

DESIGN CRITERIA:

BASIS OF DESIGN

ALL CONSTRUCTION IS DESIGNED AS FOLLOWS  
FLORIDA BUILDING CODE 8th EDITION 2023

DEAD LOADS  
ROOF 7.68 psf

LIVE LOADS  
FLOOR 100 psf  
ROOF 20 psf

WIND LOADS  
ASCE 7-22, 121 MPH WIND (ULT); 94 MPH (NOMINAL)  
BUILDINGS OF ALL HEIGHTS ANALYTICAL METHOD  
RISK CATEGORY II  
EXPOSURE CATEGORY "B"  
ROOF SLOPE: 3/8:12  
INTERNAL PRESSURE COEFFICIENTS  
GC<sub>pf</sub>=+/- .18, ENCLOSED STRUCTURE  
BASIC WIND PRESSURE: q= 33.1 P.S.F. (C&C)  
EDGE DISTANCE: a= 4 FT.

STRENGTH OF MATERIALS

REINFORCING STEEL  $f_y$  = 60,000 psi  
CONCRETE SLAB, BEAMS AND FOOTINGS  $f'_c$  = 4,000 psi  
REINFORCED MASONRY  $f'_m$  = 1,500 psi  
MASONRY GROUT  $f'_g$  = 3,000 psi  
SOIL BEARING PER GEOTECHNICAL REPORT  $S_u$  = 2,000 psf

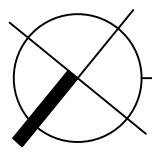
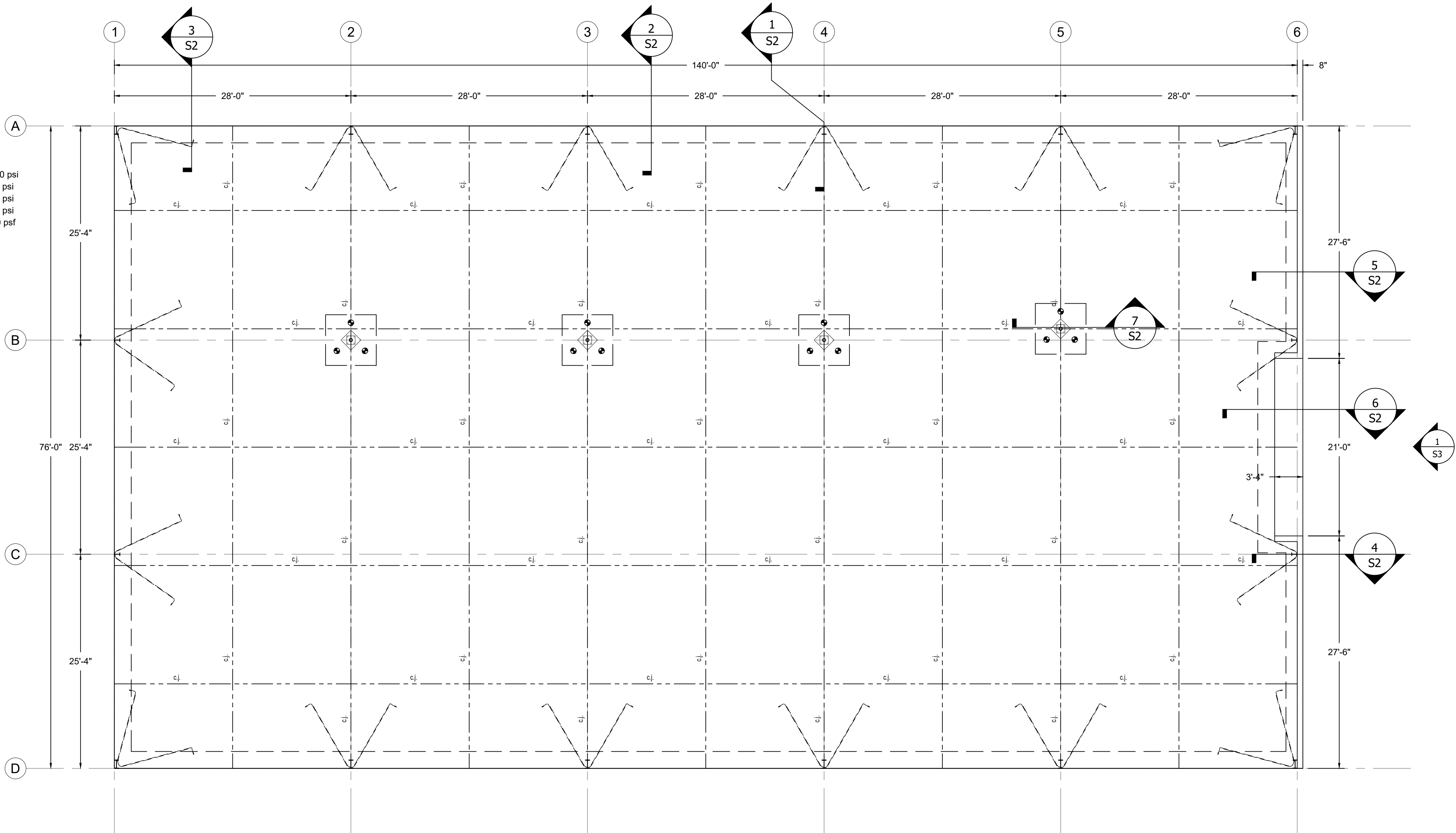


CONCRETE/MASONRY NOTES:

1. VERIFY ALL DETAILS AND DIMENSIONS WITH EXISTING CONDITIONS, ARCHITECTURAL DOCUMENTS AND PROPERLY COORDINATED APPROVED SHOP DRAWINGS.
2. EXPANSION AND CONTROL JOINTS ARE TO BE PLACED PER A.C.I. RECOMMENDATIONS. PREPARE A CRACK CONTROL PLAN BASED ON CONSTRUCTION SEQUENCING AND PROPOSED ACTUAL FLOOR AND WALL FINISHES AND SUBMIT TO THE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
  - 2.1. NO CONTROL JOINT SHALL INTERSECT AN ADJACENT CONTROL JOINT AT AN ANGLE <90°.
  - 2.2. CONTROL JOINTS SHALL ONLY INTERSECT A CURB OR OTHER STRUCTURAL MEMBER AT ANGLE OF 90°.
3. PROVIDE 4# BAR DIAMETER MINIMUM LAP.
4. ALL FOOTING BOTTOMS MUST BE PLACED A MINIMUM OF 12" BELOW FINISH GRADE.

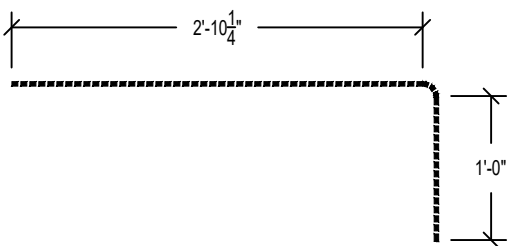
TERMITE NOTES:

1. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.
2. CONDENSATE AND ROOF DOWN SPOUTS SHALL DISCHARGE 1'-0" AWAY FROM BUILDING SIDE WALLS.
3. IRRIGATION/SPRINKLER SYSTEM INCLUDING ALL RISERS AND SPRAY HEADS SHALL NOT BE INSTALLED WITHIN 1'-0" OF THE BUILDING SIDE WALLS.
4. TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION THE DISTANCE BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6". EXCEPTION: PAINT OR DECORATIVE CEMENTITIOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL.
5. INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACKFILL IS COMPLETE.
6. SOIL DISTRIBUTED AFTER THE INITIAL TREATMENT SHALL BE RE-TREATED INCLUDING SPACES BOXED AND FORMED.
7. BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATIONS OF TRAPS, ETC., SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE THE SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT.
8. MINIMUM 6 MIL RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, PRETREATMENT IS REQUIRED.
9. CONCRETE OVER POUR AND MORTAR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT.
10. SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF THE STRUCTURE SIDEWALLS.
11. AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION ANY SOIL DISTRIBUTED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED.
12. ALL BUILDING ARE REQUIRED TO HAVE PRE-CONSTRUCTION TREATMENT.
13. A CERTIFICATE OF COMPLIANCE MUST BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
14. AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 1'-0" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL.
15. NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC., SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING.

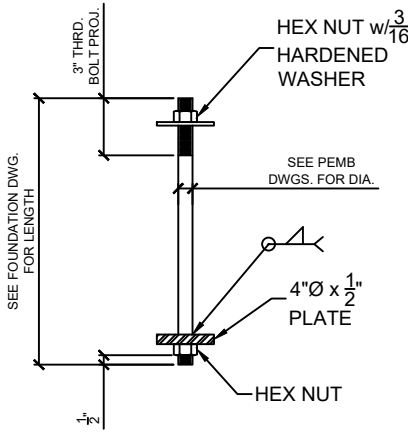


FLOORPLAN

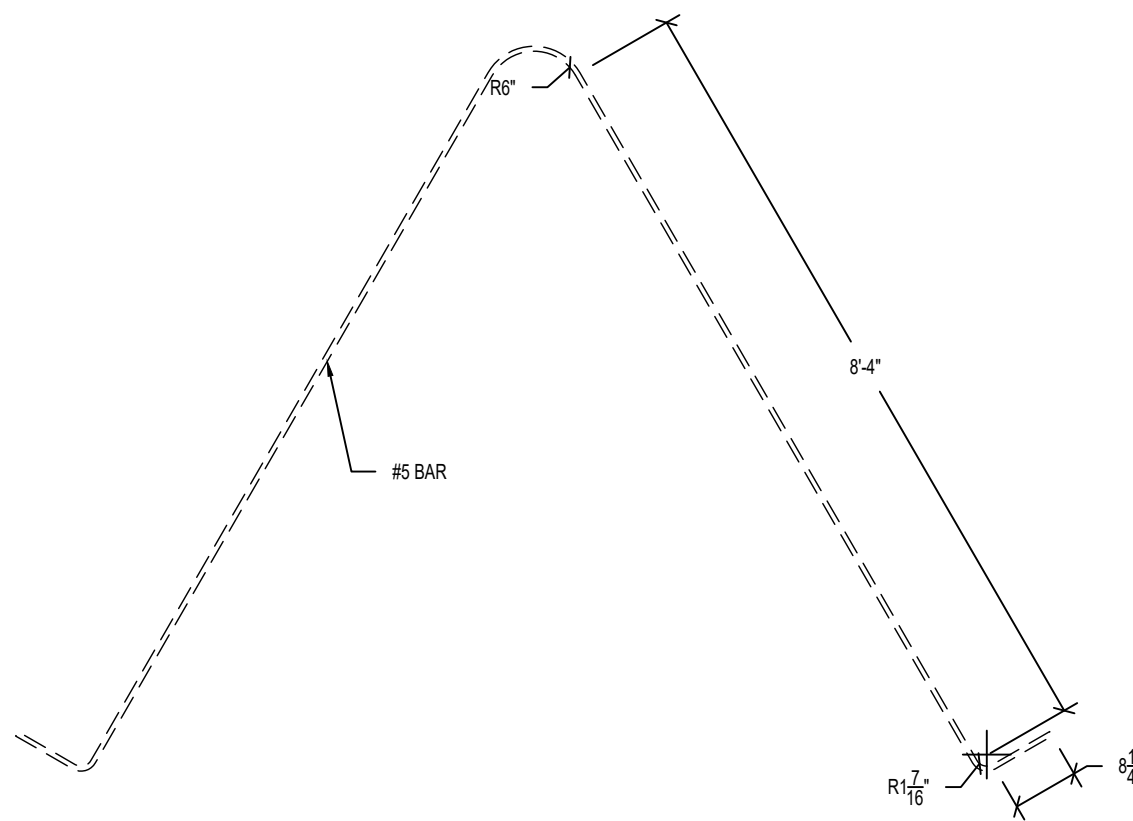
SCALE: 1/8"=1'-0"



SLAB TIE DETAIL  
SCALE: 3/4" = 1'-0"



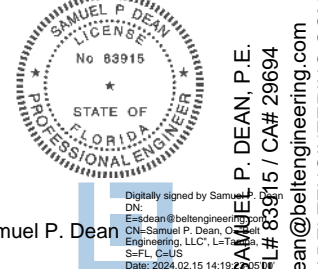
ANCHOR BOLT DETAIL  
SCALE: N.T.S.



HAIRPIN DETAIL  
SCALE: 3/4" = 1'-0"

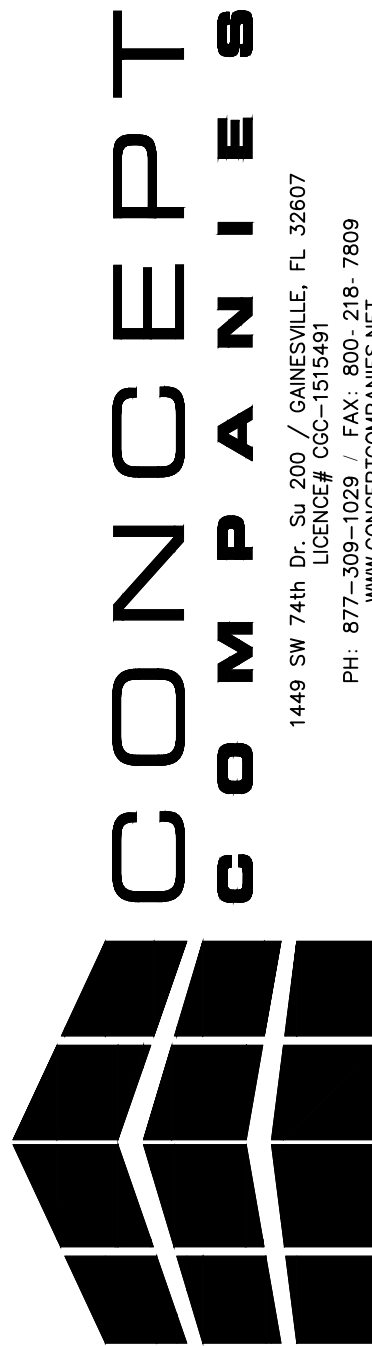


1503-A WEST BUSH BLVD. / TAMPA, FL 33612  
PH: (813) 961-3075 / FX: (813) 961-1031



Samuel P. Dean  
Professional Engineer  
License # 1515491  
FLORIDA  
www.beltengineering.com  
sdean@beltengineering.com  
1515491 / CAD 26684  
WWW.BELTENGINEERING.COM

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF ALL OF THE STRUCTURAL ELEMENTS AND SYSTEMS FOR THE BUILDING SHOWN ON THIS DRAWING ARE IN COMPLIANCE WITH THE FLORIDA BUILDING CODE 8TH EDITION 2023. ALL OTHER ELEMENTS, SYSTEMS AND ASSEMBLIES ARE THE RESPONSIBILITY OF THE BUILDER.



DRAWING DATE / DRAWN BY:  
2/14/24 - VBC

REVISION DATE / REVISED BY:

PROJECT NUMBER:  
ET23-0545 / 4000.249

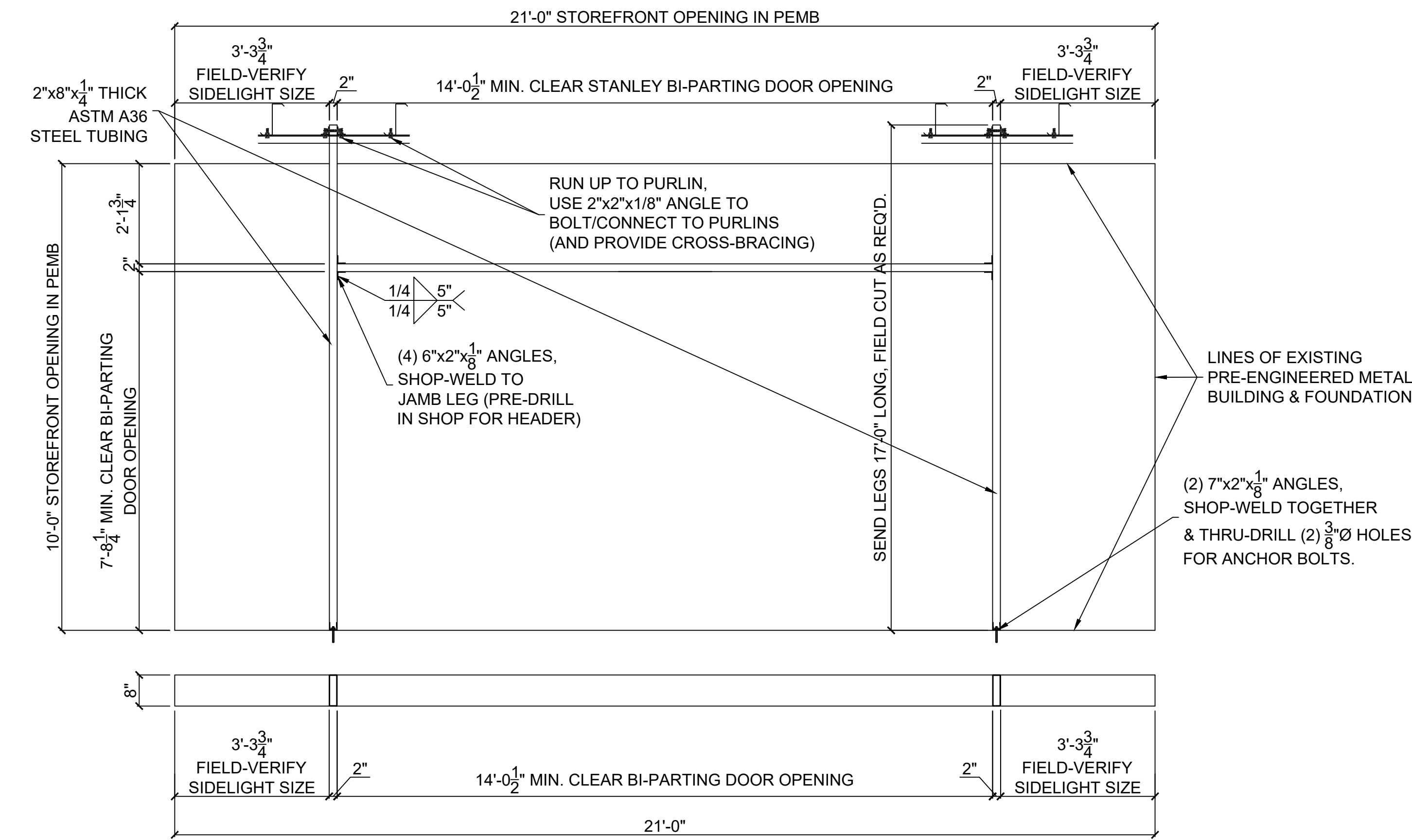
DRAWING TITLE:  
FOUNDATION PLAN

SHEET NO.

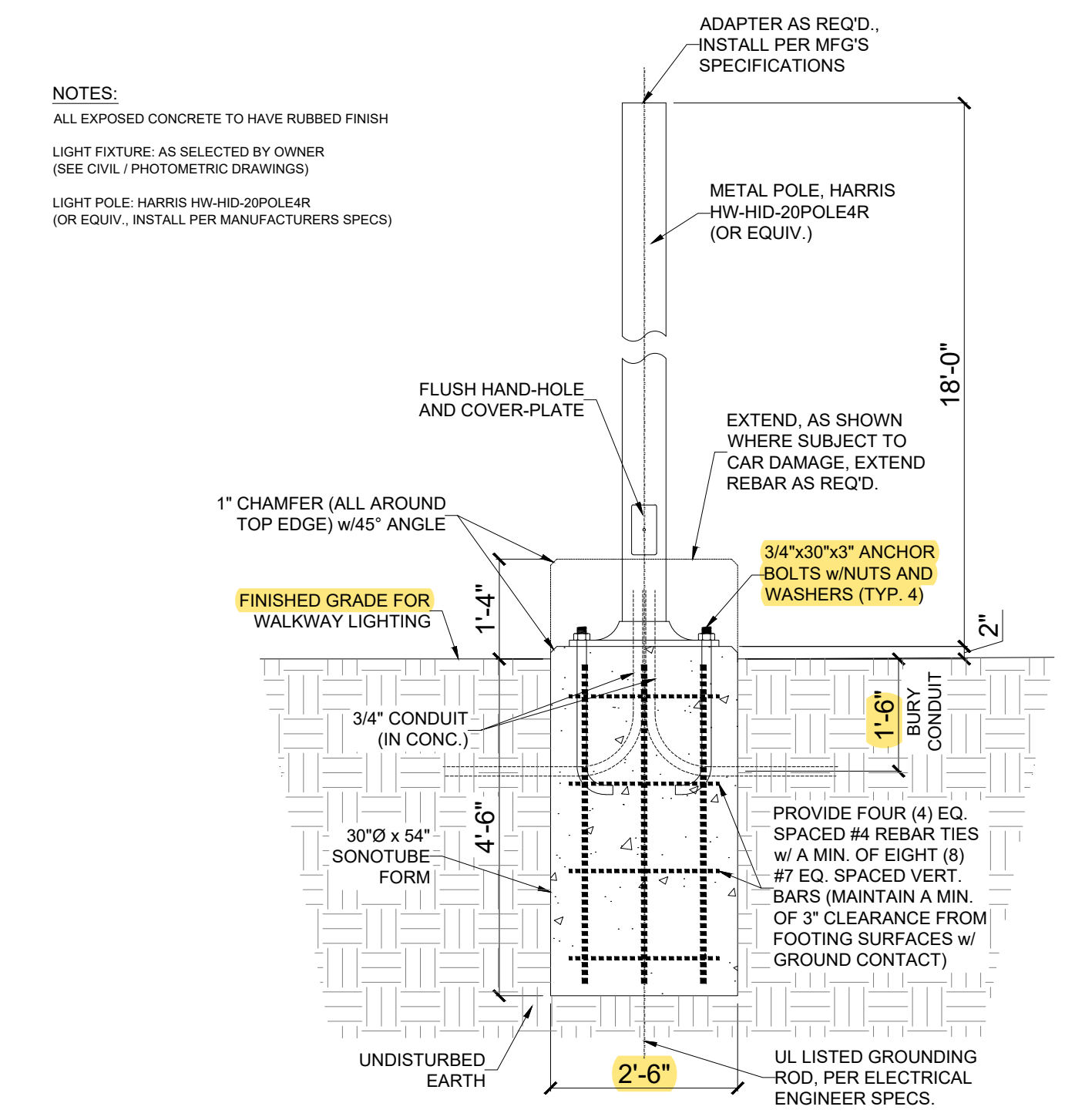
S1



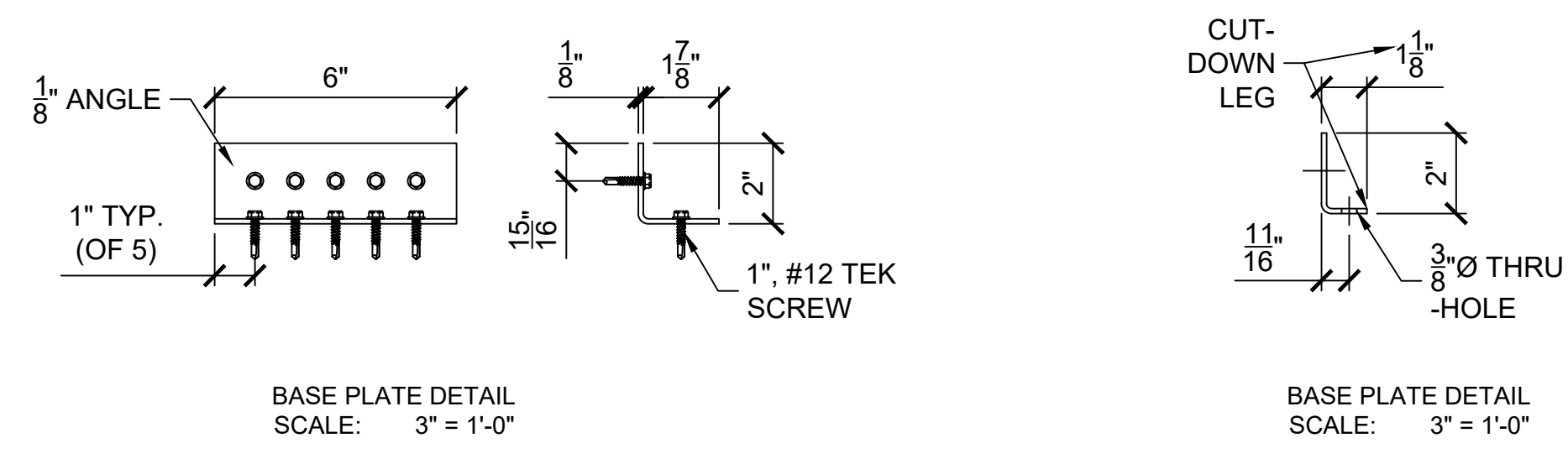
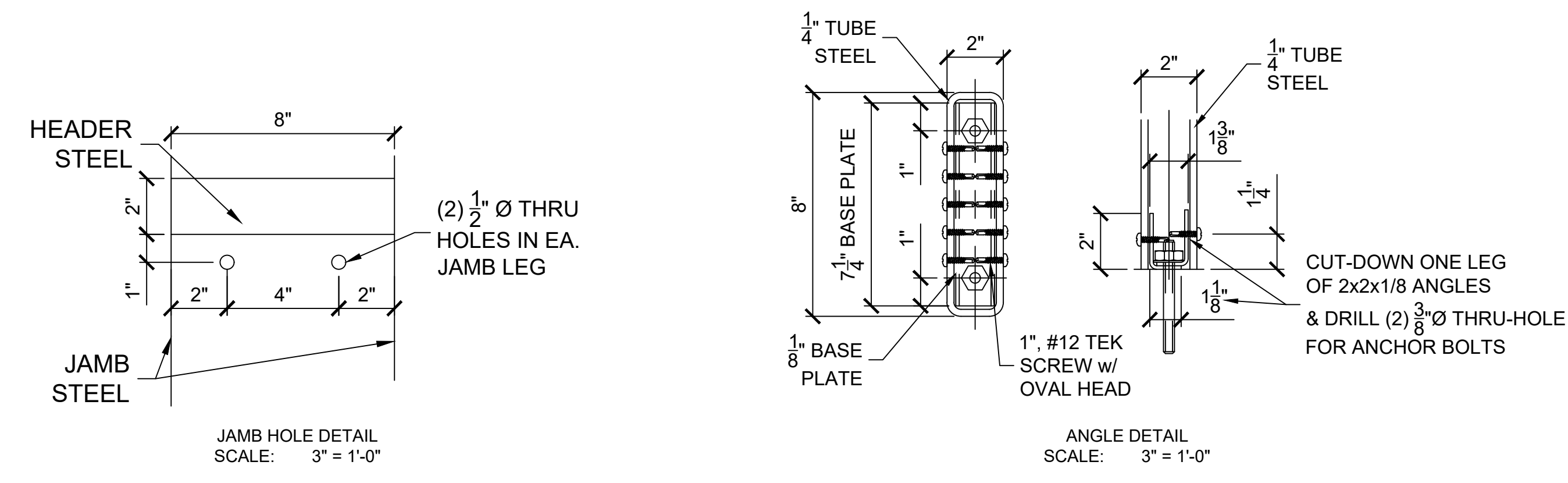




1 S3 DETAIL STEEL FRAME AT FRONT ENTRY. SCALE: 1/2" = 1'-0"



2 S3 DETAIL LIGHT POLE SCALE: 1/2" = 1'-0"



**LIGHT POLE DESIGN CRITERIA:**

**BASIS OF DESIGN**

ALL CONSTRUCTION IS DESIGNED AS FOLLOWS  
FLORIDA BUILDING CODE 8th EDITION (2023)

**WIND LOADS**  
ASCE 7-22, 121 MPH WIND (ULT); 94 MPH (NOMINAL)  
SIGNS ANALYTICAL METHOD  
STRUCTURE CATEGORY II  
TERRAIN EXPOSURE "B"  
BASIC WIND PRESSURE: q= 30.1 P.S.F.  
\* TREATED AS SIGNAGE

1503-A WEST BUSH BLVD. / TAMPA, FL 33612  
PH: (813) 961-3075 / FX: (813) 961-1031

SAMUEL D. DEAN, P.E.  
FL # 83915 / CAD # 26694  
sdean@beltengineering.com  
WWW.BELTENGINEERING.COM

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF ALL OF THE STRUCTURAL ELEMENTS AND SYSTEMS FOR THE DESIGN OF THIS PROJECT ARE IN COMPLIANCE WITH THE FLORIDA BUILDING CODE 8TH EDITION 2023. ALL OTHER ELEMENTS, SYSTEMS AND ASSEMBLIES ARE THE RESPONSIBILITY OF THE BUILDER.

CONCEPT COMPANIES

1445 SW 74th St., Suite 200 / GAINESVILLE, FL 32607  
PH: 877-309-1029 / FX: 800-218-7809  
WWW.CONCEPTCOMPANIES.NET

**DOLLAR GENERAL®**

T.B.D. US HWY 27  
FORT WHITE, FL 32038

STORE # TBD  
2019 PROTOTYPE - PLAN "DGP-B" - 10,640 SQ. FT.

DRAWING DATE / DRAWN BY:  
2/14/24 - VBC

REVISION DATE / REVISED BY:

PROJECT NUMBER:  
ET23-0545 / 4000.249

DRAWING TITLE:  
STEEL DETAILS

SHEET NO.

**S3**