  
b) Name and address of fee simple titleholder (if other than owner) \_\_\_\_\_  
c) Interest in property Storage / Carport
4. Contractor Information  
a) Name and address: Steel Buildings & Structures, Inc. 820 Reeves Drive, 27030  
b) Telephone No.: 877-272-8276
5. Surety Information (if applicable, a copy of the payment bond is attached):  
a) Name and address: \_\_\_\_\_  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_
6. Lender  
a) Name and address: \_\_\_\_\_  
b) Phone No. \_\_\_\_\_
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:  
a) Name and address: \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
a) Name: \_\_\_\_\_ OF \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

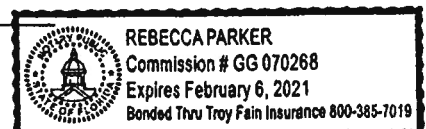
10. [Signature]  
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager  
John Blanchard IV  
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 4th day of February, 2020, by:  
John Blanchard as Self for John Blanchard  
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known ☒ OR Produced Identification \_\_\_\_\_ Type \_\_\_\_\_

Notary Signature [Signature]

Notary Stamp or Seal:



## Columbia County Property Appraiser

Jeff Hampton

2020 Working Values

updated: 1/6/2020

Parcel: &lt;&lt; 28-2S-16-01772-122 &gt;&gt;

## Owner &amp; Property Info

Result: 1 of 1

Owner	BLANCHARD JOHN C IV & ROBIN L BLANCHARD 427 NW CRACKNEL WAY LAKE CITY, FL 32055		
Site	427 CRACKNEL WAY,		
Description*	LOT 22 BLOCK A SUWANNEE HILLS S/D. ORB 780-768, 786-1751, 814-1477, WD 993-1339, FJ DIV#04-202DR 1010-941, SWD 1016-1105, WD 1212-1740,		
Area	5.01 AC	S/T/R	28-2S-16
Use Code**	SINGLE FAM (000100)	Tax District	3

\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

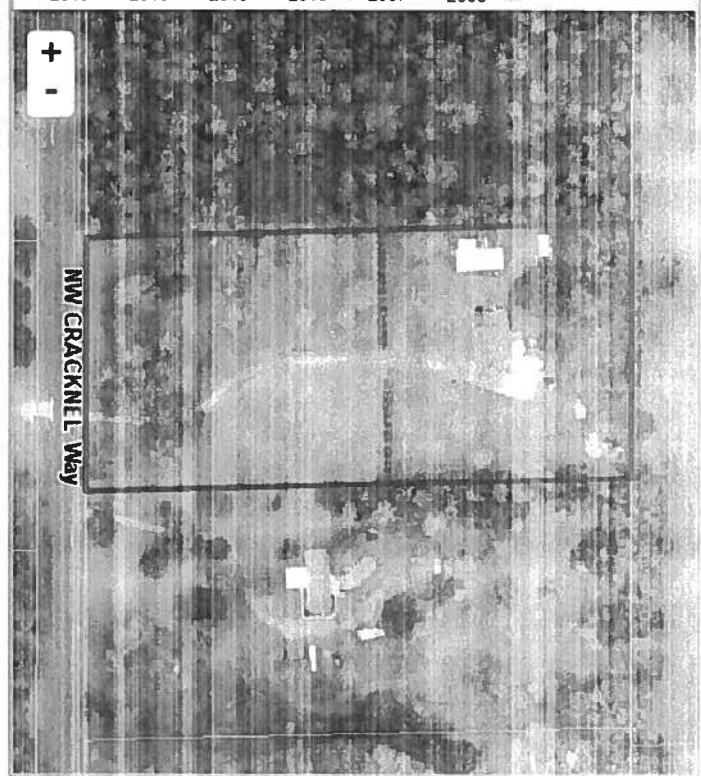
\*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning &amp; Zoning office for specific zoning information.

## Property &amp; Assessment Values

2019 Certified Values		2020 Working Values	
Mkt Land (2)	\$24,287	Mkt Land (2)	\$24,287
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (1)	\$99,687	Building (1)	\$101,429
XFOB (6)	\$24,862	XFOB (6)	\$24,084
Just	\$148,836	Just	\$149,800
Class	\$0	Class	\$0
Appraised	\$148,836	Appraised	\$149,800
SOH Cap [?]	\$10,326	SOH Cap [?]	\$7,135
Assessed	\$138,510	Assessed	\$142,665
Exempt	HX H3 \$50,000	Exempt	HX H3 \$50,000
Total	county:\$88,510	Total	county:\$92,665
Taxable	city:\$88,510	Taxable	city:\$92,665
	other:\$88,510		other:\$92,665
	school:\$113,510		school:\$117,665

Aerial Viewer Pictometry Google Maps

2019 2016 2013 2010 2007 2005 Sales



## Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
4/5/2011	\$100	1212/1740	WD	I	U	11
12/5/1995	\$104,500	814/1477	WD	I	Q	
2/24/1994	\$15,000	786/1751	QC	V	U	01
4/12/1993	\$10,995	780/0768	WD	V	Q	

## Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SINGLE FAM (000100)	1994	1682	2792	\$101,429

\*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

## Extra Features &amp; Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0190	FPLC PF	0	\$1,200.00	1.000	0 x 0 x 0	(000.00)
0280	POOL R/CON	2006	\$11,674.00	512.000	16 x 32 x 0	(000.00)
0166	CONC,PAVMT	2006	\$2,304.00	768.000	16 x 48 x 0	(000.00)
0296	SHED METAL	2006	\$3,456.00	288.000	12 x 24 x 0	(000.00)
0120	CLFENCE 4	2008	\$2,250.00	300.000	0 x 0 x 0	(000.00)

## Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000100	SFR (MKT)	1.000 LT - (5.010 AC)	1.00/1.00 1.00/1.00	\$23,038	\$23,037
009947	SEPTIC (MKT)	1.000 UT - (0.000 AC)	1.00/1.00 1.00/1.00	\$1,250	\$1,250

Search Result: 1 of 1

© Columbia County Property Appraiser | Jeff Hampton | Lake City, Florida | 386-758-1083

by: GrizzlyLogic.com





STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

APP# 44460  
PERMIT NO. 28-25139  
DATE PAID: 3/25/20  
FEE PAID: 100.00  
RECEIPT #: 1469608

## APPLICATION FOR:

☐ New System ☐ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☒ Metal Bldg

APPLICANT: John Blanchard

AGENT:

TELEPHONE: ?

MAILING ADDRESS: 422 NW Crackerel Way Lake City, FL 32055

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

## PROPERTY INFORMATION

LOT: 22 BLOCK: A SUBDIVISION: Suwannee Hills PLATTED:

PROPERTY ID #: 28-25-16-01772-122 ZONING: I/M OR EQUIVALENT: [ Y ] [ N ]

PROPERTY SIZE: 5 ACRES WATER SUPPLY: [ ] PRIVATE PUBLIC [ ] &lt;2000GPD [ ] &gt;2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [ Y ] [ N ] DISTANCE TO SEWER: FT

PROPERTY ADDRESS: 422 NW Crackerel Way Lake City, FL 32055

DIRECTIONS TO PROPERTY: From US 90c US 41 drive north on I-10 drive approx 3.2 miles to Bayh Rd, turn left onto Bayh Rd, drive to first road on right Crackerel Way, turn onto Crackerel W

## BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	Metal Storage Building	0	1,080	
2				
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify)

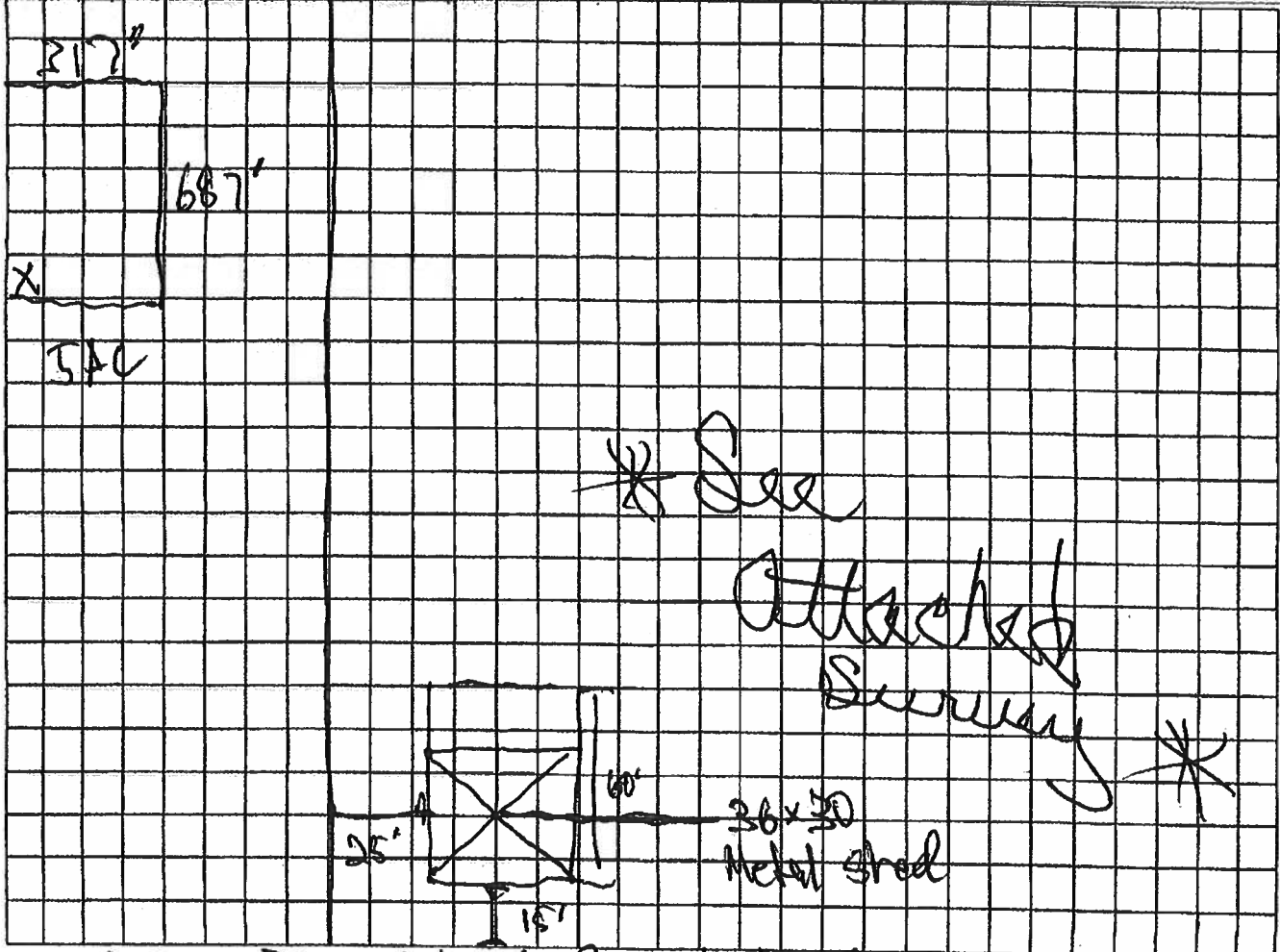
SIGNATURE: J. Blanchard DATE: 2/23/2020

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 20-0139

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.

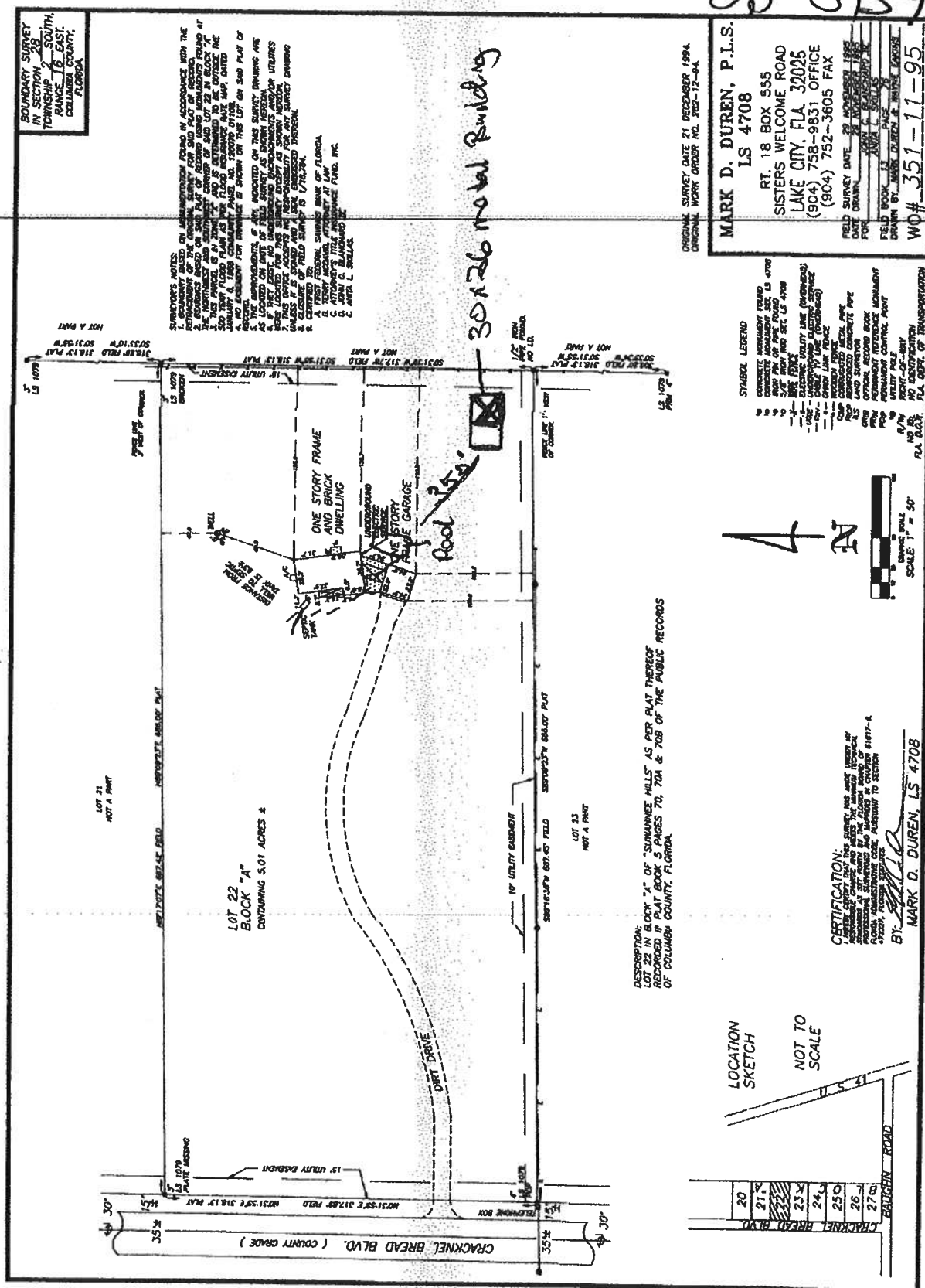


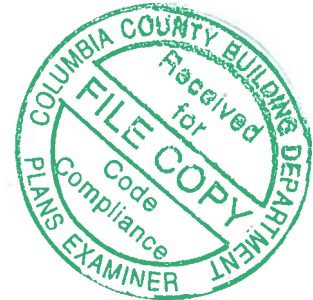
Notes: A 36' x 30 metal shed will be built on a 31' x 60' slab on the southeast corner of property. A 15' x 30 concrete slab needs to be added to the existing 36' x 30 slab.

Site Plan submitted by: J. Blanchard TITLE \_\_\_\_\_ DATE: 2/20/2020  
Plan Approved X Not Approved \_\_\_\_\_ Date 3/2/20  
By [Signature] Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT







## **STRUCTURAL DESIGN ENCLOSED BUILDING**

**MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE  
FRAME**

**14 December 2018  
Revision 7**

**M&A Project No. 16062S/16155S/16207S/17155S/17200S/18068S/18156S/18290S**

**Prepared for:**

**Steel Buildings and Structures, Inc.  
P.O. Box 1287  
Mt. Airy, NC 27030**

**Prepared by:**

**Moore and Associates Engineering  
and Consulting, Inc.**

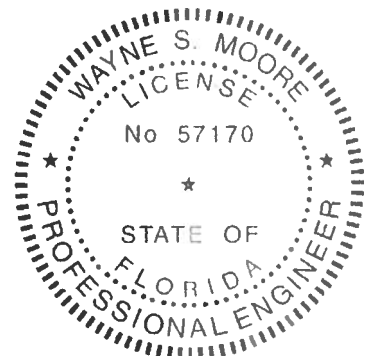
**1009 East Avenue  
North Augusta, SC 29841**

**401 S. Main St., Suite 200  
Mount Airy, NC 27030**

**Digitally signed  
by Wayne S  
Moore  
Date:  
2018.12.17  
13:48:57 -05'00'**

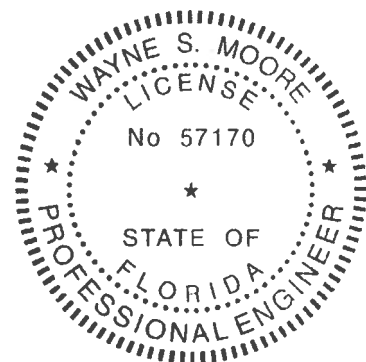


**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING**



**This item has been electronically signed and  
sealed by Wayne S. Moore, PE.  
using a Digital Signature and date.**

**Printed copies of this document are not  
considered signed and sealed and the  
signature must be verified on any electronic  
copies.**

This item has been electronically signed and sealed by Wayne S. Moore, PE. using a Digital Signature and date.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

<b>MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.</b>	<b>DRAWN BY: AT</b>		<b>STEEL BUILDINGS AND STRUCTURES, INC.</b> P.O. BOX 1287, MOUNT AIRY, NC 27030 30'-0" x 20'-0" ENCLOSED STRUCTURE		
	<b>CHECKED BY: PDH</b>				
<small>THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRACTION THEREUPON MAY BE SUBJECT TO LEGAL ACTION.</small>	<b>PROJECT MGR: VSM</b>		<b>DATE: 12-14-10</b>	<b>SCALE: NTS</b>	<b>JOB NO: 180685/181963/182903</b>
	<b>CLIENT: SRSI</b>		<b>SHT. 1</b>	<b>DWG. NO SK-3</b>	<b>REV: 7</b>



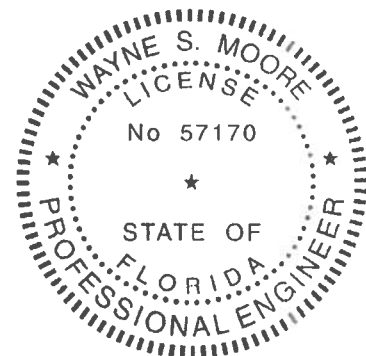

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Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

<b>MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.</b>	DRAWN BY: AT	<b>STEEL BUILDINGS AND STRUCTURES, INC.</b> P.O. BOX 1287, MOUNT AIRY, NC 27030 30'-0" x 20'-0" ENCLOSED STRUCTURE		
	CHECKED BY: PDM			
<small>THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRACTION THEREUPON MAY BE SUBJECT TO LEGAL ACTION.</small>	PROJECT MGR: VSM	DATE: 12-14-18	SCALE: NTS	JOB NO: 180683/181545/182903
	CLIENT: SSSI	SHT. 1A	DWG. NO: SK-3	REV: 7

# DRAWING INDEX

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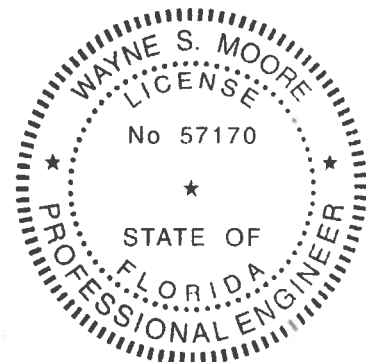
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<b>MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.</b>	<b>DRAWN BY:</b> AT	<b>STEEL BUILDINGS AND STRUCTURES, INC.</b> P.O. BOX 1287, MOUNT AIRY, NC 27030 30'-0" x 20'-0" ENCLOSED STRUCTURE		
	<b>CHECKED BY:</b> PDH			
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	<b>CLIENT:</b> SBSI	<b>SHT.</b> 2	<b>DWG NO:</b> SK-3	<b>REV.</b> 7

## INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION, 2018 NORTH CAROLINA BUILDING CODE, 2006 INTERNATIONAL BUILDING CODE (IBC), 2009 IBC, 2012 IBC AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
  - A) DEAD LOAD = 1.5 PSF
  - B) LIVE LOAD = 12 PSF
  - C) GROUND SNOW LOAD = 30 PSF ( $\leq 26'-0"$ ), 35 PSF ( $26'-0" < W \leq 30'-0"$ )  
(UNBALANCED SNOW LOADS DUE TO DRIFTING HAVE NOT BEEN EVALUATED.)
4. 3-SECOND GUST ULTIMATE WIND SPEED ( $V_{ULT}$ ) 105 TO 145 MPH (NOMINAL WIND SPEED 82 TO 112 MPH) MAXIMUM RAFTER/COLUMN AND END COLUMN SPACING = 5.0 FEET (UNLESS NOTED OTHERWISE).
5. END WALL COLUMNS (POST) ARE EQUIVALENT TO SIDE WALL POSTS UNLESS NOTED OTHERWISE.
6. RISK CATEGORY I.
7. WIND EXPOSURE CATEGORY B.
8. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (S) FRAMING MEMBERS (UNLESS NOTED OTHERWISE).
9. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR HAT CHANNELS, AND COLUMNS (INTERIOR OR END) = 8 INCHES.
10. FASTENERS CONSIST OF 1/4"x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14" (3:12 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
11. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6' OF EACH COLUMN.
12. GROUND ANCHORS CONSIST OF #4 REBAR W/ WELDED NUT x 36" LONG IN SUITABLE SOIL CONDITIONS. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED.
13. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:  
 SOIL SITE CLASS = D  
 RISK CATEGORY I/II/III  
 $R = 3.25$                        $I_e = 1.0$   
 $S_{DS} = 2.039$                  $V = C_s W$   
 $S_{D1} = 1.258$
14. WINDOW AND DOOR DESIGN PRESSURES ARE APPLICABLE TO THE STATE OF FLORIDA ONLY.



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**CLIENT: SSSI**

**STEEL BUILDINGS AND STRUCTURES, INC.**  
 P.O. BOX 1287,  
 MOUNT AIRY, NC 27030  
 30'-0" x 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-18**

**SCALE: NTS**

**JOB NO: 180685/180690S**

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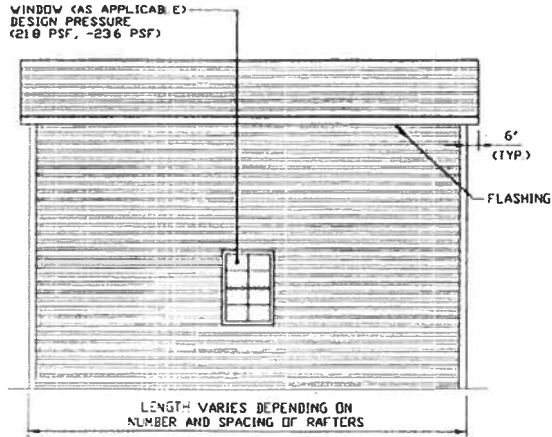
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**REV. 7**

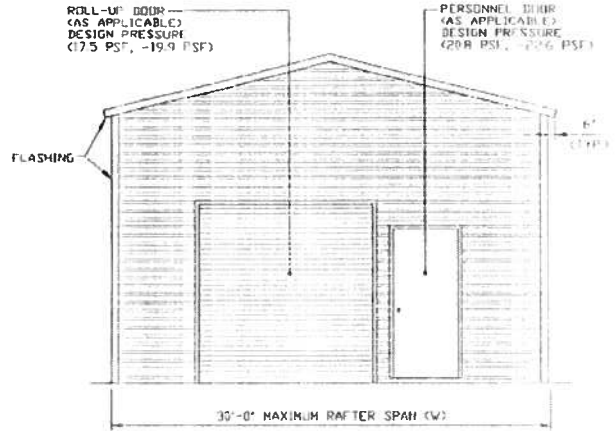
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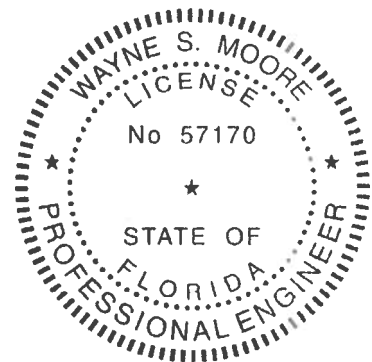
# BOX EAVE FRAME RAFTER STRUCTURE



**TYPICAL SIDE ELEVATION**  
SCALE: NTS



**TYPICAL END ELEVATION**  
SCALE: NTS



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**DATE: 12-14-18**

**SCALE: NTS**

**JOB NO: 180683/181765/182905**

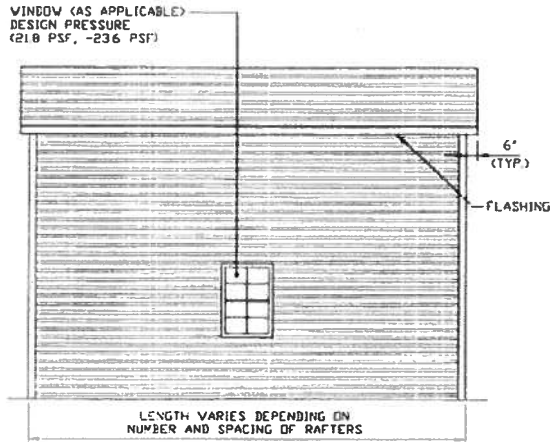
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**DWG. NO: SK-3**

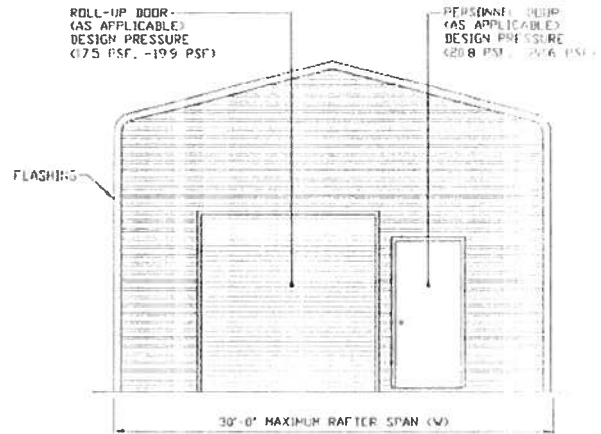
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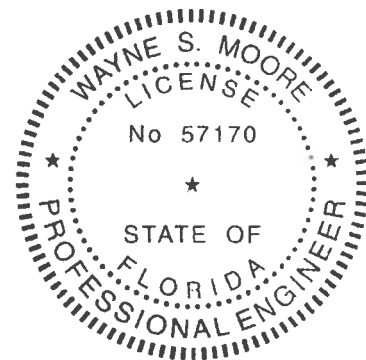
# BOW EAVE FRAME RAFTER STRUCTURE



**TYPICAL SIDE ELEVATION**  
SCALE: NTS



**TYPICAL END ELEVATION**  
SCALE: NTS



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**CLIENT: SBSI**

**STEEL BUILDINGS AND STRUCTURES, INC.**

**P.O. BOX 1287,  
MOUNT AIRY, NC 27010**

**30'-0" x 20'-0" ENCLOSED STRUCTURE**

**DATE: 12-14-19**

**SCALE: NTS**

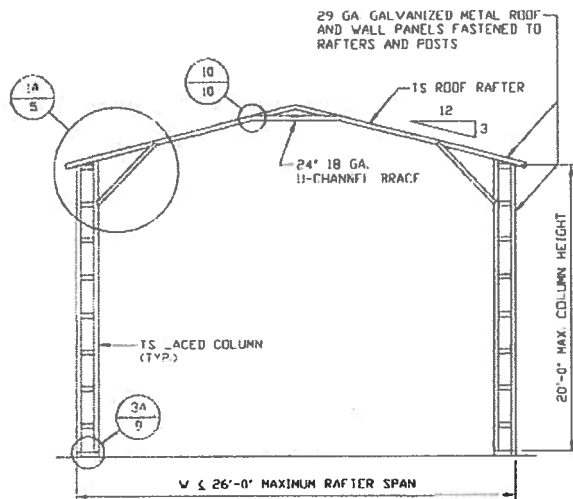
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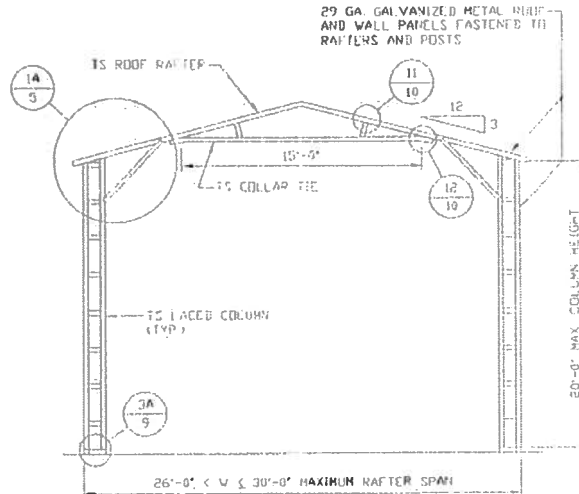
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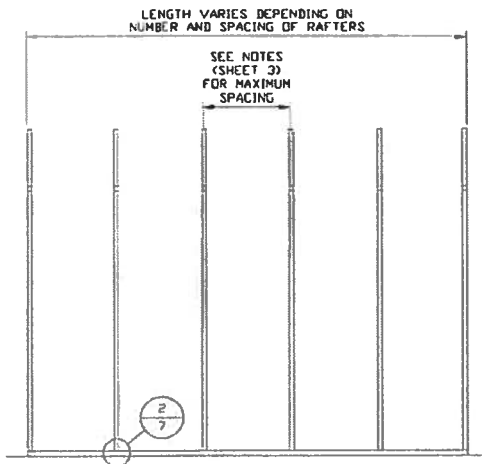
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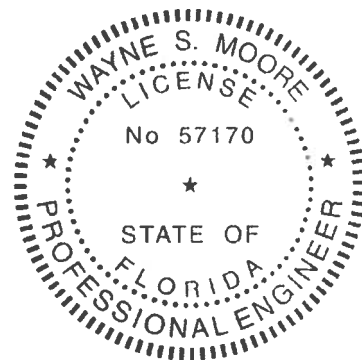
**TYPICAL RAFTER/COLUMN FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**  
SCALE: NTS



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DATE: 12-14-19

SHT. 4

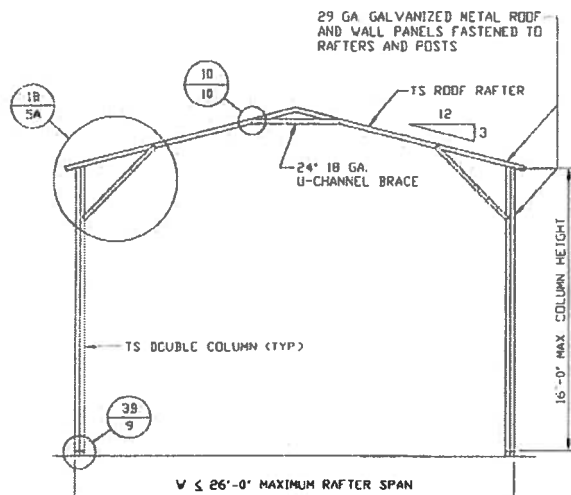
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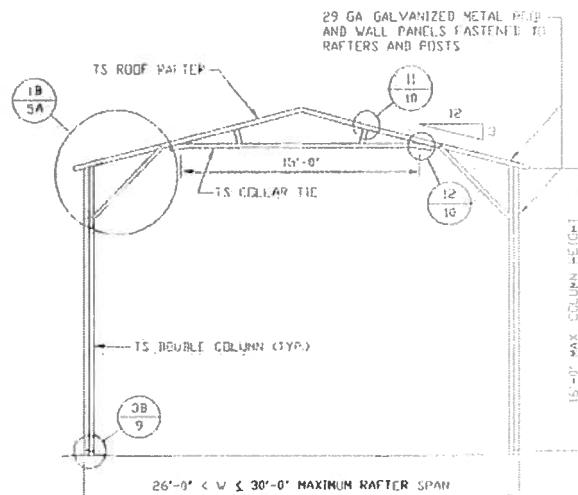
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REV: 7

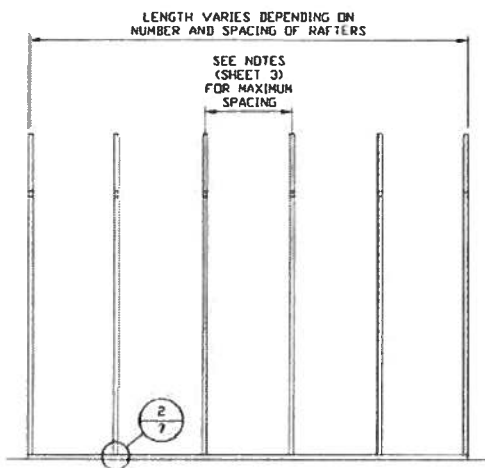
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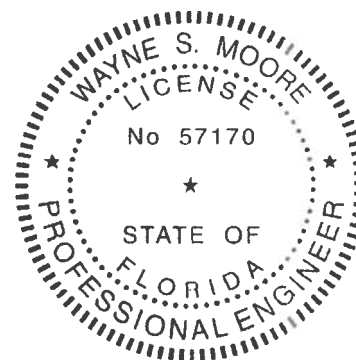
**TYPICAL RAFTER/COLUMN FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**  
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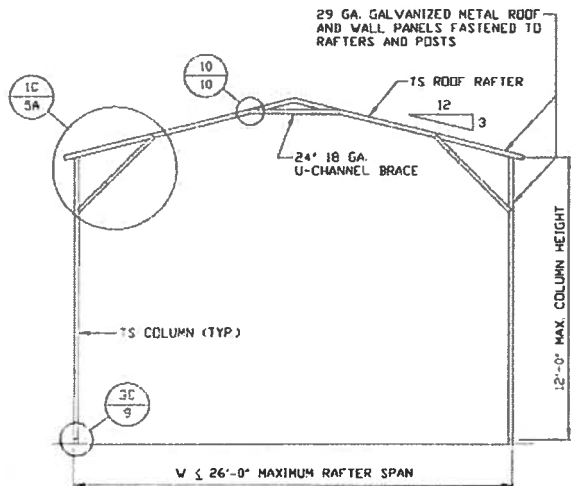
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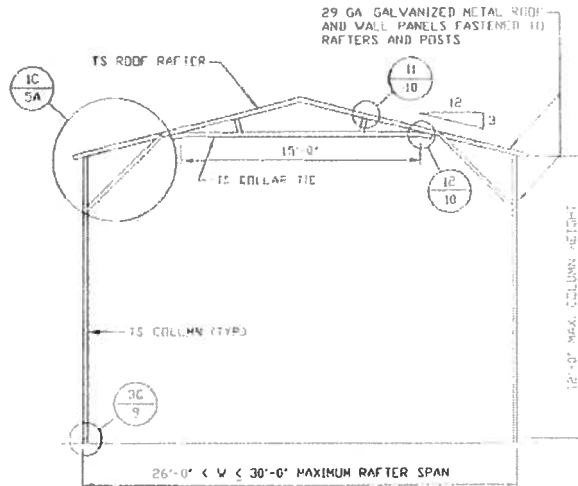
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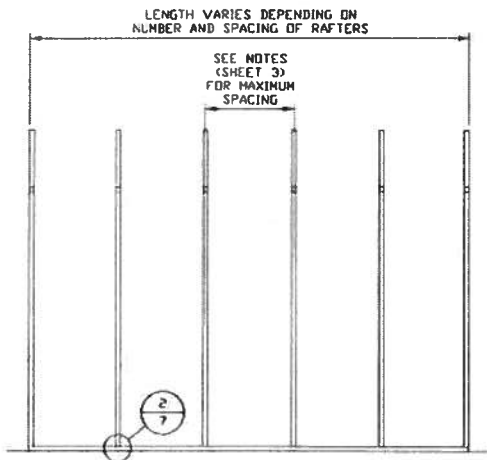
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JOB NO. 181365/182905



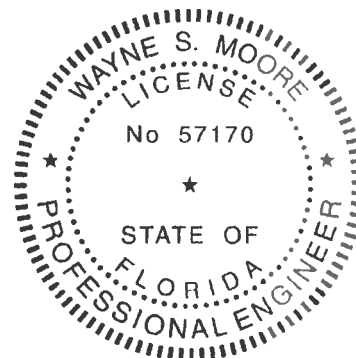
**TYPICAL RAFTER/COLUMN FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**  
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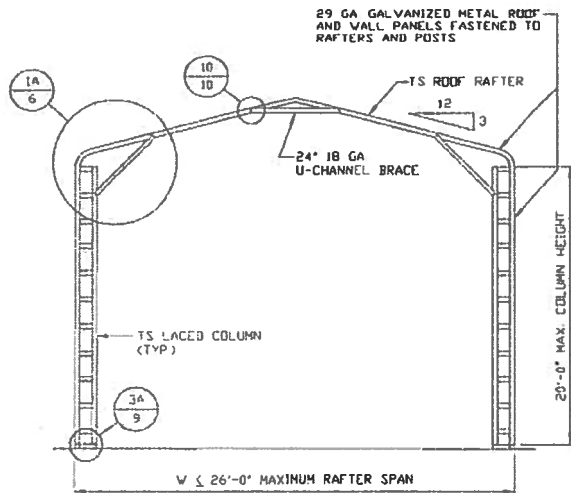
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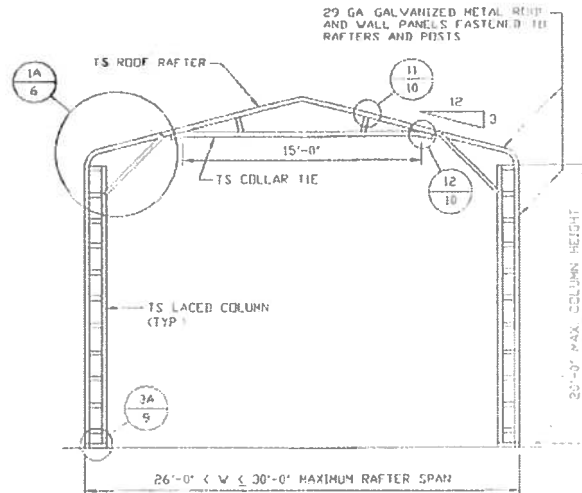
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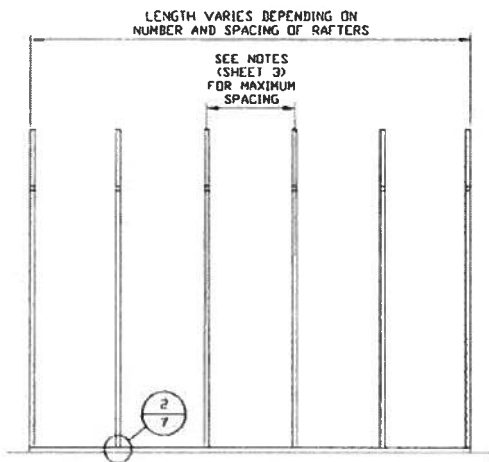
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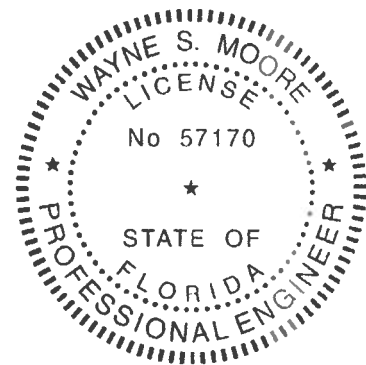
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**TYPICAL RAFTER/COLUMN FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**  
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30'-0" X 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-18**

**SCALE: NTS**

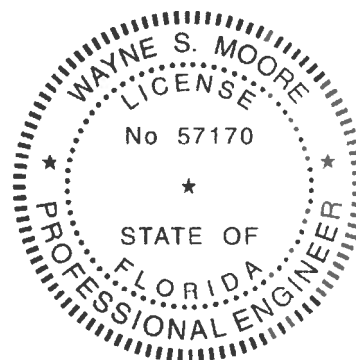
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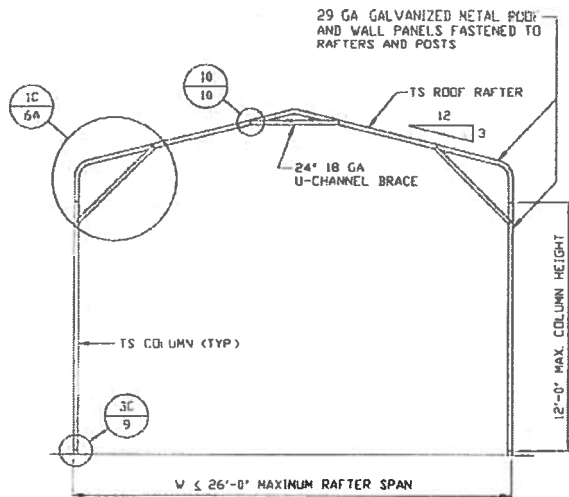
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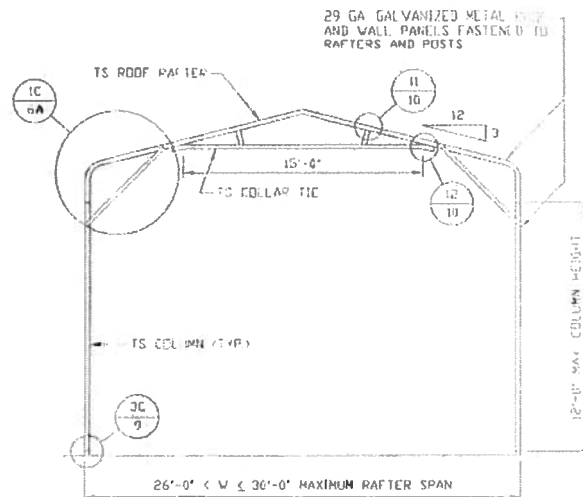


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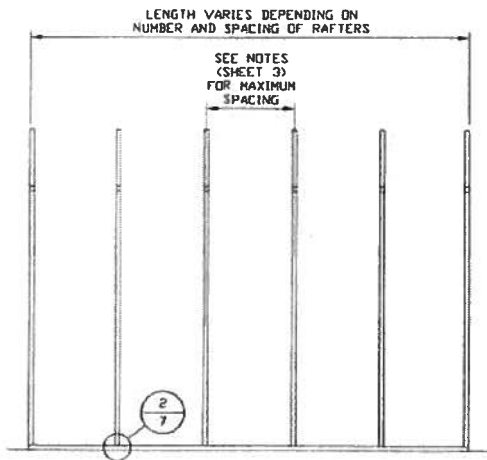
3 REV. 7



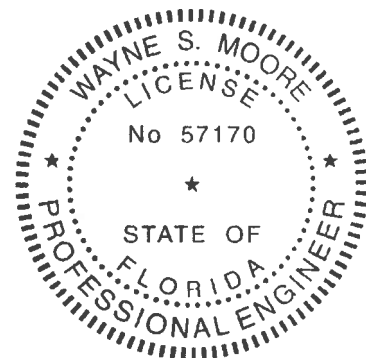
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SCALE: NTS



**TYPICAL RAFTER/COLUMN FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**  
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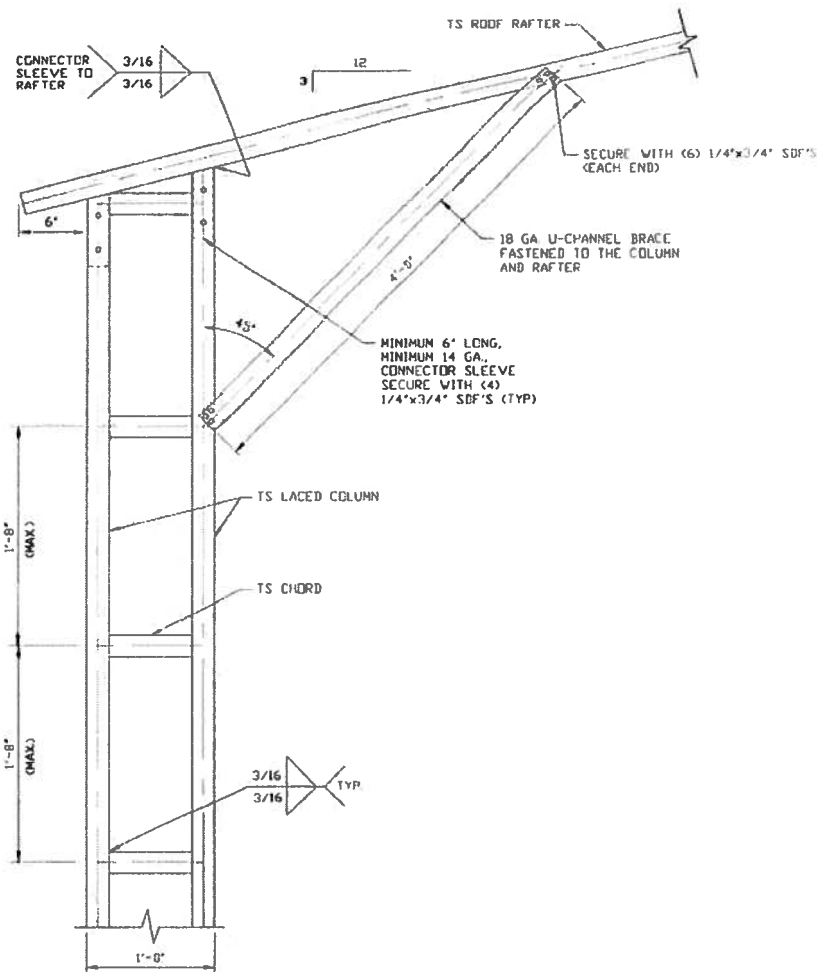
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**JOB NO: 180685/182705**

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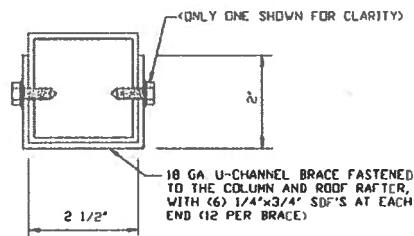
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**BOX EAVE RAFTER/CORNER POST  
CONNECTION DETAIL  
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"**

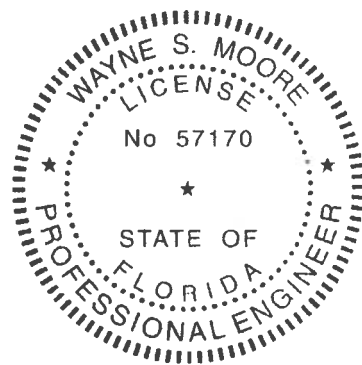
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SCALE: NTS



**BRACE SECTION**

SCALE: NTS



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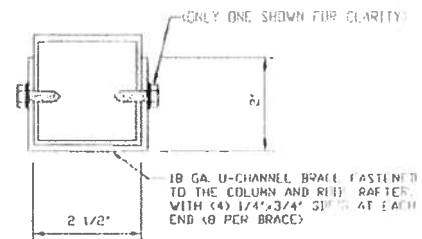
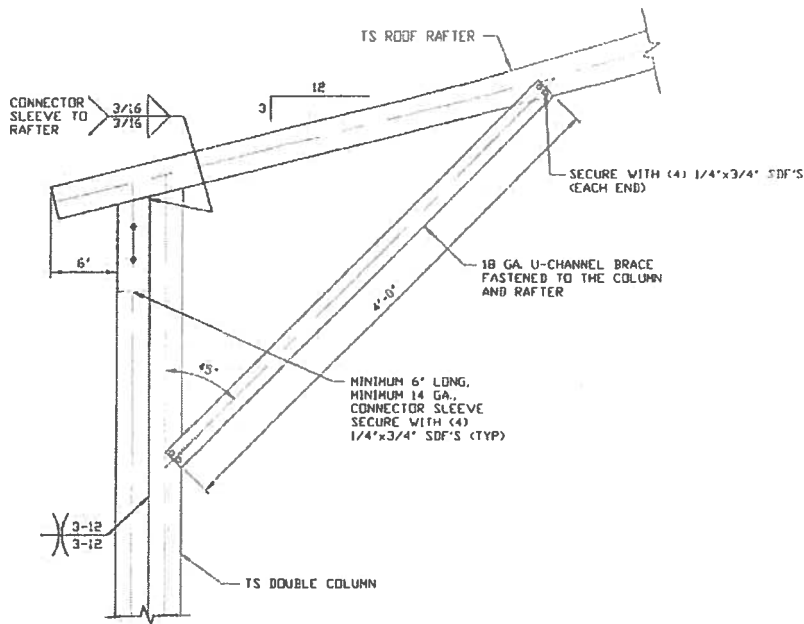
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**SHT. 5**

**JOB NO: 180665/182905**

**REV. 7**

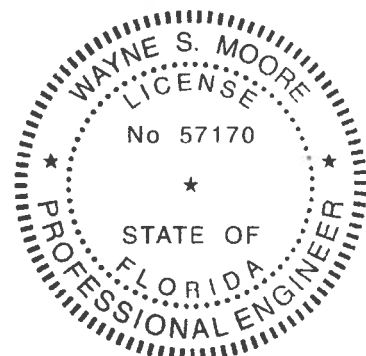
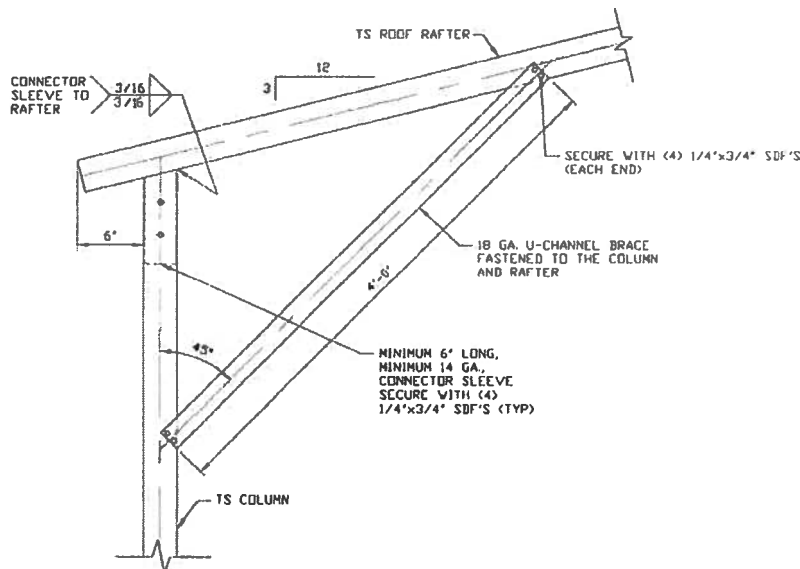
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**BRACE SECTION**  
SCALE: NTS

1B

**BOX EAVE RAFTER/CORNER POST  
CONNECTION DETAIL  
FOR HEIGHTS 12'-0' < TO ≤ 16'-0'**  
SCALE: NTS



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1C

**BOX EAVE RAFTER/CORNER POST  
CONNECTION DETAIL  
FOR HEIGHTS ≤ 12'-0'**  
SCALE: NTS

**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: AT**

**CHECKED BY: PDH**

**PROJECT MGR: VSH**

**CLIENT: SBSI**

**STEEL BUILDINGS AND STRUCTURES, INC.**  
P.O. BOX 1287,  
MOUNT AIRY, NC 27030  
30'-0" x 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-18**

**SCALE: NTS**

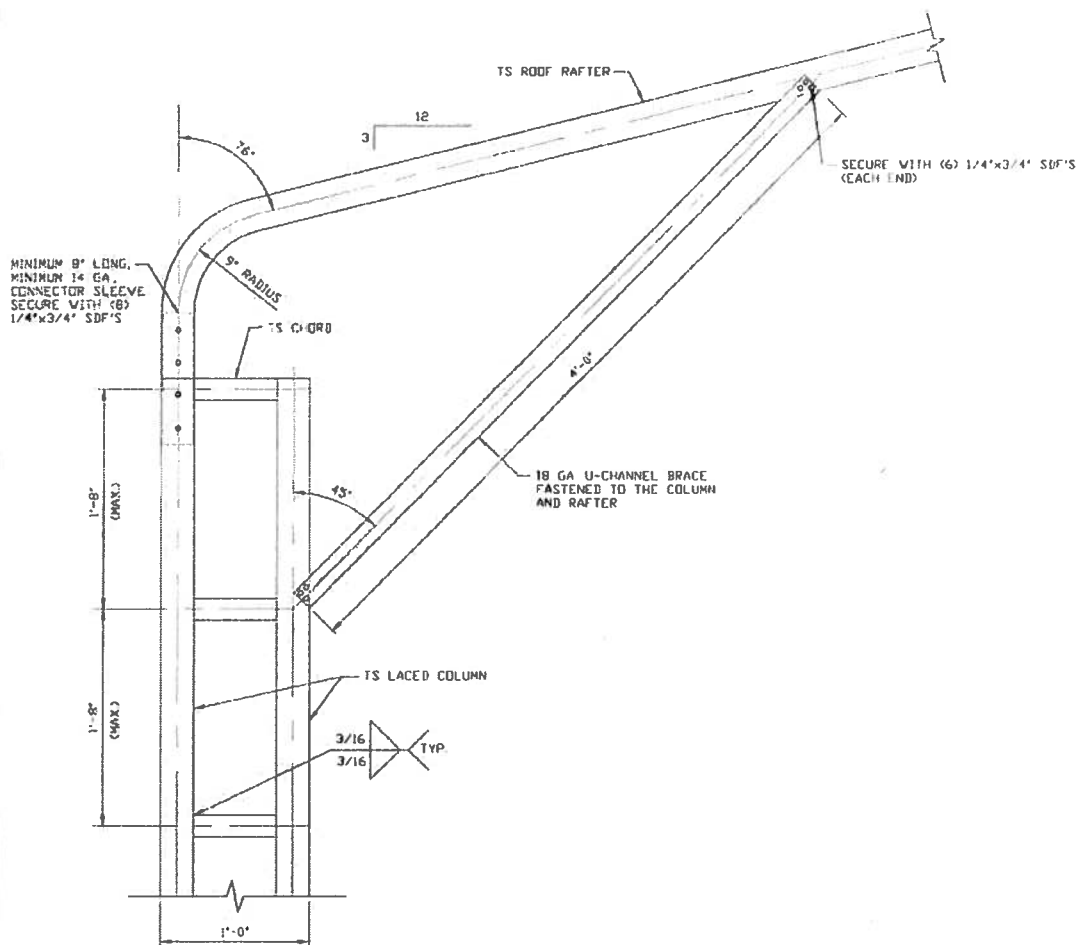
**SHT. 3A**

**DWG. NO. SK-3**

**JOB NO. 180695/181955/192905**

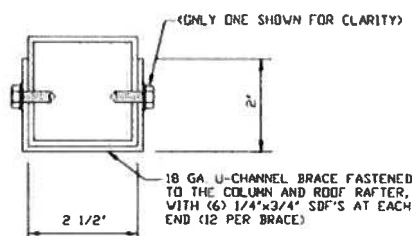
**REV. 7**

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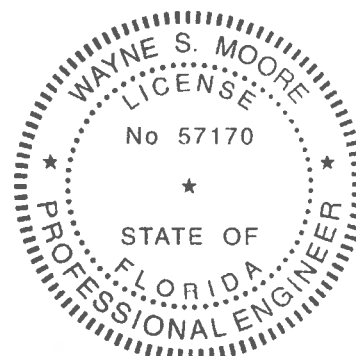


**BOX EAVE RAFTER/CORNER POST  
CONNECTION DETAIL  
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"**  
SCALE: NTS

1A



**BRACE SECTION**  
SCALE: NTS



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**PROJECT NGR VSM**

**CLIENT: SSSI**

**STEEL BUILDINGS AND STRUCTURES, INC.**  
P.O. BOX 1287,  
MOUNT AIRY, NC 27030  
30'-0" x 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-18**

**SCALE: NTS**

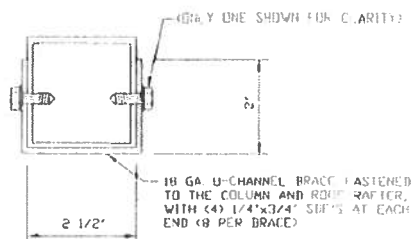
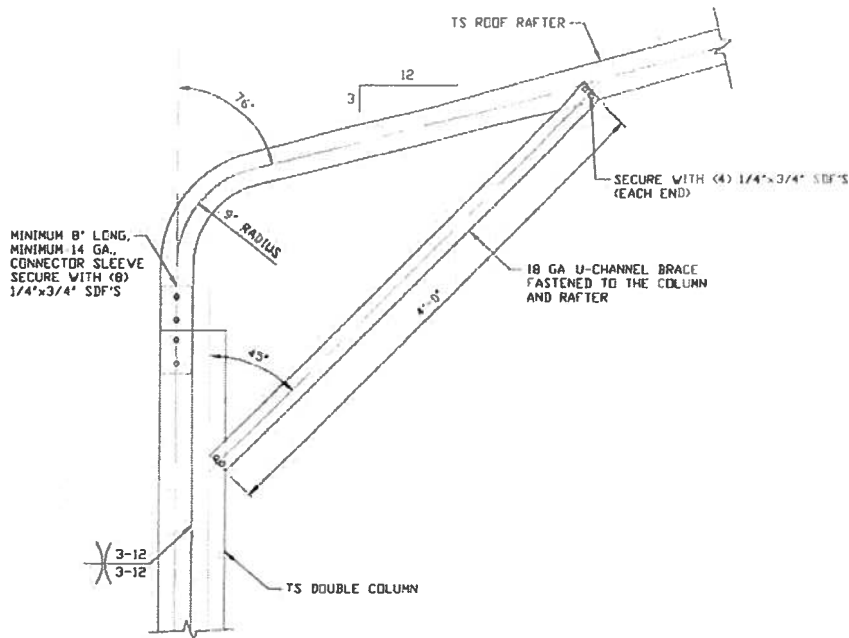
**SHT. 6**

**DWG. NO. SK-3**

**180685/  
JOB NO. 181545/122705**

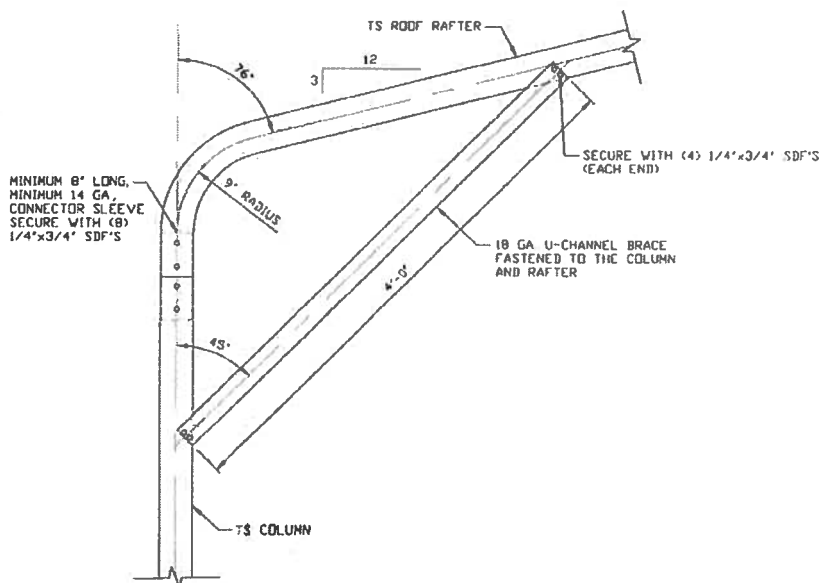
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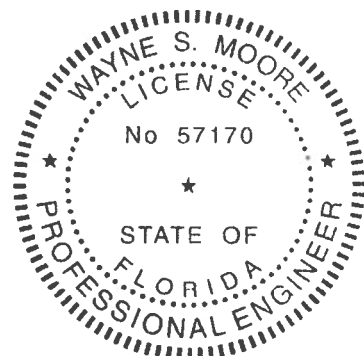
**BOX EAVE RAFTER/CORNER POST  
CONNECTION DETAIL  
FOR HEIGHTS 12'-0" < TO ≤ 16'-0"**  
SCALE: NTS

1B



**BOX EAVE RAFTER/CORNER POST  
CONNECTION DETAIL  
FOR HEIGHTS ≤ 12'-0"**  
SCALE: NTS

1C



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**PROJECT: HGR VSH**

**CLIENT: SBSI**

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P.O. BOX 1287,  
MOUNT AIRY, NC 27030  
30'-0" x 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-19**

**SCALE: NTS**

**SHT. 6A**

**DWG. NO. SK-3**

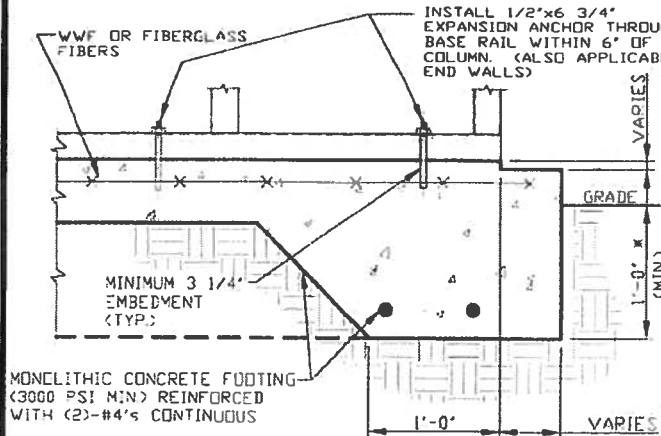
**JOB NO. 180685/181563/182905**

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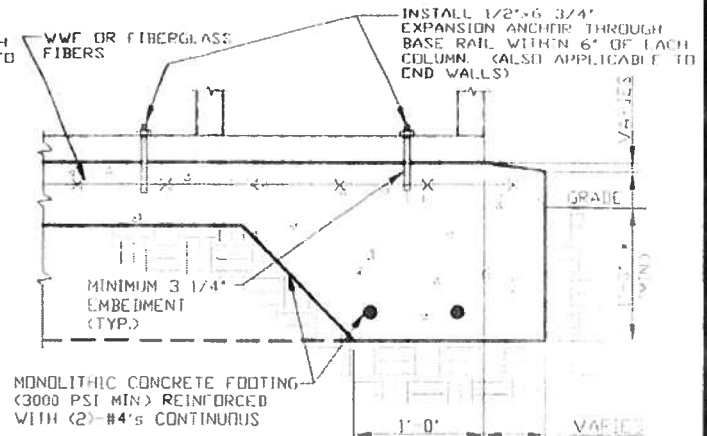
## BASE RAIL ANCHORAGE OPTIONS



2A

### CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS  
MINIMUM ANCHOR EDGE DISTANCE IS 4".  
\* COORDINATE WITH LOCAL CODES/ORD.



2B

### CONCRETE SLAB BASE RAIL ANCHORAGE

SCALE: NTS  
MINIMUM ANCHOR EDGE DISTANCE IS 4".  
\* COORDINATE WITH LOCAL CODES/ORD.

## GENERAL NOTES

NOTE: CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF.

### CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

### COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318.

3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2" ELSEWHERE.

### REINFORCING STEEL:

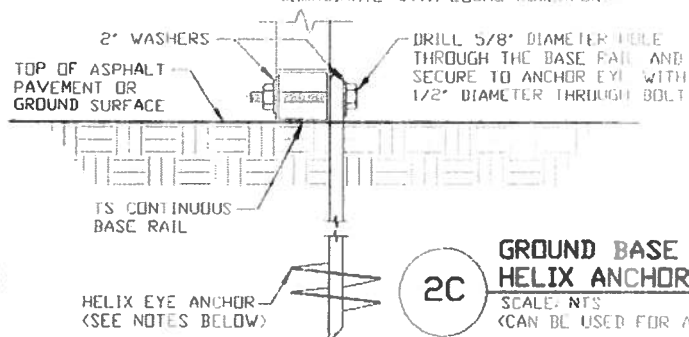
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

### REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

### HELIX ANCHOR NOTES:

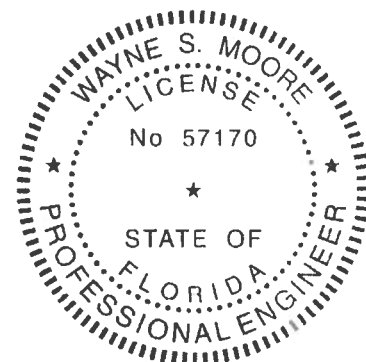
1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM 50" EMBEDMENT.
5. FOR VERY LOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES WITH MINIMUM 60" EMBEDMENT.



2C

### GROUND BASE HELIX ANCHORAGE

SCALE: NTS  
(CAN BE USED FOR ASPHALT)



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DRAWN BY: AT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: SSSI

STEEL BUILDINGS AND STRUCTURES, INC.

P.O. BOX 1287,

MOUNT AIRY, NC 27030

30'-0" X 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 7

SCALE: NTS

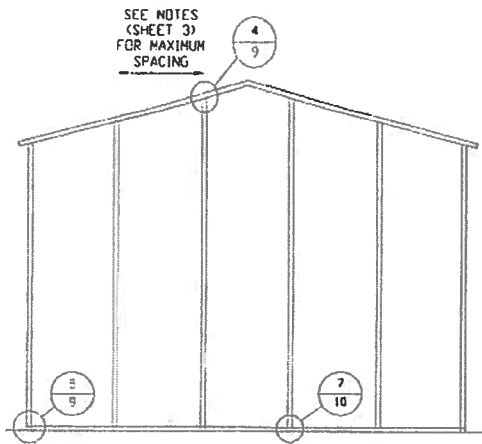
DWG. NO: SK-3

JOB NO: 18069S/18156S/18290S

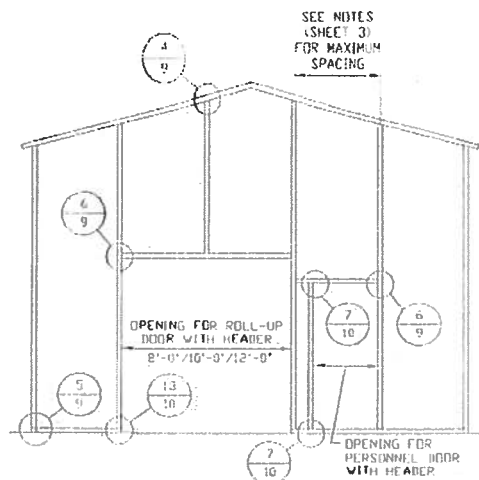
REV. 7

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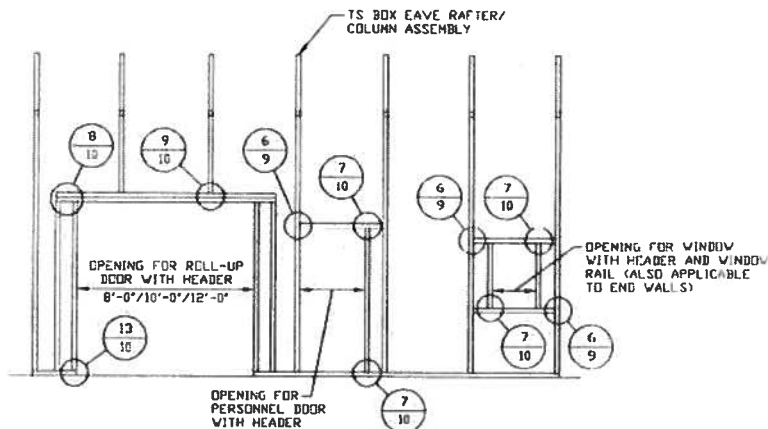
## BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



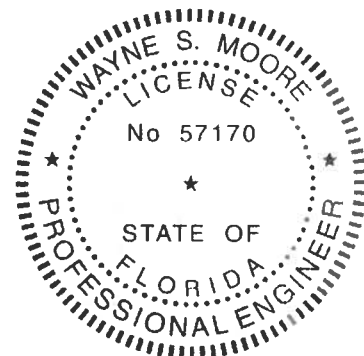
**TYPICAL BOX EAVE RAFTER  
END WALL FRAMING SECTION**  
SCALE: NTS



**TYPICAL BOX EAVE RAFTER END  
WALL OPENINGS FRAMING SECTION**  
SCALE: NTS



**TYPICAL BOX EAVE RAFTER  
SIDE WALL OPENINGS FRAMING SECTION**  
SCALE: NTS



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**CHECKED BY: PMH**

**PROJECT MGR: VSM**

**CLIENT: SBSI**

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P.O. BOX 1287,  
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30'-0" x 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-18**

**SHT. 8**

**SCALE: NTS**

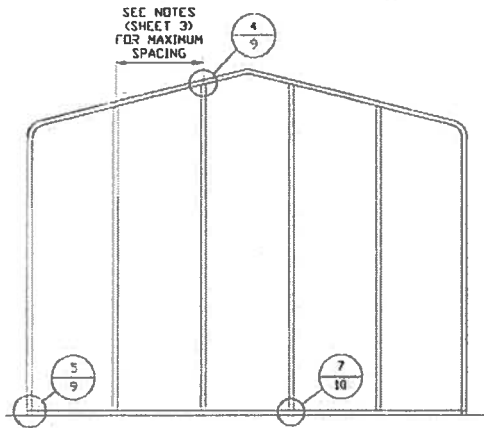
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**JOB NO. 180683/181563/182903**

**REV. 7**

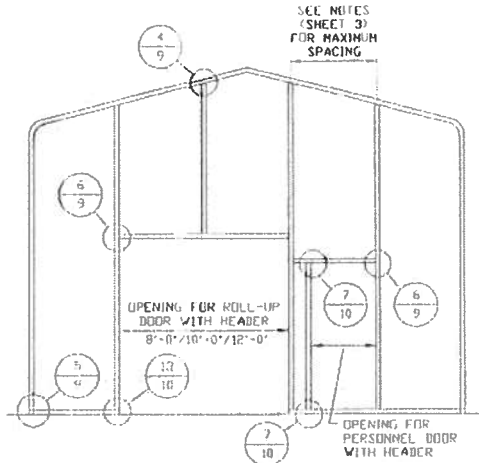
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## BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



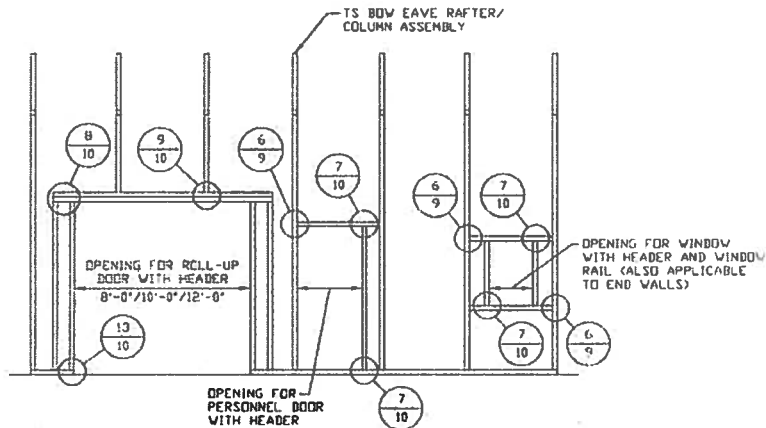
**TYPICAL BOX EAVE RAFTER  
END WALL FRAMING SECTION**

SCALE: NTS



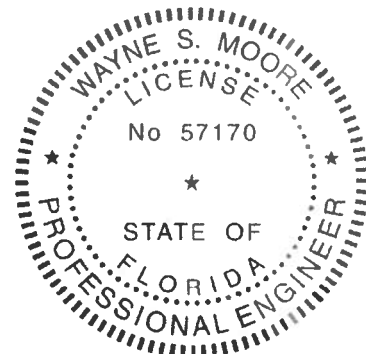
**TYPICAL BOX EAVE RAFTER END  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER  
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS



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**PROJECT MGR: VSM**

**CLIENT: SSSI**

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P.O. BOX 1287,  
MOUNT AIRY, NC 27030  
30'-0" x 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-18**

**SCALE: NTS**

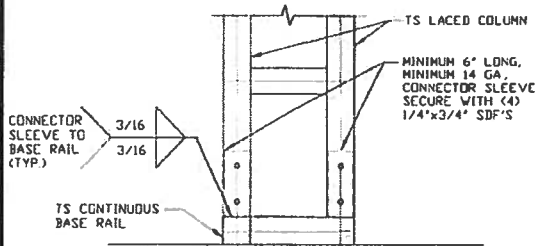
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**JOB NO: 180665/182908**

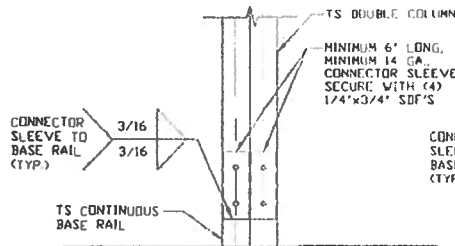
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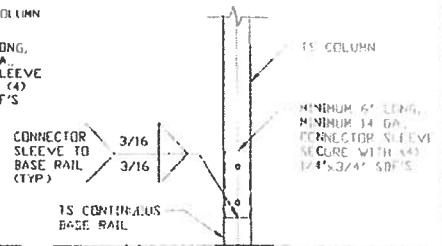
## CONNECTION DETAILS



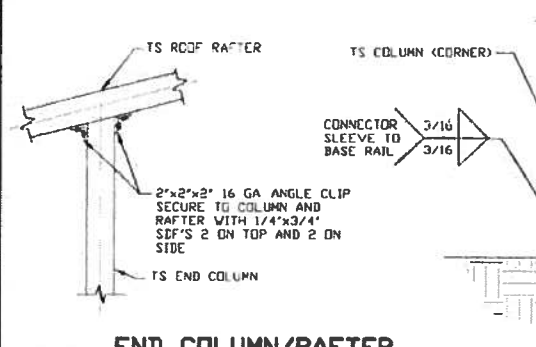
**3A**  
**POST/BASE RAIL  
CONNECTION DETAIL**  
SCALE: NTS



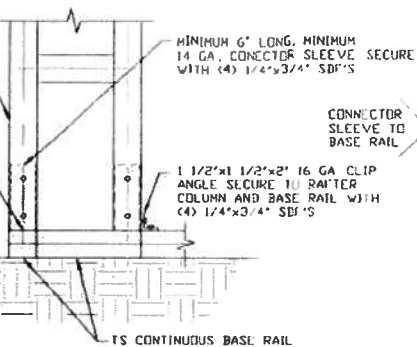
**3B**  
**POST/BASE RAIL  
CONNECTION DETAIL**  
SCALE: NTS



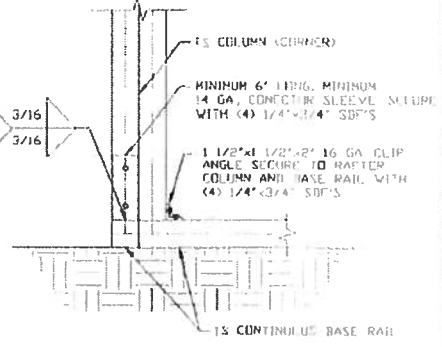
**3C**  
**POST/BASE RAIL  
CONNECTION DETAIL**  
SCALE: NTS



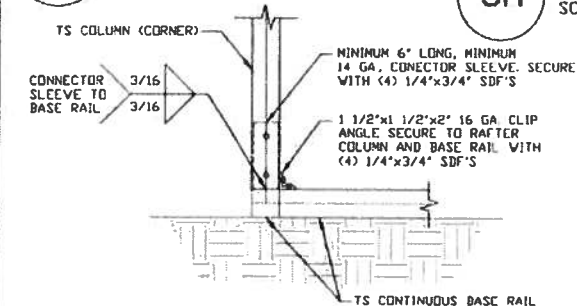
**4**  
**END COLUMN/RAFTER  
CONNECTION DETAIL**  
SCALE: NTS



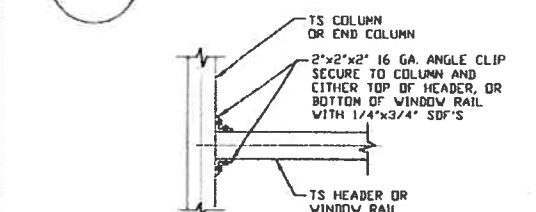
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**END COLUMN/BASE RAIL  
CONNECTION DETAIL**  
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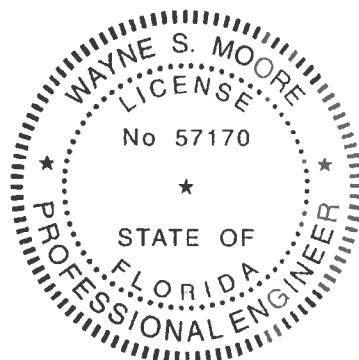
**5B**  
**END COLUMN/BASE RAIL  
CONNECTION DETAIL**  
SCALE: NTS



**5B**  
**END COLUMN/BASE RAIL  
CONNECTION DETAIL**  
SCALE: NTS



**6**  
**COLUMN OR WINDOW RAIL  
TO POST CONNECTION DETAIL**  
SCALE: NTS



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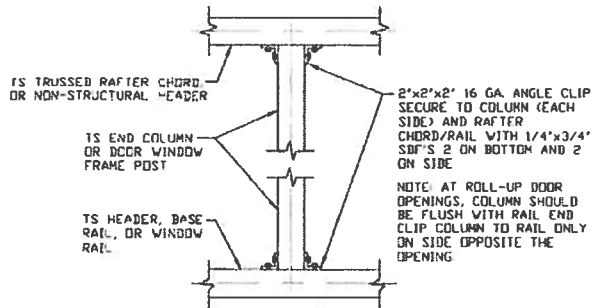
**DRAWN BY: AT**  
**CHECKED BY: PDH**  
**PROJECT MGR: VSM**  
**CLIENT: SSSI**

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**P.O. BOX 1287,**  
**MOUNT AIRY, NC 27030**  
**30'-0" x 20'-0" ENCLOSED STRUCTURE**

**DATE: 12-14-18**  
**SCALE: NTS**  
**JOB NO: 180685/181565/182905**  
**SHT. 9**  
**DWG NO SK-3**  
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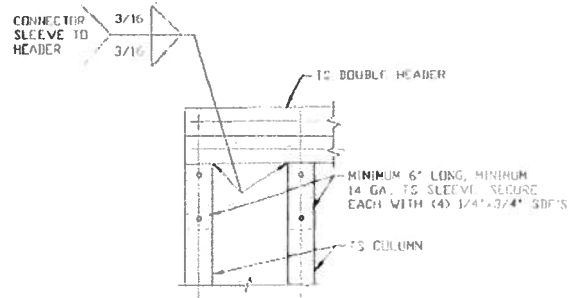
## CONNECTION DETAILS



7

### COLUMN TO HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL

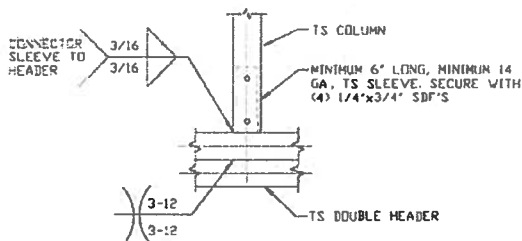
SCALE: NTS



8

### DOUBLE HEADER/COLUMN CONNECTION DETAIL

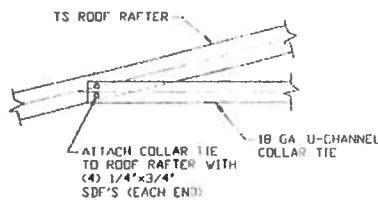
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9

### COLUMN/DOUBLE HEADER CONNECTION DETAIL

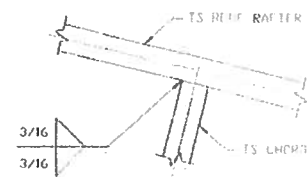
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10

### COLLAR TIE CONNECTION DETAIL

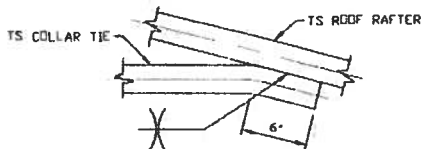
SCALE: NTS



11

### RAFTER TO CHORD CONNECTION DETAIL

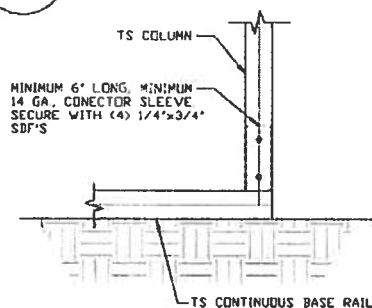
SCALE: NTS



12

### COLLAR TIE CONNECTION DETAIL

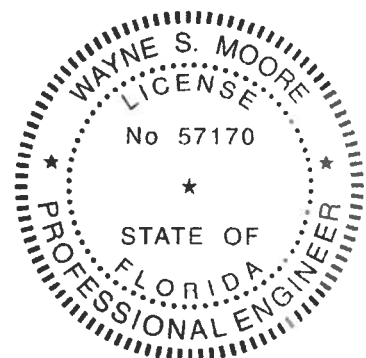
SCALE: NTS



13

### COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



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PROJECT NO: WSH

CLIENT: SEST

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P.O. BOX 1287,

MOUNT AIRY, NC 27030

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

JOB NO: 180685/181265/182995

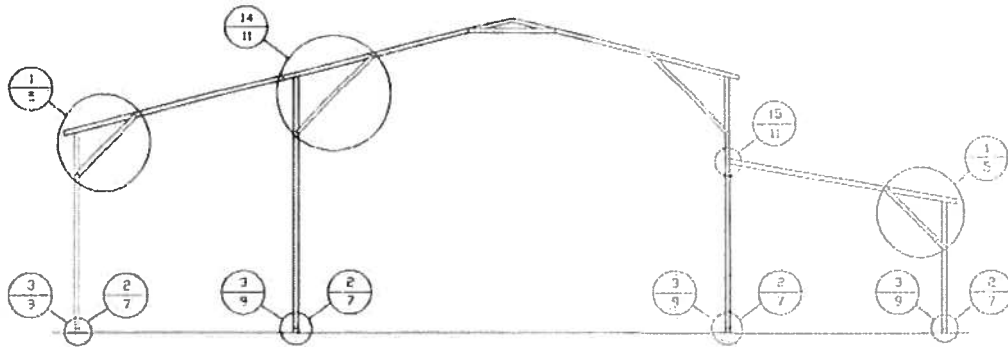
SHT. 10

DWG. NO: SK-3

REV. 7

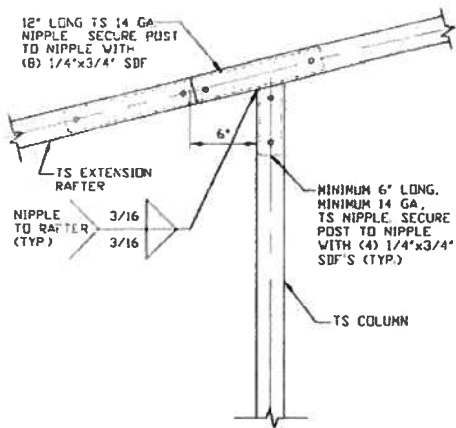
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## BOX EAVE RAFTER LEAN-TO OPTIONS



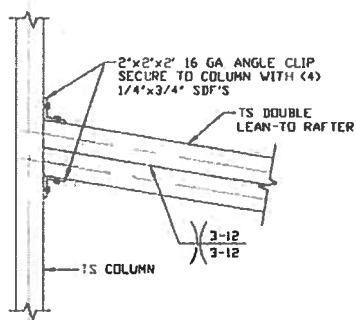
**TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)**

SCALE: NTS



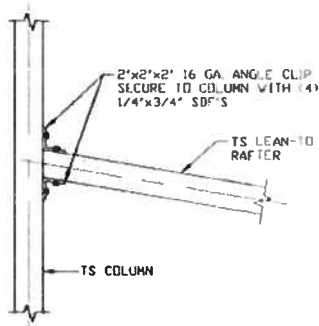
**14 SIDE EXTENSION RAFTER/  
CORNER POST DETAIL**

SCALE: NTS



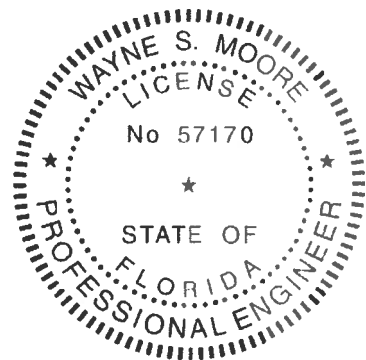
**15A LEAN-TO RAFTER TO  
RAFTER POST CONNECTION  
DETAIL FOR WIDTHS  
12'-0\"/>**

SCALE: NTS



**15B LEAN-TO RAFTER  
TO RAFTER POST  
CONNECTION DETAIL  
FOR WIDTHS < 12'-0\"/>**

SCALE: NTS



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**PROJECT MGR: VSM**

**CLIENT: SBSI**

STEEL BUILDINGS AND STRUCTURES, INC.  
P.O. BOX 1287,  
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30'-0" x 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-19**

**SCALE: NTS**

**SHT. 11**

**DWG. NO: SK-3**

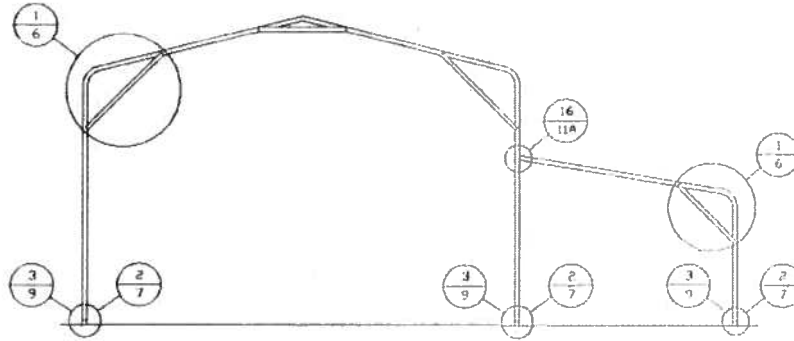
**JOB NO: 180695/180695**

**REV: 7**

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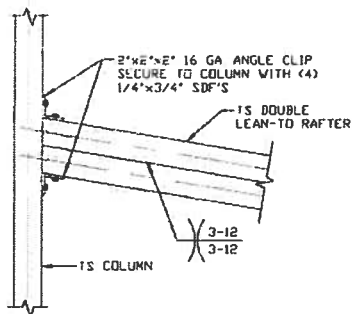


## BOW EAVE RAFTER LEAN-TO OPTIONS



### TYPICAL BOW EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION

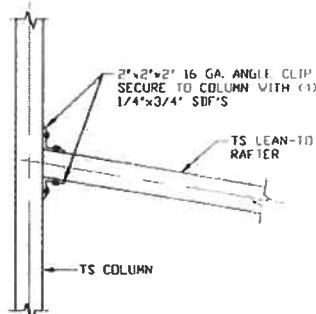
SCALE: NTS



**LEAN-TO RAFTER TO  
RAFTER POST CONNECTION  
DETAIL FOR WIDTHS  
12'-0" < TO ≤ 16'-0"**

**16A**

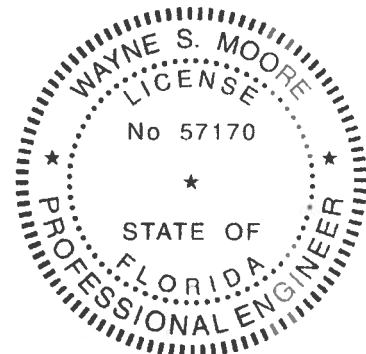
SCALE: NTS



**LEAN-TO RAFTER TO  
RAFTER POST  
CONNECTION DETAIL  
FOR WIDTHS ≤ 12'-0"**

**16B**

SCALE: NTS



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**DRAWN BY: AT**

**CHECKED BY: PMH**

**PROJECT MGR: VSM**

**CLIENT: SSSI**

**STEEL BUILDINGS AND STRUCTURES, INC.**  
P.O. BOX 1287,  
MOUNT AIRY, NC 27030  
30'-0" x 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-18**

**SCALE: NTS**

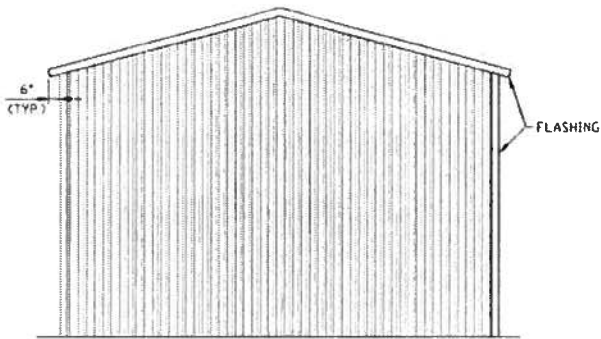
**DWG NO SK-3**

**REV: 7**

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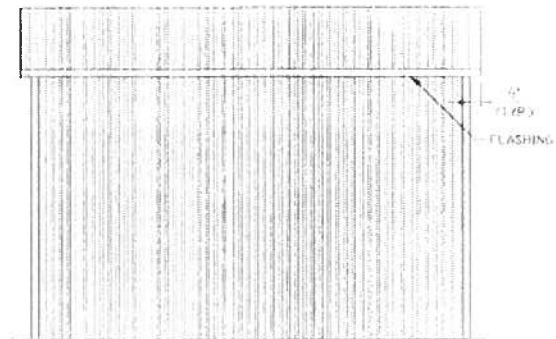
180685/  
JOB NO: 180685/182208

## BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



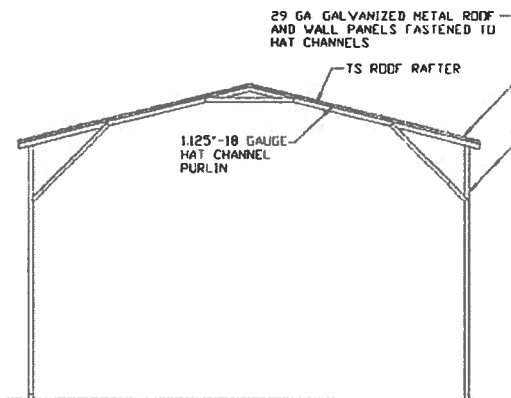
**TYPICAL END ELEVATION  
VERTICAL ROOF/SIDING**

SCALE: NTS



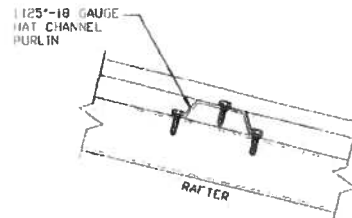
**TYPICAL SIDE ELEVATION  
VERTICAL ROOF/SIDING**

SCALE: NTS



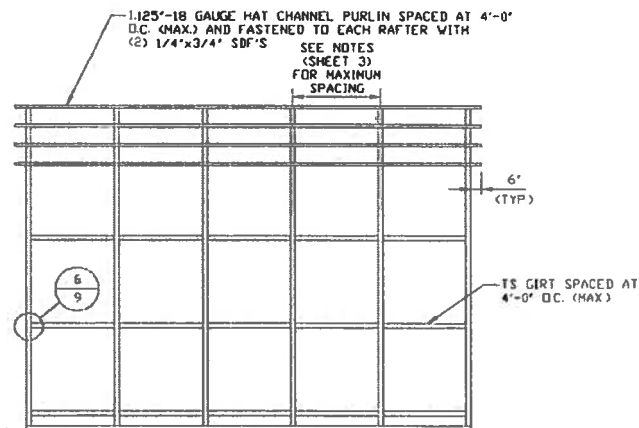
**TYPICAL SECTION  
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



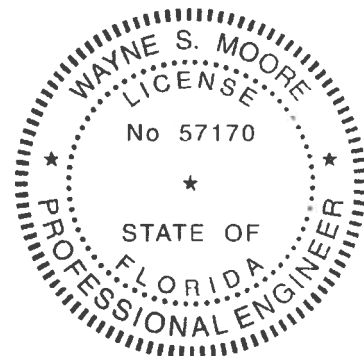
**PANEL ATTACHMENT**

(ALTERNATE FOR VERTICAL ROOF PANELS)  
SCALE: NTS



**TYPICAL FRAMING SECTION  
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



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**DRAWN BY: AT**

**CHECKED BY: PMH**

**PROJECT NO: VSH**

**CLIENT: SRSI**

STEEL BUILDINGS AND STRUCTURES, INC.  
P.O. BOX 1287,  
MOUNT AIRY, NC 27030  
30'-0" x 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-18**

**SCALE: NTS**

**JOB NO: 180665/182905**

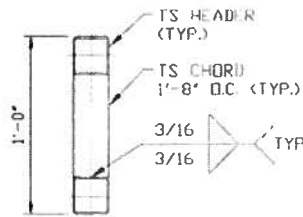
**SHT. 12**

**DWG. NO: SK-3**

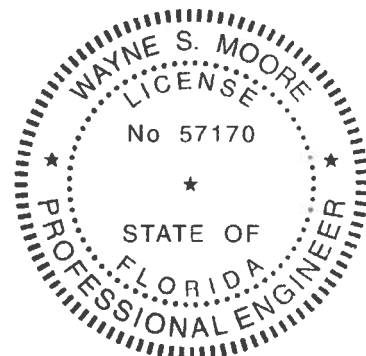
**REV: 6A**

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## OPTIONAL HEADER



**HEADER DETAIL FOR DOOR**  
**OPENINGS 12'-0" < LENGTH < 20'-0"**  
 SCALE: NTS



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**PROJECT MGR: WSM**

**CLIENT: SSSI**

STEEL BUILDINGS AND STRUCTURES, INC.  
P.O. BOX 1287,  
MOUNT AIRY, NC 27030  
30'-0" x 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-18**

**SCALE: NTS**

**JOB NO: 180685/181545/182905**

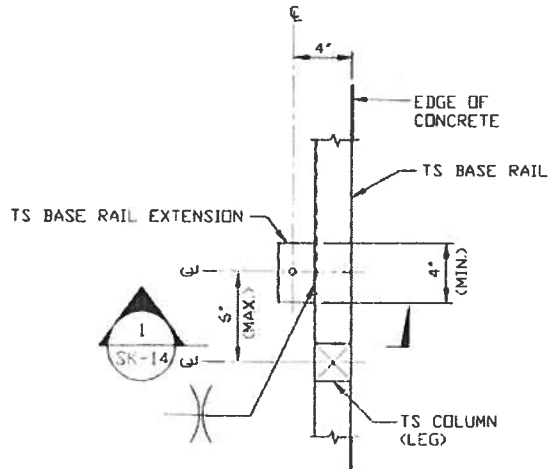
**SHT. 13**

**DWG. NO SK-3**

**REV: 7**

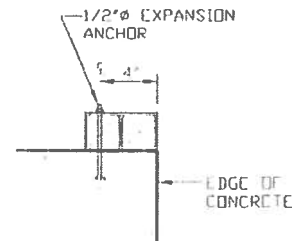
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## ADDITIONAL BASE RAIL ANCHORAGE OPTION



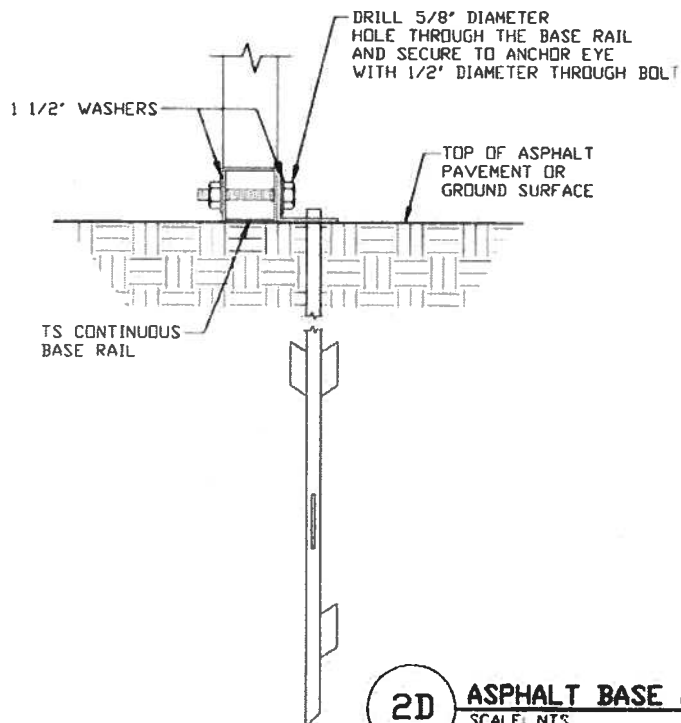
**TYPICAL ANCHOR DETAIL WHEN BASE RAIL IS NEAR EDGE OF CONCRETE**

SCALE: NTS



**SECTION 1**

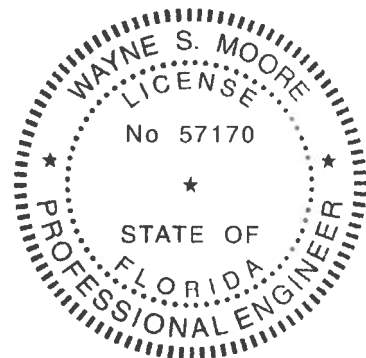
SCALE: NTS



**2D**

**ASPHALT BASE ANCHORAGE**

SCALE: NTS



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**PROJECT NO: VSM**

**CLIENT: SSSI**

**STEEL BUILDINGS AND STRUCTURES, INC.**  
P.O. BOX 1287,  
MOUNT AIRY, NC 27030  
30'-0" x 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-19**

**SCALE: NTS**

**JOB NO: 180665/182905**

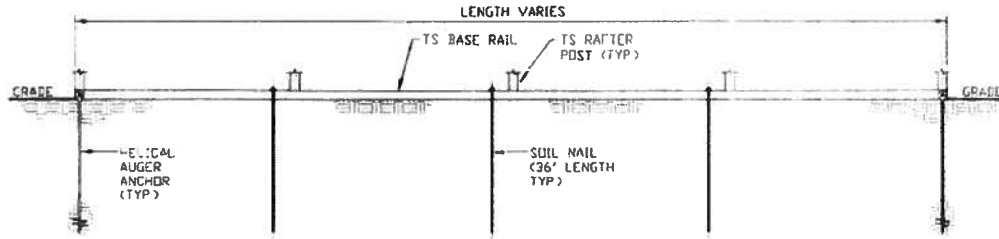
**SHT. 14**

**DWG. NO: SK-3**

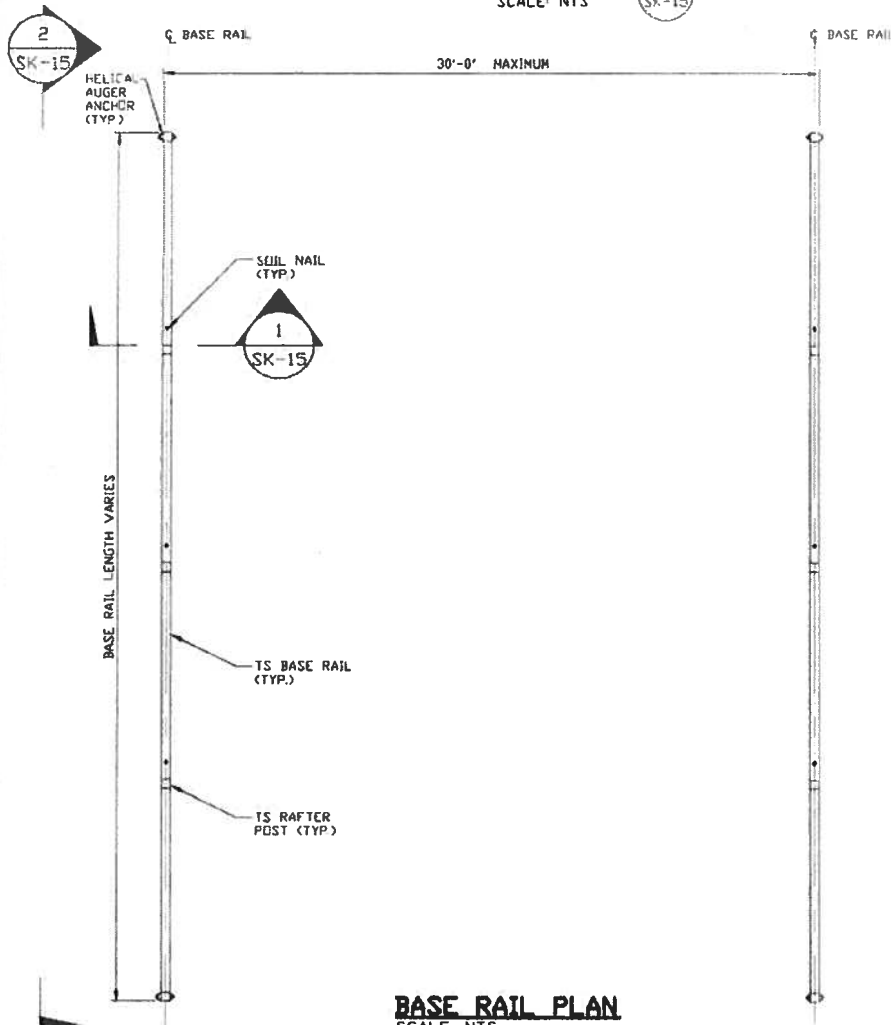
**REV. 7**

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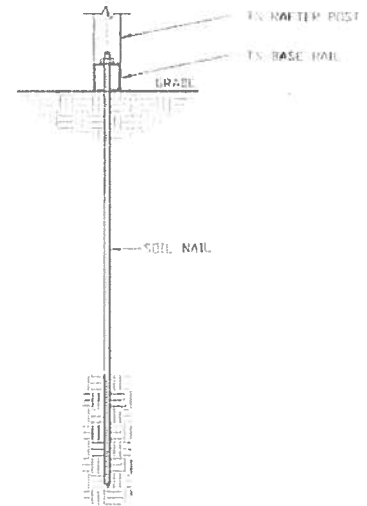
# OPTIONAL BASE RAIL ON GRADE APPLICATION



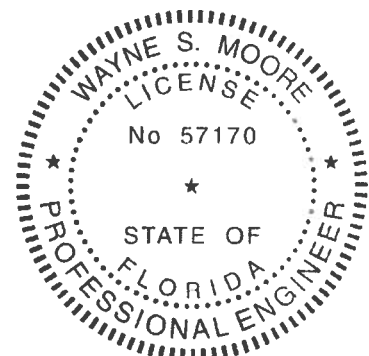
SECTION 2  
SCALE: NTS



BASE RAIL PLAN  
SCALE: NTS



SECTION 1  
SCALE: NTS



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HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)

MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.

DRAWN BY: AT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: SBST

STEEL BUILDINGS AND STRUCTURES, INC.  
P.O. BOX 1287,  
MOUNT AIRY, NC 27030  
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

SHT. 15

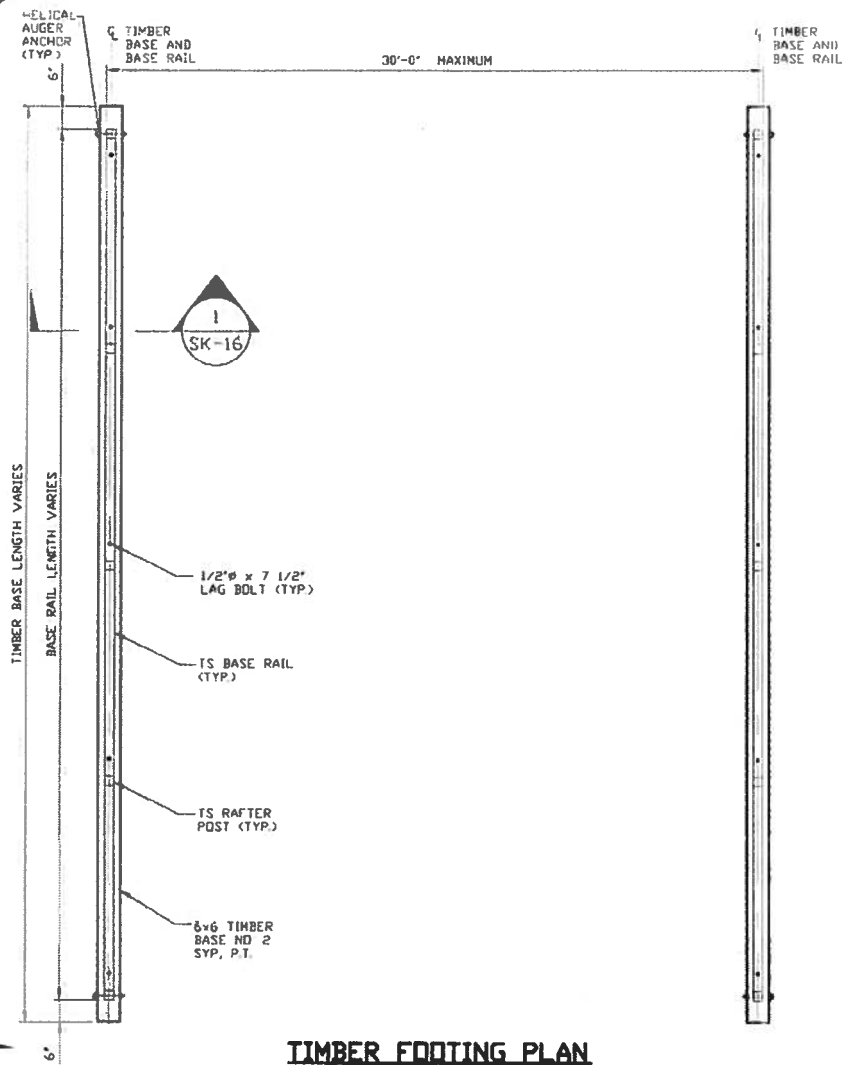
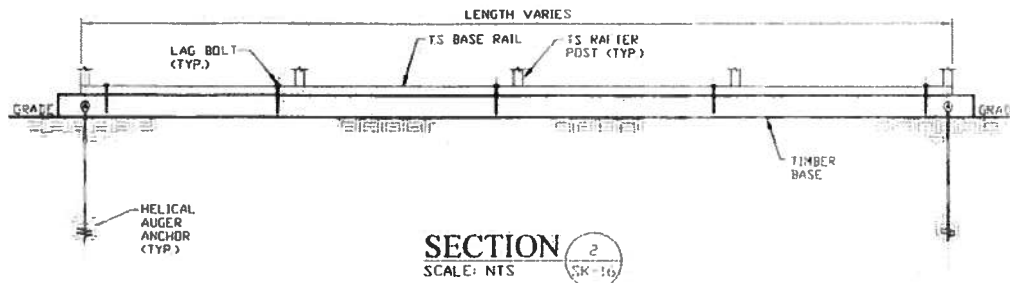
DWG. NO. SK-3

180685/  
JOB NO. 181565/182905

REV. 7

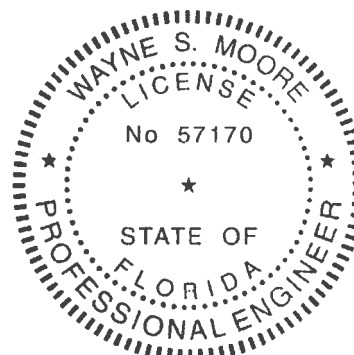
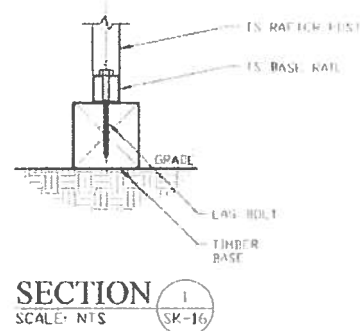
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# OPTIONAL BASE RAIL ON TIMBER BEAM



**TIMBER FOOTING PLAN**  
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)



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**PROJECT NO: VSM**

**CLIENT: SSSI**

**STEEL BUILDINGS AND STRUCTURES, INC.**  
P.O. BOX 1287,  
MOUNT AIRY, NC 27030  
30'-0" x 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-18**

**SCALE: NTS**

**JOB NO: 180685/182905**

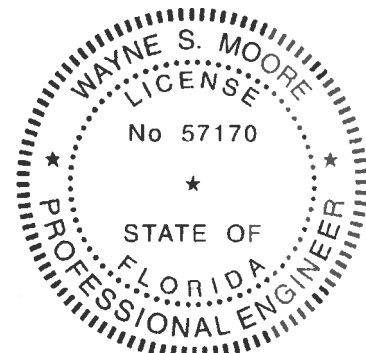
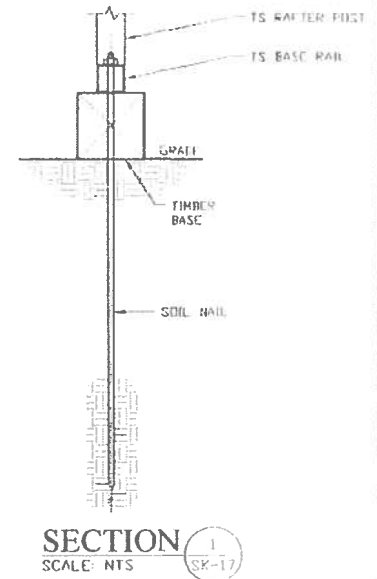
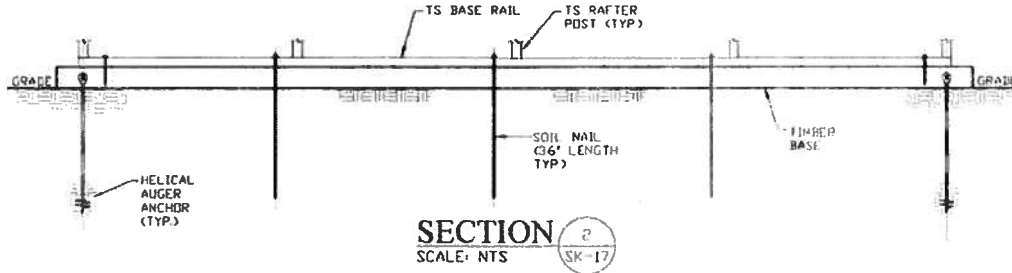
**SHT. 16**

**DWG NO SK-3**

**REV. 7**

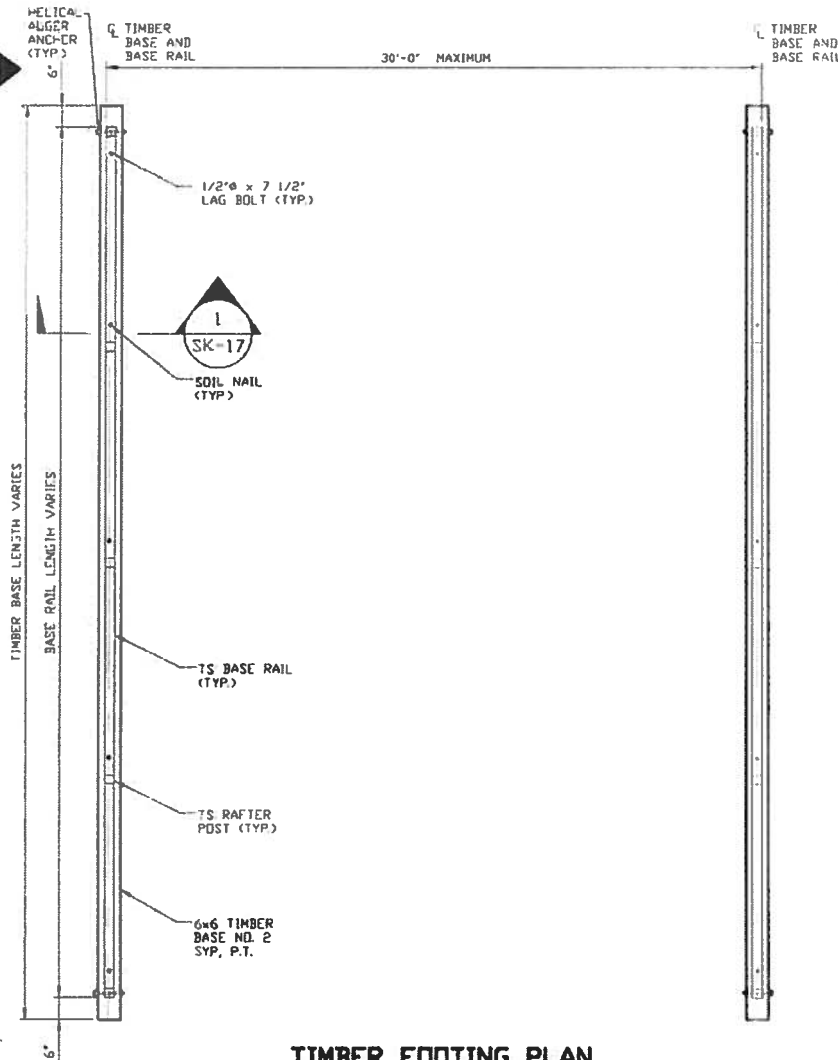
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# OPTIONAL BASE RAIL ON TIMBER BEAM WITH SOIL NAIL



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**TIMBER FOOTING PLAN**  
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)

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**CHECKED BY: PDH**

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MOUNT AIRY, NC 27030  
30'-0"x20'-0" ENCLOSED STRUCTURE

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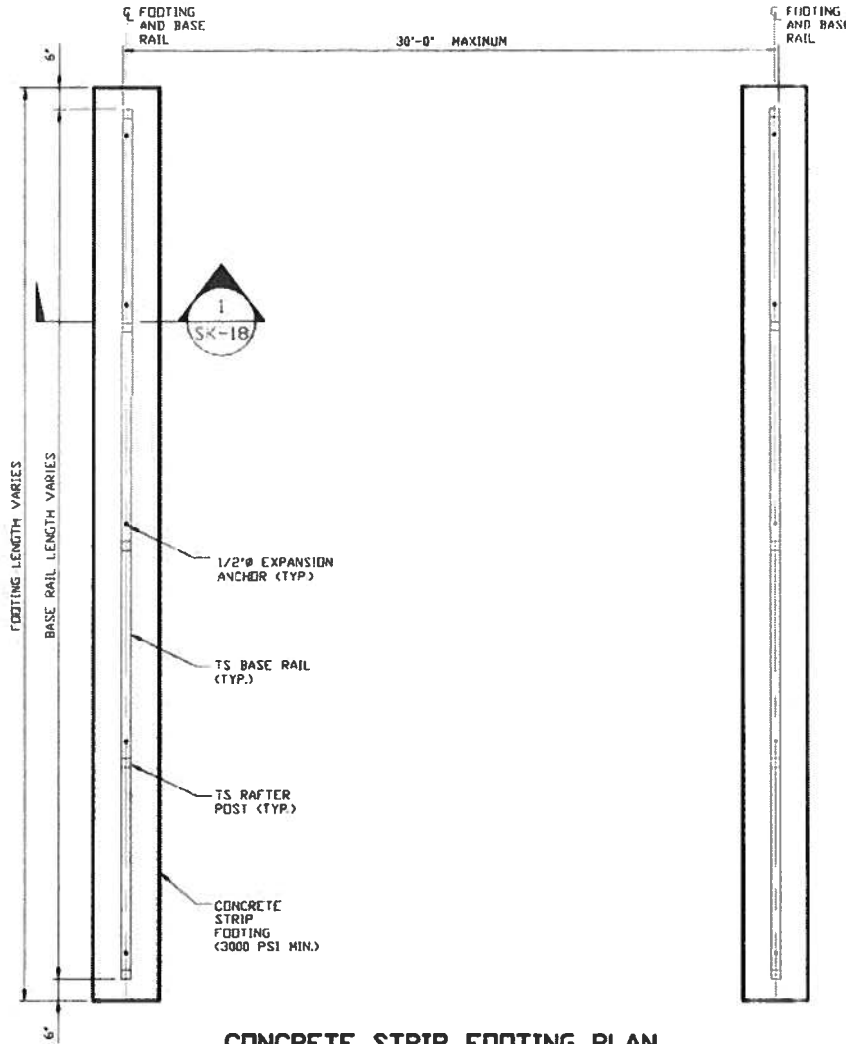
**PROJECT: MBR VSM**  
**CLIENT: SSSI**

**DATE: 12-14-19**  
**SHT. 17**

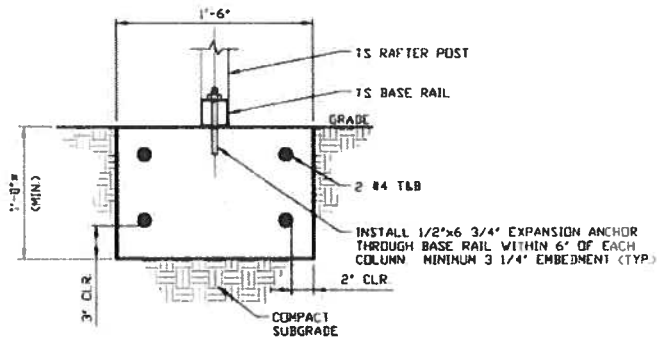
**SCALE: NTS**  
**DWG. NO: SK-3**

**REV. 7**

## OPTIONAL CONCRETE STRIP FOOTING

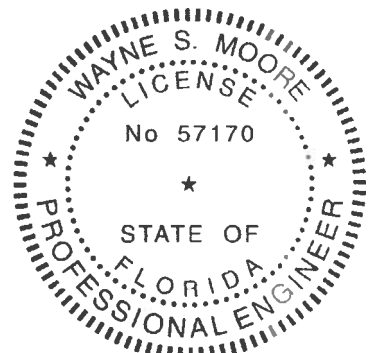


**CONCRETE STRIP FOOTING PLAN**  
SCALE: NTS



**SECTION 1**  
SCALE: NTS

■ COORDINATE WITH LOCAL CODES/ORD.



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**DRAWN BY: AT**

**CHECKED BY: PDH**

**PROJECT NO: VSM**

**CLIENT: SEBI**

**STEEL BUILDINGS AND STRUCTURES, INC.**  
P.O. BOX 1287,  
MOUNT AIRY, NC 27030  
30'-0" x 20'-0" ENCLOSED STRUCTURE

**DATE: 12-14-18**

**SCALE: NTS**

**JOB NO: 180685/180695**

**SHT. 18**

**DWG NO: SK-3**

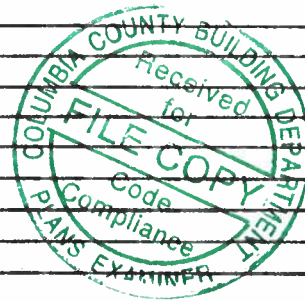
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As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ [www.floridabuilding.org](http://www.floridabuilding.org)

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>1. EXTERIOR DOORS</b>			
A. SWINGING	Pocahontas	36"x80" entry door	12903.1
B. SLIDING			
C. SECTIONAL/ROLL UP	Janus	750 Series	12765.8
D. OTHER			
<b>2. WINDOWS</b>			
A. SINGLE/DOUBLE HUNG	Pocahontas	Sliding window	12940.2
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. FIXED			
E. MULLION			
F. SKYLIGHTS			
G. OTHER			
<b>3. PANEL WALL</b>			
A. SIDING			
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER	Steel Buildings	Ag metal wall	22562.1
<b>4. ROOFING PRODUCTS</b>			
A. ASPHALT SHINGLES			
B. NON-STRUCT METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER			
<b>5. STRUCT COMPONENTS</b>			
A. WOOD CONNECTORS			
B. WOOD ANCHORS			
C. TRUSS PLATES			
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS	Steel Buildings	Ag metal roof	22561.1
<b>6. NEW EXTERIOR ENVELOPE PRODUCTS</b>			



The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

NOTES: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_