

Columbia County New Building Permit Application

For Office Use Only	Application #	1710-39	Date Received	10/12	By	JL	Permit #	35925	
Zoning Official	DKS	Date	10/20/12	Flood Zone	X	Land Use	A	Zoning	A-3
FEMA Map #		Elevation		MFE	N/A	River		Plans Examiner	J.C.
Comments									
<input checked="" type="checkbox"/> NOC DEH <input type="checkbox"/> Deed or PA <input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> State Road Info <input type="checkbox"/> Well letter <input type="checkbox"/> 911 Sheet <input type="checkbox"/> Parent Parcel # _____ <input type="checkbox"/> Dev Permit # _____ <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Auth. from Contractor <input type="checkbox"/> F W Comp. letter N/A <input type="checkbox"/> Owner Builder Disclosure Statement <input type="checkbox"/> Land Owner Affidavit <input type="checkbox"/> Ellisville Water <input checked="" type="checkbox"/> App Fee Paid <input type="checkbox"/> Sub VF Form									

Septic Permit No. 17-0653 OR City Water Fax _____

Applicant (Who will sign/pickup the permit) Kenneth Perin Phone 407 929 4217

Address 4056 KIAWA DR ORLANDO FL 32837

Owners Name Kenneth Perin Phone 407 929 4217

911 Address 263 SW KEMP LAKE CITY FL 32024

Contractors Name Kenneth Perin Phone 407 929 4217

Address 4056 KIAWA DR ORLANDO FL 32837

Contractor Email Kc Perin @ hotmail.com ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address MOORE & ASSOCIATES - Klayne Moore, P.S. MT. AIRY, NC

Mortgage Lenders Name & Address 401 S MAIN ST, SF 200, 27030

Circle the correct power company FL Power & Light Clay Elec. Suwannee Valley Elec. Duke Energy

Property ID Number 14-55-16-03612-010 Estimated Construction Cost 11,500

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions from a Major Road 47-S TO CATES, TL TO THE VERY

END, TL AND IT'S 800' ON R.

Construction of Steel GARAGE Commercial OR Residential

Proposed Use/Occupancy GARAGE Number of Existing Dwellings on Property 3

Is the Building Fire Sprinkled? No If Yes, blueprints included Or Explain _____

Circle Proposed Culvert Permit or Culvert Waiver or D.O.T. Permit or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 390' Side 39' Side 283' Rear 210'

Number of Stories 1 Heated Floor Area 60 Total Floor Area 720 Acreage 5.01

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.)

Columbia County Building Permit Application

CODE: Florida Building Code 2014 and the 2011 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Kenneth Perin

Print Owners Name

Kenneth Perin

Owners Signature

**Property owners must sign here before any permit will be issued.

**If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature

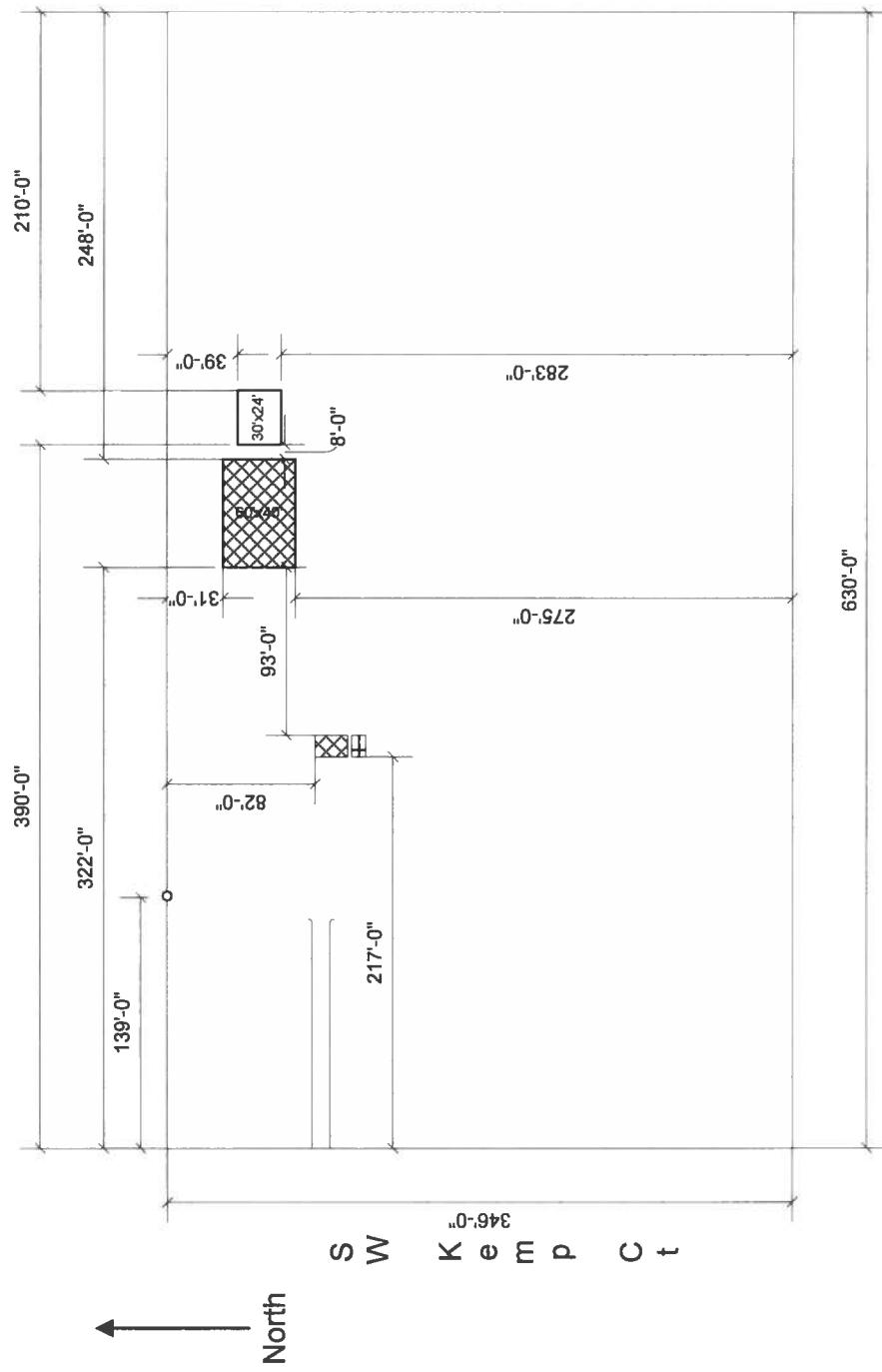
Contractor's License Number _____
Columbia County _____
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this _____ day of _____ 20____.

Personally known _____ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)



DRAWN BY	TITLE	Site Plan - 24'x30' Garage	SCALE	PAGE
Kenneth Perin	REVISED	1: 1200	1 OF 1	

DATE 10-11-2017



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myfloridalicense.com/dbpr/> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

239 SW KEMP CT LAKE CITY FL 32024

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

TYPE OF CONSTRUCTION

Single Family Dwelling Two-Family Residence Farm Outbuilding
 Addition, Alteration, Modification or other Improvement
 Commercial, Cost of Construction _____ for construction of _____
 Other Steel Garage

I Kenneth Perin, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Kenneth Perin
Owner Builder Signature

10/12/2017
Date

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification _____

Notary Signature _____ Date 10.12.17 (Seal)

FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative

Dane H. Dunn

Columbia County Property Appraiser

updated: 9/20/2017

Parcel: 14-5S-16-03612-010

<< Next Lower Parcel Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

2017 TRIM (pdf)

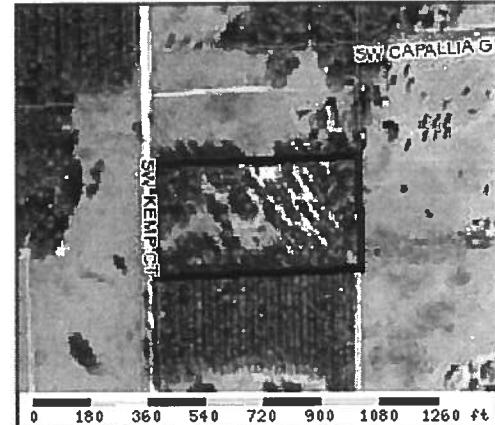
Interactive GIS Map

Print

Search Result: 1 of 1

Owner & Property Info

Owner's Name	PERIN KENNETH CHARLES &		
Mailing Address	RUTH ANN PERIN 4056 KIAWA DRIVE ORLANDO, FL 32837		
Site Address	263 SW KEMP CT		
Use Desc. (code)	AC/XFOB (009901)		
Tax District	3 (County)	Neighborhood	14516
Land Area	5.010 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
COMM AT SE COR OF SW1/4 OF NE1/4, RUN N 635.96 FT FOR POB CONT N 346.02 FT, W 630.78 FT TO E R/W CO RD, S 346.02 FT, E 630.99 FT TO POB. WD 1032-1414, DC 1072-972, CT 1202-241, WD 1236-626, (WD 1324-1913;LIFE EST).			

**Property & Assessment Values**

2016 Certified Values		
Mkt Land Value	cnt: (0)	\$28,007.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (2)	\$21,700.00
Total Appraised Value		\$49,707.00
Just Value		\$49,707.00
Class Value		\$0.00
Assessed Value		\$49,707.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$49,707 Other: \$49,707 Schl: \$49,707	

2017 Working Values		
Mkt Land Value	cnt: (0)	\$28,007.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (2)	\$21,700.00
Total Appraised Value		\$49,707.00
Just Value		\$49,707.00
Class Value		\$0.00
Assessed Value		\$49,707.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$49,707 Other: \$49,707 Schl: \$49,707	

NOTE: 2017 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
10/5/2016	1324/1913	WD	I	U	14	\$0.00
5/25/2012	1236/626	WD	V	Q	01	\$30,000.00
9/15/2010	1202/241	CT	V	U	12	\$100.00
12/7/2004	1032/1414	WD	V	Q		\$35,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0294	SHED WOOD/	2009	\$100.00	0000001.000	0 x 0 x 0	(000.00)
0030	BARN,MT	2014	\$21,600.00	0002400.000	40 x 60 x 0	(000.00)

Land Breakdown

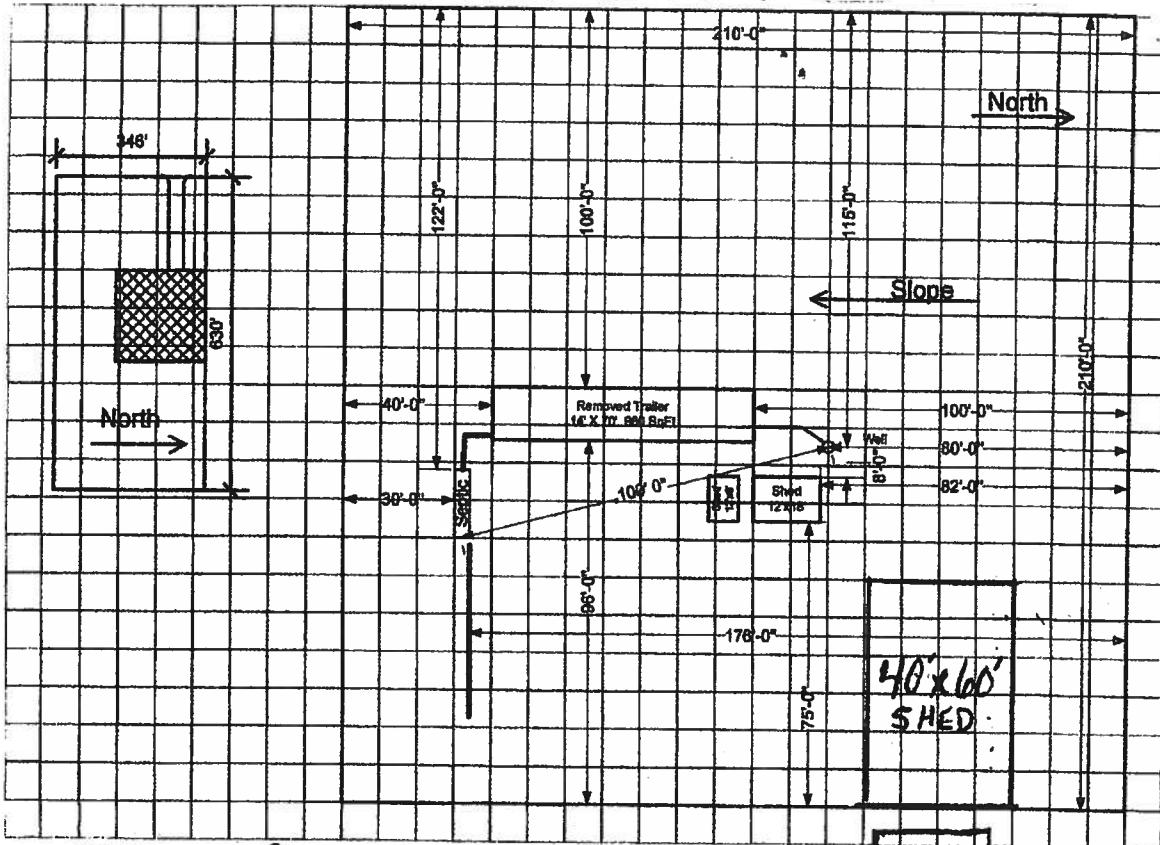
Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
009901	AC/XFOB (MKT)	5.01 AC	1.00/1.00/1.00/1.00	\$5,191.20	\$26,007.00
009945	WELL/SEPT (MKT)	1 UT - (0000000.000AC)	1.00/1.00/1.00/1.00	\$2,000.00	\$2,000.00

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 12-0453

- PART II - SITEPLAN

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes: TRAILER REMOVED PRIOR TO BUYING
PROPERTY. SEWAGE INLET CAP WITH
THREADED PLUG. USED AS SEPTIC DUMP FOR
TRAILER TRAILER - UNDER PERMIT 14-342 7-1-2014
24x30' TUBE BUILT
SHED

Site Plan submitted by: Kenneth Pepin

DN-4015, 08/09 (Obsoletes previous editions which may not be used) Incorporated: 64E-6.001, FAC
(Stock Number: 5744-002-2015-6)

101312

County Health Department

Gelehrte

101342

DN-4015, 08/09 (Obsoletes previous editions which may not be used) Incorporated: 64E-6.001, FAC
(Stock Number: 5744-002-4015-6) Page 2 of 4



STATE OF FLORIDA
 DEPARTMENT OF HEALTH
 ONSITE SEWAGE TREATMENT AND DISPOSAL
 SYSTEM
 APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 17-0653
 DATE PAID: 10/12/17
 FEE PAID: \$8.00
 RECEIPT #: 1308144

APPLICATION FOR:

New System Existing System Holding Tank Innovative
 Repair Abandonment Temporary

APPLICANT: Kenneth PerinAGENT: _____ TELEPHONE: 407-929-4217MAILING ADDRESS: 4056 Kiawa Dr Orlando, FL 32837

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: N/A BLOCK: N/A SUBDIVISION: N/A PLATTED: N/APROPERTY ID #: 14-5S-16-03612-010 ZONING: AG I/M OR EQUIVALENT: No PROPERTY SIZE: 5.01 ACRES WATER SUPPLY: PRIVATE PUBLIC <=2000GPD >2000GPDIS SEWER AVAILABLE AS PER 381.0065, FS? No DISTANCE TO SEWER: --- FTPROPERTY ADDRESS: 263 SW KEMP CT LAKE CITY FL 32024DIRECTIONS TO PROPERTY: 47 South, Go past CR240, Left on Cates, Drive to end of road which makes a turn Left800 feet on the Right

BUILDING INFORMATION

 RESIDENTIAL COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>Trailer Camper KCF</u>	<u>1 KCF</u>	<u>240 KCF</u>	
2	<u>GARAGE</u>	<u>1</u>	<u>720</u>	
3				
4				

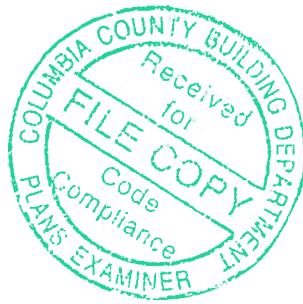
 Floor/Equipment Drains Other (Specify) _____SIGNATURE: Kenneth Perin DATE: 10/12/2017



Florida Product Approval Codes

Roll-Up Doors:

Janus International Corporation Model 3652: 14425.1
Janus International Corporation Model 1100: 12765.1
Janus International Corporation Model 1100: 12765.2
Janus International Corporation Model 750: 12765.5
Janus International Corporation Model 750: 12765.6
Janus International Corporation Model 750: 12765.7
Janus International Corporation Model 750: 12765.8



Walk-In Door:

Elixir Door & Metal Company blank (no window): 17996.5
Elixir Door & Metal Company with 12x12 window: 17996.5
Elixir Door & Metal Company regular door w/ 9 light window: 17996.6

Window:

Pocahontas Aluminum Company Inc.: 12940.2

Roof Deck:

Capital Metal Supply Inc. Ag Panel: 20147.1

Wall Panel:

Capital Metal Supply Inc. Ag Panel: 20148.1

If you have any questions on concern, please contact Donald Little at 386-961-0006 or at tubularbuildingsystems@gmail.com.



STRUCTURAL DESIGN

ENCLOSED BUILDING

MAXIMUM 30'-0" WIDE X 14'-0" EAVE HEIGHT- BOX EAVE FRAME

31 March 2017
Revision 3
M&A Project No. 16022S/16072S/16073S

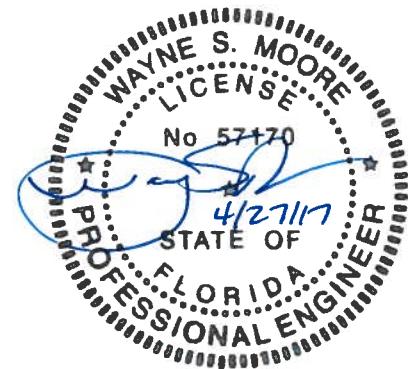
Prepared for:

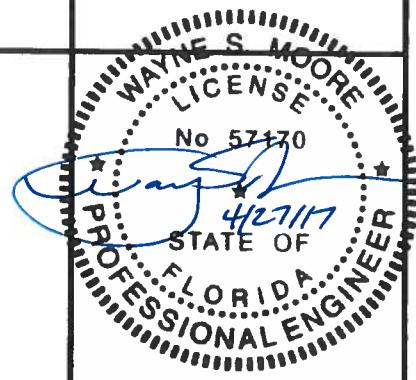
Tubular Building Systems, LLC
631 SE Industrial Circle
Lake City, Florida 32025

Prepared by:

Moore and Associates Engineering and Consulting, Inc.
1009 East Avenue
North Augusta, SC 29841

401 S. Main Street, Suite 200
Mt. Airy, NC 27030





MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

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DRAWN BY: DAH

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING
PE SEAL COVER SHEET**

-31-17 | SCALE: NTS

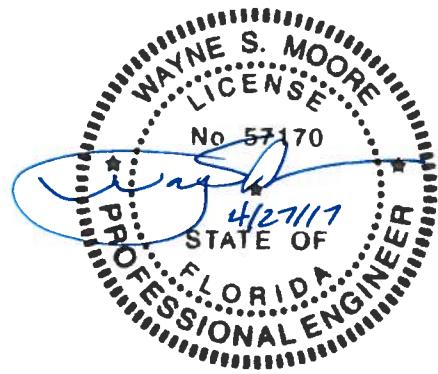
BNB NO: 160225

DWG. NO. SK-2

REF ID: 3

DRAWING INDEX

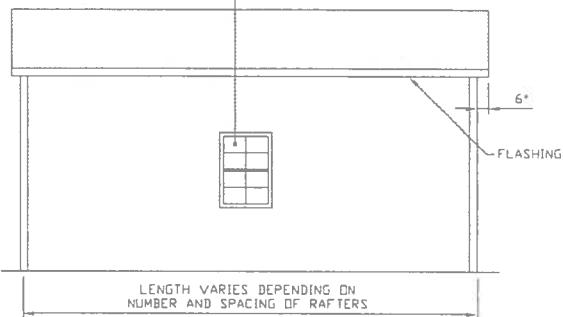
SHEET 1 PE SEAL COVER SHEET
 SHEET 2 DRAWING INDEX
 SHEET 3 INSTALLATION NOTES AND SPECIFICATIONS AND TYPICAL SIDE AND END ELEVATIONS
 SHEET 4 TYPICAL RAFTER/POST END AND SIDE FRAMING SECTIONS AND CONNECTION DETAILS (BOX EAVE RAFTER)
 SHEET 5 CORNER POST CONNECTION DETAILS
 SHEET 6 TYPICAL RAFTER/POST END AND SIDE FRAMING SECTIONS AND CONNECTION DETAILS (BOW RAFTER)
 SHEET 7 CORNER POST CONNECTION DETAILS
 SHEET 8 BASE RAIL ANCHORAGE OPTIONS
 SHEET 9 TYPICAL END WALL AND SIDE WALL FRAMING SECTIONS (BOX EAVE)
 SHEET 10 TYPICAL END WALL AND SIDE WALL FRAMING SECTIONS (BOW RAFTER)
 SHEET 11 WALL OPENING DETAILS
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 SHEET 14 LEAN-TO OPTIONS (BOW RAFTER)
 SHEET 15 VERTICAL ROOF OPTION END AND SIDE ELEVATION AND SECTION
 SHEET 16 OPTIONAL FOUNDATION CAST-IN-PLACE ANCHOR SIDE ELEVATION AND SECTION
 SHEET 17 OPTIONAL HEADER SIDE ELEVATION



MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: DAH	TUBULAR BUILDING SYSTEMS 30'x14' ENCLOSED BUILDING		
	CHECKED BY: PDH			
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	CLIENT: TBS	SHT. 2	DVG. NO: SK-2	REV. 3

BOX EAVE FRAME RAFTER 30'x14' ENCLOSED BUILDING

WINDOW (AS APPLICABLE)
DESIGN PRESSURE
LOW = (218 PSF, -236 PSF)
HIGH = (3285 PSF, -356 PSF)

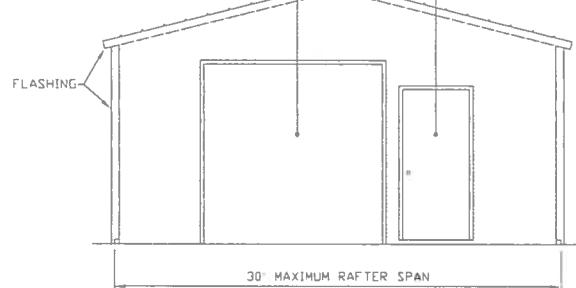


TYPICAL SIDE ELEVATION-HORIZONTAL ROOF

SCALE 1/8" = 1'-0"

ROLL-UP DOOR
(AS APPLICABLE)
DESIGN PRESSURE
LOW = (185 PSF, -204 PSF)
HIGH = (2795 PSF, -307 PSF)

SWINGING DOOR
(AS APPLICABLE)
DESIGN PRESSURE
LOW = (208 PSF, -226 PSF)
HIGH = (3135 PSF, -345 PSF)

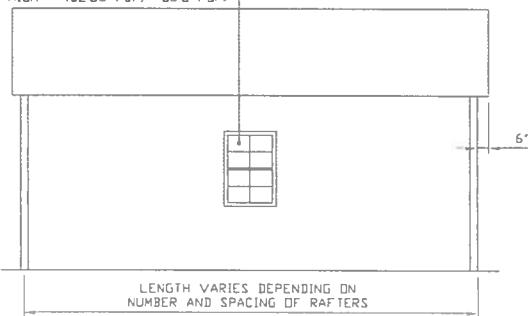


TYPICAL END ELEVATION-HORIZONTAL ROOF

SCALE 1/8" = 1'-0"

BOW FRAME RAFTER 30'x14' ENCLOSED BUILDING

WINDOW (AS APPLICABLE)
DESIGN PRESSURE
LOW = (218 PSF, -236 PSF)
HIGH = (3285 PSF, -356 PSF)

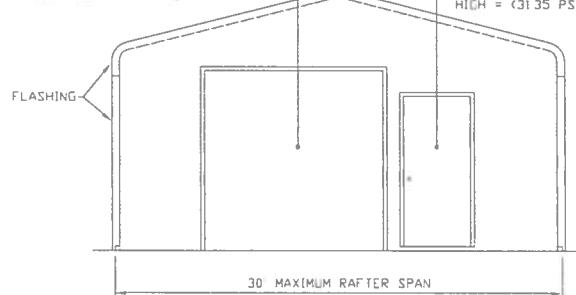


TYPICAL SIDE ELEVATION

SCALE 1/8" = 1'-0"

ROLL-UP DOOR
(AS APPLICABLE)
DESIGN PRESSURE
LOW = (185 PSF, -204 PSF)
HIGH = (2795 PSF, -307 PSF)

SWINGING DOOR
(AS APPLICABLE)
DESIGN PRESSURE
LOW = (208 PSF, -226 PSF)
HIGH = (3135 PSF, -345 PSF)



TYPICAL END ELEVATION

SCALE 1/8" = 1'-0"

INSTALLATION NOTES AND SPECIFICATIONS

- 1 DESIGN IS FOR A MAXIMUM 30' WIDE x 14' EAVE HEIGHT STRUCTURES
- 2 DESIGN WAS DONE IN ACCORDANCE WITH THE 2014 FLORIDA BUILDING CODE (FBC) 5TH EDITION AND 2012 INTERNATIONAL BUILDING CODE (IBC)
- 3 DESIGN LOADS ARE AS FOLLOWS
 - A) DEAD LOAD = 15 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 10 PSF
- 4 LOW ULTIMATE WIND SPEED 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH) MAXIMUM RAFTER/POST AND END POST SPACING = 50 FEET
- 5 HIGH ULTIMATE WIND SPEED 141 TO 170 MPH (NOMINAL WIND SPEED 109 TO 132 MPH) MAXIMUM RAFTER/POST AND END POST SPACING = 40 FEET
- 6 LOW HAZARD RISK CATEGORY I (WIND)
- 7 WIND EXPOSURE CATEGORY B
- 8 SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" AND 2 1/4" x 2 1/4" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS FOR VERTICAL PANELS, 29 GAUGE METAL PANELS SHALL BE FASTENED TO 18 GAUGE HAT CHANNELS
- 9 AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS, INTERIOR = 9" OR END = 6", (MAX)
- 10 FASTENERS CONSIST OF 1/4"-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14° (312 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY
- 11 GROUND ANCHORS CONSISTING OF #4 REBAR W/WELDED NUT x 24" LONG MAY BE USED FOR LOW (< 108 MPH NOMINAL) WIND SPEEDS
- 12 GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6' OF EACH POST
- 13 OPTIONAL BASE RAIL ANCHORAGE MAY BE USED FOR LOW AND HIGH (> 117 MPH - 139 MPH NOMINAL) WIND SPEEDS
- 14 WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE

SOIL SITE CLASS = D
RISK CATEGORY I/II/III
R = 325 I_E = 10
S_{DS} = 1522 V = C_{SW}
S_{DI} = 0.839

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CHECKED BY: PDH

TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

PROJECT MGR: WSM

DATE: 3-31-17

SCALE: NTS

CLIENT: TBS

SHT. 3

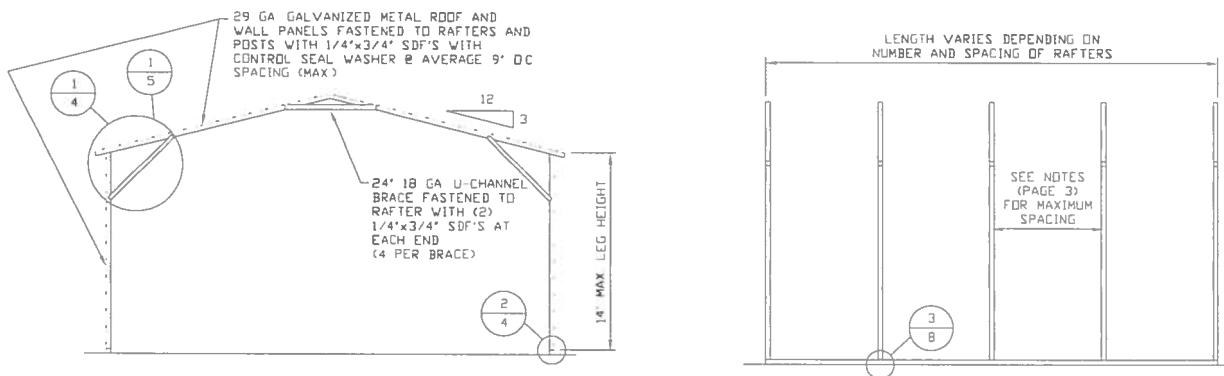
DWG. NO: SK-2

REV.: 3

WAYNE S. MOORE
LIC# 57170
4/2011

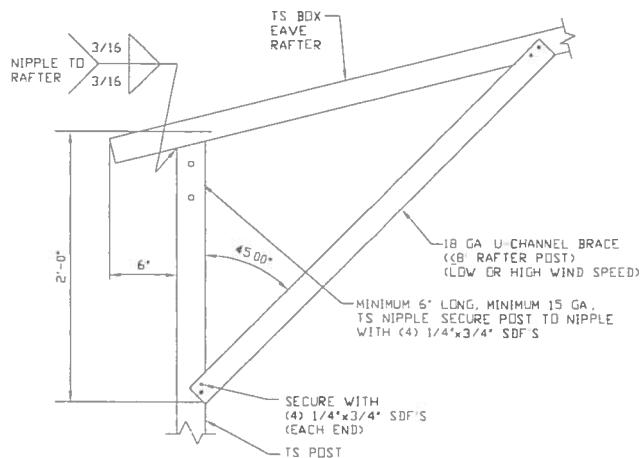
PROFESSIONAL ENGINEER

STATE OF FLORIDA

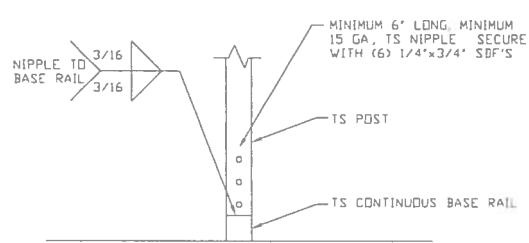


TYPICAL RAFTER/POST END FRAME SECTION
SCALE NTS

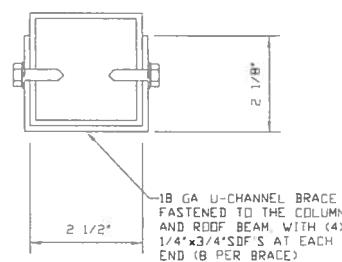
TYPICAL RAFTER/POST SIDE FRAMING SECTION
SCALE 1/8" = 1'-0"



1 BOX EAVE Rafter/Corner Post Connection Detail
SCALE NTS



2 Rafter Post/ Base Rail Connection Detail
SCALE NTS



3 Brace Section
SCALE NTS

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TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

PROJECT MGR: WSM

DATE: 3-31-17

SCALE: NTS

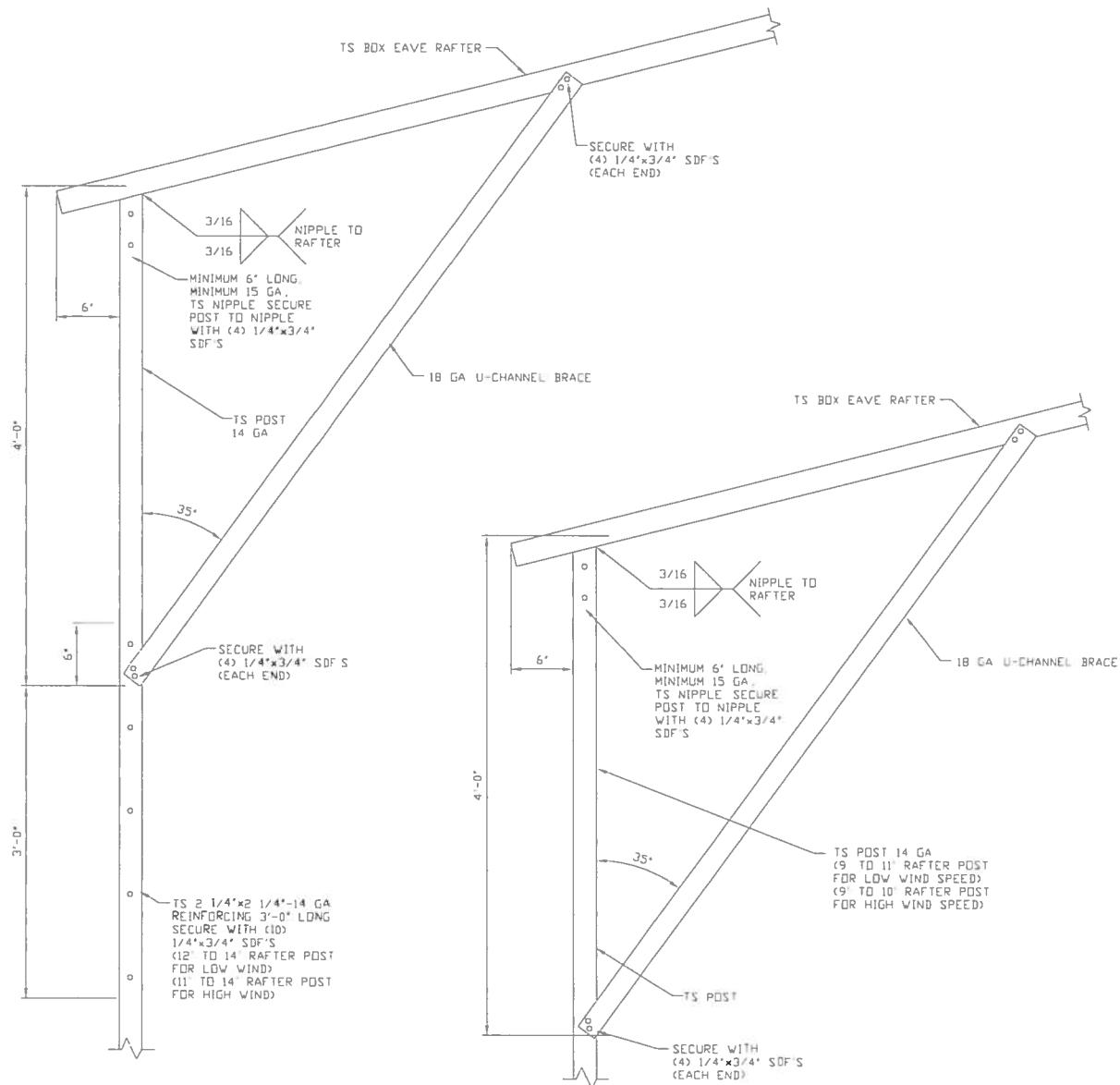
JOB NO: 16022S

CLIENT: TBS

SHT. 4

DWG. NO: SK-2

REV.: 3

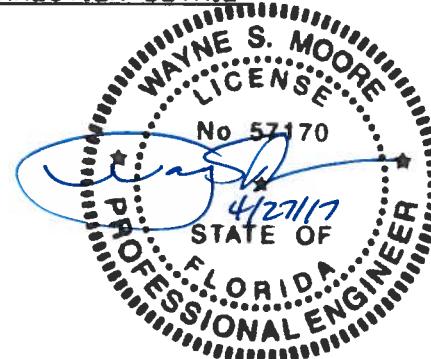


1A

BOX EAVE RAFTER/CORNER
POST CONNECTION DETAIL
SCALE NTS

1B

BOX EAVE RAFTER/CORNER
POST CONNECTION DETAIL
SCALE NTS



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PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

DATE: 3-31-17

SCALE: NTS

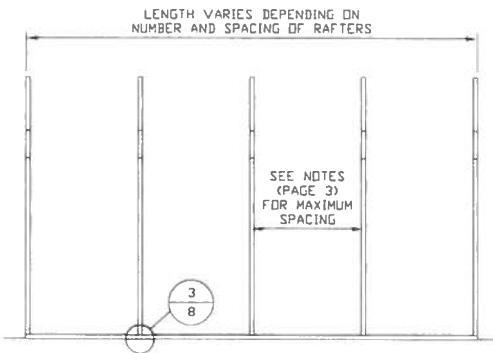
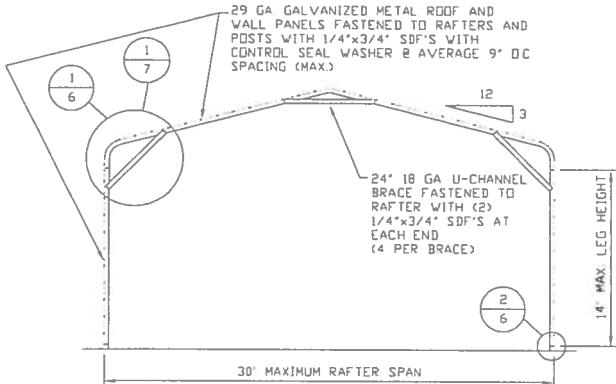
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SHT. 5

DWG. NO:

SK-2

REV. 3

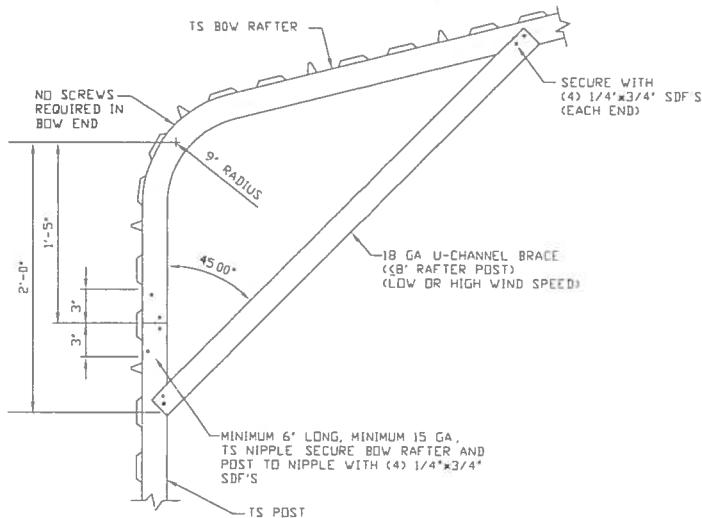


TYPICAL RAFTER/POST END FRAME SECTION

SCALE NTS

TYPICAL RAFTER/POST FRAMING SIDE SECTION

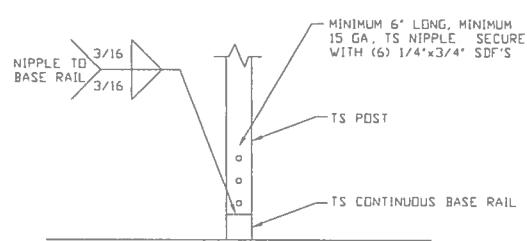
SCALE: 1/8" = 1'-0"



1

BOW RAFTER/CORNER POST CONNECTION DETAIL

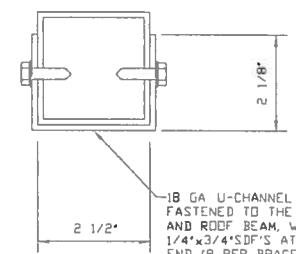
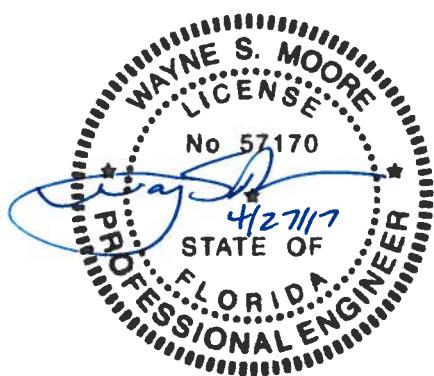
SCALE NTS



2

RAFTER POST/BASE RAIL CONNECTION DETAIL

SCALE NTS



BRACE SECTION

SCALE NTS

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TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

PROJECT MGR: WSM

DATE: 3-31-17

SCALE: NTS

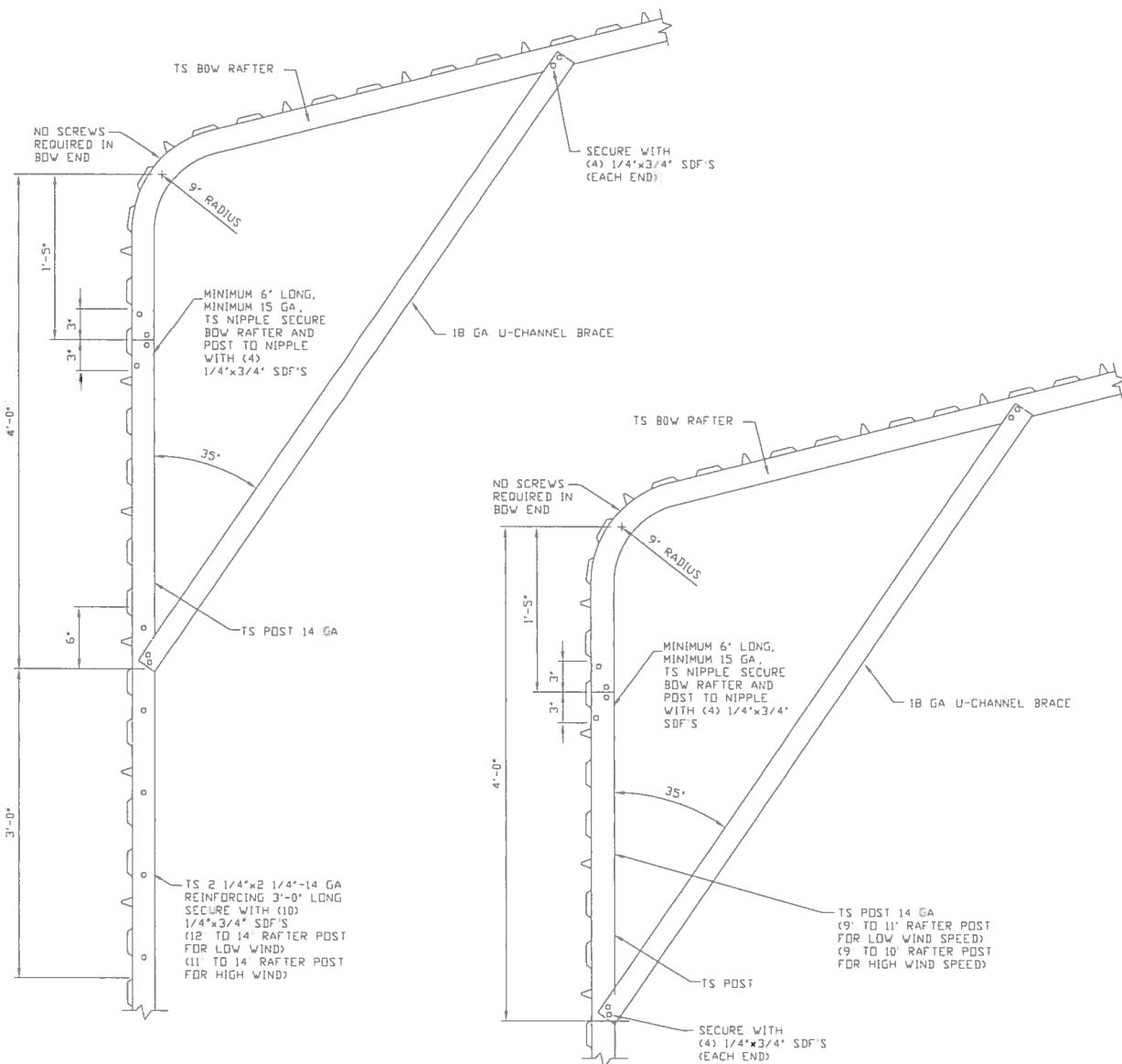
JOB NO: 16022S

CLIENT: TBS

SHT. 6

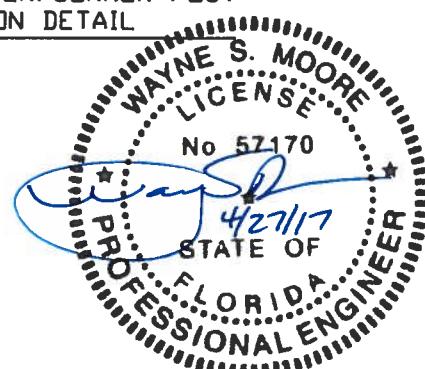
DVG. NO: SK-2

REV: 3



1A BOW RAFTER/CORNER POST
CONNECTION DETAIL
SCALE: NTS

1B BOW RAFTER/CORNER POST
CONNECTION DETAIL
SCALE: NTS



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TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

PROJECT MGR: WSM

DATE: 3-31-17

SCALE: NTS

JOB NO: 16022S

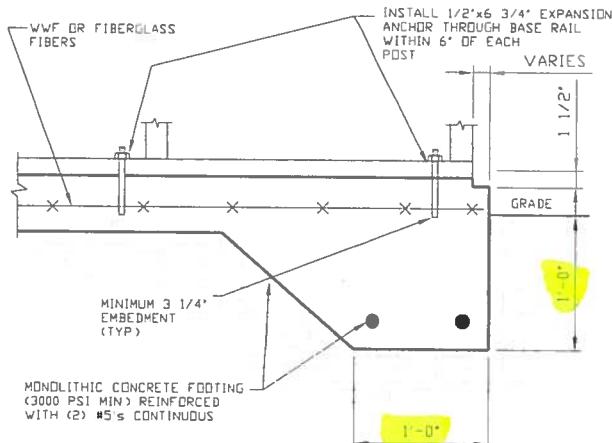
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SHT. 7

DWG. NO: SK-2

REV: 3

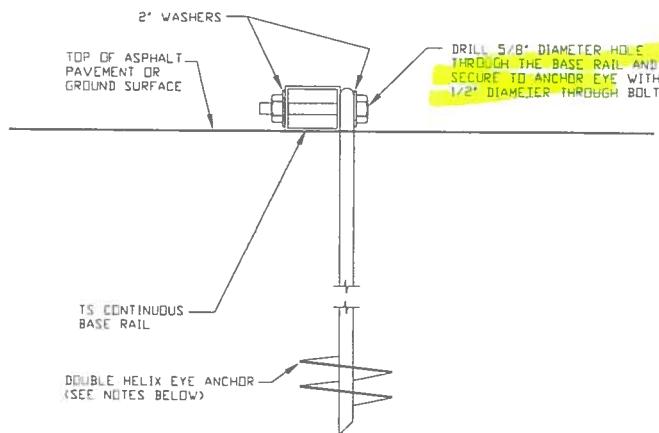
BASE RAIL ANCHORAGE OPTIONS FOR LOW AND HIGH WIND SPEEDS



3A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE NTS
(MINIMUM ANCHOR EDGE DISTANCE IS 4')



3B

GROUND BASE HELIX ANCHORAGE

SCALE NTS (CAN BE USED FOR ASPHALT)

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318

3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT

HELIX ANCHOR NOTES:

- 1 FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 2 FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 3 FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 4 FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL USE MINIMUM (2) 6" HELICES WITH MINIMUM 50 INCH EMBEDMENT
- 5 FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL USE MINIMUM (2) 8" HELICES WITH MINIMUM 60 INCH EMBEDMENT



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PROJECT MGR: WSM

TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

DATE: 3-31-17 SCALE: NTS JOB NO: 160225

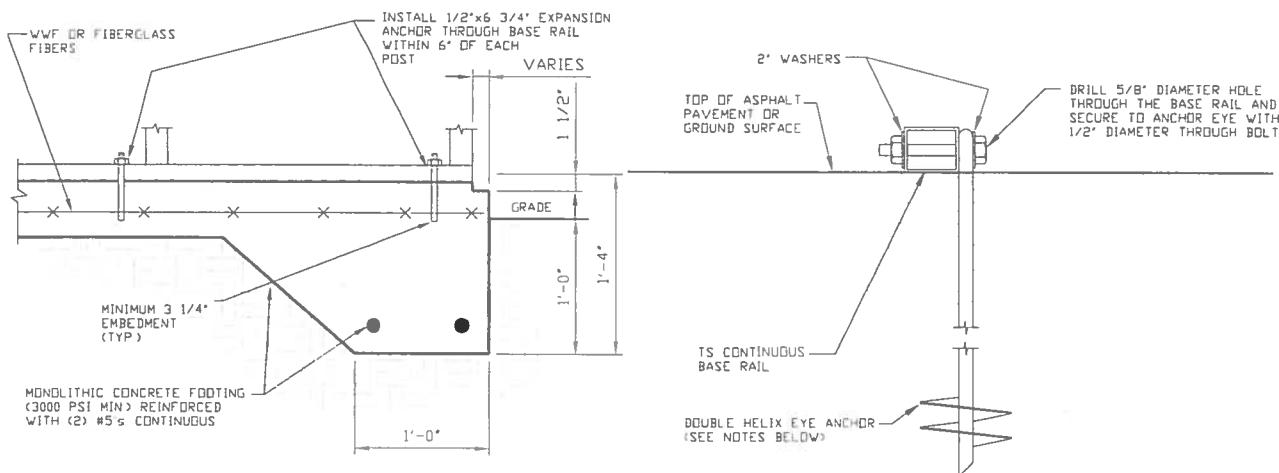
CLIENT: TBS

SHT. 8

DWG. NO: SK-2

REV: 3

BASE RAIL ANCHORAGE OPTIONS FOR LOW AND HIGH WIND SPEEDS



3A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE NTS
(MINIMUM ANCHOR EDGE DISTANCE IS 4')

3B

GROUND BASE HELIX ANCHORAGE

SCALE NTS (CAN BE USED FOR ASPHALT)

GENERAL NOTES

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- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT

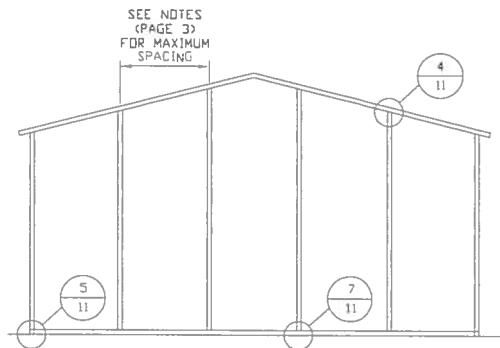
HELIX ANCHOR NOTES:

- 1 FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 2 FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 3 FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 4 FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL USE MINIMUM (2) 6" HELICES WITH MINIMUM 50 INCH EMBEDMENT
- 5 FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL USE MINIMUM (2) 8" HELICES WITH MINIMUM 60 INCH EMBEDMENT



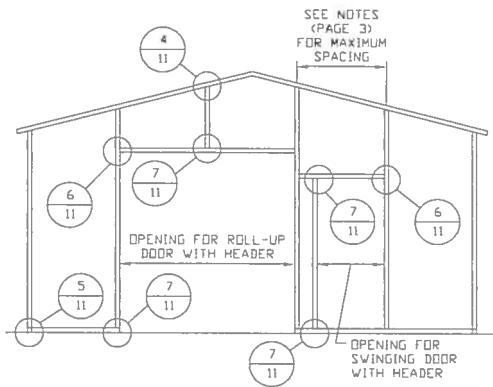
MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.		DRAWN BY: DAH	TUBULAR BUILDING SYSTEMS 30'x14' ENCLOSED BUILDING		
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PROJECT MGR: WSM		DATE: 3-31-17	SCALE: NTS	JOB NO: 16022S	
CLIENT: TBS	SHT. B	DVG. NO: SK-2	REV.: 3		

BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



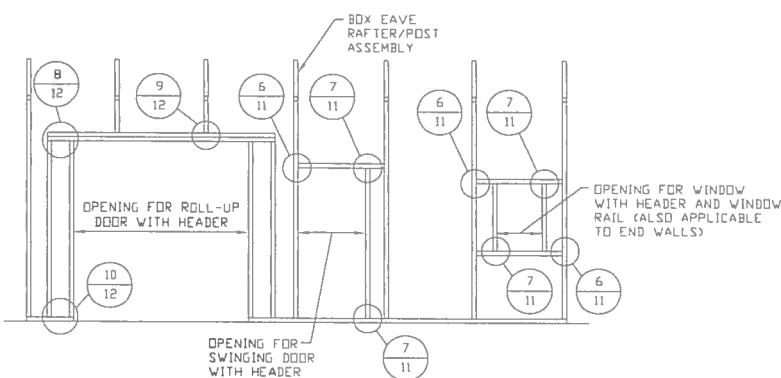
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE 1/8" = 1'-0"



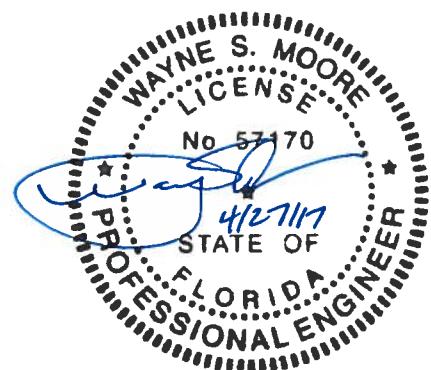
**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE 1/8" = 1'-0"



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE 1/8" = 1'-0"



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PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

DATE: 3-31-17

SCALE: NTS

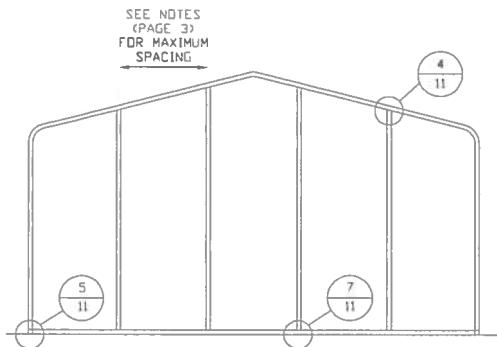
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SHT. 9

DWG. NO: SK-2

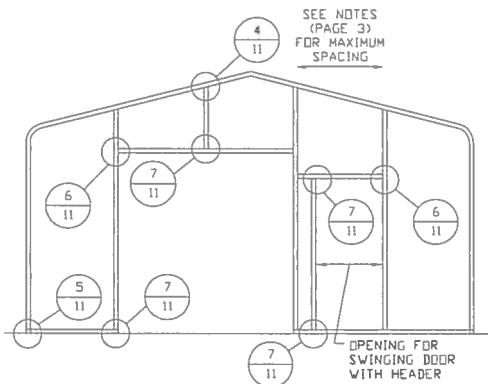
REV.: 3

BOW RAFTER END WALL AND SIDE WALL OPENINGS



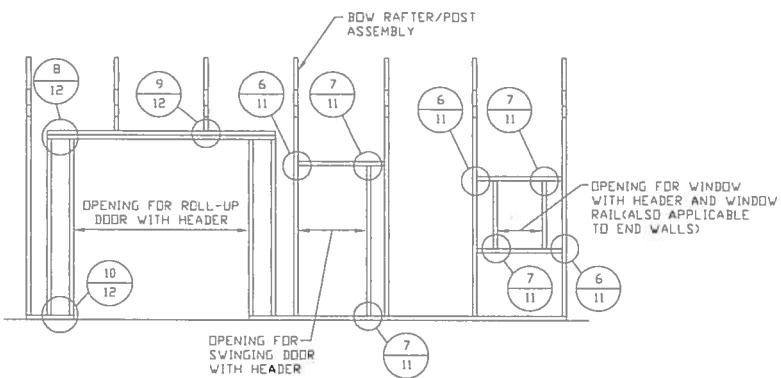
**TYPICAL BOW RAFTER
END WALL FRAMING SECTION**

SCALE 1/8" = 1'-0"



**TYPICAL BOW RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE 1/8" = 1'-0"



**TYPICAL BOW RAFTER SIDE
WALL OPENINGS FRAMING SECTION**

SCALE 1/8" = 1'-0"



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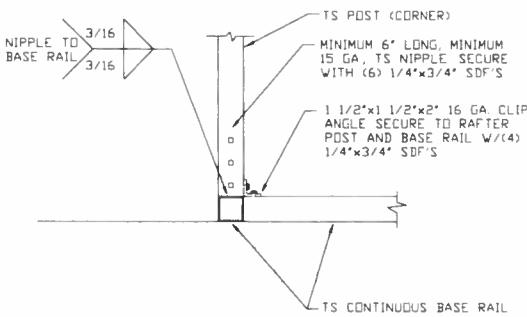
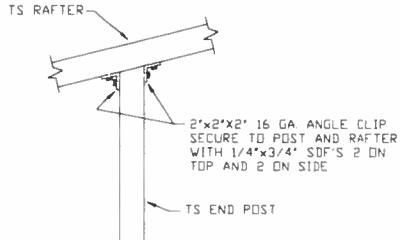
PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

DATE: 3-31-17	SCALE: NTS	JOB NO: 16022S
SHT. 10	DWG. NO: SK-2	REV.: 3

BOW AND BOX EAVE RAFTER WALL OPENING DETAILS

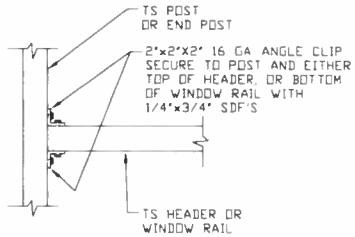


4 END POST/RAFTER
CONNECTION DETAIL

SCALE: NTS

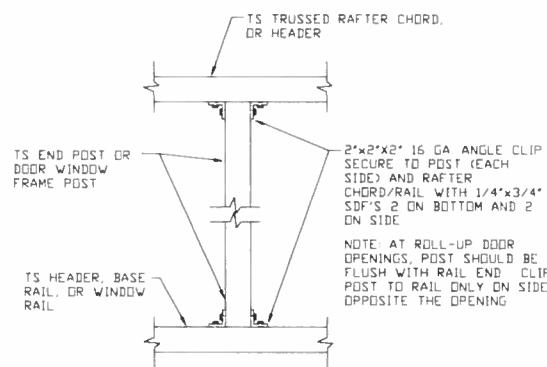
5 END POST/BASE RAIL
CONNECTION DETAIL

SCALE: NTS



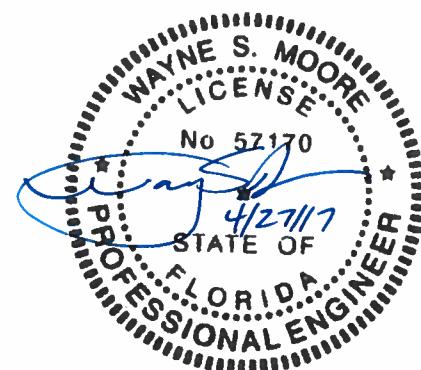
6 HEADER OR WINDOW RAIL
TO POST CONNECTION DETAIL

SCALE: NTS



7 POST TO HEADER, BASE RAIL, OR
WINDOW RAIL CONNECTION DETAIL

SCALE: NTS



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TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

PROJECT MGR: WSM

DATE: 3-31-17

SCALE: NTS

JOB NO: 16022S

CLIENT: TBS

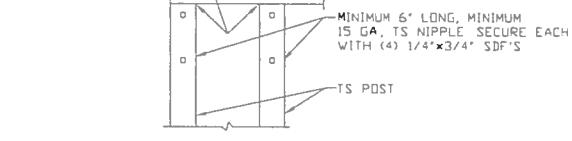
SHT. 11

DWG. NO: SK-2

REV.: 3

BOW AND BOX EAVE RAFTER WALL OPENING DETAILS

NIPPLE TO
HEADER
3/16
3/16

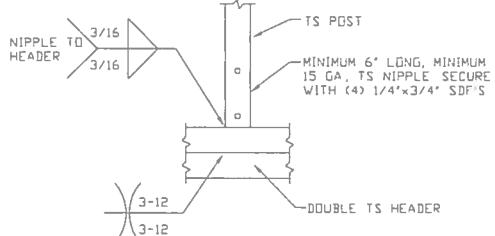


8

DOUBLE HEADER/POST
CONNECTION DETAIL

SCALE NTS

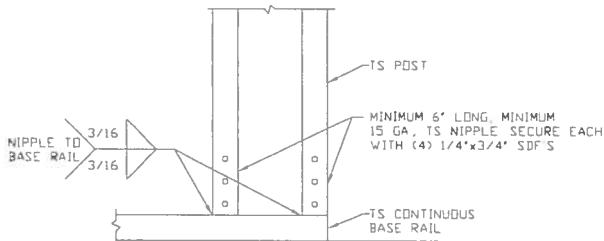
NIPPLE TO
HEADER
3/16
3/16



9

POST/DOUBLE HEADER
CONNECTION DETAIL

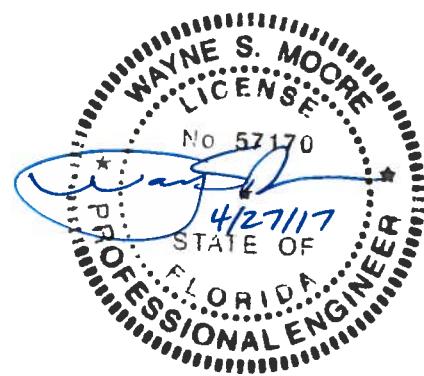
SCALE NTS



10

POST/BASE RAIL
CONNECTION DETAIL

SCALE NTS



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TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

PROJECT MGR: WSM

DATE: 3-31-17

SCALE: NTS

JOB NO: 16022S

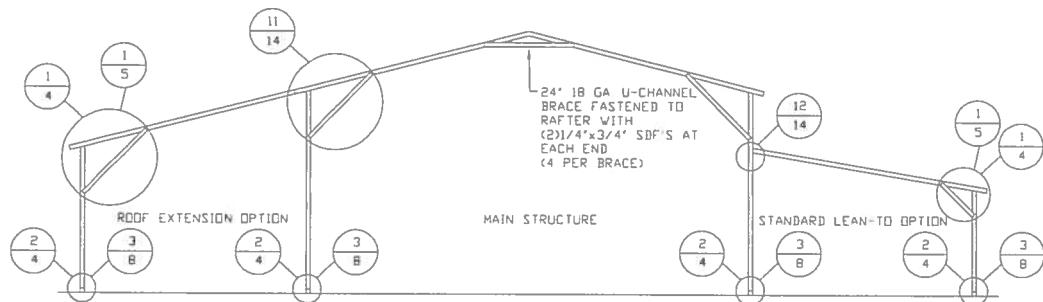
CLIENT: TBS

SHT. 12

DWG. NO: SK-2

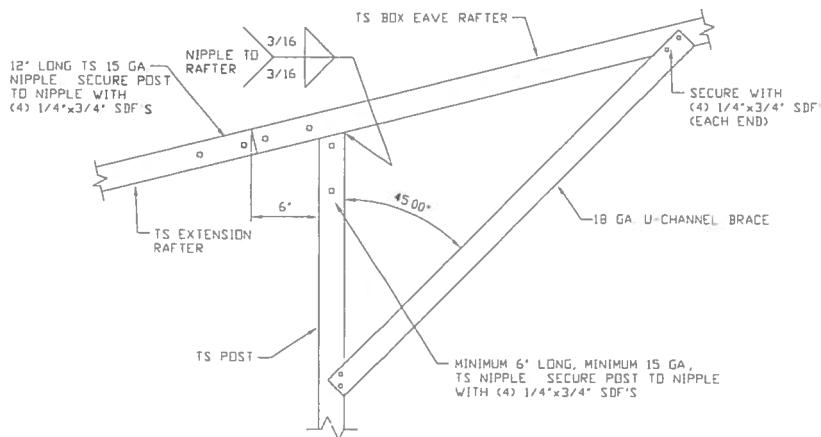
REV.: 3

BOX EAVE RAFTER LEAN-TO OPTIONS



TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: 1/8" = 1'-0"



11

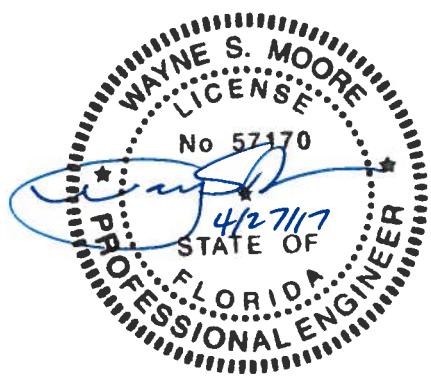
**SIDE EXTENSION RAFTER/
CORNER POST DETAIL**

SCALE NTS

12

**LEAN-TO RAFTER TO RAFTER
POST CONNECTION DETAIL**

SCALE NTS



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TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

PROJECT MGR: WSM

DATE: 3-31-17

SCALE: NTS

JOB NO: 16022S

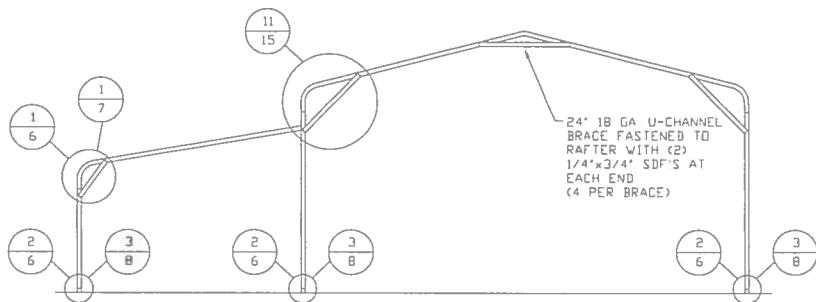
CLIENT: TBS

SHT. 13

DWG. NO: SK-2

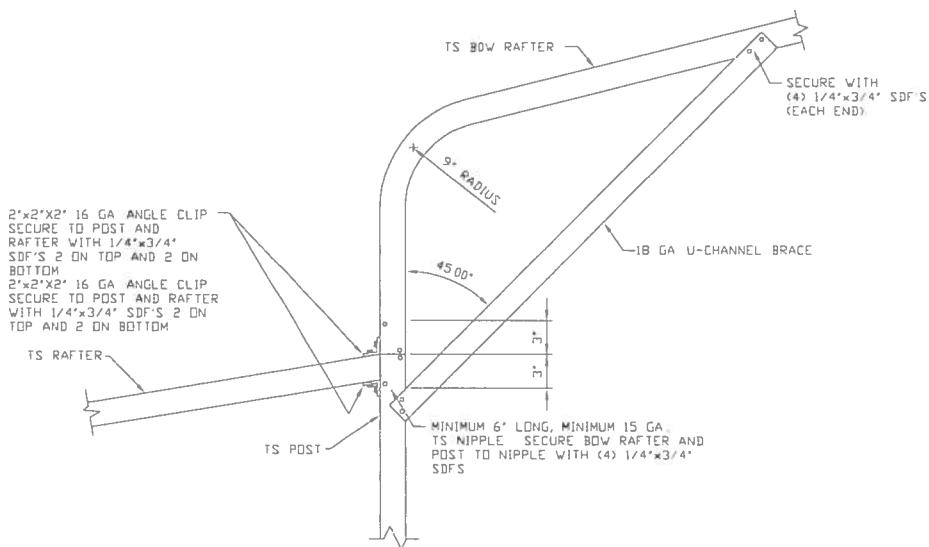
REV.: 3

BOW RAFTER LEAN-TO OPTION



TYPICAL BOW RAFTER LEAN-TO OPTION FRAMING SECTION

SCALE 1/8" = 1'-0"



LEAN-TO RAFTER TO RAFTER
POST CONNECTION DETAIL

11

SCALE NTS



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DRAWN BY: DAH

CHECKED BY: PDH

TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

PROJECT MGR: WSM

DATE: 3-31-17

SCALE: NTS

JOB NO: 16022S

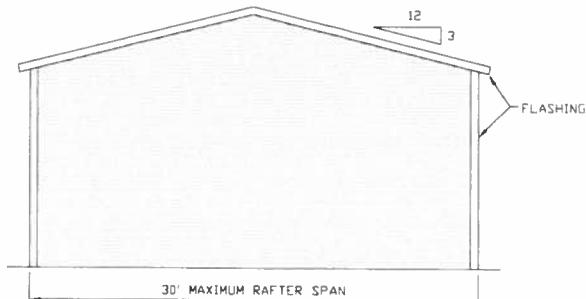
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SHT. 14

DWG. NO: SK-2

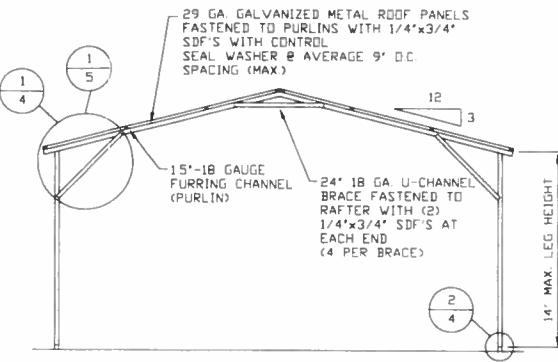
REV: 3

BOX EAVE RAFTER VERTICAL ROOF OPTION



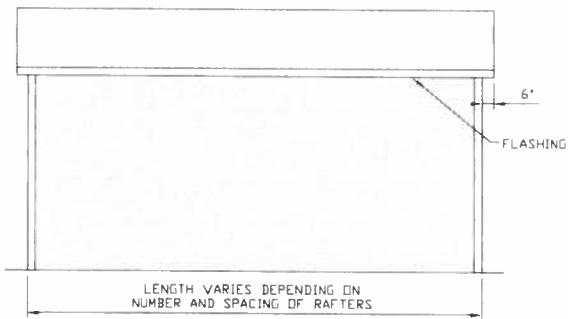
**TYPICAL END ELEVATION
VERTICAL ROOF**

SCALE: 1/8" = 1'-0"



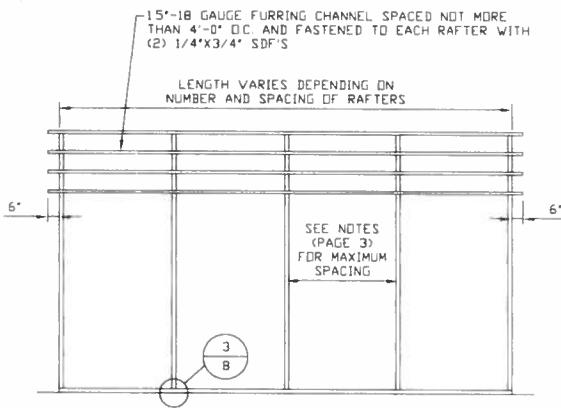
**TYPICAL SECTION
VERTICAL ROOF OPTION**

SCALE: NTS



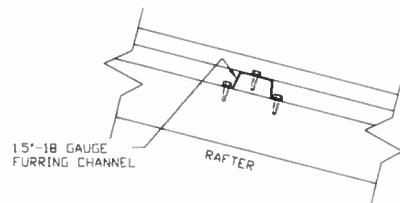
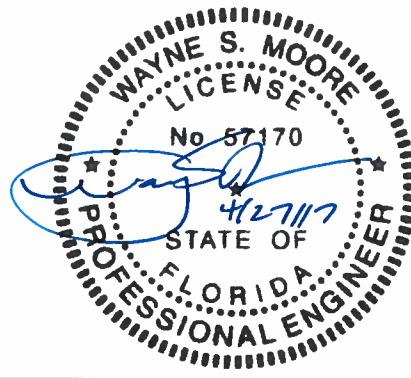
**TYPICAL SIDE ELEVATION
VERTICAL ROOF**

SCALE: 1/8" = 1'-0"



**TYPICAL FRAMING SECTION
VERTICAL ROOF OPTION**

SCALE: 1/8" = 1'-0"



ROOF PANEL ATTACHMENT

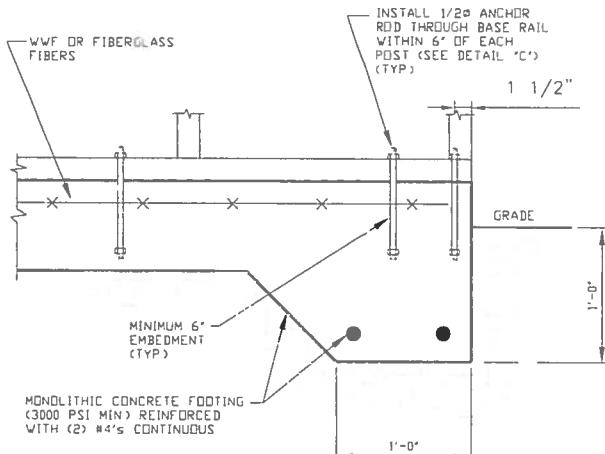
(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS

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DRAWN BY: DAB	TUBULAR BUILDING SYSTEMS 30'x14' ENCLOSED BUILDING		
CHECKED BY: PDH			
PROJECT MGR: WSM	DATE: 3-31-17	SCALE: NTS	JOB NO: 16022S
CLIENT: TBS	SHT. 15	DWG. NO: SK-2	REV: 3

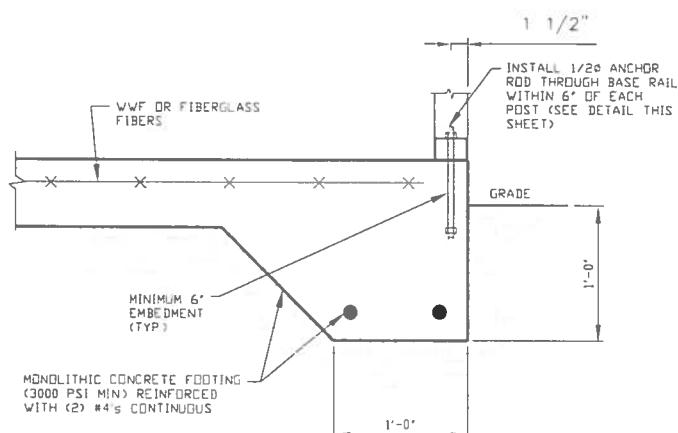
OPTIONAL FOUNDATION ANCHORAGE FOR LOW & HIGH WIND SPEED



1A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE NTS
(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")



1B

CONCRETE SLAB BASE RAIL ANCHORAGE

SCALE NTS
(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

COVER OVER REINFORCING STEEL:

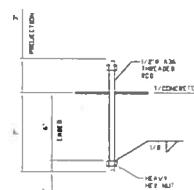
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT



1C

ANCHOR ROD THROUGH BASE RAIL DETAIL

SCALE NTS

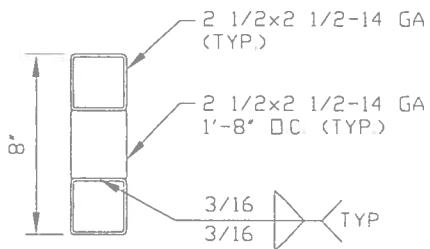


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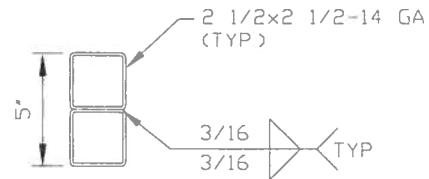
DRAWN BY: JM	TUBULAR BUILDING SYSTEMS 30'x14' ENCLOSED BUILDING		
CHECKED BY: PDH			
PROJECT MGR: WSM	DATE: 3-31-17	SCALE: NTS	JOB NO: 16022S
CLIENT: TBS	SHT. 16	DWG. NO: SK-2	REV.: 3

OPTIONAL DOOR HEADER



**HEADER DETAIL FOR DOOR
OPENINGS 12' < LENGTH < 15'**

SCALE NTS



**HEADER DETAIL FOR DOOR
OPENINGS LENGTH <= 12'**

SCALE NTS



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PROJECT MGR: WSM	DATE: 3-31-17	SCALE: NTS	JOB NO: 16022S
CLIENT: TBS	SHT. 17	DVG. NO: SK-2	REV.: 3

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

14-55-16-03612-010

Clerk's Office Stamp

SEARCHED
INDEXED
FILED
SERIALIZED
RECORDED
OCT 11 2017

Inst: 201712020473 Date: 11/08/2017 Time: 8:03AM
Page 1 of 1 B: 1347 P: 1632, P.DeWitt Casom, Clerk of Court
Columbia, County, By: BD
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the follo

COM AT SE COR OF SW1/4 OF NE1/4, RUN N 635.96 FT FOR POB CONT N 346.02 FT, W 630.78 FT TO E R/W CO RL S 346.02 FT, E 630.99 FT TO POB. WD 1032-1414. DC 1072-972. CT 1202-241 & WD 1236-62

1. Description of property (legal description): 239 SW KEMP CT LAKE CITY FL 32024
a) Street (job) Address: 239 SW KEMP CT LAKE CITY FL 32024

2. General description of improvements: 24' x 30' Steel BUILDING

3. Owner information or Lessee information if the Lessee contracted for the improvements:

a) Name and address: Kenneth Perin 239 SW KEMP CT LAKE CITY FL 32024
b) Name and address of fee simple titleholder (if other than owner): S AMG
c) Interest in property

4. Contractor information

a) Name and address: Kenneth Perin 4056 KIAWA DR ORLANDO FL 32837
b) Telephone No.: 407 929-4217

5. Surety information (if applicable, a copy of the payment bond is attached):

a) Name and address: N/A
b) Amount of Bond: _____
c) Telephone No.: _____

6. Lender

a) Name and address: N/A
b) Phone No. _____

7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:

a) Name and address: N/A
b) Telephone No.: _____

8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:

a) Name: N/A OF _____
b) Telephone No.: _____

9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Kenneth Perin
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager

Kenneth Perin
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 12 day of OCTOBER, 2017 by:

KENNETH PERIN as OWNER for KENNETH & RUTH ANN PERIN
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known OR Produced Identification _____ Type _____

Notary Signature JMA

Notary Stamp

