

DESIGN CRITERIA:

BASIS OF DESIGN
 ALL CONSTRUCTION IS DESIGNED AS FOLLOWS
 FLORIDA BUILDING CODE 8th EDITION 2023

DEAD LOADS
 ROOF 7.68 psf

LIVE LOADS
 FLOOR 100 psf
 ROOF 20 psf

WIND LOADS
 ASCE 7-22, 121 MPH WIND (ULT); 94 MPH (NOMINAL)
 BUILDINGS OF ALL HEIGHTS ANALYTICAL METHOD
 RISK CATEGORY II
 EXPOSURE CATEGORY "B"
 ROOF SLOPE: 3/8:12
 INTERNAL PRESSURE COEFFICIENTS
 GCp1=+/- .18, ENCLOSED STRUCTURE
 BASIC WIND PRESSURE: q= 33.1 P.S.F. (C&C)
 EDGE DISTANCE: a= 4 FT.

STRENGTH OF MATERIALS

REINFORCING STEEL	f _y = 60,000 psi
CONCRETE SLAB, BEAMS AND FOOTINGS	f _c = 4,000 psi
REINFORCED MASONRY	f _m = 1,500 psi
MASONRY GROUT	f _g = 3,000 psi
SOIL BEARING PER GEOTECHNICAL REPORT	S _u = 2,000 psf

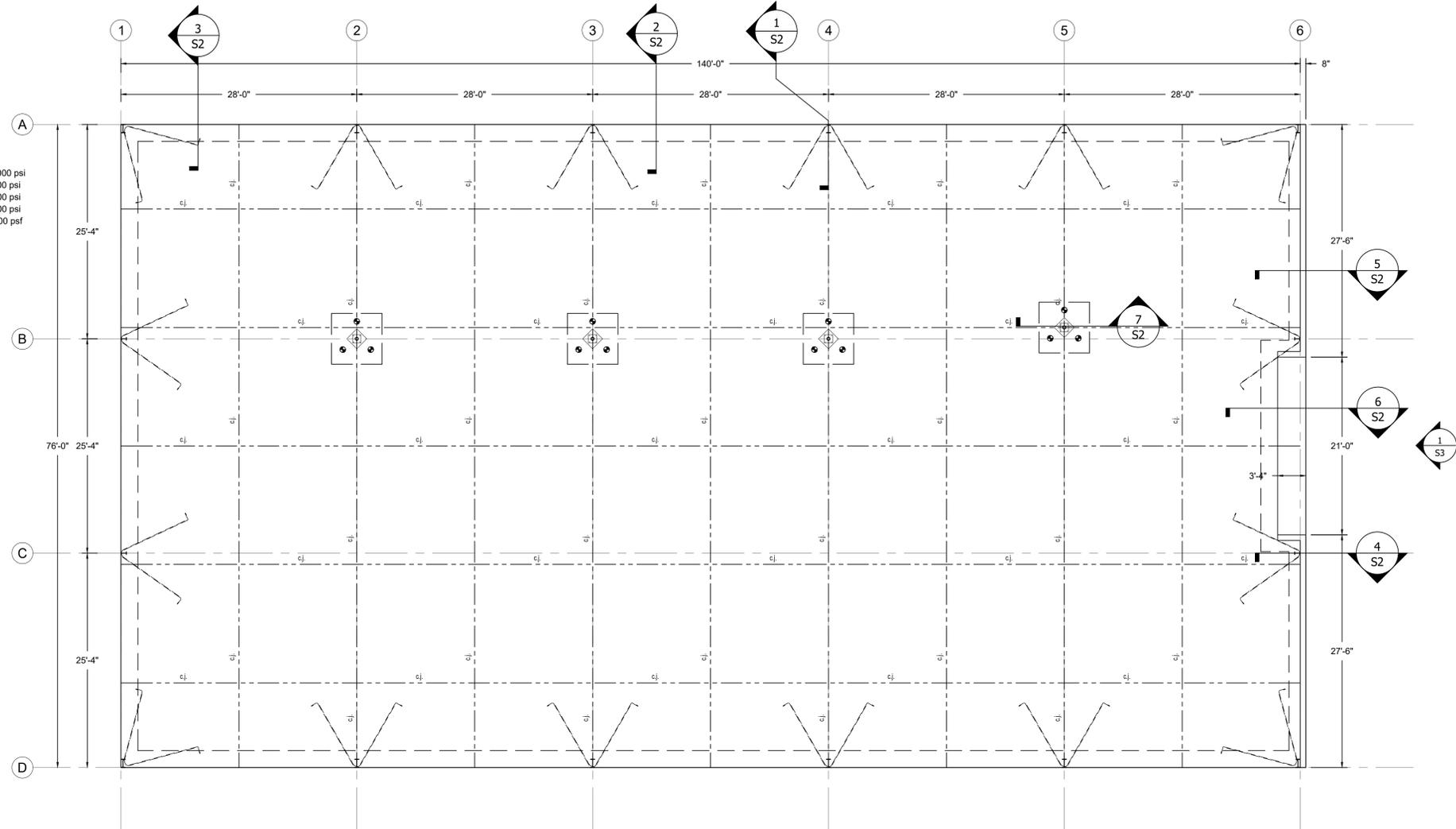


CONCRETE/MASONRY NOTES:

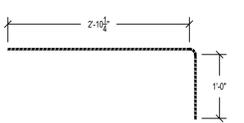
- VERIFY ALL DETAILS AND DIMENSIONS WITH EXISTING CONDITIONS, ARCHITECTURAL DOCUMENTS AND PROPERLY COORDINATED APPROVED SHOP DRAWINGS.
- EXPANSION AND CONTROL JOINTS ARE TO BE PLACED PER A.C.I. RECOMMENDATIONS. PREPARE A CRACK CONTROL PLAN BASED ON CONSTRUCTION SEQUENCING AND PROPOSED ACTUAL FLOOR AND WALL FINISHES AND SUBMIT TO THE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 - NO CONTROL JOINT SHALL INTERSECT AN ADJACENT CONTROL JOINT AT AN ANGLE <90°.
 - CONTROL JOINTS SHALL ONLY INTERSECT A CURB OR OTHER STRUCTURAL MEMBER AT ANGLE OF 90°.
- PROVIDE 4# BAR DIAMETER MINIMUM LAP.
- ALL FOOTING BOTTOMS MUST BE PLACED A MINIMUM OF 12" BELOW FINISH GRADE.

TERMITE NOTES:

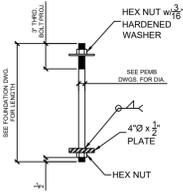
- A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.
- CONDENSATE AND ROOF DOWN SPOUTS SHALL DISCHARGE 1'-0" AWAY FROM BUILDING SIDE WALLS.
- IRRIGATION/SPRINKLER SYSTEM INCLUDING ALL RISERS AND SPRAY HEADS SHALL NOT BE INSTALLED WITHIN 1'-0" OF THE BUILDING SIDE WALLS.
- TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION THE DISTANCE BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6". EXCEPTION: PAINT OR DECORATIVE CEMENTITIOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL.
- INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACKFILL IS COMPLETE.
- SOIL DISTRIBUTED AFTER THE INITIAL TREATMENT SHALL BE RE-TREATED INCLUDING SPACES BOXED AND FORMED.
- BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATIONS OF TRAPS, ETC., SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE THE SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT.
- MINIMUM 6 MIL RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, PRETREATMENT IS REQUIRED.
- CONCRETE OVER POUR AND MORTAR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT.
- SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF THE STRUCTURE SIDEWALLS.
- AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION ANY SOIL DISTRIBUTED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED.
- ALL BUILDING ARE REQUIRED TO HAVE PRE-CONSTRUCTION TREATMENT.
- A CERTIFICATE OF COMPLIANCE MUST BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
- AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 1'-0" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL.
- NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC., SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING.



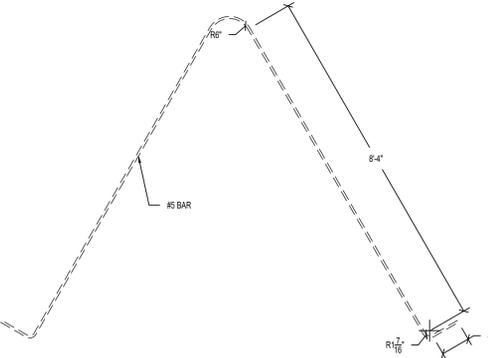
FLOORPLAN
 SCALE: 1/8"=1'-0"



SLAB TIE DETAIL
 SCALE: 3/4" = 1'-0"



ANCHOR BOLT DETAIL
 SCALE: N.T.S.



HAIRPIN DETAIL
 SCALE: 3/4" = 1'-0"

Belt Engineering
 1503-A WEST BUSH BLVD / TAMPA, FL 33612
 PH: (813) 961-3075 / FX: (813) 961-1031
 Samuel P. Dean, P.E.
 License No. 12587
 www.beltengineering.com

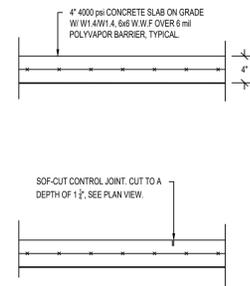
I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF ALL OF THE STRUCTURAL ELEMENTS AND SYSTEMS FOR WHICH I AM PROVIDING PROFESSIONAL SERVICES IN COMPLIANCE WITH THE FLORIDA BUILDING CODE 8TH EDITION 2023. ALL OTHER ELEMENTS, SYSTEMS AND ASSEMBLIES ARE THE RESPONSIBILITY OF THE BUILDER.

CONCEPT COMPANIES
 1445 SW 7th St., Suite 200 / GAINESVILLE, FL 32607
 LICENSE # CC-1505491
 PH: 877-309-1029 / FAX: 800-218-7809
 WWW.CONCEPTCOMPANIES.NET

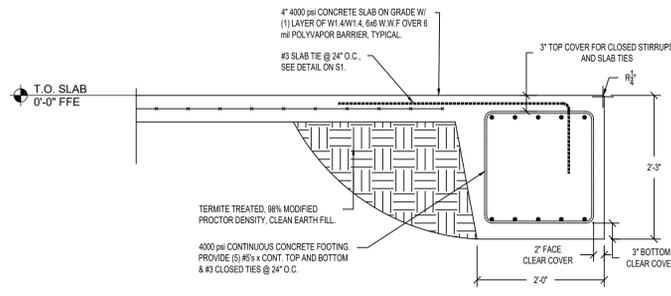
DOLLAR GENERAL
 T.B.D. US HWY 27
 FORT WHITE, FL 32038
 STORE # 180
 2019 PROTOTYPE - PLAN "DGP-B" - 10,640 SQ. FT.

DRAWING DATE / DRAWN BY:
 2/14/24 - VBC
 REVISION DATE / REVISED BY:
 PROJECT NUMBER:
 ET23-0545 / 4000.249
 DRAWING TITLE:
 FOUNDATION PLAN
 SHEET NO.

S1

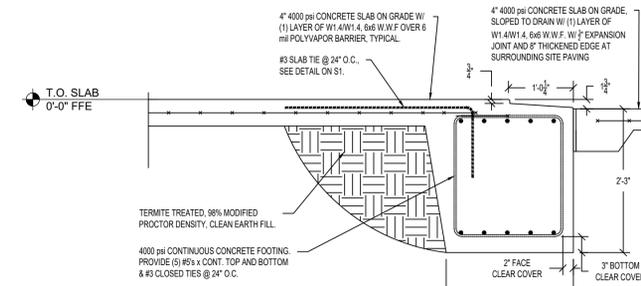


TYPICAL SLAB DETAILS
SCALE: 3/4" = 1'-0"



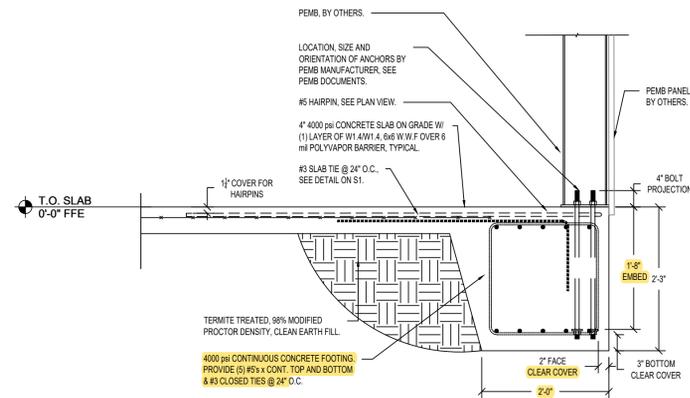
3
S2
DETAIL
SCALE: 3/4" = 1'-0"

TYPICAL PERIMETER FOOTING AT ENTRY DOOR.



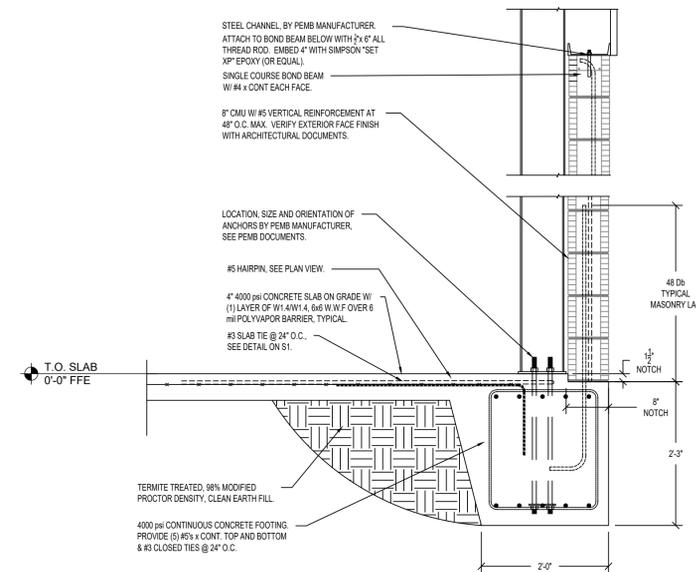
6
S2
DETAIL
SCALE: 3/4" = 1'-0"

FOOTING ALONG FACADE AT FRONT ENTRY.



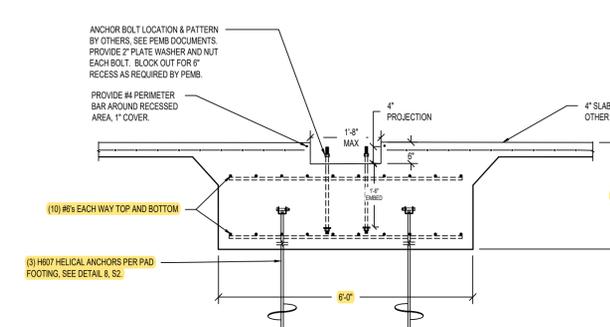
1
S2
DETAIL
SCALE: 3/4" = 1'-0"

TYPICAL PERIMETER FOOTING AT BUILDING FRAME.

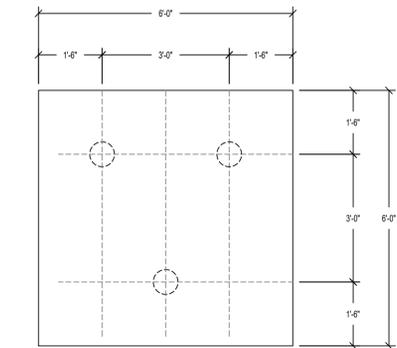


4
S2
DETAIL
SCALE: 3/4" = 1'-0"

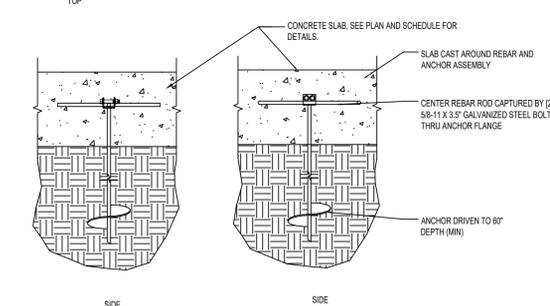
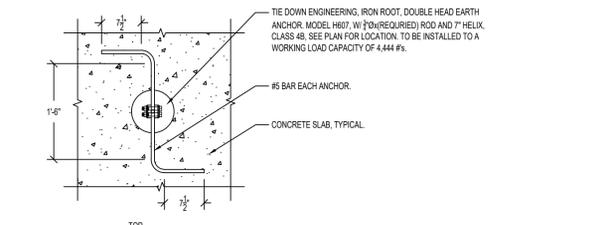
FOOTING ALONG FACADE AT BUILDING FRAME.



TYPICAL INTERIOR FOOTING.

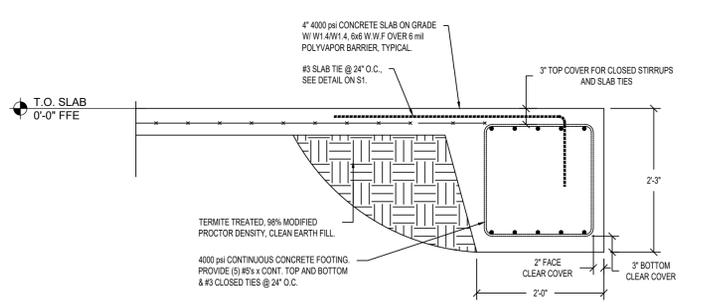


7
S2
DETAIL
SCALE: 1/2" = 1'-0"



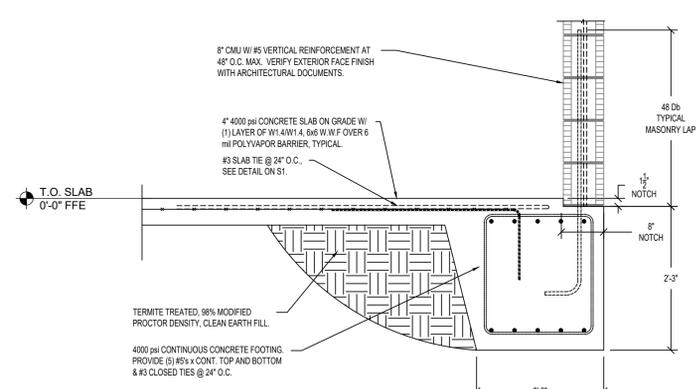
8
S2
DETAIL
SCALE: N.T.S.

TYPICAL INTERIOR COLUMN FOOTING



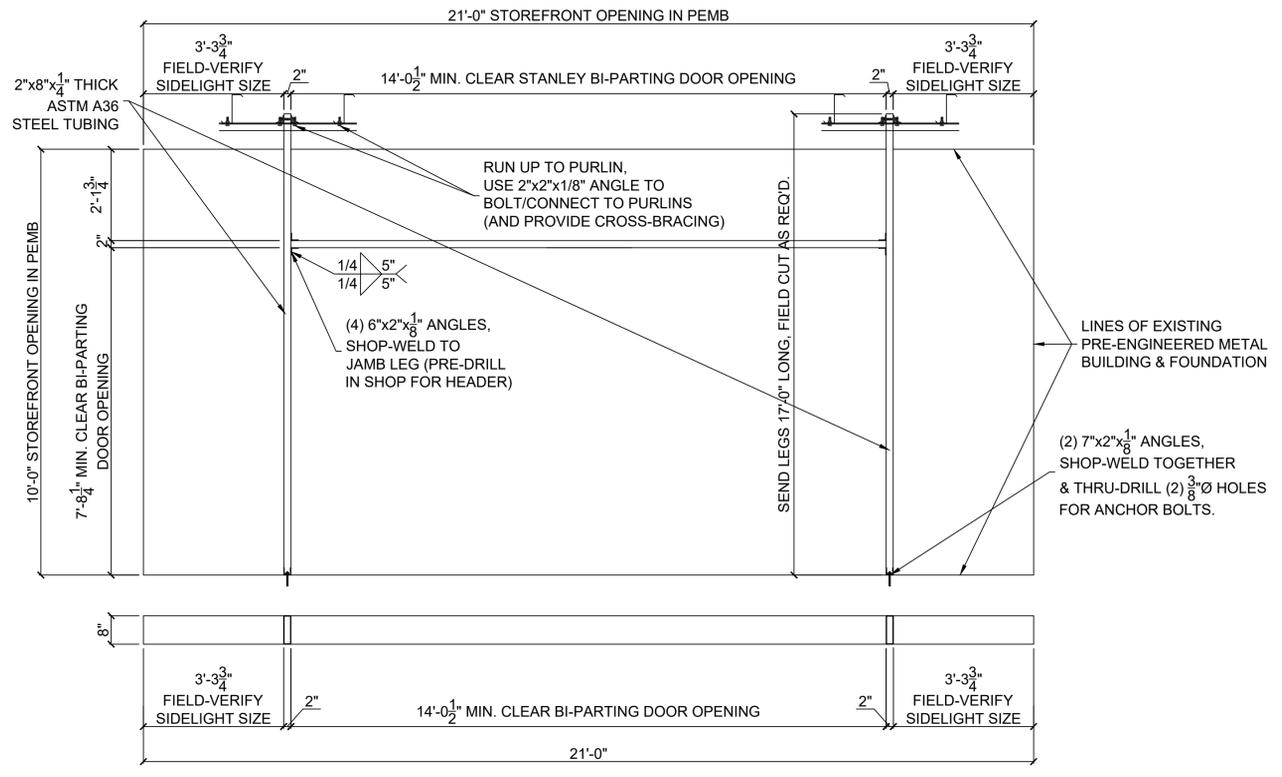
2
S2
DETAIL
SCALE: 3/4" = 1'-0"

TYPICAL PERIMETER FOOTING NOT AT BUILDING FRAME.



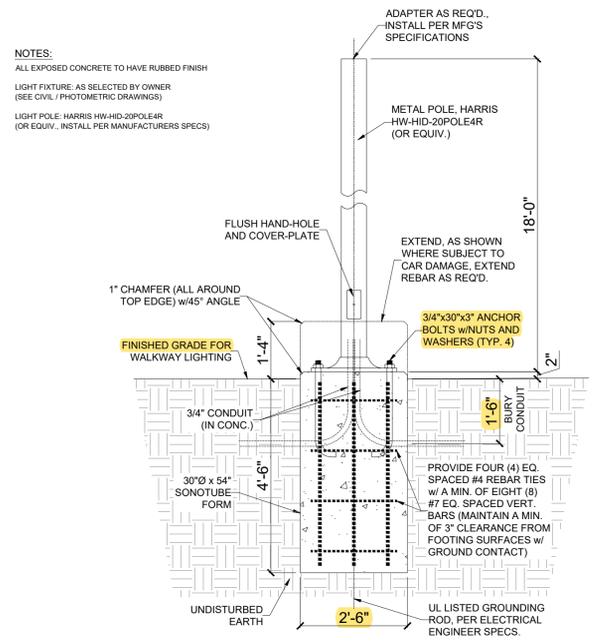
5
S2
DETAIL
SCALE: 3/4" = 1'-0"

FOOTING ALONG FACADE NOT AT BUILDING FRAME.



1
S3

DETAIL
 STEEL FRAME AT FRONT ENTRY.
 SCALE: 1/2" = 1'-0"

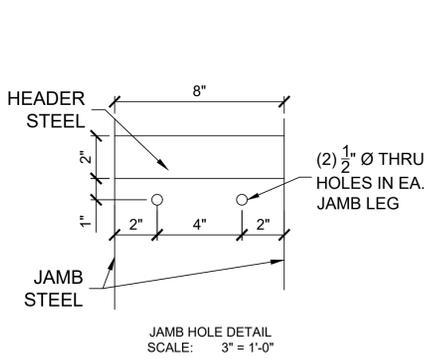


2
S3

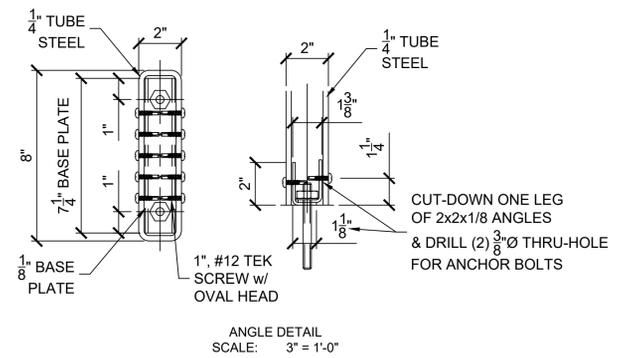
DETAIL
 LIGHT POLE
 SCALE: 1/2" = 1'-0"

LIGHT POLE DESIGN CRITERIA:
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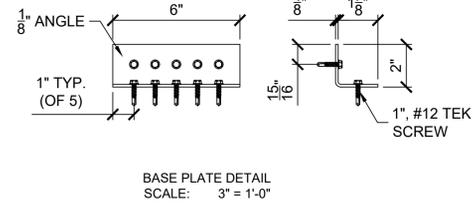
WIND LOADS
 ASCE 7-22, 121 MPH WIND (ULT); 94 MPH (NOMINAL)
 SIGNS ANALYTICAL METHOD
 STRUCTURE CATEGORY II
 TERRAIN EXPOSURE "B"
 BASIC WIND PRESSURE: $q = 30.1$ P.S.F.
 * TREATED AS SIGNAGE



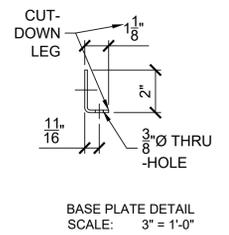
JAMB HOLE DETAIL
 SCALE: 3" = 1'-0"



ANGLE DETAIL
 SCALE: 3" = 1'-0"



BASE PLATE DETAIL
 SCALE: 3" = 1'-0"



BASE PLATE DETAIL
 SCALE: 3" = 1'-0"