DATE 04/05/2012

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000030055

APPLICANT SONYA GRAHAM PHONE 497-4538

ADDRESS 997 SW SANTA FE DR FORT WHITE FL 32038

OWNER SONYA GRAHAM PHONE 497-4538

ADDRESS 997 SW SANTA FE DR FORT WHITE FL 32038

CONTRACTOR OWNER BUILDER PHONE

LOCATION OF PROPERTY 47 S, R WILSON SPRINGS RD, R NEWARK, L COPPERHEAD, CURVE TO R ON CENTRAL, IMMEDIATE L ON DOT, BECOMES SANTA FE, 1 M ON L

TYPE DEVELOPMENT GARAGE/APARTMENT ESTIMATED COST OF CONSTRUCTION 108000.00

HEATED FLOOR AREA 1410.00 TOTAL AREA 2160.00 HEIGHT 26.00 STORIES 2

FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB

LAND USE & ZONING ESA-2 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 0 FLOOD ZONE AE DEVELOPMENT PERMIT NO. 12-002

PARCEL ID 26-6S-15-00711-058 SUBDIVISION THREE RIVERS EST

LOT 58,59 BLOCK PHASE UNIT 8 TOTAL ACRES 2.00

Culvert Permit No.	Culvert Waiver	Contractor's License Number	Applicant/Owner/Contractor
			Sonya Faye Graham

Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance	New Resident
EXISTING	12-0146	BK	TC	N

COMMENTS: NOC ON FILE,

FLOODWAY, PROPER CONSTRUCTION FOR NON-RESIDETIAL STRUCTURE-BOTTOM

FLOOR, VENTS INCLUDED ON PLANS Check # or Cash 612

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ date/app. by Foundation _____ date/app. by Monolithic _____ date/app. by

Under slab rough-in plumbing _____ date/app. by Slab _____ date/app. by Sheathing/Nailing _____ date/app. by

Framing _____ date/app. by Insulation _____ date/app. by

Rough-in plumbing above slab and below wood floor _____ date/app. by Electrical rough-in _____ date/app. by

Heat & Air Duct _____ date/app. by Peri. beam (Lintel) _____ date/app. by Pool _____ date/app. by

Permanent power _____ date/app. by C.O. Final _____ date/app. by Culvert _____ date/app. by

Pump pole _____ date/app. by Utility Pole _____ date/app. by M/H tie downs, blocking, electricity and plumbing _____ date/app. by

Reconnection _____ date/app. by RV _____ date/app. by Re-roof _____ date/app. by

BUILDING PERMIT FEE $ 540.00 CERTIFICATION FEE $ 10.80 SURCHARGE FEE $ 10.80

MISC. FEES $ 0.00 ZONING CERT. FEE $ 50.00 FIRE FEE $ 0.00 WASTE FEE $

FLOOD DEVELOPMENT FEE $ 50.00 FLOOD ZONE FEE $ 25.00 CULVERT FEE $ **TOTAL FEE** 686.60

INSPECTORS OFFICE _____ CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

DATE 04/05/2012

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000030055

APPLICANT SONYA GRAHAM PHONE 497-4538

ADDRESS 997 SW SANTA FE DR FORT WHITE FL 32038

OWNER SONYA GRAHAM PHONE 497-4538

ADDRESS 997 SW SANTA FE DR FORT WHITE FL 32038

CONTRACTOR OWNER BUILDER PHONE

LOCATION OF PROPERTY 47 S, R WILSON SPRINGS RD, R NEWARK, L COPPERHEAD, CURVE TO R ON CENTRAL, IMMEDIATE L ON DOT, BECOMES SANTA FE, 1 M ON R

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FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB

LAND USE & ZONING ESA-2 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 0 FLOOD ZONE AE DEVELOPMENT PERMIT NO. 12-002

PARCEL ID 26-6S-15-00711-058 SUBDIVISION THREE RIVERS EST

LOT 58,59 BLOCK PHASE UNIT 8 TOTAL ACRES 2.00

Culvert Permit No.	Culvert Waiver	Contractor's License Number	Applicant/Owner/Contractor
EXISTING	12-0146	BK	TC
Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance

N
New Resident

COMMENTS: NOC ON FILE, NEED ELEVATION CERTIFICATE @34.6' FLOOR & EQUIPMENT FLOODWAY, PROPER CONSTRUCTION FOR NON-RESIDETIAL STRUCTURE-BOTTOM FLOOR, VENTS INCLUDED ON PLANS, ZERO RISE REC'D, ELEVATION CERT REC'D Check # or Cash 612

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power date/app. by Foundation date/app. by Monolithic (footer/Slab) date/app. by

Under slab rough-in plumbing date/app. by Slab 05/16/2012 TC date/app. by Sheathing/Nailing 07/13/2012 TC date/app. by

Framing 08/10/2012 TC date/app. by Insulation 04/08/2013 TM date/app. by

Rough-in plumbing above slab and below wood floor 04/01/2013 TC date/app. by Electrical rough-in 04/01/2013 TC date/app. by

Heat & Air Duct 03/11/2013 TM date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by

Permanent power date/app. by C.O. Final 06/17/2013 TM date/app. by Culvert date/app. by

Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by

Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE $ 540.00 CERTIFICATION FEE $ 10.80 SURCHARGE FEE $ 10.80

MISC. FEES $ 0.00 ZONING CERT. FEE $ 50.00 FIRE FEE $ 0.00 WASTE FEE $ 0.00

FLOOD DEVELOPMENT FEE $ 50.00 FLOOD ZONE FEE $ 25.00 CULVERT FEE $ **TOTAL FEE** 686.60

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

686.60 6/12

Columbia County Building Permit Application

EXISTING WELL

For Office Use Only Application # 1110-22 Date Received 10/26 By JW Permit # 30255

Zoning Official BLK Date 19 JAN 2012 Flood Zone AE Land Use ESA Zoning ESA-2

FEMA Map # 0467C Elevation 33.6' MFE 34.6' River Santa Fe Plans Examiner T.C. Date 11-15-11

Comments Floodway, proper construction for NON-Residential structure, Vents NA FW Comp Letter

☑ NOC ☑ EH ☐ Deed or PA ☑ Site Plan ☐ State Road Info ☐ Parent Parcel # ☑ Sub VF Form

☐ Dev Permit # N/A ☑ In Floodway NA Letter of Auth. from Contractor ☐ F W Comp. letter ☐ FEE

IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____

School _____ = TOTAL _____ Revoked DP# 12-002

Septic Permit No. 12-0146 dropped off by Wendy Greenwell. Fax 386-755-1031

Name Authorized Person Signing Permit Sonya Graham Phone 386-497-4538

Address 997 SW Santa Fe Dr Ft White FL 32038

Owners Name Sonya Graham Phone 386-497-4538

911 Address 997 S.W. Santa Fe Dr Ft White FL 32038

Contractors Name owner Phone 386-497-4538

Address _____

Fee Simple Owner Name & Address NA

Bonding Co. Name & Address NA

Architect/Engineer Name & Address Miller's Detailing - Robert Jones Hampton FL

Mortgage Lenders Name & Address NA

Circle the correct power company – FL Power & Light – (Clay Elec.) – Suwannee Valley Elec. – Progress Energy

Property ID Number 00-00-00-00711-058 Estimated Cost of Construction 65,000.00

Subdivision Name Three Rivers Estates Lot 23 (53,57) 60 Block ____ Unit 5 (8) Phase ____

Driving Directions Hwy 47 South, TR on Wilson Springs, TR on Newark, TL on Copperhead, curve to R on Central, immediate L on Dot Place becomes Santa Fe Dr, approx 1 mile to 997 on R Number of Existing Dwellings on Property 1

Construction of 2 story garage w/ efficiency Total Acreage 1 Lot Size ____

Do you need a - Culvert Permit or Culvert Waiver or (Have an Existing Drive) Total Building Height 26'3"

Actual Distance of Structure from Property Lines - Front 244 Side 83 Side 35 Rear 141

Number of Stories 2 Heated Floor Area 1410 Total Floor Area 2160 Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE:** Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.

JW LEFT MSG 4 Wendy 1.20.12 CK#

JW spoke w/ Wendy 4.4.12. VF STATUS: PER Troy

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full.
This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: ***YOU ARE HEREBY NOTIFIED*** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

Sonya Fay Graham

(Owners Must Sign All Applications Before Permit Issuance.)

Owners Signature ****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number_____
Columbia County
Competency Card Number_____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20___.

Personally known_____ **or Produced Identification**_____

SEAL:

State of Florida Notary Signature (For the Contractor)

CERTIFICATE OF

COMPLETION

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 26-6S-15-00711-058 **Building permit No.** 000030055

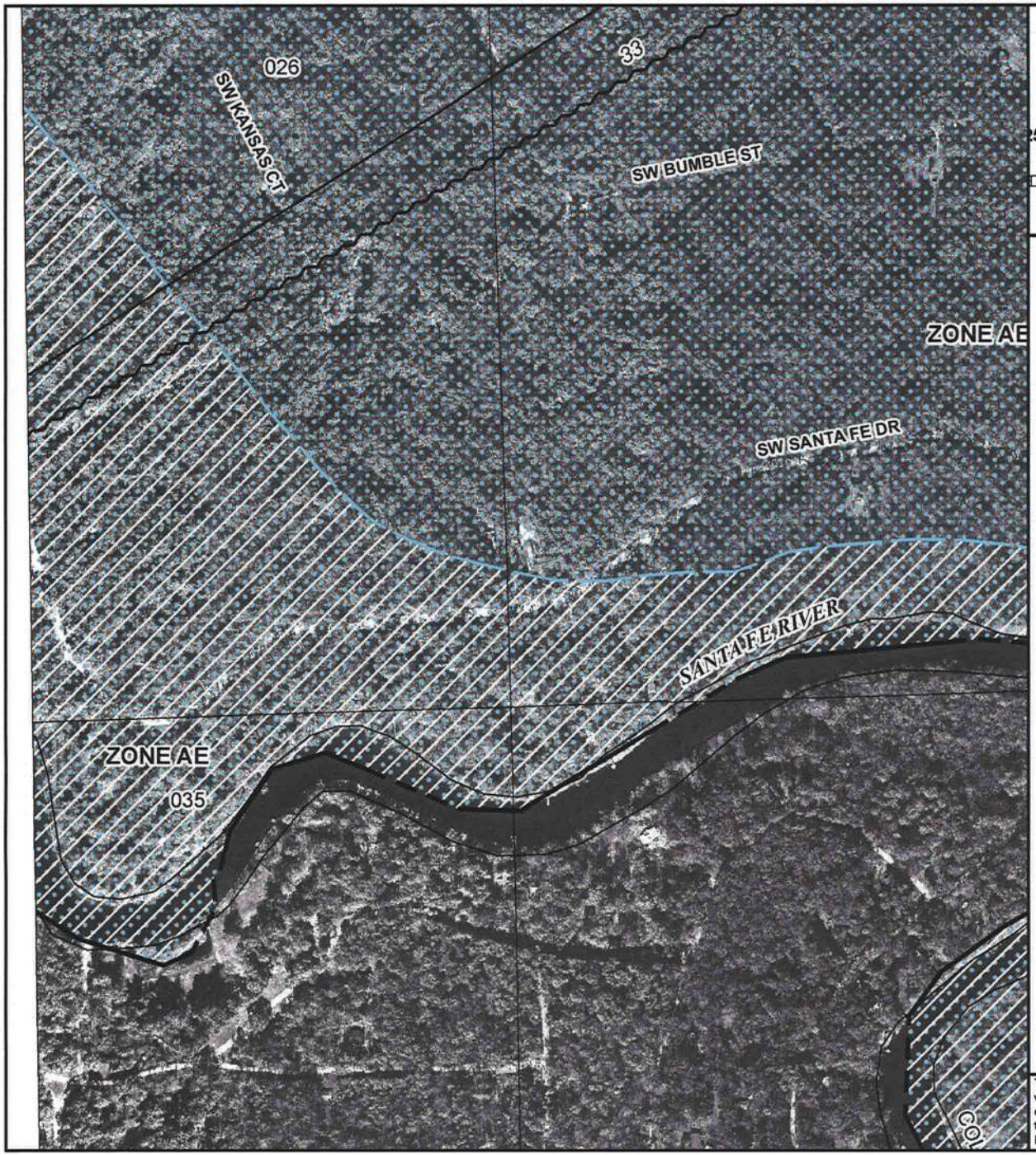
Permit Holder OWNER BUILDER **Type** GARAGE/APARTMENT

Owner of Building SONYA GRAHAM

Location: 997 SW SANTA FE DR, FORT WHITE, FL 32038

Date: 06/18/2013 **Building Inspector**

POST IN A CONSPICUOUS PLACE
(Business Places Only)



MAP SCALE 1" = 500'

250 0 500 1000

FEET

METER

NFIP

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0467C

FIRM

FLOOD INSURANCE RATE MAP

COLUMBIA COUNTY, FLORIDA

AND INCORPORATED AREAS

PANEL 467 OF 552

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
COLUMBIA COUNTY	120070	0467	C

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.

MAP NUMBER
12023C0467C

EFFECTIVE DATE
FEBRUARY 4, 2009

Federal Emergency Management Agency

Columbia County Building Department
Flood Development Permit

Development Permit
F 023- 12-002

DATE 04/05/2012 BUILDING PERMIT NUMBER 000030055

APPLICANT SONYA GRAHAM PHONE 497-4538

ADDRESS 997 SW SANTA FE DR FORT WHITE FL 32038

OWNER SONYA GRAHAM PHONE 497-4538

ADDRESS 997 SW SANTA FE DR FORT WHITE FL 32038

CONTRACTOR OWNER BUILDER PHONE

ADDRESS FL

SUBDIVISION THREE RIVERS EST Lot 58,59 Block Unit 8 Phase

TYPE OF DEVELOPMENT GARAGE/APARTMENT PARCEL ID NO. 26-6S-15-00711-058

FLOOD ZONE AE BY BK 2-4-2009 FIRM COMMUNITY # 120070 - PANEL # 0467C

FIRM 100 YEAR ELEVATION 33.6 PLAN INCLUDED YES or NO

REQUIRED LOWEST HABITABLE FLOOR ELEVATION 34.6

IN THE REGULATORY FLOODWAY YES or NO RIVER Santa fe

SURVEYOR / ENGINEER NAME Brett Crews LICENSE NUMBER 65592

____ ONE FOOT RISE CERTIFICATION INCLUDED

✓ ZERO RISE CERTIFICATION INCLUDED

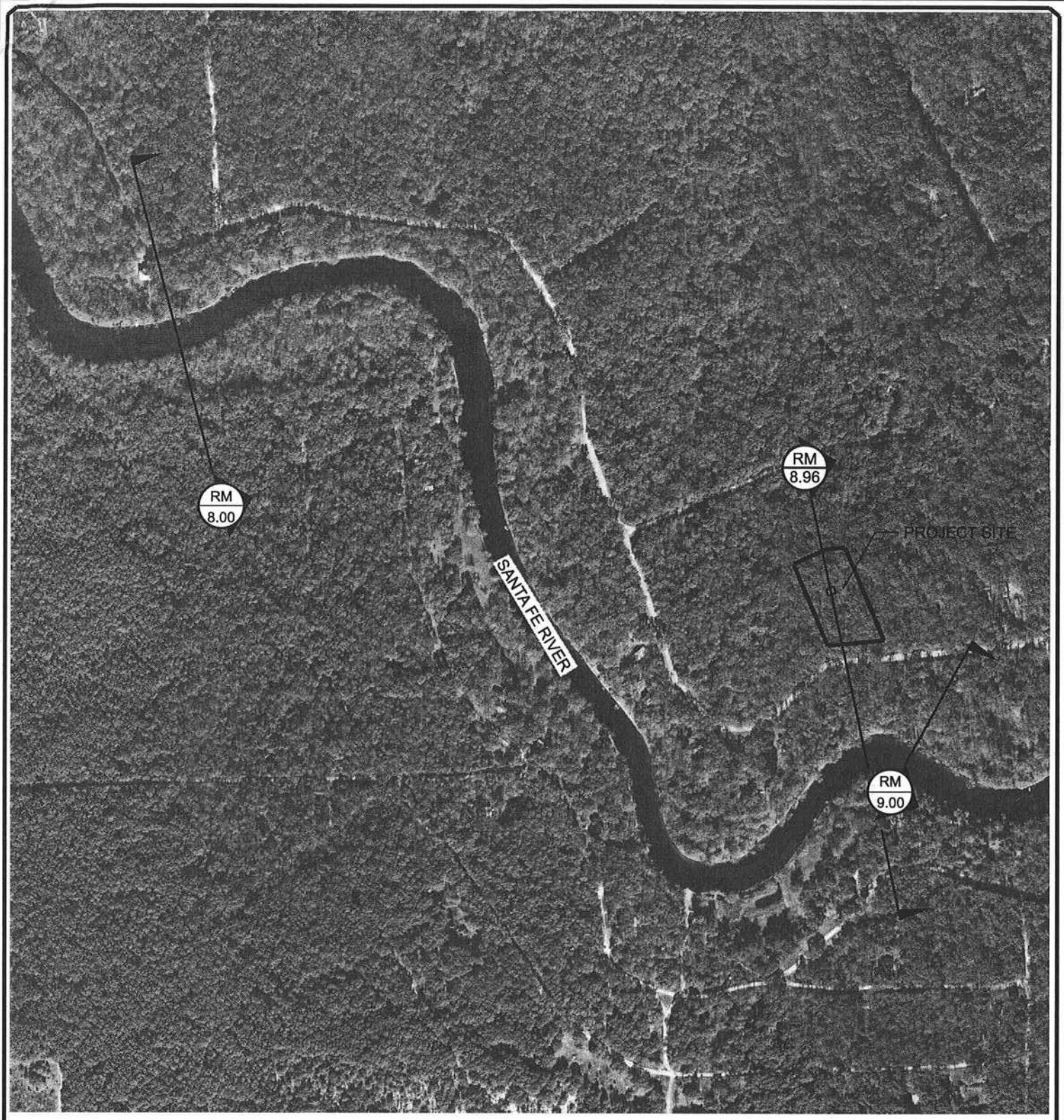
✓ SRWMD PERMIT NUMBER ERP 11 - 0109
(INCLUDING THE ONE FOOT RISE CERTIFICATION)

DATE THE FINISHED FLOOR ELEVATION CERTIFICATE WAS PROVIDED 6/18/13

INSPECTED DATE TM BY 6/17/13

COMMENTS

135 NE Hernando Ave., Suite B-21
Lake City, Florida 32055
Phone: 386-758-1008
Fax: 386-758-2160



N

0 120 600

CES
Crews Engineering Services, LLC

P.O. BOX 970
LAKE CITY, FL 32056
386.754.4085

BRETT A. CREWS, P.E.

GRAHAM FLOODWAY PROJECT

CROSS SECTION LOCATION MAP

CES PROJECT NO.: 2011-013

SHEET: CS1

...\CAD\cross section.dgn 7/6/2011 3:00:52 PM

District No. 1 - Ronald Williams
District No. 2 - Rusty DePratter
District No. 3 - Bucky Nash
District No. 4 - Stephen E. Bailey
District No. 5 - Scarlet P. Frisina

30055

BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Memo of review for correctness and completion

In accordance with participation in the NFIP/CRS program, all elevation certificates are required to be reviewed for correctness and completion prior to acceptance by the community. This form shall be attached to all elevation certificates maintained on file and provided with requested copies of elevation certificates.

_____ The attached certificate requires correction by the surveyor of section (s) _____ prior to acceptance by the community.

__X__ The attached elevation certificate is complete and correct.

_____ Minor corrections have been made in the below marked section(s) by the authorized Community Official.

SECTION A - PROPERTY INFORMATION	For Insurance Company Use:
A1. Building Owner's Name	Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.	Company NAIC Number
City State ZIP Code	

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) _____

A5. Latitude/Longitude: Lat. _____ Long. _____ Horizontal Datum: ☐ NAD 1927 ☐ NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number_____

A8. For a building with a crawl space or enclosure(s), provide:
- a) Square footage of crawl space or enclosure(s) _____ sq ft
- b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade _____
- c) Total net area of flood openings in A8.b _____ sq in

A9. For a building with an attached garage, provide:
- a) Square footage of attached garage _____ sq ft
- b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade _____
- c) Total net area of flood openings in A9.b _____ sq in

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number	B2. County Name	B3. State

B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	B7. FIRM Panel Effective/Revised Date	B8. Flood Zone(s)	B9. Base Flood Elevation(s) (Zone AO, use base flood depth)

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
☐ FIS Profile ☐ FIRM ☐ Community Determined ☐ Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: ☐ NGVD 1929 ☐ NAVD 1988 ☐ Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☐ No
Designation Date_____ ☐ CBRS ☐ OPA

Comments: _____

Date of Review: 18 JUNE 2013 Community Official: _____

All elevation certificates shall be maintained by the community and copies with the attached memo made available upon request.

U.S. DEPARTMENT OF HOMELAND SECURITY
Federal Emergency Management Agency
National Flood Insurance Program

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-9.

OMB No. 1660-0008
Expires March 31, 2012

SECTION A - PROPERTY INFORMATION

For Insurance Company Use:
Policy Number
Company NAIC Number

A1. Building Owner's Name Sonya Graham

A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
997 SW Santa Fe Drive
City Ft. White State FL ZIP Code 32038

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
Lot 58 & 59 in Unit 8 Three Rivers Estates / 00-00-00-00711-058

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Non-Residential

A5. Latitude/Longitude: Lat. 29*55.751' Long. 082*46.729' Horizontal Datum: ☐ NAD 1927 ☒ NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1B

A8. For a building with a crawlspace or enclosure(s):
a) Square footage of crawlspace or enclosure(s) N/A sq ft
b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade N/A
c) Total net area of flood openings in A8.b N/A sq in
d) Engineered flood openings? ☐ Yes ☒ No

A9. For a building with an attached garage:
a) Square footage of attached garage N/A sq ft
b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade N/A
c) Total net area of flood openings in A9.b N/A sq in
d) Engineered flood openings? ☐ Yes ☒ No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number	B2. County Name	B3. State
Columbia 120070	Columbia	FL

B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	B7. FIRM Panel Effective/Revised Date	B8. Flood Zone(s)	B9. Base Flood Elevation(s) (Zone AO, use base flood depth)
12032C0467C	C	Feb 4 2009	Feb 4 2009	AE	33.60

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
☐ FIS Profile ☒ FIRM ☐ Community Determined ☐ Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: ☐ NGVD 1929 ☒ NAVD 1988 ☐ Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No
Designation Date N/A ☐ CBRS ☐ OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE.
Benchmark Utilized See Comments Vertical Datum NAVD 88
Conversion/Comments None

			Check the measurement used.
a)	Top of bottom floor (including basement, crawlspace, or enclosure floor)	32.50	☒ feet ☐ meters (Puerto Rico only)
b)	Top of the next higher floor	43.20	☒ feet ☐ meters (Puerto Rico only)
c)	Bottom of the lowest horizontal structural member (V Zones only)	N.A	☐ feet ☐ meters (Puerto Rico only)
d)	Attached garage (top of slab)	N.A	☐ feet ☐ meters (Puerto Rico only)
e)	Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	37.24	☒ feet ☐ meters (Puerto Rico only)
f)	Lowest adjacent (finished) grade next to building (LAG)	31.6	☒ feet ☐ meters (Puerto Rico only)
g)	Highest adjacent (finished) grade next to building (HAG)	31.9	☒ feet ☐ meters (Puerto Rico only)
h)	Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	N.A	☐ feet ☐ meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. *I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.*

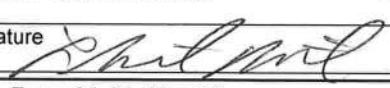
☒ Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No

PLACE SEAL HERE

Certifier's Name L. Scott Britt License Number PSM 5757

Title Chief Surveyor Company Name Britt Surveying & Associates, Inc.

Address 830 W. Duval St. City Lake City State FL ZIP Code 32055

Signature  Date 06/14/13 Telephone 386-752-7163

IMPORTANT: In these spaces, copy the corresponding information from Section A.	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 997 SW Santa Fe Drive	Policy Number
City Ft. WhiteState FL ZIP Code 32038	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments L-22659
See Attached comments sheet

Signature L. Scott Britt Date 06/14/13

☒ Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____._____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____._____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.

E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____._____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E3. Attached garage (top of slab) is _____._____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is _____._____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

☐ Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. ☐ The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued

G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____._____ ☐ feet ☐ meters (PR) Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____._____ ☐ feet ☐ meters (PR) Datum _____

G10. Community's design flood elevation _____._____ ☐ feet ☐ meters (PR) Datum _____

Local Official's Name Title

Community Name Telephone

Signature Date

Comments

☐ Check here if attachments

Building Photographs

See Instructions for Item A6.

	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 997 SW Santa Fe Drive	Policy Number
City Ft. White State FL ZIP Code 32038	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page on the reverse.

Front View

Building Photographs

Continuation Page

	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 997 SW Santa Fe Drive	Policy Number
City Ft. White State FL ZIP Code 32038	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."

Rear View

BRITT SURVEYING

Land Surveyors and Mappers

LAKE CITY • VENICE • SARASOTA

Section A
A1 No additional comment
A2 The address is taken from the public records
A3 – A4 No additional comment
A5 Hand Held GPS coordinate at the center of building along the center of the front wall
A6 No additional comment
A7 No additional comment
A8 None
A9 None

Section B
B1 – B7 No additional comment
B8 This building appears to be in Zone AE as per the attached flood report.
B9 – B10 The BFE as shown hereon is based on the FIRM map and prorated between crosssections.
B11 – B12 No additional comment

Section C
C1 No additional comment
C2 There is a benchmark set in a 30" hickory tree at an elevation of 36.00 feet NGVD 29 and converted to 35.242 feet NAVD 88 datum. See attached conversion sheet.
C2 a 2 story building
C2 b-c No additional comment
C2 d No Attached Garage (due to residential area above)
C2 e Air conditioning unit located in the rear of the building
C2 f - h No additional comment

Section D
No additional comment
Section E
No additional comment

Section F
No additional comment

Section G
No additional comment

Photographs
The attached photographs were taken by Britt Surveying & Associates, Inc. Rear view photo was obstructed by dense vegetation in the rear of the lot adjacent to residence.

Britt Surveying and Associates, Inc.

L-20467

8 July 2010

INPUT	OUTPUT
Geographic, NAD83	Geographic, NAD83
Vertical - NGVD29 (Vertcon94), U.S. Feet	Vertical - NAVD88, U.S. Feet

Spike in 30" Hickory

1/1

Latitude: 29 55.757	**Latitude:** 29 55 45.42000
Longitude: 82 46.715	**Longitude:** 82 46 42.90000
Elevation/Z: 36.00	**Elevation/Z:** 35.242

Remark:

COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed $75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased with in 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address http://www.myflorida.com/dbpr/pro/cilb/index.html for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

997 SW Santa Fe Drive Ft White

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual of firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of $300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of $100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

TYPE OF CONSTRUCTION

( ) Single Family Dwelling ( ) Two-Family Residence ( ) Farm Outbuilding

( ) Addition, Alteration, Modification or other Improvement

( ) Commercial, Cost of Construction_____ Construction of_____

(✓) Other 2 story garage

I Sonya Fry Graham, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

✓ Sonya Fry Graham 10-15-11

Owner Builder Signature Date

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification FL DL

Notary Signature Shirley M Bennett Date 10-15-11

(Seal) SHIRLEY M. BENNETT
MY COMMISSION # DD804429
EXPIRES July 08, 2012
(407) 398-0153 FloridaNotaryService.com

FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative_____

Revised: 7-23-09
DISCLOSURE STATEMENT 09
Documents: B&Z Forms

U.S. DEPARTMENT OF HOMELAND SECURITY
Federal Emergency Management Agency
National Flood Insurance Program

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

SECTION A - PROPERTY INFORMATION

For Insurance Company Use:

A1. Building Owner's Name Sonya Graham — Policy Number

A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
997 SW Santa Fe Drive — Company NAIC Number

City Ft. White State FL ZIP Code 32038

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
Lot 58 & 59 in Unit 8 Three Rivers Estates / 00-00-00-00711-058

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. 30*55.757' Long. 082*46.715' Horizontal Datum: ☐ NAD 1927 ☒ NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 5

A8. For a building with a crawlspace or enclosure(s):
- a) Square footage of crawlspace or enclosure(s) N/A sq ft
- b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade N/A
- c) Total net area of flood openings in A8.b N/A sq in
- d) Engineered flood openings? ☐ Yes ☒ No

A9. For a building with an attached garage:
- a) Square footage of attached garage N/A sq ft
- b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade N/A
- c) Total net area of flood openings in A9.b N/A sq in
- d) Engineered flood openings? ☐ Yes ☒ No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number	B2. County Name	B3. State
Columbia 120070	Columbia	FL

B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	B7. FIRM Panel Effective/Revised Date	B8. Flood Zone(s)	B9. Base Flood Elevation(s) (Zone AO, use base flood depth)
12032C0467C	C	Feb 4 2009	Feb 4 2009	AE	33.60

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
☐ FIS Profile ☒ FIRM ☐ Community Determined ☐ Other (Describe) ____

B11. Indicate elevation datum used for BFE in Item B9: ☐ NGVD 1929 ☒ NAVD 1988 ☐ Other (Describe) ____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No
Designation Date N/A ☐ CBRS ☐ OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE.

Benchmark Utilized See Comments Vertical Datum NAVD 88

Conversion/Comments None

			Check the measurement used.
a)	Top of bottom floor (including basement, crawlspace, or enclosure floor)	35.60	☒ feet ☐ meters (Puerto Rico only)
b)	Top of the next higher floor	N.A	☐ feet ☐ meters (Puerto Rico only)
c)	Bottom of the lowest horizontal structural member (V Zones only)	N.A	☐ feet ☐ meters (Puerto Rico only)
d)	Attached garage (top of slab)	N.A	☐ feet ☐ meters (Puerto Rico only)
e)	Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	34.58	☒ feet ☐ meters (Puerto Rico only)
f)	Lowest adjacent (finished) grade next to building (LAG)	31.7	☒ feet ☐ meters (Puerto Rico only)
g)	Highest adjacent (finished) grade next to building (HAG)	32.2	☒ feet ☐ meters (Puerto Rico only)
h)	Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	N.A	☐ feet ☐ meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. *I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.*

☒ Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No

PLACE SEAL HERE

Certifier's Name L. Scott Britt License Number PSM 5757

Title Chief Surveyor Company Name Britt Surveying & Associates, Inc.

Address 830 W. Duval St. City Lake City State FL ZIP Code 32055

Signature Date 07/07/2010 Telephone 386-752-7163

IMPORTANT: In these spaces, copy the corresponding information from Section A.	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 997 SW Santa Fe Drive	Policy Number
City Ft. WhiteState FL ZIP Code 32038	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments L-20467
See Attached comments sheet

Signature L. Scott Britt Date 07/07/2010

☒ Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
   a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____._____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
   b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____._____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.

E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____._____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E3. Attached garage (top of slab) is _____._____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is _____._____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

☐ Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. ☐ The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued

G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____._____ ☐ feet ☐ meters (PR) Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____._____ ☐ feet ☐ meters (PR) Datum _____

G10. Community's design flood elevation _____._____ ☐ feet ☐ meters (PR) Datum _____

Local Official's Name Title

Community Name Telephone

Signature Date

Comments

☐ Check here if attachments

Building Photographs

See Instructions for Item A6.

	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 997 SW Santa Fe Drive	Policy Number
City Ft. White State FL ZIP Code 32038	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page on the reverse.

Front View

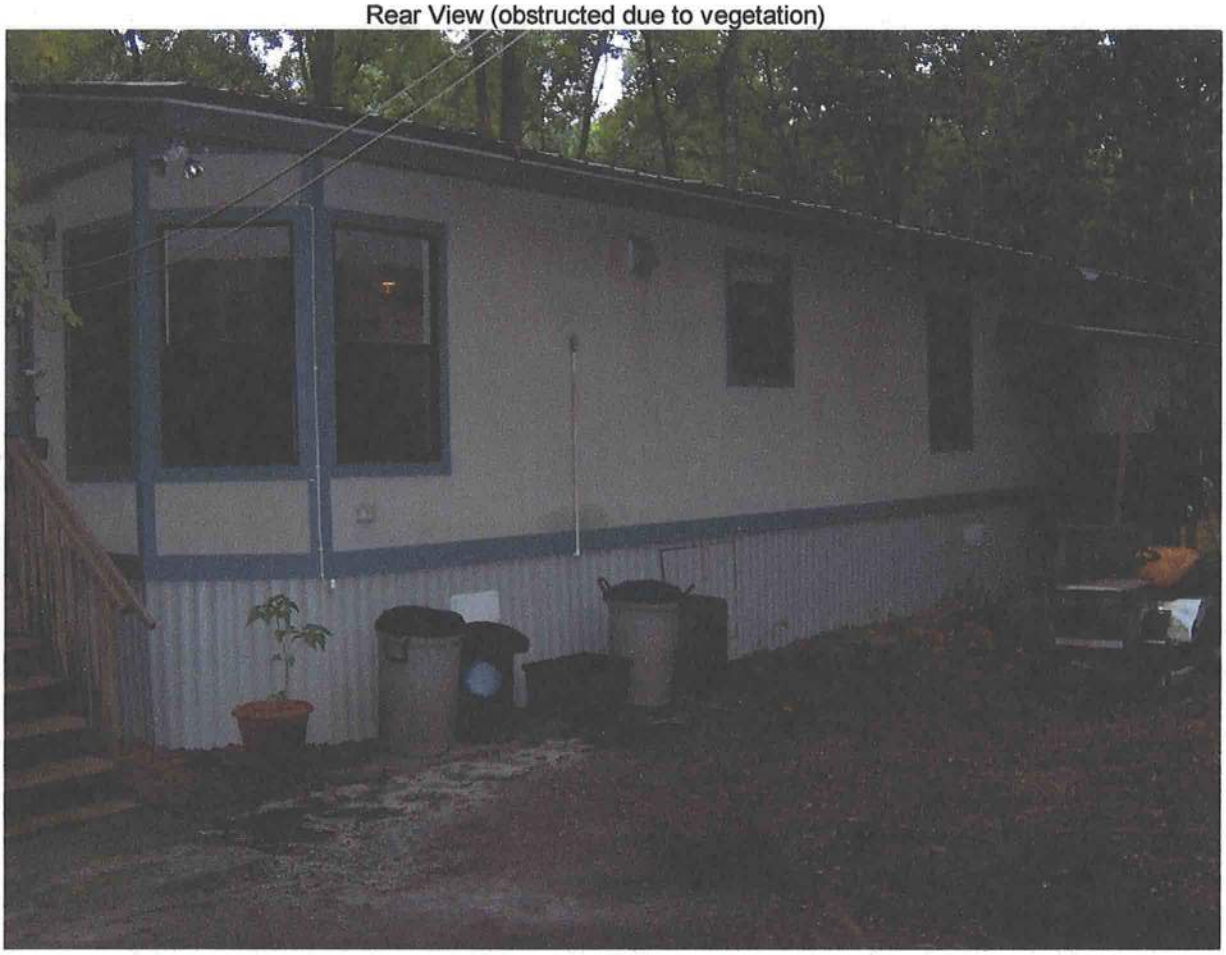
Building Photographs

Continuation Page

	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 997 SW Santa Fe Drive	Policy Number
City Ft. White State FL ZIP Code 32038	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."

Rear View (obstructed due to vegetation)



BRITT SURVEYING

Land Surveyors and Mappers

LAKE CITY • VENICE • SARASOTA

Section A
A1 No additional comment
A2 The address is taken from the public records
A3 – A4 No additional comment
A5 Hand Held GPS coordinate at the center of building along the center of the front wall
A6 No additional comment
A7 No additional comment
A8 None
A9 None

Section B
B1 – B7 No additional comment
B8 This building appears to be in Zone AE as per the attached flood report.
B9 – B10 The BFE as shown hereon is based on the FIRM map and prorated between crosssections.
B11 – B12 No additional comment

Section C
C1 No additional comment
C2 There is a benchmark set in a 30" hickory tree at an elevation of 36.00 feet NGVD 29 and converted to 35.242 feet NAVD 88 datum. See attached conversion sheet.
C2 a Mobile home
C2 b-c No additional comment
C2 d No Attached Garage
C2 e Air conditioning unit located in the rear of the residence
C2 f - h No additional comment

Section D
No additional comment
Section E
No additional comment

Section F
No additional comment

Section G
No additional comment

Photographs
The attached photographs were taken by Britt Surveying & Associates, Inc. Rear view photo was obstructed by dense vegetation in the rear of the lot adjacent to residence.

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____ CONTRACTOR Owner PHONE 904-955-2335

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name Sonya Graham License #: Owner	Signature Sonya Fay Graham Phone #: 904-955-2335
MECHANICAL/ A/C _____	Print Name Sonya Graham License #: Owner	Signature _____ Phone #:
PLUMBING/ GAS	Print Name Sonya Graham License #: Owner	Signature _____ Phone #:
ROOFING	Print Name Sonya Graham License #: Owner	Signature _____ Phone #:
SHEET METAL	Print Name _____ License #: NA	Signature _____ Phone #:
FIRE SYSTEM/ SPRINKLER	Print Name _____ License#: NA	Signature _____ Phone #:
SOLAR	Print Name _____ License #: NA	Signature _____ Phone #:

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON	Owner		Sonya Fay Graham
CONCRETE FINISHER	Owner		
FRAMING	Owner		
INSULATION	Owner		
STUCCO	NA		
DRYWALL	Owner		Sonya Fay Graham
PLASTER	NA		
CABINET INSTALLER	Owner		
PAINTING	Owner		Sonya Fay Graham
ACOUSTICAL CEILING	NA		
GLASS	Owner		Sonya Fay Graham
CERAMIC TILE	NA		
FLOOR COVERING	Owner		Sonya Fay Graham
ALUM/VINYL SIDING	NA		
GARAGE DOOR	Owner		
METAL BLDG ERECTOR	NA		

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Inst:201212005270 Date:4/5/2012 Time:8:55 AM
DC,P.DeWitt Cason,Columbia County Page 1 of 1 B:1232 P:1802

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 00-00-00-0711-058

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT.**

1. Description of property *(legal description)*: Lot 23 Unit 5 + Lots 58, 59 + 60 Unit 8 Three Rivers Estates
   a) Street *(job)* Address: 947 SW Santa Fe Dr Ft White FL 32038
2. General description of improvements: 2 Story garage + efficiency
3. Owner Information
   a) Name and address: Sonya F. Graham
   b) Name and address of fee simple titleholder (if other than owner) NA
   c) Interest in property owner
4. Contractor Information
   a) Name and address: owner
   b) Telephone No.: _____ Fax No. (Opt.) _____
5. Surety Information
   a) Name and address: NA
   b) Amount of Bond. _____
   c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
   a) Name and address: NA
   b) Phone No. _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
   a) Name and address: NA
   b) Telephone No.: _____ Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b). Florida Statutes:
   a) Name and address: NA
   b) Telephone No.: _____ Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement **(the expiration date is one year from the date of recording unless a different date is specified)**: _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Sonya Fry Graham
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

Sonya Fry Graham
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 15 day of October, 20 11, by:

Sonya Fry Graham as owner **(type of authority, e.g. officer, trustee, attorney fact) for** _____ **(name of party on behalf of whom instrument was executed).**

Personally Known ____ OR Produced Identification ✓ Type FL DL

Notary Signature Shirley M Bennett Notary Stamp or Seal:

SHIRLEY M BENNETT
MY COMMISSION # DD804429
EXPIRES: July 28, 2012
(407) 398-0153 FloridaNotaryService.com

—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Sonya Fry Graham
Signature of Natural Person Signing (in line #10 above.)

>> Print as PDF <<

LOT 23 UNIT 5 & LOTS 58, 59 & 60 UNIT 8 THREE RIVERS ESTATES RIVERS ESTATES. ORB 741-1277, 752-1289, JTWRS 890-1751,

GRAHAM SONYA FRY
945 SILVERRIDGE COURT
ORANGE PARK, FL 32065

00-00-00-00711-058

Columbia County 2011 R
CARD 001 of 001
PRINTED 6/20/2011 12:51 BY JEFF
APPR 3/15/2007 DFDB

BUSE	000800 MOBILE HME		AE? Y	1296	HTD AREA	106.900	INDEX	100000.08	THREE RIV	PUSE	000200 MOBILE HOME
MOD	2 MOBILE HME	BATH	2.00	1526	EFF AREA	24.587	E-RATE	100.000	INDX	STR 26- 6S- 15	
EXW	08 WD OR PLY	FIXT		37520	RCN			1990	AYB	MKT AREA 02	17,634 BLDG
%	N/A	BDRM	3	47.00	%GOOD	17,634	B BLDG VAL	1990	EYB	(PUD1	2,733 XFOB
RSTR	03 GABLE/HIP	RMS								AC 1.000	65,364 LAND
RCVR	12 MODULAR MT	UNTS								NTCD	0 CLAS
%	N/A	C-W%								APPR CD	0 MKTUSE
INTW	04 PLYWOOD	HGHT								CNDO	85,731 JUST
%	N/A	PMTR								SUBD	85,731 APPR
FLOR	14 CARPET	STYS	1.0							BLK	
10%	08 SHT VINYL	ECON								LOT	0 SOHD
HTTP	04 AIR DUCTED	FUNC								MAP#	0 ASSD
A/C	03 CENTRAL	SPCD									0 EXPT
QUAL	05 05	DEPR	09							TXDT 003	0 COTXBL
FNDN	N/A	UD-1	N/A								
SIZE	N/A	UD-2	N/A								
CEIL	N/A	UD-3	N/A								
ARCH	N/A	UD-4	N/A								
FRME	01 NONE	UD-5	N/A								
KTCH	01 01	UD-6	N/A								
WNDO	N/A	UD-7	N/A								
CLAS	N/A	UD-8	N/A								
OCC	N/A	UD-9	N/A								
COND	03 03	%	N/A								

FIELD CK:
LOC: 997 SANTA FE DR SW FT WHITE

```
+--------------48-------------+
IBAS1999                      +----16---+
I                             IUOP1999  I
I                             I         I
2                             2         2
7                             0         0
I                             I         I
I                             I         I
I                             +----16---+
+-+---------30-------+--------+
  1USP2006           1
  0                  0
  +---------30-------+
```

BLDG TRAVERSE
BAS1999=W48 S27 E3 USP2006=S10E30 N10 W30$ E45 N3 UOP1999= E16 N20 W16 S20$ N24$.

SUB	A-AREA	%	E-AREA	SUB VALUE
BAS99	1296	100	1296	14977
USP06	300	50	150	1733
UOP99	320	25	80	924
TOTAL	1916		1526	17634

PERMITS

NUMBER	DESC	AMT	ISSUED
15566	M H	125	5/24/1999

SALE

BOOK	PAGE	DATE		PRICE
1197	1603	7/06/2010	Q I	223000
GRANTOR WALTER & KATHLEEN GIBBONS				
GRANTEE SONYA FRY GRAHAM				
741	1277	11/14/1990	U V	15500
GRANTOR THREE RIVERS				
GRANTEE WALTER GIBBONS				

EXTRA FEATURES

AE	BN	CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ UT PR	SPCD %	%GOOD	XFOB VALUE
Y		0294	SHED WOOD/VI				1		1999	1.00	1.000	UT	1000.000	1000.000		100.00	1,000
Y		0285	SALVAGE				1		2006	1.00	1.000	UT	200.000	200.000		100.00	200
Y		0084	DOCK-RIVER				1		2006	1.00	151.000	SF	14.500	14.500		70.00	1,533

FIELD CK:

AE	LAND CODE	DESC	ZONE	TOPO	ROAD	UTIL	{UD1	{UD2	{UD3	{UD4	FRONT	BACK	DEPTH	DT	ADJUSTMENTS	UNITS	UT	PRICE	ADJ UT PR	LAND VALUE
Y	000200	MBL HM	00												1.00 1.00 1.00 1.00	1.000	LT	8000.000	8000.00	8,000
Y	000000	VAC RES	00												1.00 1.00 1.00 1.00	1.000	LT	8000.000	8000.00	8,000
Y	000000	VAC RES	00												1.00 1.00 1.00 1.00	1.000	LT	8000.000	8000.00	8,000
Y	000020	VAC/WATER	00		0002															

(2)

Prepared by:
Elaine R. Davis
American Title Services of Lake City, Inc.
321 SW Main Boulevard, Suite 105
Lake City, Florida 32025

File Number: 10-183

Inst:201012010986 Date:7/12/2010 Time:11:46 AM
Doc Stamp-Deed:1561.00
DC,P.DeWitt Cason,Columbia County Page 1 of 1 B:1197 P:1603

Warranty Deed

Made this July 6th, 2010 A.D.

By **WALTER H GIBBONS and KATHLEEN G. GIBBONS**, husband and wife, whose address is: 997 SW Santa Fe Drive, Fort White, Florida 32038, hereinafter called the grantor,

to **SONYA FRY GRAHAM**, whose post office address is: 945 Silverridge Court, Orange Park, Florida 32065, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, ($10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

LOT 23, UNIT 5, THREE RIVERS ESTATES, a subdivision according to the Plat thereof as recorded in Plat Book 4 Page 38 of the Public Records of COLUMBIA COUNTY, FLORIDA.

ALSO:

LOTS 58, 59 AND 60, UNIT 8, THREE RIVERS ESTATES, a subdivision according to the Plat thereof as recorded in Plat Book 6 page 9 of the Public Records of COLUMBIA COUNTY, FLORIDA.

TOGETHER WITH: 1990 SHOR Doublewide Mobile Home ID# 1V630339AZ Title No. 61268538 and ID# 1V630339BZ Title No. 61268545, Length 48 X 24

Parcel ID Number: **00711-058**

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2009.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Elaine R. Davis
Witness Printed Name Elaine R. Davis

Johnny M. Hamm
Witness Printed Name Johnny M. HAMM

Walter H. Gibbons (Seal)
WALTER H GIBBONS
Address 997 SW Santa Fe Drive, Fort White, Florida 32038

Kathleen G. Gibbons (Seal)
KATHLEEN G. GIBBONS

State of FLORIDA
County of Columbia

The foregoing instrument was acknowledged before me this 6th day of July, 2010, by WALTER H GIBBONS and KATHLEEN G. GIBBONS husband and wife, who is/are personally known to me or who has produced Drivers Licenses as identification.

Elaine R. Davis
Notary Public
Print Name:

My Commission Expires: ELAINE R. DAVIS MY COMMISSION # D... EXPIRES: Octobe... Bonded Thru Notary P...

8:48:25 AM 10/21/2011

Licensee Details

Licensee Information

Name:	**JONES, ROBERT E** (Primary Name)
	(DBA Name)
Main Address:	**645 Shady Lane** **KEYSTONE HEIGHTS Florida 326560000**
County:	**CLAY**
License Mailing:	
LicenseLocation:	

License Information

License Type:	**Professional Engineer**
Rank:	**Prof Engineer**
License Number:	**4513**
Status:	**Current,Active**
Licensure Date:	**12/16/1980**
Expires:	**02/28/2013**

Special Qualifications	Qualification Effective
Building Code Core Course Credit	
Advanced Building Code Course Credit	02/25/2009

View Related License Information

View License Complaint

CES
Crews Engineering Services, LLC

Crews Engineering Services, LLC
P.O. Box 970
Lake City, FL 32025
386.623.4413
brett@crewsengineeringservices.com

July 6, 2011

Suwannee River Water Management District
9225 CR 49
Live Oak, FL 32060

SUBJECT: Sonya Graham Zero Rise Certification, Columbia County

To Whom It May Concern:

Ms. Graham would like to permit improvements to Lots 58, 59 & 60 of Three Rivers Estates Unit No. 8 in Section 26, Township 6 South, Range 15 East, Columbia County, FL. The improvements include a 30' x 36' two-story home within the floodway of the Santa Fe River. There is an existing structure, a 16'x48' mobile home with 10'x30' deck, which is not included in the calculations.

A zero rise certification with supporting documentation is attached. A new cross section was interpolated from existing cross sections and was added at the site location. The following steps were executed in performing the zero rise calculations:

(1) Run the model with SRWMD existing cross sections. Verify that the model matches the original flood study results.

The output from the run using the existing cross sections matches the original flood study.

(2) Interpolate between existing cross sections and add a new cross section at the site location.

The new cross section, RS 8.96, was interpolated from RS 10.06 and RS 8.43.

(3) Verify the run using the additional cross section matches the original output.

The elevations from the interpolated cross section were adjusted accordingly. The output from the run using the interpolated cross section matches the original flood study. The 100 year flood level is consistent with adjacent cross sections. A conversion factor of -0.758 feet was obtained by

entering latitude and longitude measures of the cross section into VERTCON (http://www.ngs.noaa.gov/cgi-bin/VERTCON/vert_con.prl**). This was used to compare NGVD 29 datum obtained from the HEC-RAS model to NAVD 88 referenced in the flood study. Once converted, 100 year flood levels are consistent with the current flood study**

(4) Add obstructions along the new cross section to model the new development.

One obstruction was added at cross section RS 8.96 to model the new building. An obstruction width of 36 feet at an elevation of 35 ft was used to model the home.

(5) Verify the run including the obstacles does not obstruct flows or cause more than a 0.01 foot rise in 100-year flood elevation of the Santa Fe River.

Calculations show no obstruction of flow and the water surface elevations for all three runs show no more than a 0.01 foot increase, therefore a zero rise is achieved per SRWMD rule 40B-4.3030(9). The Profile Summary Output Table in the attached report shows summary of calculations. Under "plan" column, "Org" shows the original run, "Existing XS" shows results after new XS was added and "Development" shows results after the obstruction was placed to model the proposed development.

If you have any questions or require additional information, please contact me at your convenience.

Thank you,

Brett A. Crews, PE

CES

Crews Engineering Services, LLC

SONYA GRAHAM

ZERO RISE CERTIFICATION PACKAGE

TWO-STORY HOUSE

7-6-2011

Brett A. Crews, P.E. 65592
Crews Engineering Services, LLC
PO Box 970
Lake City, FL 32056
Ph. 386.623.4303
Auth # 28022
brett@crewsengineeringservices.com

CES
Crews Engineering Services, LLC

Crews Engineering Services, LLC
P.O. Box 970
Lake City, FL 32056
Ph: 386.623.4303
brett@crewsengineeringservices.com

July 6, 2011

Zero Rise Certification

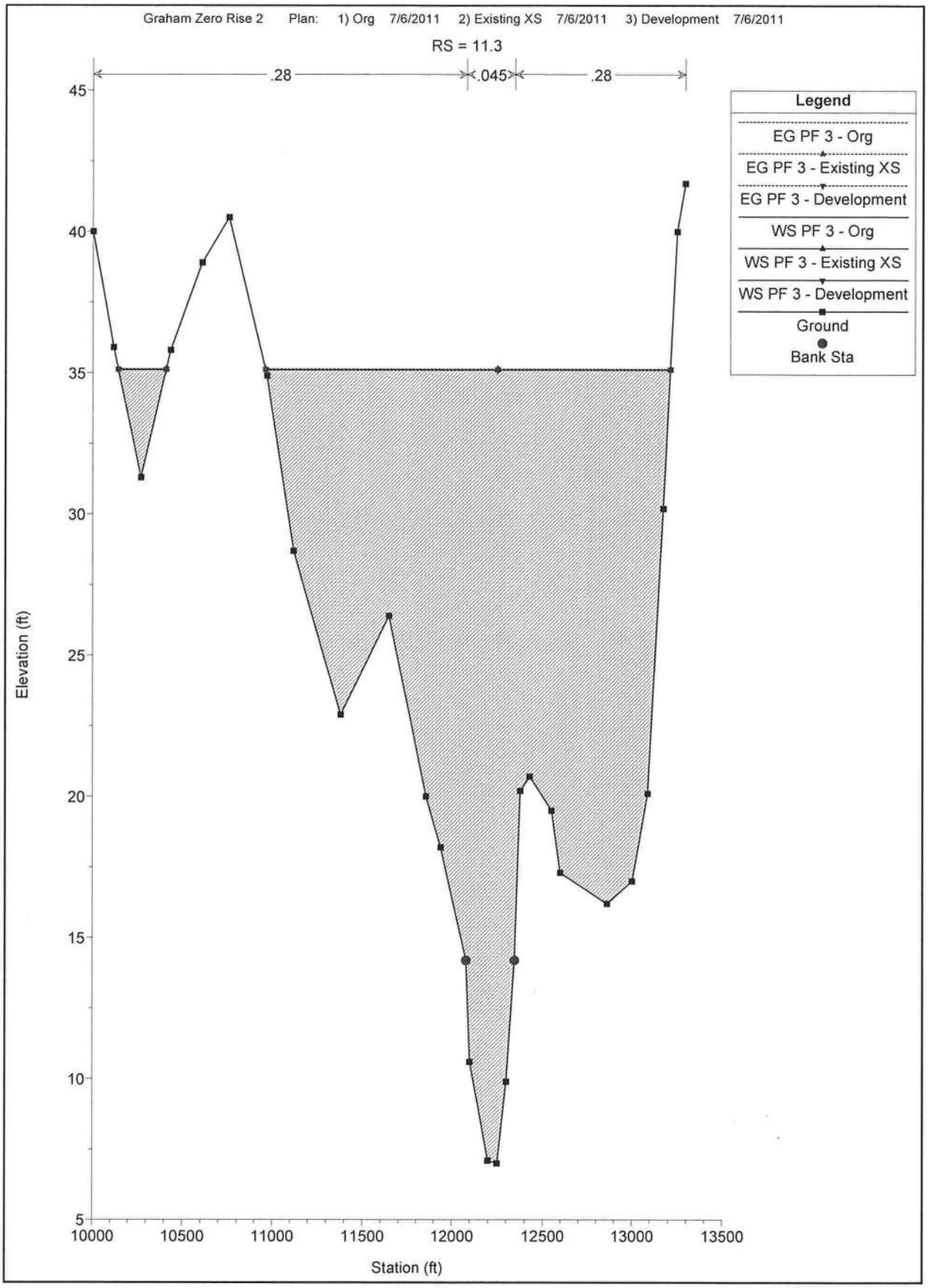
Client / Owner:	Sonya Graham
Property Description:	Lots 58, 59 & 60, Three Rivers Estates Unit No. 8 Section 26, Township 6 South, Range 15 East Columbia County, FL
Structure in Floodway:	30' x 36' Two-Story House
River Mile:	8.96
Elevation of 100 yr flood:	33.5 ft
Community Panel:	12023C 0467C

I hereby certify that construction of the proposed residence will not obstruct flow or cause more than a 0.01 ft rise in the 100-year flood elevation of the Santa Fe River.

Brett A. Crews, PE 65592

HEC-RAS River: RIVER-1 Reach: Reach-1 Profile: PF 3

Reach	River Sta	Profile	Plan	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
				(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	13.03	PF 3	Org	16359.00	-5.45	35.42		35.46	0.000047	2.08	40390.76	3897.64	0.07
Reach-1	13.03	PF 3	Existing XS	16359.00	-5.45	35.42		35.46	0.000047	2.08	40390.66	3897.64	0.07
Reach-1	13.03	PF 3	Development	16359.00	-5.45	35.42		35.46	0.000047	2.08	40366.59	3897.43	0.07
Reach-1	11.3	PF 3	Org	16359.00	7.00	35.11		35.14	0.000035	1.71	33330.25	2516.29	0.06
Reach-1	11.3	PF 3	Existing XS	16359.00	7.00	35.11		35.14	0.000035	1.71	33330.17	2516.29	0.06
Reach-1	11.3	PF 3	Development	16359.00	7.00	35.10		35.13	0.000035	1.71	33313.76	2515.53	0.06
Reach-1	10.06	PF 3	Org	16359.00	1.81	34.76		34.83	0.000070	2.44	21708.98	2585.63	0.08
Reach-1	10.06	PF 3	Existing XS	16359.00	1.81	34.76		34.83	0.000070	2.44	21708.89	2585.63	0.08
Reach-1	10.06	PF 3	Development	16359.00	1.81	34.75		34.83	0.000070	2.44	21691.04	2584.46	0.08
Reach-1	8.96	PF 3	Existing XS	16359.00	-0.09	34.41		34.48	0.000062	2.38	31868.91	4953.41	0.08
Reach-1	8.96	PF 3	Development	16359.00	-0.09	34.41		34.47	0.000060	2.35	31634.14	4917.38	0.08
Reach-1	8.43	PF 3	Org	16359.00	-1.00	34.25		34.32	0.000059	2.35	35550.68	5680.96	0.08
Reach-1	8.43	PF 3	Existing XS	16359.00	-1.00	34.25		34.32	0.000059	2.35	35550.68	5680.96	0.08
Reach-1	8.43	PF 3	Development	16359.00	-1.00	34.25		34.32	0.000059	2.35	35550.68	5680.96	0.08
Reach-1	7.64	PF 3	Org	16359.00	2.75	33.98		34.05	0.000076	2.46	36043.38	5157.06	0.09
Reach-1	7.64	PF 3	Existing XS	16359.00	2.75	33.98		34.05	0.000076	2.46	36043.38	5157.06	0.09
Reach-1	7.64	PF 3	Development	16359.00	2.75	33.98		34.05	0.000076	2.46	36043.38	5157.06	0.09
Reach-1	6.46	PF 3	Org	16359.00	2.53	33.66		33.70	0.000046	1.98	37794.99	3868.70	0.07
Reach-1	6.46	PF 3	Existing XS	16359.00	2.53	33.66		33.70	0.000046	1.98	37794.99	3868.70	0.07
Reach-1	6.46	PF 3	Development	16359.00	2.53	33.66		33.70	0.000046	1.98	37794.99	3868.70	0.07


Graham Zero Rise 2 Plan: 1) Org 7/6/2011 2) Existing XS 7/6/2011 3) Development 7/6/2011
RS = 11.3
.28
.045
.28
Legend
EG PF 3 - Org
EG PF 3 - Existing XS
EG PF 3 - Development
WS PF 3 - Org
WS PF 3 - Existing XS
WS PF 3 - Development
Ground
Bank Sta
Elevation (ft)
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5
10000
10500
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12500
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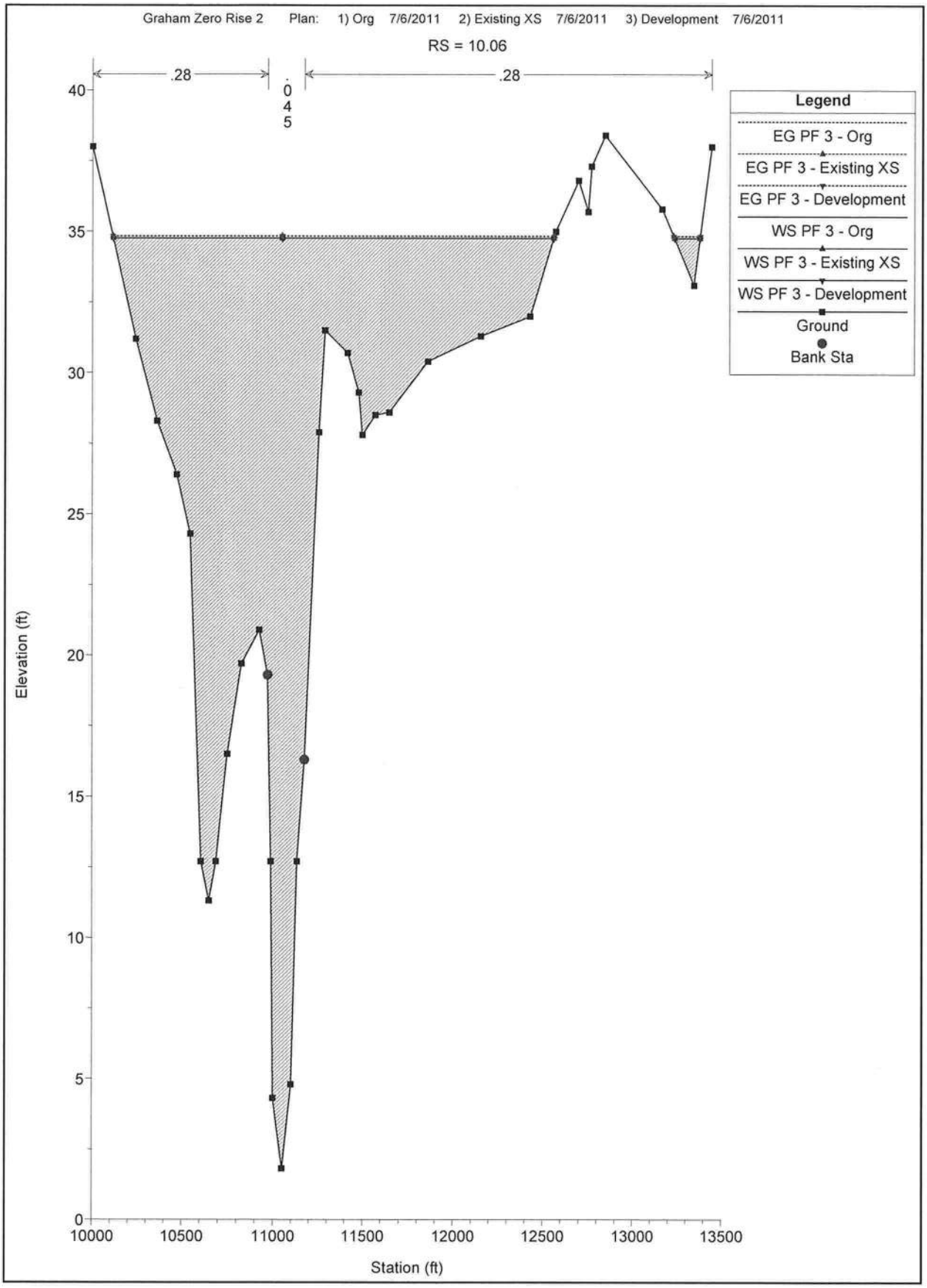
13500
Station (ft)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Legend
EG PF 3 - Org
EG PF 3 - Existing XS
EG PF 3 - Development
WS PF 3 - Org
WS PF 3 - Existing XS
WS PF 3 - Development
Ground
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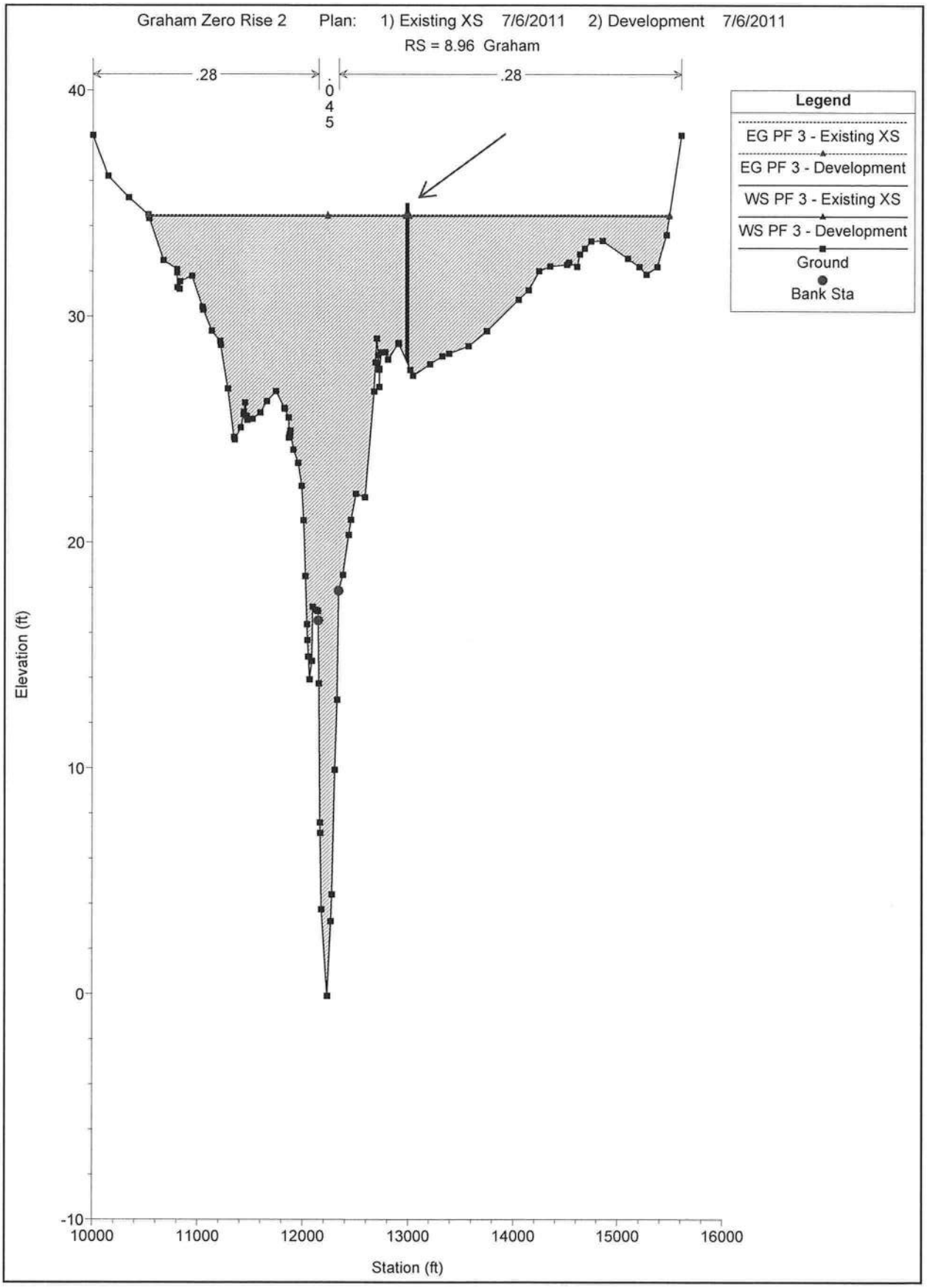
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EG PF 3 - Development
WS PF 3 - Existing XS
WS PF 3 - Development
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Elevation (ft)
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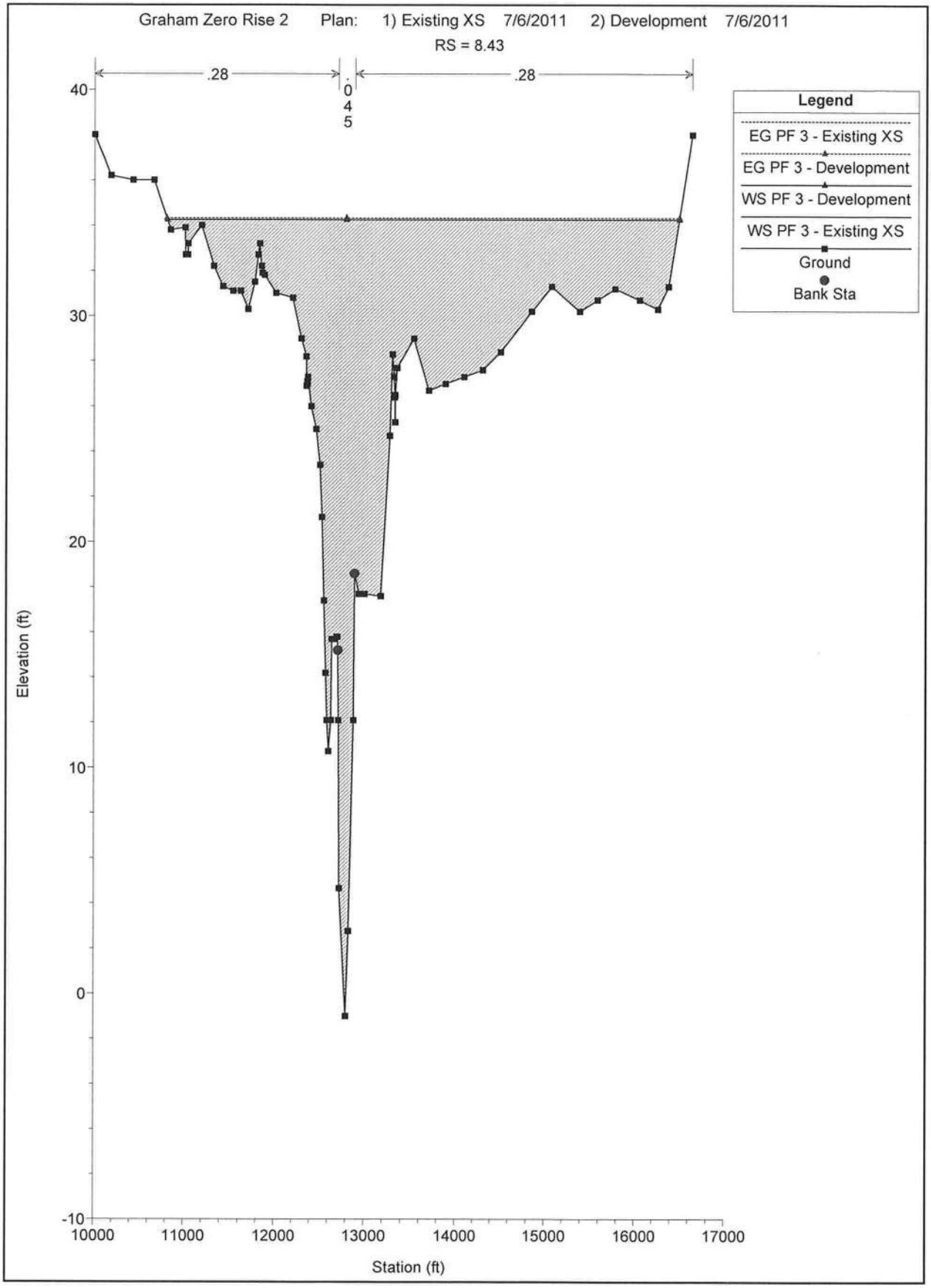
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RS = 8.43
.28
.045
.28
Legend
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WS PF 3 - Existing XS
Ground
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Elevation (ft)
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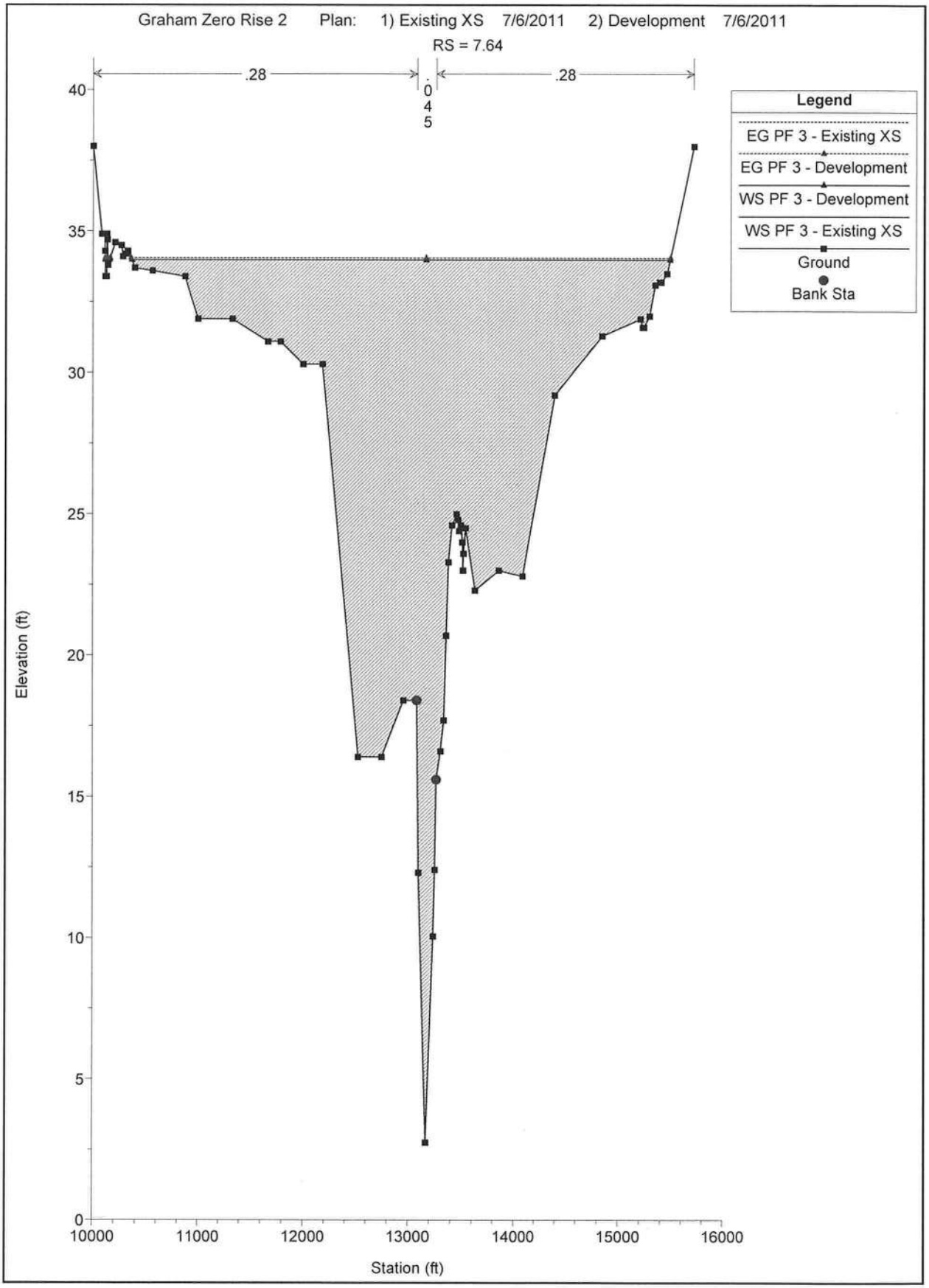
17000
Station (ft)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RS = 7.64
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EG PF 3 - Existing XS
EG PF 3 - Development
WS PF 3 - Development
WS PF 3 - Existing XS
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14000
15000
16000

CES
Crews Engineering Services, LLC

- 1110-22 -

Crews Engineering Services, LLC
PO Box 970
Lake City, FL 32056
(Phone) 386.623.4303
brett@crewsengineeringservices.com

June 20, 2011

Troy Crews
Columbia County Building and Zoning
135 NE Hernando Ave
Lake City, FL 32055

SUBJECT: Addendum to Building Plans, Sonya Graham Floodway Project, Lots 58 and 59, Three Rivers Estates Unit No. 8, Columbia County, FL

Mr. Crews,

The purpose of this letter is to serve as an addendum to the building plans submitted by Ms. Sonya Graham and prepared by Miller's Detailing.

The building will be constructed to reflect the following:

1. The utility room depicted on the First Floor Plan will not be constructed.

2. 12"x12" wall openings will be installed around the perimeter of the building. The openings shall be installed such that the bottom is no higher than 12" above grade. There shall be a minimum of 8 openings total (2 per side). Below is a description of the calculation used to determine the required openings:

   1 square inch required per square ft of building floor area.
   Floor Area = 1080sf
   Opening Area = 12"x12" = 144 sq in
   Required Openings = 1080 / 144 = 7.5 = 8 Openings

Please contact me if you have any questions or require additional information.

Sincerely,

Brett A. Crews, P.E. 65592
Project Engineer

COLUMBIA COUNTY BUILDING DEPARTMENT
Received for
FILE COPY
Code Compliance
PLANS EXAMINER

8.5.2 #3

SUWANNEE RIVER WATER MANAGEMENT DISTRICT

IN RE:

SONYA GRAHAM

PETITIONER, **ORDER No. 11-0003**

v.

SUWANNEE RIVER WATER MANAGEMENT DISTRICT,

RESPONDENT.

FINAL ORDER GRANTING VARIANCE

The Suwannee River Water Management District ("District") received a petition on June 21, 2011, from Sonja Graham ("Petitioner"), seeking a waiver from Florida Administrative Code ("Fla. Admin. Code") rule 40B-4.3030(5). Petitioner seeks this waiver in connection with a proposed residential garage within a Work of the District in Township 7 South, Range 15 East, Section 1, Columbia County.

PROCEDURE AND ALLEGATIONS

1. Pursuant to Fla. Stat. § 120.542, Petitioner seeks a waiver from Fla. Admin. Code rule 40B-4.3030(5) for file number ERP11-0109.

2. The Petition for Variance was received on June 21, 2011. A true copy of the Petition for Waiver is attached to this Order as Exhibit "A".

3. District caused a notice to be published in the Florida Administrative Weekly ("FAW") on July 1, 2011, informing the public that District had received the Petition for Waiver

and providing an opportunity to comment or object within fourteen days of the date of publication in the FAW. A true copy of the notice is attached to this Order as Exhibit "B". District received no comments or objections to the petition.

4. Petitioner's address is 997 SW Santa Fe Drive, Ft. White, FL 32038, and the property affected by this order is described as the following parcel identification number: 00-00-00-00-711-058, Three Rivers Estates Unit Number 8, Lots 58 and 59, Columbia County, Florida.

As to the First Floor Elevation Requirements

5. Petitioner seeks to obtain a waiver from Fla. Admin. Code rule 40B-4.3030(5) for the above-mentioned construction of a new enclosed residential garage (36 feet by 30 feet) with slab (at existing grade +/-31 feet) as the bottom floor. Most of the floor will be garage and remaining will be a utility room. All appliances and electrical equipment will be elevated to at least one foot above the 100-year flood elevation. Petitioner alleges that if the bottom floor were unenclosed, then the structure would not function as intended. The second floor will be constructed such that the lowest structural member of the floor shall be at least one foot above the 100-year elevation. Petitioner maintains that elevation of the first floor would increase elevation to the second floor and would therefore substantially increase construction costs.

APPLICABLE LAW

6. The waiver is requested pursuant to Fla. Stat. § 120.542, which provides that:

> Variances and waivers shall be granted when the person subject to the rule demonstrates that the purpose of the underlying statute will be or has been achieved by other means by the person and when application of a rule would create a substantial hardship or would violate principles of fairness. For purposes of this section,

"substantial hardship" means a demonstrated economic, technological, legal, or other type of hardship to the person requesting the variance or waiver.

7. Petitioner is required to demonstrate that (1) the purpose of the underlying statute will be or has been achieved by other means and (2) that application of Fla. Admin. Code paragraph 40B-4.3030(5) would create a substantial hardship or would violate the principles of fairness.

8. The purpose of Chapter 373 of the Florida Statutes is to prevent harm to the water resources of the state. To achieve this purpose, District is authorized to require permits for the construction of structures within a Work of the District. To obtain a permit under Chapter 373, an applicant must provide reasonable assurance that the construction will not obstruct the free flow of waters of rivers and streams within the District. *See*, Fla. Stat. § 373.086 (Providing for works of the district).

9. Florida Admin. Code rule 40B-4.3030 became effective as District rule on September 25, 1985, and the most recent amendment became effective on August 8, 2007.

FINDINGS OF FACT AND CONCLUSIONS OF LAW

10. District determined:

a. The structure will be located within the regulatory floodway of the Santa Fe River. Pier construction in order to elevate the structure is not feasible, as the structure is a residential garage, and elevation of such would substantially increase construction costs. Additionally, the residential garage will be less than 100 square feet of cross sectional area within the floodway, and is within the requirements for cross-sectional areas within the floodway, as set forth in Fla. Admin. Code 40B-4.3030(7).

b. Petitioner has demonstrated that the principles of fairness would be violated by requiring Petitioner to comply with Fla. Admin. Code paragraph 40B-4.3030(5); Petitioner has demonstrated a substantial hardship would be created by requiring Petitioner to comply with Fla. Admin. Code paragraph 40B-4.3030(5); therefore, Petitioner has met the requirements for a waiver under Fla. Stat. § 120.542. Petitioner has demonstrated that the underlying statute will be or has been achieved by other means.

11. District concludes that the waiver request should be granted.

IT IS HEREBY ORDERED that the Petition for Waiver from Fla. Admin. Code rule 40B-4.3030(5), is GRANTED.

DONE AND ORDERED this 26 day of Sept 2011.

SUWANNEE RIVER WATER MANAGEMENT DISTRICT

By: David Still
David Still
Executive Director

RENDERED on this 21 day of Sept. 2011.

Jon Dinges
District Clerk

Copies furnished to: Suzanne Printy, JAPC
Sonya Graham

CES
Crews Engineering Services, LLC

Crews Engineering Services, LLC
PO Box 970
Lake City, FL 32056
(Phone) 386.623.4303
brett@crewsengineeringservices.com

RECEIVED
SRWMD
JUN 21 2011
ORIGINAL TO FILE ERP 11-0109
COPIES TO

DATE: June 20, 2011

FOR: Mr. Jon Dinges, P.E.
Suwannee River Water Management District
4225 CR 49
Live Oak, FL 32060

SUBJECT: Petition for Variance from CH40B-4 and 40B-400, F.A.C
Graham Floodway Project, Lots 58 and 59, Three Rivers Estates Unit No. 8,
Columbia County, FL

PETITIONER: Sonya Graham
997 SW Santa Fe Drive
Ft. White, FL 32038
904.955.2335

AGENT: Brett A. Crews, P.E.
Crews Engineering Services, LLC
P.O. Box 970
Lake City, FL 32056

APPLICABLE PORTION OF THE RULE:

The portion of the rule in which the variance is requested is 40b-4.3030(5)

CITATION TO THE STATUE THE RULE IS IMPLEMENTING:

Ch. 40B-4.3030(5) - The area below the first floor of elevated of elevated buildings shall be left clear and unobstructed except for the piles or stairways.

TYPE OF VARIANCE REQUESTED:

The type of action requested is for a variance from rule Ch. 40B-4.3030(5). This will allow construction of a new enclosed building (36'x30') with a slab (at existing grade, +/-31')) as the bottom floor. Most of this floor (24'-10"x30') will be garage and the remaining (11'-2"x30') will be a utility room. All appliances and electrical equipment will be elevated to 1' above the 100 year flood elevation (+/-33.6'). The second floor will be constructed such that the lowest member of the floor structure would be at least 1' above the 100 year flood elevation.

FACTS THAT DEMONSTRATE HARDSHIP:

To leave the bottom floor unenclosed would cause to new building to not function at intended. To elevate the portion of the bottom floor intended as a utility room would cause the second floor of the structure to be raised an additional +4 ft and would substantially increase construction costs.

Exhibit A

REASON THE VARIANCE OR WAIVER REQUESTED WOULD SERVE THE PURPOSE OF THE UNDERLYING:

The depth of the existing grade below the 100 year flood elevation is only +/-2.5'. The cross sectional area below the 100 year is +/-90sf. Per 40B-4.3030(7) obstructions with less than 100 sf of cross sectional area of the floodway are allowed. Since the bottom floor is intended to serve as a garage to park vehicles in, pier construction would not work.

PERMANENENT WAIVER/VARIANCE REQUESTED

It is the owner's request that a permanent variance be granted from Ch. 40B-4.3030(5). Thus, allowing for the construction of a building with an enclosed lower floor (garage and utility room) +/-2.5' below the 100 year flood elevation.

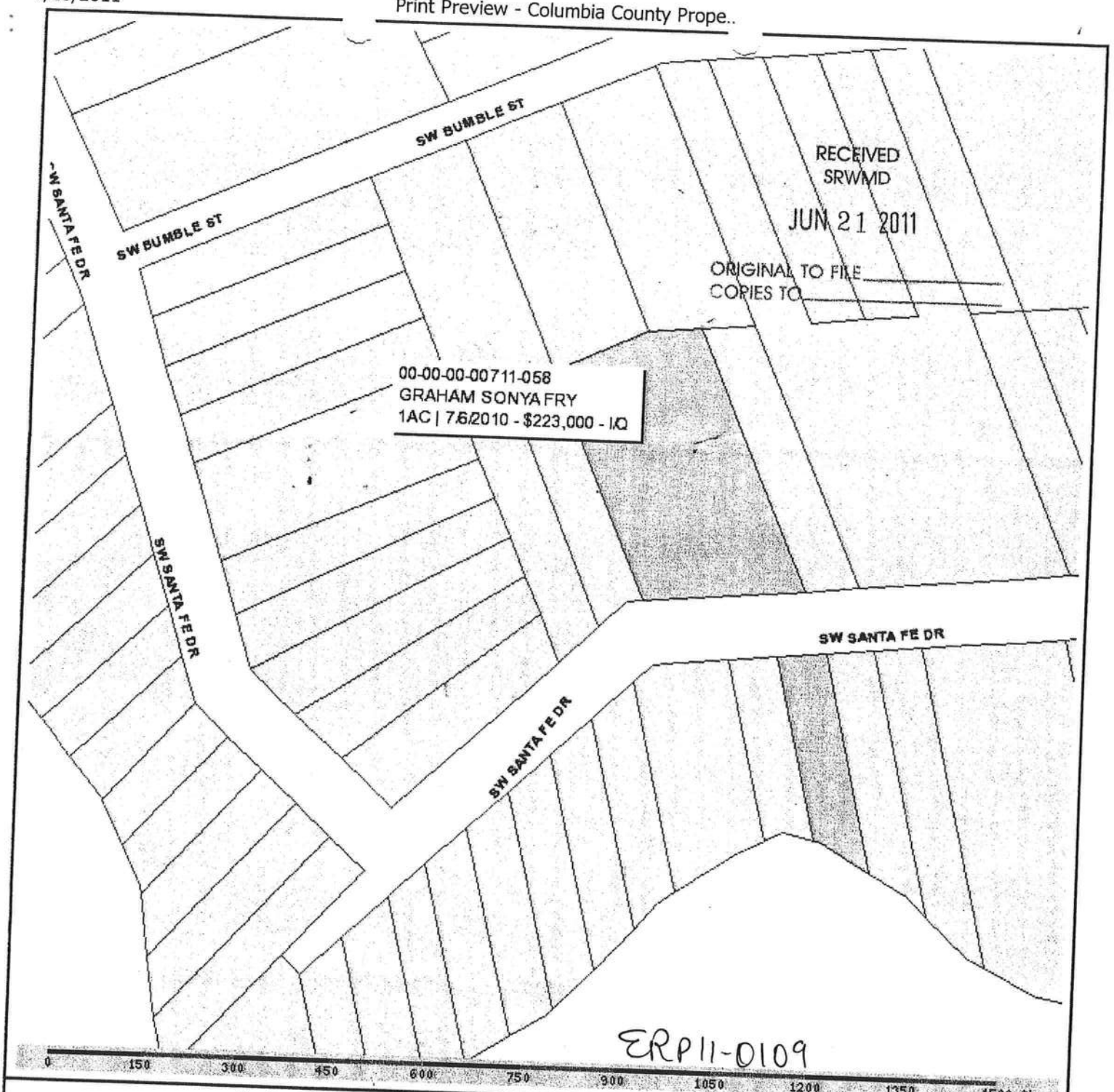
Please contact me if you have any questions or require additional information.

Thank you for your consideration. I look forward to hearing from you.

Sincerely,

Brett A. Crews, P.E.
Project Engineer

Exhibit A



ERP11-0109

Columbia County Property Appraiser

J. Doyle Crews - Lake City, Florida 32055 | 386-758-1083

PARCEL: 00-00-00-00711-058 - MOBILE HOM (000200)

LOT 23 UNIT 5 & LOTS 58, 59 & 60 UNIT 8 THREE RIVERS ESTATES RIVERS ESTATES. ORB 741-1277, 752-1289, JTWRS 890-1751, QCD 1077-2419 & WD 1197-1603

NOTES:

Name: GRAHAM SONYA FRY
Site: 997 SW SANTA FE DR
Mail: 945 SILVERRIDGE COURT
ORANGE PARK, FL 32065

Sales Info

7/6/2010	$223,000.00	I / Q
11/14/1990	$15,500.00	V / U

2010 Certified Values

Land	$45,816.00
Bldg	$19,135.00
Assd	$67,939.00
Exmpt	$67,939.00
Taxbl	Cnty: $0
	Other: $25,000 | Schl: $42,939

A copy of the Order or additional information may be obtained by contacting: Paula P. Ford, Agency Clerk, Department of Community Affairs, 2555 Shumard Oak Boulevard, Tallahassee, Florida 32399-2100, e-mail: paula.ford@dca.state.fl.us.

The Department of Community Affairs hereby gives notice: that a Final Order Granting Petition for Waiver has been issued.

NAME OF PETITIONER: Pinellas County (Brooker Creek Preserve Wilde Lands Acquisition & Recreation Area)

DATE PETITION WAS FILED: May 2, 2011

RULE NUMBER AND NATURE OF RULE FROM WHICH VARIANCE OR WAIVER IS SOUGHT: Subsection 9K-7.003(9), Florida Administrative Code, states that Applicant must acquire property either 24 months prior to, or 24 months after, the Application deadline. Applicant has acquired property outside of that time frame but was unable to apply for grant funds due to lack of Florida Forever funding and therefore seeks a waiver of this rule.

Paragraph 9K-7.007(1)(a), Florida Administrative Code, states the Applicant can receive ten points on their Application if they have acquired the property within the 24 month deadline. Applicant has acquired property outside of that time frame but was unable to apply for grant funds due to lack of Florida Forever funding and therefore seeks a waiver of this rule.

A REFERENCE TO THE PLACE AND DATE OF PUBLICATION OF THE NOTICE OF THE PETITION: Vol. 37, No. 19, May 13, 2011, issue of the Florida Administrative Weekly.

THE DATE OF THE ORDER DENYING OR APPROVING THE VARIANCE OR WAIVER: June 16, 2011

THE GENERAL BASIS FOR THE AGENCY DECISION: The Department found the Petitioner had satisfied the substantial hardship provision of Section 120.542(2), F.S. A strict application of subsections 9K-7.007(1) and 9K-7.003(9), F.A.C., would create an economic hardship to the Petitioner and violate the principle of fairness. Based upon the facts presented, the Department decided to grant a temporary waiver of the above mentioned rules.

A copy of the Order or additional information may be obtained by contacting: Paula P. Ford, Agency Clerk, Department of Community Affairs, 2555 Shumard Oak Boulevard, Tallahassee, Florida 32399-2100, e-mail: paula.ford@dca.state.fl.us.

DEPARTMENT OF LAW ENFORCEMENT

NOTICE IS HEREBY GIVEN that on June 20, 2011, the Criminal Justice Standards and Training Commission, received a petition for a permanent waiver of subsection 11B-27.00212(14), F.A.C., from Oakland Police Department. The rule requires officers to requalify with a firearm every two years on a course of fire mandated by Commission rule and administered by Commission-certified firearms instructors. The petition supports the requested waiver by stating that the officers for whom the waiver is sought did successfully complete the course of fire, however, the instructors who supervised the mandatory shoots were not fully certified as a CJSTC firearms instructors at the time of the officers' requalifications. Petitioner states that the officers will suffer a substantial hardship if their certifications are rendered inactive as a result of this situation. Petitioner further states that it would violate the principles of fairness to fail to recognize that the officers affected by this situation did successfully complete the requirement simply because their instructors failed to comply with all administrative aspects of firearms instructor certification.

A copy of the Petition for Variance or Waiver may be obtained by contacting: Grace A. Jaye, Assistant General Counsel, Florida Department of Law Enforcement, P. O. Box 1489, Tallahassee, FL 32302.

Received SRWMD JUL 11 2011

WATER MANAGEMENT DISTRICTS

Original to File ERP 11-0109 Copies to

NOTICE IS HEREBY GIVEN that on June 21, 2011, the Suwannee River Water Management District, received a petition for variance from Sonja Graham, 997 S.W. Santa Fe Drive, Fort White, FL 32038, pursuant to Section 120.542, F.S. Petitioner is seeking variance from subsection 40B-4.3030(5), F.A.C., as to the area below the first floor of elevated building left clear and unobstructed except for piles and stairways. Petitioner proposes to construct a building with an enclosed lower floor +/- 2.5 feet below the 100-year flood elevation, in Columbia County, in Township 7 South, Range 15 East, Section 1. These rules are intended to set forth criteria for development activities within a Work of the District. The petition has been assigned ERP Number 11-0109, S. Graham District Floodway Project – Three Rivers Estates Lots 58 & 59.

A copy of the Petition for Variance or Waiver may be obtained by contacting: Robin Lamm, Business Resource Specialist, Suwannee River Water Management District, 9225 CR 49, Live Oak, FL 32060, (386)362-1001 or 1(800)226-1066 in Florida only.

NOTICE IS HEREBY GIVEN that on June 15, 2011, the St. Johns River Water Management District, received a petition for modification of a granted variance from the St. Augustine Airport Authority. On November 2, 2010, pursuant to Section 373.414(17), F.S., the airport was granted a variance from paragraph 40C-4.302(1)(c), F.A.C., and the associated portions of the Applicant's Handbook: Management and Storage of Surface Waters, including Sections 10.1.1(c), 12.1.1(d) and 12.2.5(c), with respect to Environmental Resource Permit Application 40-109-28307-40, to construct an Approach Lighting System in salt marsh at the end of Runway 13-31 in an area of 800 ft. by 35 ft. The Approach Lighting System is to

Exhibit B

SUWANNEE
RIVER
WATER
MANAGEMENT
DISTRICT
9225 CR 49
LIVE OAK, FLORIDA 32060
TELEPHONE: (386) 362-1001
TELEPHONE: 800-226-1066
FAX (386) 362-1056

GENERAL PERMIT

PERMITTEE:
SONJA GRAHAM
945 SILVERRIDGE CT.
ORANGE PARK, FL 32065

PERMIT NUMBER: ERP11-0109
DATE ISSUED: 09/26/2011
DATE EXPIRES: 09/26/2014
COUNTY: COLUMBIA
TRS: S1/T7S/R15E

PROJECT: S. GRAHAM DISTRICT FLOODWAY PROJECT & VARIANCE

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

SONJA GRAHAM
945 SILVERRIDGE CT.
ORANGE PARK, FL 32065

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

Construction of a single family residential garage adjacent to the Santa Fe River in Columbia County without the use of fill. The house will be located at least seventy five feet from the top of the river bank and elevated such that the bottom of the lowest horizontal structural member for the first habitable floor is at least one foot above the one hundred year flood elevation for this specific site. The garage will have two garage doors, one on each perpendicular wall to the flow of the river. The parallel side to the flow of the river will be walled.

All work will be completed pursuant to any granted variances and the conditions specified in District Rule 40B-4.3030, Florida Administrative Code, and in a manner consistent with the site plan and application package information signed and sealed on and before September 21, 2011.

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing or mediation. Please refer to enclosed notice of rights.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A general permit authorizes the construction, operation, maintenance, alteration, abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

Standard Conditions for All General Permits:

1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.

2. Water quality data representative of the water discharged from the permitted system, including, but not limited to, the parameters in chapter 62-302, F.A.C., shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Wastes" by the U.S. Environmental Protection Agency.

3. The operational and maintenance phase of an environmental resource permit will not become

effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.

4. Off-site discharges during and after construction shall be made only through the facilities authorized by the permit. Water discharged from the project shall be through structures suitable for regulating upstream stage if so required by the District. Such discharges may be subject to operating schedules established by the District.

5. The permit does not convey to the permittee any property right nor any rights or privileges other than those specified in the permit and chapter 40B-1, F.A.C.

6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.

7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.

8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.

9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.

10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.

11. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.

12. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.

13. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.

14. All activities shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit.

15. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications, shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.

16. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.

17. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site-specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

18. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or

permanently ceased, but in no case more than seven days after the construction activity in that portion of the site has temporarily or permanently ceased.

19. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District a Construction Commencement Notice Form No. 40B-1.901(14) indicating the actual start date and the expected completion date.

20. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an Annual Status Report Form No. 40B-1.901(15). These forms shall be submitted during June of each following year.

21. For those systems which will be operated or maintained by an entity requiring an easement or deed restriction in order to provide that entity with the authority necessary to operate or maintain the system, such easement or deed restriction, together with any other final operation or maintenance documents as are required by Paragraph 40B-4.2030(2)(g), F.A.C., and Rule 40B-4.2035, F.A.C., must be submitted to the District for approval. Documents meeting the requirements set forth in these subsections of District rules will be approved. Deed restrictions, easements and other operation and maintenance documents which require recordation either with the Secretary of State or Clerk of the Circuit Court must be so recorded prior to lot or unit sales within the project served by the system, or upon completion of construction of the system, whichever occurs first. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local governmental entity. Failure to submit the appropriate final documents referenced in this paragraph will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system.

22. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to a local government or other responsible entity.

23. Within 30 days after completion of construction of the permitted system, or independent portion of the system, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, using the supplied As-Built Certification Form No. 40B-1.901(16) incorporated by reference in Subsection 40B-1.901(16), F.A.C. When the completed system differs substantially from the permitted plans, any substantial deviations shall be noted and explained and two copies of as-built drawings submitted to the District. Submittal of the completed form shall serve to notify the District that the

system is ready for inspection. The statement of completion and certification shall be based on on-site observation of construction (conducted by the registered professional engineer, or other appropriate individual as authorized by law, or under his or her direct supervision) or review of as-built drawings for the purpose of determining if the work was completed in compliance with approved plans and specifications. As-built drawings shall be the permitted drawings revised to reflect any changes made during construction. Both the original and any revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor. The following information, at a minimum, shall be verified on the as-built drawings:

a. Dimensions and elevations of all discharge structures including all weirs, slots, gates, pumps, pipes, and oil and grease skimmers;

b. Locations, dimensions, and elevations of all filter, exfiltration, or underdrain systems including cleanouts, pipes, connections to control structures, and points of discharge to the receiving waters;

c. Dimensions, elevations, contours, or cross-sections of all treatment storage areas sufficient to determine stage-storage relationships of the storage area and the permanent pool depth and volume below the control elevation for normally wet systems, when appropriate;

d. Dimensions, elevations, contours, final grades, or cross-sections of the system to determine flow directions and conveyance of runoff to the treatment system;

e. Dimensions, elevations, contours, final grades, or cross-sections of all conveyance systems utilized to convey off-site runoff around the system;

f. Existing water elevation(s) and the date determined; and

g. Elevation and location of benchmark(s) for the survey.

24. The operation phase of this permit shall not become effective until the permittee has complied with the requirements of the condition in paragraph 23 above, the District determines the system to be in compliance with the permitted plans, and the entity approved by the District in accordance with Rule 40B-4.2035, F.A.C., accepts responsibility for operation and maintenance of the system. The permit may not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall request transfer of the permit to the approved responsible operation and maintenance operating entity if different from the permittee. Until the permit is transferred pursuant to Rule 40B-4.1130, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

25. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.

26. This permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and in this chapter and Chapter 40B-4, F.A.C.

27. The permittee is hereby advised that Section 253.77, F.S., states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

28. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered specifically approved unless a specific condition of this permit or a formal determination under 40B-400.046, F.A.C., provides otherwise.

29. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rule 40B-4.1130, F.A.C. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance or other transfer.

30. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the District.

31. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by _____ Date Approved 9/26/11
District Staff

_____ _____
Clerk Executive Director

SUWANNEE RIVER WATER MANAGEMENT DISTRICT

NOTICE OF RIGHTS

1. A person whose substantial interests are or may be determined has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District), or may choose to pursue mediation as an alternative remedy under Section 120.569 and 120.573, Florida Statutes, before the deadline for filing a petition. Choosing mediation will not adversely affect the right to a hearing if mediation does not result in a settlement. The procedures for pursuing mediation are set forth in Sections 120.569 and 120.57 Florida Statutes. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). A petition must comply with Chapter 28-106, Florida Administrative Code.

2. If the Governing Board takes action which substantially differs from the notice of District decision to grant or deny the permit application, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may chose to pursue mediation as an alternative remedy as described above. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). Such a petition must comply with Chapter 28-106, Florida Administrative Code.

3. A substantially interested person has the right to a formal administrative hearing pursuant to Section 120.569 and 120.57(1), Florida Statutes, where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, Florida Administrative Code.

4. A substantially interested person has the right to an informal hearing pursuant to Section 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.

5. A petition for an administrative hearing is deemed filed upon receipt of the petition by the Office of the District Clerk at the District Headquarters in Live Oak, Florida.

6. Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing pursuant to Rule 28-106.111, Florida Administrative Code.

7. The right to an administrative hearing and the relevant procedures to be followed is governed by Chapter 120, Florida Statutes, and Chapter 28-106, Florida Administrative Code.

8. Pursuant to Section 120.68, Florida Statutes, a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.

9. A party to the proceeding before the District who claims that a District order is inconsistent with the provisions and purposes of Chapter 373, Florida Statutes, may seek review of the order pursuant to Section 373.114, Florida Statutes, by the Florida Land and Water Adjudicatory Commission, by filing a request for review with the Commission and serving a copy of the Department of Environmental Protection and any person named in the order within 20 days of adoption of a rule or the rendering of the District order.

10. For appeals to the District Courts of Appeal, a District action is considered rendered after it is signed on behalf of the District, and is filed by the District Clerk.

11. Failure to observe the relevant time frames for filing a petition for judicial review, or for Commission review, will result in waiver of the right to review.

CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing Notice of Rights has been sent by U.S. Mail to:

SONJA GRAHAM
945 SILVERRIDGE CT.
ORANGE PARK, FL 32065

At 4:00 p.m. this 26 day of Sept, 2011.

Jon M. Dinges
Deputy Clerk
Suwannee River Water Management District
9225 C.R. 49
Live Oak, Florida 32060

386.362.1001 or 800.226.1066 (Florida only)

cc: File Number: ERP11-0109

COLUMBIA COUNTY BUILDING DEPARTMENT 6-25-09
RESIDENTIAL CHECK LIST REQUIRMENTS

MINIMUM PLAN REQUIREMENTS FOR THE FLORIDA BUILDING CODE RESIDENTIAL 2007 EFFECTIVE 1 MARCH 2009 & 2009 SUPPLEMENTS EFFECTIVE 1 MARCH 2009, ONE (1) AND TWO (2) FAMILY DWELLINGS with Supplements and Revision, OF THE NATIONAL ELECTRICAL 2008

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL EFFECTIVE 1 MARCH 2009 & 2009 SUPPLEMENTS EFFECTIVE 1 MARCH 2009. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind speed map) **SHALL BE USED.**

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE -------- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE --------110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL			Items to Include- Each Box shall be Circled as Applicable		
				Yes	**No**	**N/A**
1	Two (2) complete sets of plans containing the following:			✓		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void			✓		
3	Condition space (Sq. Ft.)	1410	Total (Sq. Ft.) under roof 2160	IIIIIII	IIIIIII	IIIII

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	✓		
5	Dimensions of all building set backs	✓		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	✓		
7	Provide a full legal description of property.	✓		

Wind-load Engineering Summary, calculations and any details required

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable		
8	**Plans or specifications must show compliance with FBCR Chapter 3**	IIIIII	IIIII	IIIIII
		YES	**NO**	**N/A**
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	✓		
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient, Components and Cladding			
13	The design wind pressure in terms of psf (kN/m²), to be used for the design of exterior component, cladding materials not specifally designed by the registered design professional.	✓		

Elevations Drawing including:

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys			
18	Location and size of skylights with Florida Product Approval			
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade	✓		
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBCR 613.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	✓		
25	Safety glazing of glass where needed			
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)			
27	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails	✓		
28	Identify accessibility of bathroom (see FBCR SECTION 322)	✓		

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable

FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	✓		
30	All posts and/or column footing including size and reinforcing	✓		
31	Any special support required by soil analysis such as piling.	✓		
32	Assumed load-bearing valve of soil 2500 Pound Per Square Foot	✓		
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type) **For** structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	✓		

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	✓		
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	✓		

FBCR 320: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Sub mit other approved termite protection methods. **Protection shall be provided by registered termiticides**			

FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type	✓		
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	✓		

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer			
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or priers			
41	Girder type, size and spacing to load bearing walls, stem wall and/or priers	✓		
42	Attachment of joist to girder	✓		
43	Wind load requirements where applicable	✓		
44	Show required under-floor crawl space			

45	Show required amount of ventilation opening for under-floor spaces			
46	Show required covering of ventilation opening			
47	Show the required access opening to access to under-floor spaces			
48	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & inter of the areas structural panel sheathing			
49	Show Draftstopping, Fire caulking and Fire blocking			
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309	✓		
51	Provide live and dead load rating of floor framing systems (psf).	✓		

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls			
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown			
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing			
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems			
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)			
57	Indicate where pressure treated wood will be placed			
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas			
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail			

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses			
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer			
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters			
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details			
64	Provide dead load rating of trusses			

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing			
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating			
67	Valley framing and support details			
68	Provide dead load rating of rafter system			

FBCR Table 602,3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness			
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas			

FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assembles covering			
72	Submit Florida Product Approval numbers for each component of the roof assembles covering			

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter11 Residential buildings compliance methods. **Two of the required forms are to be submitted**, *N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.*

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable		
		YES	**NO**	**N/A**
73	Show the insulation R value for the following areas of the structure			
74	Attic space			
75	Exterior wall cavity			
76	Crawl space			

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study			
78	Exhaust fans shown in bathrooms **Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required**			
79	Show clothes dryer route and total run of exhaust duct			

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan			
81	Show the location of water heater			

Private Potable Water

82	Pump motor horse power			
83	Reservoir pressure tank gallon capacity			
84	Rating of cycle stop valve if used			

Electrical layout shown including

85	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans			
86	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by **Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A**			
87	Show the location of smoke detectors & Carbon monoxide detectors			
88	Show service panel, sub-panel, location(s) and total ampere ratings			
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type. **For structures** with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3			
90	Appliances and HVAC equipment and disconnects			
91	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed **Combination arc-fault circuit interrupter,** Protection device.			

Disclosure Statement for Owner Builders *If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	**Building Permit Application** A current Building Permit Application form is to be completed and submitted for all residential projects	✓		
93	**Parcel Number** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested	✓		
94	**Environmental Health Permit or Sewer Tap Approval** A copy of a approved Columbia County Environmental Health (386) 758-1058			
95	**City of Lake City** A permit showing an approved waste water sewer tap			
96	**Toilet facilities shall be provided for all construction sites**			
97	**Town of Fort White** (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			

98	**Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations		✓	
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established			
100	A development permit will also be required. Development permit cost is **$50.00**			
101	**Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (**$25.00**) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (**$50.00**). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.			
102	**911 Address:** If the project is located in an area where a 911 address has not been issued, then application for a 911address must be applied for and **received** through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125		✓	

Section R101.2.1 of the Florida Building Code Residential:

The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date if issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department

Columbia County, Florida
Planning & Zoning Department

Review of Building Permit for compliance with County's Comprehensive Plan and Land Development Regulations

2 December 2011

Sonya Graham
997 Southwest Santa Fe Drive
Ft, White, FL 32038

RE: Building Permit for a Detached Garage, Application #1110-22

Dear Ms. Graham:

The property for the above referenced application for a detached garage is located within the regulatory flood way of a 100 year flood zone (Zone AE) in accordance with the Flood Insurance Rate Maps (FIRM) for Columbia County with an effective date of 4 February 2009. The submitted plans do not meet the requirements of Section 8.5.2.3, Section 8.5.2.3(a)(3) and Section 8.5.2.3(c), Flood Damage Prevention Regulations of the County's Land Development Regulations (LDR's). The plans will have to be revised to meet those requirements or a variance will have to be obtained from the County. I have enclosed a copy of Section 8.5.2.3 with the highlighted requirements and a variance application. There is no fee for this type of variance and it requires approval by the Board of County Commissioners. If you wish to proceed with the variance, please submit it along with any and all pertinent information that you believe will help the Board approve the request. Several items that were submitted with the building permit application we can copy and attach for this variance application. I understand that you have received a variance from the Suwannee River Water Management District concerning the resource permit that they require under Florida Administrative Code, Chapter 40B. That information is requested should you decide to apply for a variance.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.754.7119.

Sincerely,

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

Enclosure

ARTICLE 8. FLOOD PREVENTION DAMAGE REGULATIONS

8.5.2 SPECIFIC STANDARDS In all A-Zones where base flood elevation data have been provided (Zones AE, A1–30, and AH), as set forth in Section 8.3.2, the following provisions shall apply:

1. *Residential Construction.* All new construction or substantial improvement of any residential building (including manufactured home) shall have the lowest floor, including basement, elevated to no lower than one foot above the base flood elevation. Should solid foundation perimeter walls be used to elevate a structure, openings sufficient to facilitate automatic equalization of flood hydrostatic forces on both sides of the exterior walls shall be provided in accordance with standards of Section 8.5.2.3.

2. *Non-Residential Construction.* All new construction or substantial improvement of any commercial, industrial, or non-residential building (including manufactured home) shall have the lowest floor, including basement, elevated to no lower than one foot above the base flood elevation. All buildings located in A-Zones may be flood-proofed, in lieu of being elevated, provided that all areas of the building components below the base flood elevation plus one foot are water tight with walls substantially impermeable to the passage of water, and use structural components having the capability of resisting hydrostatic and hydrodynamic loads and the effects of buoyancy. A registered professional engineer or architect shall certify that the standards of this subsection are satisfied using the FEMA Floodproofing Certificate. Such certification along with the corresponding engineering data, and the operational and maintenance plans shall be provided to the Floodplain Administrator.

3. *Elevated Buildings.* New construction or substantial improvements of elevated buildings that include fully enclosed areas formed by foundation and other exterior walls below the lowest floor elevation shall be designed to preclude finished living space and designed to allow for the entry and exit of floodwaters to automatically equalize hydrostatic flood forces on exterior walls.

    a. Designs for complying with this requirement must either be certified by a professional engineer or architect or meet the following minimum criteria:

        1. Provide a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding;

2. The bottom of all openings shall be no higher than one foot above foundation adjacent interior grade (which must be equal to or higher in elevation than the adjacent exterior grade); and

3. Openings may be equipped with screens, louvers, valves, or other coverings or devices provided they provide the required net area of the openings and permit the automatic flow of floodwaters in both directions.

b. Fully enclosed areas below the lowest floor shall solely be used for parking of vehicles, storage, and building access. Access to the enclosed area shall be minimum necessary to allow for parking of vehicles (garage door), limited storage of maintenance equipment used in connection with the premises (standard exterior door), or entry to the living area (stairway or elevator); and

c. The interior portion of such enclosed area shall not be finished or partitioned into separate rooms.

Sonya Graham

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 84

The lower the EnergyPerformance Index, the more efficient the home.

, Ft. White, FL,

1. New construction or existing		New (From Plans)
2. Single family or multiple family		Single-family
3. Number of units, if multiple family		1
4. Number of Bedrooms		1
5. Is this a worst case?		No
6. Conditioned floor area (ft²)		1080
7. Windows**	Description	Area
a. U-Factor: SHGC:	Sgl, U=0.55 SHGC=0.60	115.00 ft²
b. U-Factor: SHGC:	N/A	ft²
c. U-Factor: SHGC:	N/A	ft²
d. U-Factor: SHGC:	N/A	ft²
e. U-Factor: SHGC:	N/A	ft²

8. Floor Types	Insulation	Area
a. Slab-On-Grade Edge Insulation	R=0.0	1080.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

9. Wall Types	Insulation	Area
a. Frame - Wood, Exterior	R=13.0	1056.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²
d. N/A	R=	ft²

10. Ceiling Types	Insulation	Area
a. Under Attic (Vented)	R=30.0	1080.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

11. Ducts
a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 216 ft²

12. Cooling systems
a. Central Unit — Cap: 24.0 kBtu/hr SEER: 13

13. Heating systems
a. Electric Heat Pump — Cap: 24.0 kBtu/hr HSPF: 7.7

14. Hot water systems
a. Electric — Cap: 40 gallons EF: 0.92

b. Conservation features
None

15. Credits — Pstat

COLUMBIA COUNTY BUILDING DEPARTMENT Received for FILE COPY Code Compliance PLANS EXAMINER

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

GREAT SEAL OF THE STATE OF FLORIDA IN GOD WE TRUST

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____

*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at energygauge.com for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the Department of Community Affairs at (850) 487-1824.

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

FORM 1100A-08

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

Project Name:	Two Story Residence	Builder Name:	
Street:		Permit Office:	
City, State, Zip:	Ft. White , FL ,	Permit Number:	
Owner:		Jurisdiction:	
Design Location:	FL, Gainesville		

1. New construction or existing	New (From Plans)
2. Single family or multiple family	Single-family
3. Number of units, if multiple family	1
4. Number of Bedrooms	1
5. Is this a worst case?	No
6. Conditioned floor area (ft²)	1080

7. Windows

	Description	Area
a. U-Factor: SHGC:	Sgl, U=0.55 SHGC=0.60	115.00 ft²
b. U-Factor: SHGC:	N/A	ft²
c. U-Factor: SHGC:	N/A	ft²
d. U-Factor: SHGC:	N/A	ft²
e. U-Factor: SHGC:	N/A	ft²

8. Floor Types

	Insulation	Area
a. Slab-On-Grade Edge Insulation	R=0.0	1080.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

9. Wall Types

	Insulation	Area
a. Frame - Wood, Exterior	R=13.0	1056.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²
d. N/A	R=	ft²

10. Ceiling Types

	Insulation	Area
a. Under Attic (Vented)	R=30.0	1080.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

11. Ducts

a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 216 ft²

12. Cooling systems

a. Central Unit — Cap: 24.0 kBtu/hr SEER: 13

13. Heating systems

a. Electric Heat Pump — Cap: 24.0 kBtu/hr HSPF: 7.7

14. Hot water systems

a. Electric — Cap: 40 gallons EF: 0.92

b. Conservation features
None

15. Credits — Pstat

Glass/Floor Area: 0.106

Total As-Built Modified Loads: 20.29

Total Baseline Loads: 24.28

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: _____

DATE: 10-31-11

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: _____

DATE: _____

- **Compliance requires certification by the air handler unit manufacturer that the air handler enclosure qualifies as certified factory-sealed in accordance with N1110.A.3.**

PROJECT

Title:	Two Story Residence	Bedrooms:	1	Adress Type:	Street Address
Building Type:	FLAsBuilt	Conditioned Area:	1080	Lot #	
Owner:		Total Stories:	2	SubDivision:	
# of Units:	1	Worst Case:	No	PlatBook:	
Builder Name:		Rotate Angle:	0	Street:	
Permit Office:		Cross Ventilation:		County:	Columbia
Jurisdiction:		Whole House Fan:		City, State, Zip:	Ft. White , FL ,
Family Type:	Single-family				
New/Existing:	New (From Plans)				
Comment:					

CLIMATE

√	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
_____	FL, Gainesville	FL_GAINESVILLE_REGI	2	32	92	75	70	1305.5	51	Medium

FLOORS

√	#	Floor Type	Perimeter	R-Value	Area	Tile	Wood	Carpet
_____	1	Slab-On-Grade Edge Insulatio	132 ft	0	1080 ft²	0.3	0.3	0.4

ROOF

√	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
_____	1	Hip	Composition shingles	1138 ft²	0 ft²	Medium	0.96	No	0	18.4 deg

ATTIC

√	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
_____	1	Full attic	Vented	300	1080 ft²	N	N

CEILING

√	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
_____	1	Under Attic (Vented)	30	1080 ft²	0.11	Wood

WALLS

√	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
_____	1	N	Exterior	Frame - Wood	13	240 ft²		0.23	0.75
_____	2	S	Exterior	Frame - Wood	13	240 ft²		0.23	0.75
_____	3	E	Exterior	Frame - Wood	13	288 ft²		0.23	0.75
_____	4	W	Exterior	Frame - Wood	13	288 ft²		0.23	0.75

DOORS

√	#	Ornt	Door Type	Storms	U-Value	Area
____	1	S	Wood	None	0.460000	18 ft²

WINDOWS

Orientation shown is the entered, asBuilt orientation.

√	#	Ornt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang Depth	Overhang Separation	Int Shade	Screening
____	1	N	Metal	Single (Clear)	Yes	0.55	0.6	N	16 ft²	1 ft 6 in	1 ft 6 in	HERS 2006	None
____	2	N	Metal	Single (Clear)	Yes	0.55	0.6	N	9 ft²	1 ft 6 in	1 ft 6 in	HERS 2006	None
____	3	S	Metal	Single (Clear)	Yes	0.55	0.6	N	30 ft²	1 ft 6 in	1 ft 6 in	HERS 2006	None
____	4	E	Metal	Single (Clear)	Yes	0.55	0.6	N	30 ft²	1 ft 6 in	1 ft 6 in	HERS 2006	None
____	5	W	Metal	Single (Clear)	Yes	0.55	0.6	N	30 ft²	1 ft 6 in	1 ft 6 in	HERS 2006	None

INFILTRATION & VENTING

√	Method	SLA	CFM 50	ACH 50	ELA	EqLA	---- Forced Ventilation ---- Supply CFM	Exhaust CFM	Run Time Fraction	Fan Watts
____	Default	0.00036	1020	7.08	56.0	105.3	0 cfm	0 cfm	0	0

GARAGE

√	#	Floor Area	Ceiling Area	Exposed Wall Perimeter	Avg. Wall Height	Exposed Wall Insulation
____	1	1080 ft²	1080 ft²	132 ft	8 ft	(invalid)

COOLING SYSTEM

√	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Ducts
____	1	Central Unit	None	SEER: 13	24 kBtu/hr	720 cfm	0.75	sys#1

HEATING SYSTEM

√	#	System Type	Subtype	Efficiency	Capacity	Ducts
____	1	Electric Heat Pump	None	HSPF: 7.7	24 kBtu/hr	sys#1

HOT WATER SYSTEM

√	#	System Type	EF	Cap	Use	SetPnt	Conservation
____	1	Electric	0.92	40 gal	40 gal	120 deg	None

SOLAR HOT WATER SYSTEM

√	FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
____	None	None			ft²		

DUCTS

✓	#	---- Supply ---- Location	R-Value	Area	---- Return ---- Location	Area	Leakage Type	Air Handler	CFM 25	Percent Leakage	QN	RLF
_____	1	Attic	6	216 ft²	Attic	54 ft²	Default Leakage	Interior	(Default)	(Default) %		

TEMPERATURES

Programable Thermostat: Y

Ceiling Fans:

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Cooling	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]
Heating	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]
Venting	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]

Thermostat Schedule: HERS 2006 Reference

Schedule Type		Hours 1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	80	80	80	80
	PM	80	80	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66
Heating (WEH)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66

FORM 1100A-08

Code Compliance Cheklist

Residential Whole Building Performance Method A - Details

ADDRESS:	PERMIT #:
Ft. White, FL,	

INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2.3	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N112.ABC.3. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

Residential System Sizing Calculation

Summary

Project Title:
Two Story Residence

Ft. White, FL

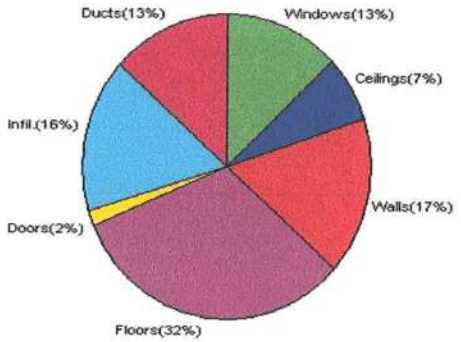
10/31/2011

Location for weather data: Gainesville, FL - Defaults: Latitude(29.7) Altitude(152 ft.) Temp Range(M) Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(54gr.)					
Winter design temperature(MJ8 99%)	33	F	Summer design temperature(MJ8 99%)	92	F
Winter setpoint	70	F	Summer setpoint	75	F
Winter temperature difference	37	F	Summer temperature difference	17	F
Total heating load calculation	**18057**	**Btuh**	**Total cooling load calculation**	**15788**	**Btuh**
Submitted heating capacity	% of calc	Btuh	Submitted cooling capacity	% of calc	Btuh
Total (Electric Heat Pump)	132.9	24000	Sensible (SHR = 0.75)	142.3	18000
Heat Pump + Auxiliary(0.0kW)	132.9	24000	Latent	190.9	6000
			Total (Electric Heat Pump)	152.0	24000

WINTER CALCULATIONS

Winter Heating Load (for 1080 sqft)

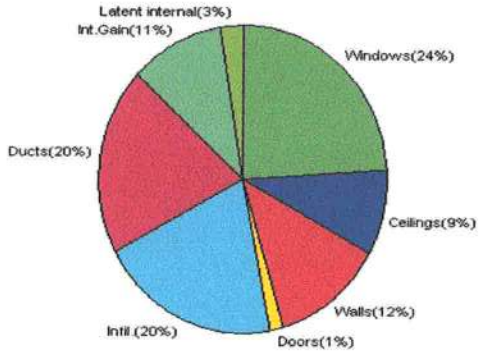
Load component			Load	
Window total	115	sqft	2340	Btuh
Wall total	923	sqft	3031	Btuh
Door total	18	sqft	306	Btuh
Ceiling total	1080	sqft	1273	Btuh
Floor total	1080	sqft	5763	Btuh
Infiltration	72	cfm	2916	Btuh
Duct loss			2427	Btuh
Subtotal			**18057**	**Btuh**
Ventilation	0	cfm	0	Btuh
TOTAL HEAT LOSS			**18057**	**Btuh**



SUMMER CALCULATIONS

Summer Cooling Load (for 1080 sqft)

Load component			Load	
Window total	115	sqft	3785	Btuh
Wall total	923	sqft	1925	Btuh
Door total	18	sqft	232	Btuh
Ceiling total	1080	sqft	1445	Btuh
Floor total			0	Btuh
Infiltration	58	cfm	1072	Btuh
Internal gain			1660	Btuh
Duct gain			2527	Btuh
Sens. Ventilation	0	cfm	0	Btuh
Blower Load			0	Btuh
Total sensible gain			**12645**	**Btuh**
Latent gain(ducts)			638	Btuh
Latent gain(infiltration)			2105	Btuh
Latent gain(ventilation)			0	Btuh
Latent gain(internal/occupants/other)			400	Btuh
Total latent gain			**3143**	**Btuh**
TOTAL HEAT GAIN			**15788**	**Btuh**



8th Edition

EnergyGauge® System Sizing
PREPARED BY: Collecia A Mathis
DATE: 10-31-11

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

Project Title:
Two Story Residence
Building Type: User

Ft. White, FL

10/31/2011

Reference City: Gainesville, FL (Defaults) Winter Temperature Difference: 37.0 F (MJ8 99%)

Component Loads for Whole House

Window	Panes/Type	Frame	U	Orientation	Area(sqft) X	HTM=	Load
1	1, NFRC 0.60	Metal	0.55	N	16.0	20.4	326 Btuh
2	1, NFRC 0.60	Metal	0.55	N	9.0	20.4	183 Btuh
3	1, NFRC 0.60	Metal	0.55	S	30.0	20.4	610 Btuh
4	1, NFRC 0.60	Metal	0.55	E	30.0	20.4	610 Btuh
5	1, NFRC 0.60	Metal	0.55	W	30.0	20.4	610 Btuh
	Window Total				115.0(sqft)		2340 Btuh
Walls	Type	Ornt.	Ueff.	R-Value (Cav/Sh)	Area X	HTM=	Load
1	Frame - Wood	- Ext	(0.089)	13.0/0.0	215	3.28	706 Btuh
2	Frame - Wood	- Ext	(0.089)	13.0/0.0	192	3.28	631 Btuh
3	Frame - Wood	- Ext	(0.089)	13.0/0.0	258	3.28	847 Btuh
4	Frame - Wood	- Ext	(0.089)	13.0/0.0	258	3.28	847 Btuh
	Wall Total				923(sqft)		3031 Btuh
Doors	Type	Storm	Ueff.		Area X	HTM=	Load
1	Wood - Exterior,	n	(0.460)		18	17.0	306 Btuh
	Door Total				18(sqft)		306Btuh
Ceilings	Type/Color/Surface		Ueff.	R-Value	Area X	HTM=	Load
1	Vented Attic/L/Shing		(0.032)	30.0/0.0	1080	1.2	1273 Btuh
	Ceiling Total				1080(sqft)		1273Btuh
Floors	Type		Ueff.	R-Value	Size X	HTM=	Load
1	Slab On Grade		(1.180)	0.0	132.0 ft(perim.)	43.7	5763 Btuh
	Floor Total				1080 sqft		5763 Btuh
					Envelope Subtotal:		12714 Btuh
Infiltration	Type			ACH	Volume(cuft)	Wall Ratio	CFM=
	Natural			0.50	8640	1.00	72.0	2916 Btuh
Duct load	Average sealed, R6.0, Supply(Att), Return(Att)					(DLM of 0.155)	2427 Btuh
All Zones					**Sensible Subtotal All Zones**		**18057 Btuh**

Manual J Winter Calculations

Residential Load - Component Details (continued)

Project Title:
Two Story Residence
Building Type: User

Ft. White, FL

10/31/2011

WHOLE HOUSE TOTALS

Totals for Heating	Subtotal Sensible Heat Loss Ventilation Sensible Heat Loss Total Heat Loss	18057 Btuh 0 Btuh 18057 Btuh

EQUIPMENT

1. Electric Heat Pump	#	24000 Btuh

Key: Window types - NFRC (Requires U-Factor and Shading coefficient(SHGC) of glass as numerical values)
or - Glass as 'Clear' or 'Tint' (Uses U-Factor and SHGC defaults)
U - (Window U-Factor)
HTM - (ManualJ Heat Transfer Multiplier)

Version 8

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

Project Title:
Two Story Residence

Ft. White, FL

10/31/2011

Reference City: Gainesville, FL Temperature Difference: 17.0F(MJ8 99%) Humidity difference: 54gr.

Component Loads for Whole House

	Type*						Overhang		Window Area(sqft)			HTM		Load
Window	Panes	SHGC	U	InSh	IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded	
1	1 NFRC	0.60, 0.55		B-L	No	N	1.5ft.	1.5ft.	16.0	0.0	16.0	16	16	249 Btuh
2	1 NFRC	0.60, 0.55		B-L	No	N	1.5ft.	1.5ft.	9.0	0.0	9.0	16	16	140 Btuh
3	1 NFRC	0.60, 0.55		B-L	No	S	1.5ft.	1.5ft.	30.0	30.0	0.0	16	20	466 Btuh
4	1 NFRC	0.60, 0.55		B-L	No	E	1.5ft.	1.5ft.	30.0	0.0	30.0	16	49	1465 Btuh
5	1 NFRC	0.60, 0.55		B-L	No	W	1.5ft.	1.5ft.	30.0	0.0	30.0	16	49	1465 Btuh
	Window Total								115 (sqft)					3785 Btuh

Walls	Type	U-Value	R-Value Cav/Sheath	Area(sqft)	HTM	Load
1	Frame - Wood - Ext	0.09	13.0/0.0	215.0	2.1	448 Btuh
2	Frame - Wood - Ext	0.09	13.0/0.0	192.0	2.1	400 Btuh
3	Frame - Wood - Ext	0.09	13.0/0.0	258.0	2.1	538 Btuh
4	Frame - Wood - Ext	0.09	13.0/0.0	258.0	2.1	538 Btuh
	Wall Total			923 (sqft)		1925 Btuh

Doors	Type	Area (sqft)	HTM	Load
1	Wood - Exterior	18.0	12.9	232 Btuh
	Door Total	18 (sqft)		232 Btuh

Ceilings	Type/Color/Surface	U-Value	R-Value	Area(sqft)	HTM	Load
1	Vented Attic/Light/Shingle	0.032	30.0/0.0	1080.0	1.34	1445 Btuh
	Ceiling Total			1080 (sqft)		1445 Btuh

Floors	Type	R-Value	Size	HTM	Load
1	Slab On Grade	0.0	1080 (ft-perimeter)	0.0	0 Btuh
	Floor Total		1080.0 (sqft)		0 Btuh

	Envelope Subtotal:	7386 Btuh

Infiltration	Type	ACH	Volume(cuft)	Wall Ratio	CFM=	Load
	SensibleNatural	0.40	8640	923	72.0	1072 Btuh

Internal gain	Occupants	Btuh/occupant		Appliance	Load
	2	X 230	+	1200	1660 Btuh

	Sensible Envelope Load:	10118 Btuh
Duct load	Average sealed, Supply(R6.0-Attic), Return(R6.0-Attic) (DGM of 0.250)	2527 Btuh
	Sensible Load All Zones	**12645 Btuh**

Manual J Summer Calculations

Residential Load - Component Details (continued)

Project Title: Climate:FL_GAINESVILLE_REGIONAL_A
Two Story Residence

Ft. White, FL

10/31/2011

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	**Sensible Envelope Load All Zones**	**10118 Btuh**
	Sensible Duct Load	2527 Btuh
	Total Sensible Zone Loads	**12645 Btuh**
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	**12645 Btuh**
	Latent infiltration gain (for 54 gr. humidity difference)	2105 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	638 Btuh
	Latent occupant gain (2 people @ 200 Btuh per person)	400 Btuh
	Latent other gain	0 Btuh
	Latent total gain	**3143 Btuh**
	TOTAL GAIN	**15788 Btuh**

EQUIPMENT

1. Central Unit	#	24000 Btuh

*Key: Window types (Panes - Number and type of panes of glass)
(SHGC - Shading coefficient of glass as SHGC numerical value)
(U - Window U-Factor)
(InSh - Interior shading device: none(No), Blinds(B), Draperies(D) or Roller Shades(R))
- For Blinds: Assume medium color, half closed
For Draperies: Assume medium weave, half closed
For Roller shades: Assume translucent, half closed
(IS - Insect screen: none(N), Full(F) or Half(½))
(Ornt - compass orientation)

Version 8

App # 1110-22

STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 12-0146

GRAHAM

PART II - SITEPLAN

Scale: 1 inch = 40 feet.

SEE ATTACHED

Notes: _____

Site Plan submitted by: _____ MASTER CONTRACTOR

Plan Approved ✓ Not Approved ____ Date 3-2012

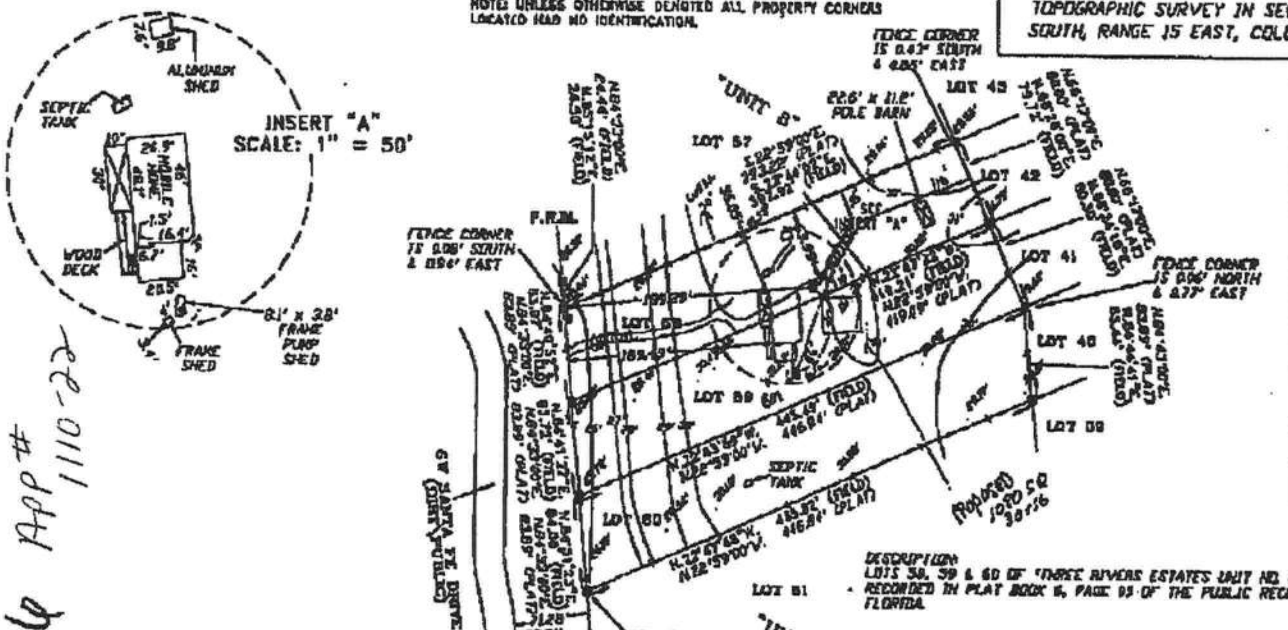
By Sallie Lord Env Health Director · Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

12-0146 App # 1110-22

NOTE: UNLESS OTHERWISE DENOTED ALL PROPERTY CORNERS LOCATED HAD NO IDENTIFICATION.

TOPOGRAPHIC SURVEY IN SECTION 26, TOWNSHIP 6 SOUTH, RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA.



SCALE: 1" = 100'

GRAPHIC SCALE

SYMBOL LEGEND:

P.R.M. PERMANENT REFERENCE MARKER

P.C.P. PERMANENT CONTROL POINT

DESCRIPTION:
LOTS 58, 59 & 60 OF "THREE RIVERS ESTATES UNIT NO. 8" AS PER THE PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 95 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SURVEYOR'S NOTES:
1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
2. BEARINGS ARE BASED ON SAID PLAT OF RECORD.
3. THIS PARCEL IS IN THE FLOODWAY OF ZONE "AE" AND IS SUBJECT TO FLOODING. A BASE FLOOD ELEVATION IS ESTABLISHED TO BE 32.6 FEET AS PER FLOOD INSURANCE RATE MAP, DATED 4 FEBRUARY, 2009 FIRM PANEL NO. 12023C 0467C. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
7. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
9. THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

Rocky D 7-0

MAR 1 2 2012

CERTIFIED TO:
SONYA GRAHAM

FIELD BOOK: SEE PAGES: F.R.C.

SURVEYOR'S CERTIFICATION

04/13/11 FIELD SURVEY DATE
04/19/11 DRAWING DATE

BRITT SURVEYING & ASSOCIATES, INC.
LAND SURVEYORS AND MAPPERS, L.B. # 7593
WORK ORDER # L-20858

Sonya Graham

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 84

The lower the EnergyPerformance Index, the more efficient the home.

, Ft. White, FL,

1. New construction or existing		New (From Plans)
2. Single family or multiple family		Single-family
3. Number of units, if multiple family		1
4. Number of Bedrooms		1
5. Is this a worst case?		No
6. Conditioned floor area (ft²)		1080
7. Windows**	Description	Area
a. U-Factor: SHGC:	Sgl, U=0.55 SHGC=0.60	115.00 ft²
b. U-Factor: SHGC:	N/A	ft²
c. U-Factor: SHGC:	N/A	ft²
d. U-Factor: SHGC:	N/A	ft²
e. U-Factor: SHGC:	N/A	ft²

8. Floor Types	Insulation	Area
a. Slab-On-Grade Edge Insulation	R=0.0	1080.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

9. Wall Types	Insulation	Area
a. Frame - Wood, Exterior	R=13.0	1056.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²
d. N/A	R=	ft²

10. Ceiling Types	Insulation	Area
a. Under Attic (Vented)	R=30.0	1080.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

11. Ducts
a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 216 ft²

12. Cooling systems
a. Central Unit — Cap: 24.0 kBtu/hr SEER: 13

13. Heating systems
a. Electric Heat Pump — Cap: 24.0 kBtu/hr HSPF: 7.7

14. Hot water systems
a. Electric — Cap: 40 gallons EF: 0.92

b. Conservation features
None

15. Credits — Pstat

COLUMBIA COUNTY BUILDING DEPARTMENT
REVIEWED FOR
FIELD COPY
CODE COMPLIANCE
PLANS EXAMINER

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

GREAT SEAL OF THE STATE OF FLORIDA
IN GOD WE TRUST

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____

*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at energygauge.com for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the Department of Community Affairs at (850) 487-1824.

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

FORM 1100A-08

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

Project Name:	Two Story Residence	Builder Name:	
Street:		Permit Office:	
City, State, Zip:	Ft. White , FL ,	Permit Number:	
Owner:		Jurisdiction:	
Design Location:	FL, Gainesville		

1. New construction or existing	New (From Plans)
2. Single family or multiple family	Single-family
3. Number of units, if multiple family	1
4. Number of Bedrooms	1
5. Is this a worst case?	No
6. Conditioned floor area (ft²)	1080

7. Windows	Description	Area
a. U-Factor:	Sgl, U=0.55	115.00 ft²
SHGC:	SHGC=0.60	
b. U-Factor:	N/A	ft²
SHGC:		
c. U-Factor:	N/A	ft²
SHGC:		
d. U-Factor:	N/A	ft²
SHGC:		
e. U-Factor:	N/A	ft²
SHGC:		

8. Floor Types	Insulation	Area
a. Slab-On-Grade Edge Insulation	R=0.0	1080.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

9. Wall Types	Insulation	Area
a. Frame - Wood, Exterior	R=13.0	1056.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²
d. N/A	R=	ft²

10. Ceiling Types	Insulation	Area
a. Under Attic (Vented)	R=30.0	1080.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

11. Ducts
a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 216 ft²

12. Cooling systems
a. Central Unit — Cap: 24.0 kBtu/hr, SEER: 13

13. Heating systems
a. Electric Heat Pump — Cap: 24.0 kBtu/hr, HSPF: 7.7

14. Hot water systems
a. Electric — Cap: 40 gallons, EF: 0.92
b. Conservation features
None

15. Credits — Pstat

Glass/Floor Area: 0.106

Total As-Built Modified Loads: 20.29
Total Baseline Loads: 24.28

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: _____
DATE: 10-31-11

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____
DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: _____
DATE: _____

- **Compliance requires certification by the air handler unit manufacturer that the air handler enclosure qualifies as certified factory-sealed in accordance with N1110.A.3.**

PROJECT

Title:	Two Story Residence	Bedrooms:	1	Adress Type:	Street Address
Building Type:	FLAsBuilt	Conditioned Area:	1080	Lot #	
Owner:		Total Stories:	2	SubDivision:	
# of Units:	1	Worst Case:	No	PlatBook:	
Builder Name:		Rotate Angle:	0	Street:	
Permit Office:		Cross Ventilation:		County:	Columbia
Jurisdiction:		Whole House Fan:		City, State, Zip:	Ft. White , FL ,
Family Type:	Single-family				
New/Existing:	New (From Plans)				
Comment:					

CLIMATE

√	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
_____	FL, Gainesville	FL_GAINESVILLE_REGI	2	32	92	75	70	1305.5	51	Medium

FLOORS

√	#	Floor Type	Perimeter	R-Value	Area	Tile	Wood	Carpet
_____	1	Slab-On-Grade Edge Insulatio	132 ft	0	1080 ft²	0.3	0.3	0.4

ROOF

√	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
_____	1	Hip	Composition shingles	1138 ft²	0 ft²	Medium	0.96	No	0	18.4 deg

ATTIC

√	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
_____	1	Full attic	Vented	300	1080 ft²	N	N

CEILING

√	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
_____	1	Under Attic (Vented)	30	1080 ft²	0.11	Wood

WALLS

√	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
_____	1	N	Exterior	Frame - Wood	13	240 ft²		0.23	0.75
_____	2	S	Exterior	Frame - Wood	13	240 ft²		0.23	0.75
_____	3	E	Exterior	Frame - Wood	13	288 ft²		0.23	0.75
_____	4	W	Exterior	Frame - Wood	13	288 ft²		0.23	0.75

DOORS

√	#	Ornt	Door Type	Storms	U-Value	Area
_____	1	S	Wood	None	0.460000	18 ft²

WINDOWS

Orientation shown is the entered, asBuilt orientation.

√	#	Ornt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang Depth	Overhang Separation	Int Shade	Screening
_____	1	N	Metal	Single (Clear)	Yes	0.55	0.6	N	16 ft²	1 ft 6 in	1 ft 6 in	HERS 2006	None
_____	2	N	Metal	Single (Clear)	Yes	0.55	0.6	N	9 ft²	1 ft 6 in	1 ft 6 in	HERS 2006	None
_____	3	S	Metal	Single (Clear)	Yes	0.55	0.6	N	30 ft²	1 ft 6 in	1 ft 6 in	HERS 2006	None
_____	4	E	Metal	Single (Clear)	Yes	0.55	0.6	N	30 ft²	1 ft 6 in	1 ft 6 in	HERS 2006	None
_____	5	W	Metal	Single (Clear)	Yes	0.55	0.6	N	30 ft²	1 ft 6 in	1 ft 6 in	HERS 2006	None

INFILTRATION & VENTING

√	Method	SLA	CFM 50	ACH 50	ELA	EqLA	---- Forced Ventilation ---- Supply CFM	Exhaust CFM	Run Time Fraction	Fan Watts
_____	Default	0.00036	1020	7.08	56.0	105.3	0 cfm	0 cfm	0	0

GARAGE

√	#	Floor Area	Ceiling Area	Exposed Wall Perimeter	Avg. Wall Height	Exposed Wall Insulation
_____	1	1080 ft²	1080 ft²	132 ft	8 ft	(invalid)

COOLING SYSTEM

√	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Ducts
_____	1	Central Unit	None	SEER: 13	24 kBtu/hr	720 cfm	0.75	sys#1

HEATING SYSTEM

√	#	System Type	Subtype	Efficiency	Capacity	Ducts
_____	1	Electric Heat Pump	None	HSPF: 7.7	24 kBtu/hr	sys#1

HOT WATER SYSTEM

√	#	System Type	EF	Cap	Use	SetPnt	Conservation
_____	1	Electric	0.92	40 gal	40 gal	120 deg	None

SOLAR HOT WATER SYSTEM

√	FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
_____	None	None			ft²		

DUCTS

√	#	---- Supply ---- Location	R-Value	Area	---- Return ---- Location	Area	Leakage Type	Air Handler	CFM 25	Percent Leakage	QN	RLF
_____	1	Attic	6	216 ft²	Attic	54 ft²	Default Leakage	Interior	(Default)	(Default) %		

TEMPERATURES

Programable Thermostat: Y

Ceiling Fans:

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Cooling	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]
Heating	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]
Venting	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]

Thermostat Schedule: HERS 2006 Reference

Schedule Type		Hours 1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	80	80	80	80
	PM	80	80	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66
Heating (WEH)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66

FORM 1100A-08

Code Compliance Cheklist

Residential Whole Building Performance Method A - Details

ADDRESS:	PERMIT #:
Ft. White, FL,	

INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2.3	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N112.ABC.3. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

Residential System Sizing Calculation

Summary

Project Title:
Two Story Residence

Ft. White, FL

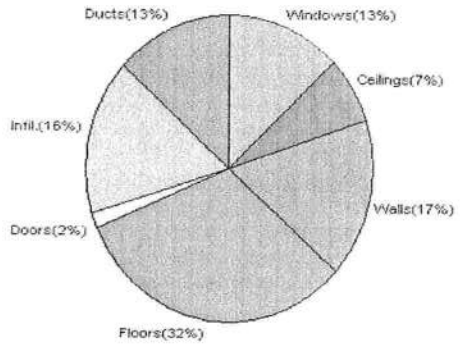
10/31/2011

Location for weather data: Gainesville, FL - Defaults: Latitude(29.7) Altitude(152 ft.) Temp Range(M) Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(54gr.)					
Winter design temperature(MJ8 99%)	33	F	Summer design temperature(MJ8 99%)	92	F
Winter setpoint	70	F	Summer setpoint	75	F
Winter temperature difference	37	F	Summer temperature difference	17	F
Total heating load calculation	**18057**	**Btuh**	**Total cooling load calculation**	**15788**	**Btuh**
Submitted heating capacity	% of calc	Btuh	Submitted cooling capacity	% of calc	Btuh
Total (Electric Heat Pump)	132.9	24000	Sensible (SHR = 0.75)	142.3	18000
Heat Pump + Auxiliary(0.0kW)	132.9	24000	Latent	190.9	6000
			Total (Electric Heat Pump)	152.0	24000

WINTER CALCULATIONS

Winter Heating Load (for 1080 sqft)

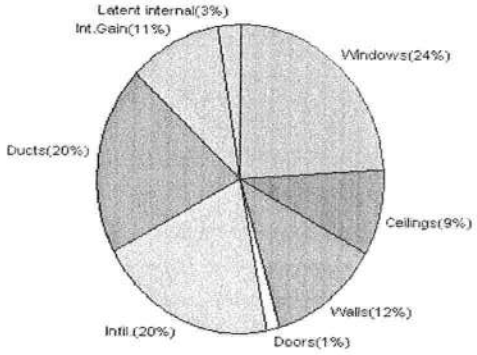
Load component			Load	
Window total	115	sqft	2340	Btuh
Wall total	923	sqft	3031	Btuh
Door total	18	sqft	306	Btuh
Ceiling total	1080	sqft	1273	Btuh
Floor total	1080	sqft	5763	Btuh
Infiltration	72	cfm	2916	Btuh
Duct loss			2427	Btuh
Subtotal			**18057**	**Btuh**
Ventilation	0	cfm	0	Btuh
TOTAL HEAT LOSS			**18057**	**Btuh**



SUMMER CALCULATIONS

Summer Cooling Load (for 1080 sqft)

Load component			Load	
Window total	115	sqft	3785	Btuh
Wall total	923	sqft	1925	Btuh
Door total	18	sqft	232	Btuh
Ceiling total	1080	sqft	1445	Btuh
Floor total			0	Btuh
Infiltration	58	cfm	1072	Btuh
Internal gain			1660	Btuh
Duct gain			2527	Btuh
Sens. Ventilation	0	cfm	0	Btuh
Blower Load			0	Btuh
Total sensible gain			**12645**	**Btuh**
Latent gain(ducts)			638	Btuh
Latent gain(infiltration)			2105	Btuh
Latent gain(ventilation)			0	Btuh
Latent gain(internal/occupants/other)			400	Btuh
Total latent gain			**3143**	**Btuh**
TOTAL HEAT GAIN			**15788**	**Btuh**



8th Edition

EnergyGauge® System Sizing
PREPARED BY: Collected Notes
DATE: 10-31-11

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

Project Title:
Two Story Residence
Building Type: User

Ft. White, FL

10/31/2011

Reference City: Gainesville, FL (Defaults) Winter Temperature Difference: 37.0 F (MJ8 99%)

Component Loads for Whole House

Window	Panes/Type	Frame	U	Orientation	Area(sqft) X	HTM=	Load
1	1, NFRC 0.60	Metal	0.55	N	16.0	20.4	326 Btuh
2	1, NFRC 0.60	Metal	0.55	N	9.0	20.4	183 Btuh
3	1, NFRC 0.60	Metal	0.55	S	30.0	20.4	610 Btuh
4	1, NFRC 0.60	Metal	0.55	E	30.0	20.4	610 Btuh
5	1, NFRC 0.60	Metal	0.55	W	30.0	20.4	610 Btuh
	Window Total				115.0(sqft)		2340 Btuh

Walls	Type	Ornt.	Ueff.	R-Value (Cav/Sh)	Area X	HTM=	Load
1	Frame - Wood	- Ext	(0.089)	13.0/0.0	215	3.28	706 Btuh
2	Frame - Wood	- Ext	(0.089)	13.0/0.0	192	3.28	631 Btuh
3	Frame - Wood	- Ext	(0.089)	13.0/0.0	258	3.28	847 Btuh
4	Frame - Wood	- Ext	(0.089)	13.0/0.0	258	3.28	847 Btuh
	Wall Total				923(sqft)		3031 Btuh

Doors	Type	Storm	Ueff.	Area X	HTM=	Load
1	Wood - Exterior,	n	(0.460)	18	17.0	306 Btuh
	Door Total			18(sqft)		306Btuh

Ceilings	Type/Color/Surface	Ueff.	R-Value	Area X	HTM=	Load
1	Vented Attic/L/Shing	(0.032)	30.0/0.0	1080	1.2	1273 Btuh
	Ceiling Total			1080(sqft)		1273Btuh

Floors	Type	Ueff.	R-Value	Size X	HTM=	Load
1	Slab On Grade	(1.180)	0.0	132.0 ft(perim.)	43.7	5763 Btuh
	Floor Total			1080 sqft		5763 Btuh

	Envelope Subtotal:	12714 Btuh

Infiltration	Type	ACH	Volume(cuft)	Wall Ratio	CFM=	
	Natural	0.50	8640	1.00	72.0	2916 Btuh

Duct load	Average sealed, R6.0, Supply(Att), Return(Att) (DLM of 0.155)	2427 Btuh
All Zones	**Sensible Subtotal All Zones**	**18057 Btuh**

Manual J Winter Calculations

Residential Load - Component Details (continued)

Project Title:
Two Story Residence
Building Type: User

Ft. White, FL

10/31/2011

WHOLE HOUSE TOTALS

Totals for Heating	Subtotal Sensible Heat Loss	18057 Btuh
	Ventilation Sensible Heat Loss	0 Btuh
	Total Heat Loss	18057 Btuh

EQUIPMENT

1. Electric Heat Pump	#	24000 Btuh

Key: Window types - NFRC (Requires U-Factor and Shading coefficient(SHGC) of glass as numerical values)
or - Glass as 'Clear' or 'Tint' (Uses U-Factor and SHGC defaults)
U - (Window U-Factor)
HTM - (ManualJ Heat Transfer Multiplier)

Version 8

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

Project Title:
Two Story Residence

Ft. White, FL

10/31/2011

Reference City: Gainesville, FL Temperature Difference: 17.0F(MJ8 99%) Humidity difference: 54gr.

Component Loads for Whole House

Window	Type* Panes	SHGC	U	InSh	IS	Ornt	Overhang Len	Hgt	Window Area(sqft) Gross	Shaded	Unshaded	HTM Shaded	Unshaded	Load
1	1 NFRC	0.60, 0.55	B-L	No	N	1.5ft.	1.5ft.	16.0	0.0	16.0	16	16	249	Btuh
2	1 NFRC	0.60, 0.55	B-L	No	N	1.5ft.	1.5ft.	9.0	0.0	9.0	16	16	140	Btuh
3	1 NFRC	0.60, 0.55	B-L	No	S	1.5ft.	1.5ft.	30.0	30.0	0.0	16	20	466	Btuh
4	1 NFRC	0.60, 0.55	B-L	No	E	1.5ft.	1.5ft.	30.0	0.0	30.0	16	49	1465	Btuh
5	1 NFRC	0.60, 0.55	B-L	No	W	1.5ft.	1.5ft.	30.0	0.0	30.0	16	49	1465	Btuh
	Window Total								115 (sqft)					3785 Btuh

Walls	Type	U-Value	R-Value Cav/Sheath	Area(sqft)	HTM	Load
1	Frame - Wood - Ext	0.09	13.0/0.0	215.0	2.1	448 Btuh
2	Frame - Wood - Ext	0.09	13.0/0.0	192.0	2.1	400 Btuh
3	Frame - Wood - Ext	0.09	13.0/0.0	258.0	2.1	538 Btuh
4	Frame - Wood - Ext	0.09	13.0/0.0	258.0	2.1	538 Btuh
	Wall Total			923 (sqft)		1925 Btuh

Doors	Type	Area (sqft)	HTM	Load
1	Wood - Exterior	18.0	12.9	232 Btuh
	Door Total	18 (sqft)		232 Btuh

Ceilings	Type/Color/Surface	U-Value	R-Value	Area(sqft)	HTM	Load
1	Vented Attic/Light/Shingle	0.032	30.0/0.0	1080.0	1.34	1445 Btuh
	Ceiling Total			1080 (sqft)		1445 Btuh

Floors	Type	R-Value	Size	HTM	Load
1	Slab On Grade	0.0	1080 (ft-perimeter)	0.0	0 Btuh
	Floor Total		1080.0 (sqft)		0 Btuh

	Envelope Subtotal:	7386 Btuh

Infiltration	Type	ACH	Volume(cuft)	Wall Ratio	CFM=	Load
	SensibleNatural	0.40	8640	923	72.0	1072 Btuh

Internal gain		Occupants		Btuh/occupant		Appliance	Load
		2	X	230	+	1200	1660 Btuh

	Sensible Envelope Load:	10118 Btuh
Duct load	Average sealed, Supply(R6.0-Attic), Return(R6.0-Attic) (DGM of 0.250)	2527 Btuh
	Sensible Load All Zones	**12645 Btuh**

Manual J Summer Calculations

Residential Load - Component Details (continued)

Project Title: Climate:FL_GAINESVILLE_REGIONAL_A
Two Story Residence

Ft. White, FL

10/31/2011

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	**Sensible Envelope Load All Zones**	**10118 Btuh**
	Sensible Duct Load	2527 Btuh
	Total Sensible Zone Loads	**12645 Btuh**
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	**12645 Btuh**
	Latent infiltration gain (for 54 gr. humidity difference)	2105 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	638 Btuh
	Latent occupant gain (2 people @ 200 Btuh per person)	400 Btuh
	Latent other gain	0 Btuh
	Latent total gain	**3143 Btuh**
	TOTAL GAIN	**15788 Btuh**

EQUIPMENT

1. Central Unit	#	24000 Btuh

*Key: Window types (Panes - Number and type of panes of glass)
(SHGC - Shading coefficient of glass as SHGC numerical value)
(U - Window U-Factor)
(InSh - Interior shading device: none(No), Blinds(B), Draperies(D) or Roller Shades(R))
- For Blinds: Assume medium color, half closed
For Draperies: Assume medium weave, half closed
For Roller shades: Assume translucent, half closed
(IS - Insect screen: none(N), Full(F) or Half(½))
(Ornt - compass orientation)

Version 8

Sonya Graham
Floor truss

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
 Document ID:1UGY487-Z0311160649

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER
11/11/2011

Truss Fabricator:	Anderson Truss Company
Job Identification:	11-212A--Fill in later SONYA GRAHAM/FLOOR -- , **
Truss Count:	3
Model Code:	Florida Building Code 2007 and 2009 Supplement
Truss Criteria:	FBC2007Res/TPI-2002(STD)
Engineering Software:	Alpine Software,Version 10.03.
Structural Engineer of Record:	The identity of the structural EOR did not exist as of
Address:	the seal date per section 61G15-31.003(5a) of the FAC
Minimum Design Loads:	Roof - N/A
	Floor - 55.0 PSF @ 1.00 Duration
	Wind - No Wind

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

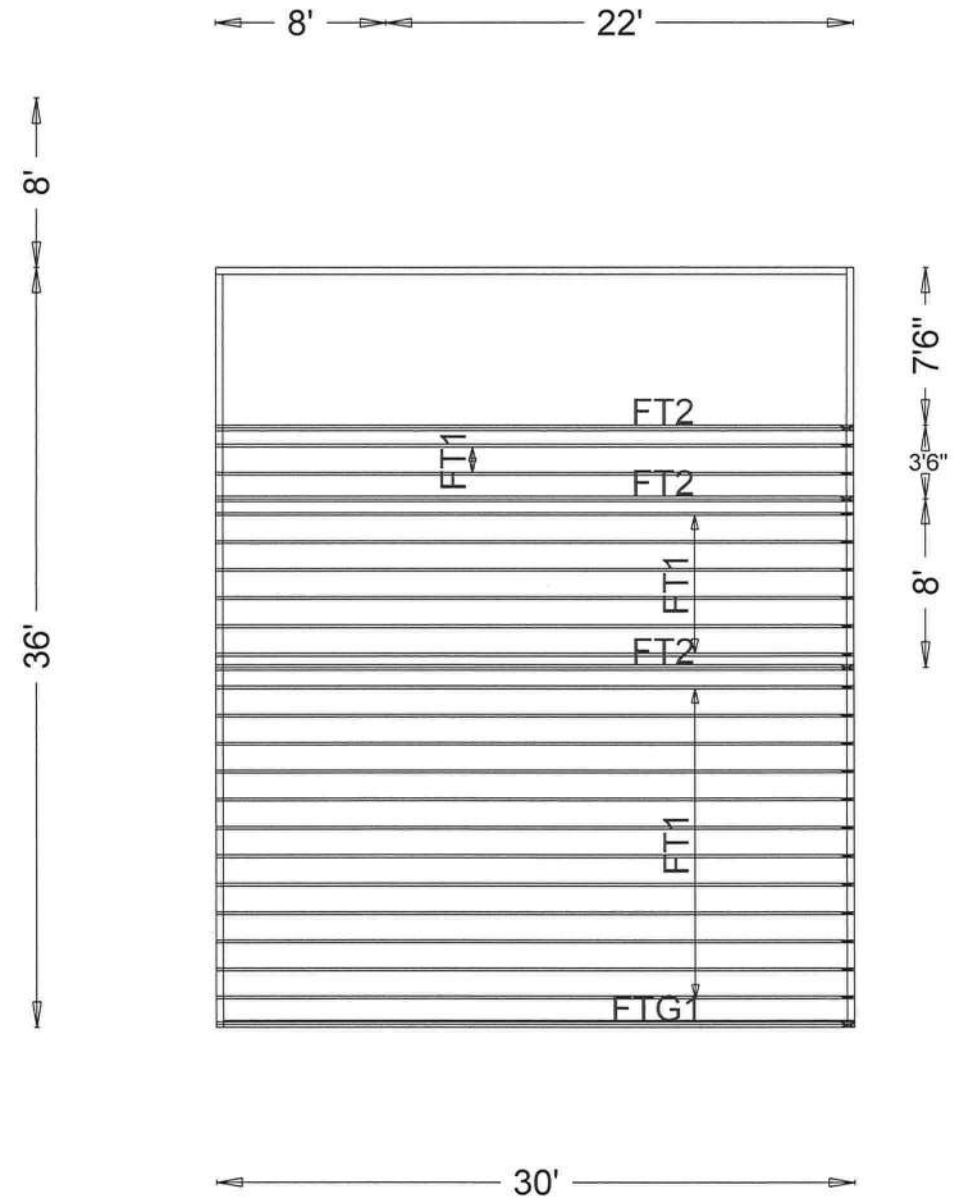
Douglas Fleming
-Truss Design Engineer-

1950 Marley Drive
Haines City, FL 33844

Details: STRBRIBR-

#	Ref	Description	Drawing#	Date
1	10802--FT1		11315110	11/11/11
2	10803--FT2		11315111	11/11/11
3	10804--FTG1		11315112	11/11/11

COLUMBIA COUNTY BUILDING DEPARTMENT Received for FILE COPY Code Compliance PLANS EXAMINER



SONYA GRAHAM /FLOOR

(11-212A--Fill in later SONYA GRAHAM/FLOOR -- , ** - FT1)

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

Top chord 2x4 SP #1
Bot chord 2x4 SP #1
Webs 2x4 SP #3 :W2, W10 2x4 SP #2 Dense:

End verticals not exposed to wind pressure.

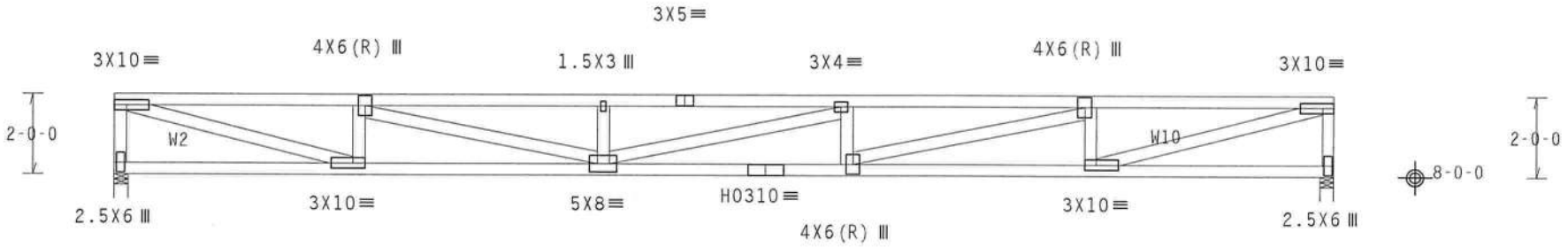
Bottom chord checked for 10.00 psf non-concurrent live load.

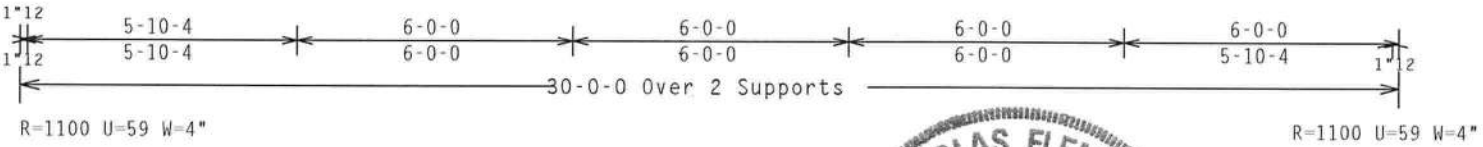
Trusses to be spaced at 16.0" OC maximum.

Truss must be installed as shown with top chord up.

See detail STRBRIBR0211 for bracing and bridging recommendations.

Deflection meets L/360 live and L/360 total load.





Design Crit: FBC2007Res/TPI-2002(STD)

PLT TYP. 20 Gauge HS,Wave

FT/RT=10%(0%)/0(0)

10.03.04.0601.16

QTY:20 FL/-/4/-/-/R/-

Scale =.25"/Ft.

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

11/11/2011

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET!
IMPORTANT FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and WTCA) for general practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.

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TC LL	40.0 PSF	REF	R487-- 10802
TC DL	10.0 PSF	DATE	11/11/11
BC DL	5.0 PSF	DRW	HCUSR487 11315110
BC LL	0.0 PSF	HC-ENG	DF/DF
TOT.LD.	55.0 PSF	SEQN-	247184
DUR.FAC.	1.00		
SPACING	16.0"	JREF-	1UGY487_Z03

(11-212A--Fill in later SONYA GRAHAM/FLOOR -- , ** - FT2)

Top chord 2x4 SP #1
Bot chord 2x4 SP #1 :B2 2x6 SP M-26:
Webs 2x4 SP #3 :W2, W14 2x4 SP #2 Dense:

Special loads
------(Lumber Dur.Fac.=1.00 / Plate Dur.Fac.=1.00)
TC- From 177 plf at 0.00 to 177 plf at 30.00
BC- From 7 plf at 0.00 to 7 plf at 30.00

The TC of this truss shall be braced with attached spans at 24" OC in lieu of structural sheathing.

THE BUILDING DESIGNER SHALL EVALUATE AND APPROVE LOAD MAGNITUDES and LOCATIONS. THE TRUSS ENGINEER IS NOT RESPONSIBLE FOR LOAD MAGNITUDES AND LOCATIONS.

2 COMPLETE TRUSSES REQUIRED

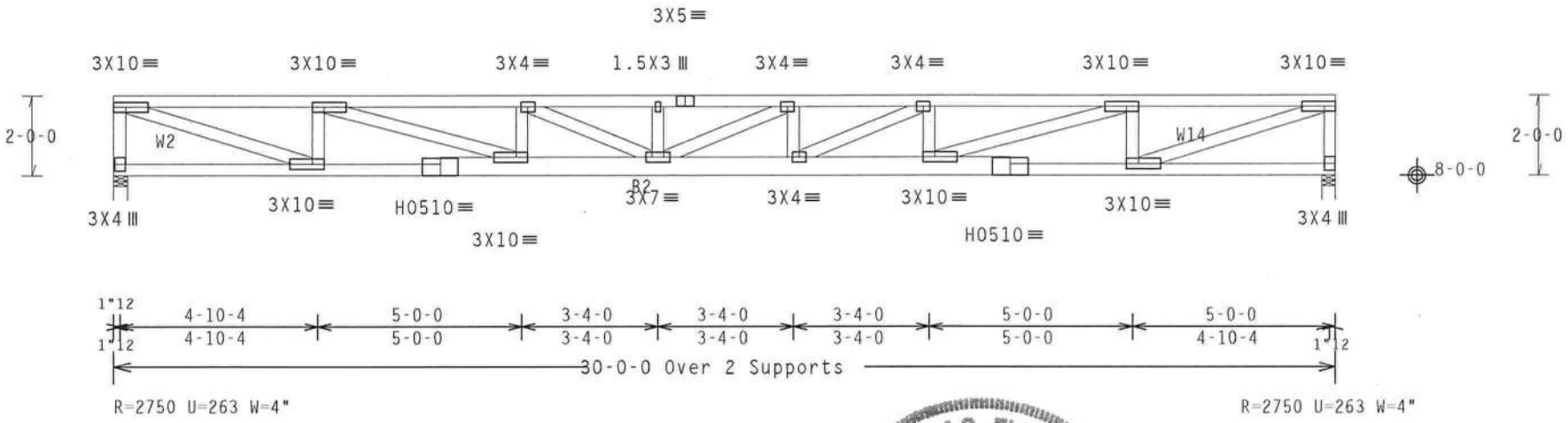
Nail Schedule:0.131"x3" nails
Top Chord: 1 Row @12.00" o.c.
Bot Chord: 1 Row @12.00" o.c.
Webs : 1 Row @ 4" o.c.
Use equal spacing between rows and stagger nails in each row to avoid splitting.

End verticals not exposed to wind pressure.

Trusses to be spaced at 16.0" OC maximum.

Deflection meets L/360 live and L/360 total load.

Truss must be installed as shown with top chord up.



Design Crit: FBC2007Res/TPI-2002(STD)

PLT TYP. 20 Gauge HS,Wave FT/RT=10%(0%)/0(0) 10.03.04.0601.16 QTY 3 FL/-/4/-/-/R/- Scale =.25"/Ft.

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER 11/11/2011

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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TC LL	40.0 PSF	REF	R487-- 10803
TC DL	10.0 PSF	DATE	11/11/11
BC DL	5.0 PSF	DRW	HCUSR487 11315111
BC LL	0.0 PSF	HC-ENG	DF/DF
TOT.LD.	55.0 PSF	SEQN-	247194
DUR.FAC.	1.00		
SPACING	16.0"	JREF-	1UGY487_Z03

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(11-212A--Fill in later SONYA GRAHAM/FLOOR -- , ** - FTG1)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Special loads
------(Lumber Dur.Fac.=1.00 / Plate Dur.Fac.=1.00)
TC- From 177 plf at 0.00 to 177 plf at 14.00
TC- From 177 plf at 14.00 to 177 plf at 30.00
BC- From 7 plf at 0.00 to 7 plf at 16.00
BC- From 7 plf at 16.00 to 7 plf at 30.00

End verticals not exposed to wind pressure.

Trusses to be spaced at 16.0" OC maximum.

Deflection meets L/360 live and L/360 total load.

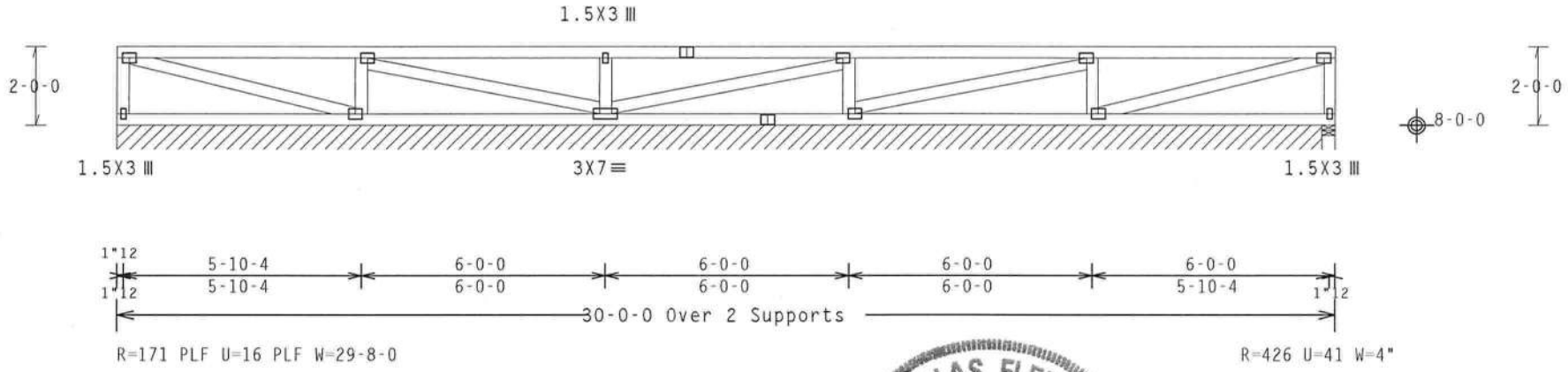
The TC of this truss shall be braced with attached spans at 24" OC in lieu of structural sheathing.

THE BUILDING DESIGNER SHALL EVALUATE AND APPROVE LOAD MAGNITUDES and LOCATIONS. THE TRUSS ENGINEER IS NOT RESPONSIBLE FOR LOAD MAGNITUDES AND LOCATIONS.

2 COMPLETE TRUSSES REQUIRED

Nail Schedule:0.131"x3" nails
Top Chord: 1 Row @12.00" o.c.
Bot Chord: 1 Row @12.00" o.c.
Webs : 1 Row @ 4" o.c.
Use equal spacing between rows and stagger nails in each row to avoid splitting.

Truss must be installed as shown with top chord up.



Note: All Plates Are 3X4 Except As Shown.

Design Crit: FBC2007Res/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 10.03.04.0601.16 QTY: 1 FL/-/4/-/-/R/- Scale =.25"/Ft.

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER 11/11/2011

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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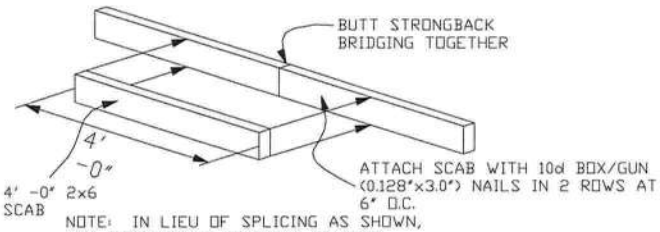
TC LL	40.0 PSF	REF R487-- 10804
TC DL	10.0 PSF	DATE 11/11/11
BC DL	5.0 PSF	DRW HCUSR487 11315112
BC LL	0.0 PSF	HC-ENG DF/DF
TOT.LD.	55.0 PSF	SEQN- 247200
DUR.FAC.	1.00	
SPACING	16.0"	JREF- 1UGY487_Z03

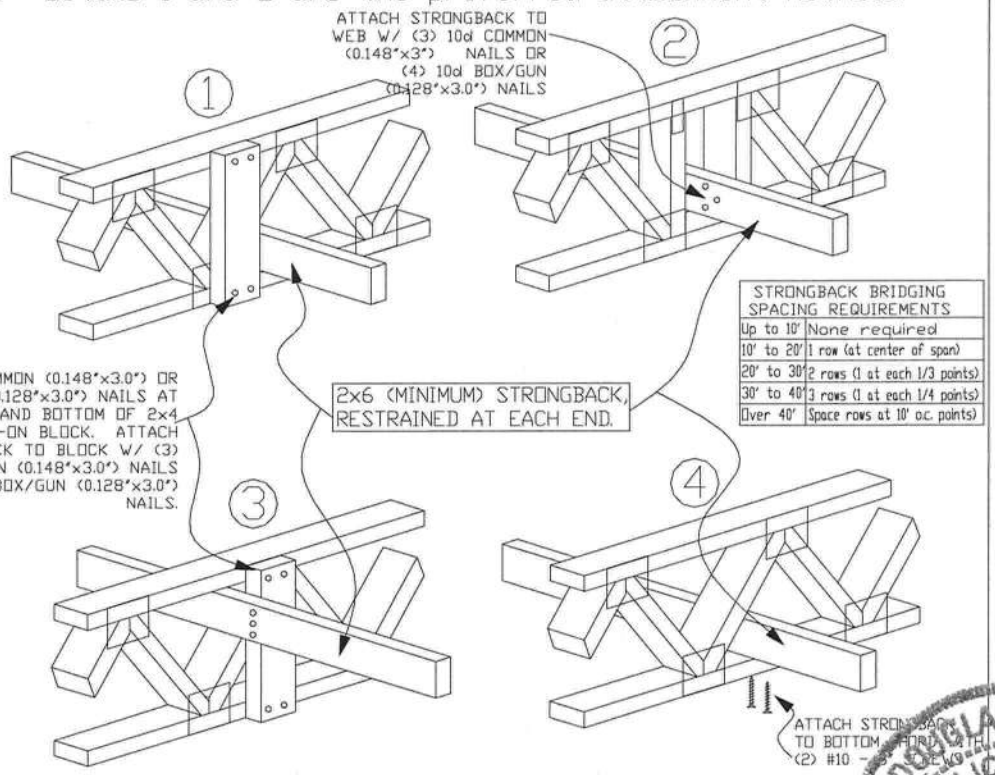
STRONGBACK BRIDGING RECOMMENDATIONS



NOTE: IN LIEU OF SPLICING AS SHOWN, LAP STRONGBACK BRIDGING MEMBERS FOR AT LEAST ONE TRUSS SPACING

STRONGBACK BRIDGING SPLICE DETAIL

NOTE: Details 1 and 2 are the preferred attachment methods



STRONGBACK BRIDGING SPACING REQUIREMENTS	
Up to 10'	None required
10' to 20'	1 row (at center of span)
20' to 30'	2 rows (1 at each 1/3 points)
30' to 40'	3 rows (1 at each 1/4 points)
Over 40'	Space rows at 10' oc. points)

STRONGBACK BRIDGING ATTACHMENT ALTERNATIVES

- All scab-on blocks shall be a minimum 2x4 "stress graded lumber."
- All strongback bridging and bracing shall be a minimum 2x6 "stress graded lumber."
- The purpose of strongback bridging is to develop load sharing between individual trusses, resulting in an overall increase in the stiffness of the floor system. 2x6 strongback bridging, positioned as shown in details, is recommended at 10' -0" o.c. (max.)

The terms "bridging" and "bracing" are sometimes mistakenly used interchangeably. "Bracing" is an important structural requirement of any floor or roof system. Refer to the Truss Design Drawing (TDD) for the bracing requirements for each individual truss component. "Bridging," particularly "strongback bridging" is a recommendation for a truss system to help control vibration. In addition to aiding in the distribution of point loads between adjacent truss, strongback bridging serves to reduce "bounce" or residual vibration resulting from moving point loads, such as footsteps.

The performance of all floor systems are enhanced by the installation of strongback bridging and therefore is strongly recommended by ITW Building Compents Group Inc.

For additional information regarding strongback bridging, refer to BCSI (Building Component Safety Information).

ITW
Building Components Group Inc.
Earth City, MO 63045

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IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.
ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design, any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing & bracing of trusses. ITWBCG connector plates are made of 20/18/16GA (W,H/S/K) ASTM 653 grade 37/40/60 (K/W/H,S) galv. steel. Apply plates to each face of truss, positioned as shown above and on Joint Details.
A seal on this drawing or cover page indicates acceptance and professional engineering responsibility solely for the truss component design shown. The suitability and use of this component for any building is the responsibility of the Building Designer per ANST/TPI 1 Sec. 2.
ITW-BCG: www.itwbcg.com; TPI: www.tpinst.com; WTCA: www.sbcindustry.com; ICC: www.iccsafe.org

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER
NOV 11
11/11/2011

TC LL	PSF	REF STRONGBACK
TC DL	PSF	DATE 2/28/11
BC DL	PSF	DRWG STRBRIBR0211
BC LL	PSF	
TOT. L.D.	PSF	
DUR. FAC.	1.00	
SPACING		

Sonya Graham
Roof truss

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
 Document ID:1UGW487-Z0209152805

WALTER P. FINN LICENSE No. 22839 STATE OF FLORIDA PROFESSIONAL ENGINEER
11/09/2011

Truss Fabricator:	Anderson Truss Company
Job Identification:	11-212--Fill in later SONYA GRAHAM -- , **
Truss Count:	4
Model Code:	Florida Building Code 2007 and 2009 Supplement
Truss Criteria:	FBC2007Res/TPI-2002(STD)
Engineering Software:	Alpine Software,Version 10.03.
Structural Engineer of Record:	The identity of the structural EOR did not exist as of
Address:	the seal date per section 61G15-31.003(5a) of the FAC
Minimum Design Loads:	Roof - 40.0 PSF @ 1.25 Duration
	Floor - N/A
	Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

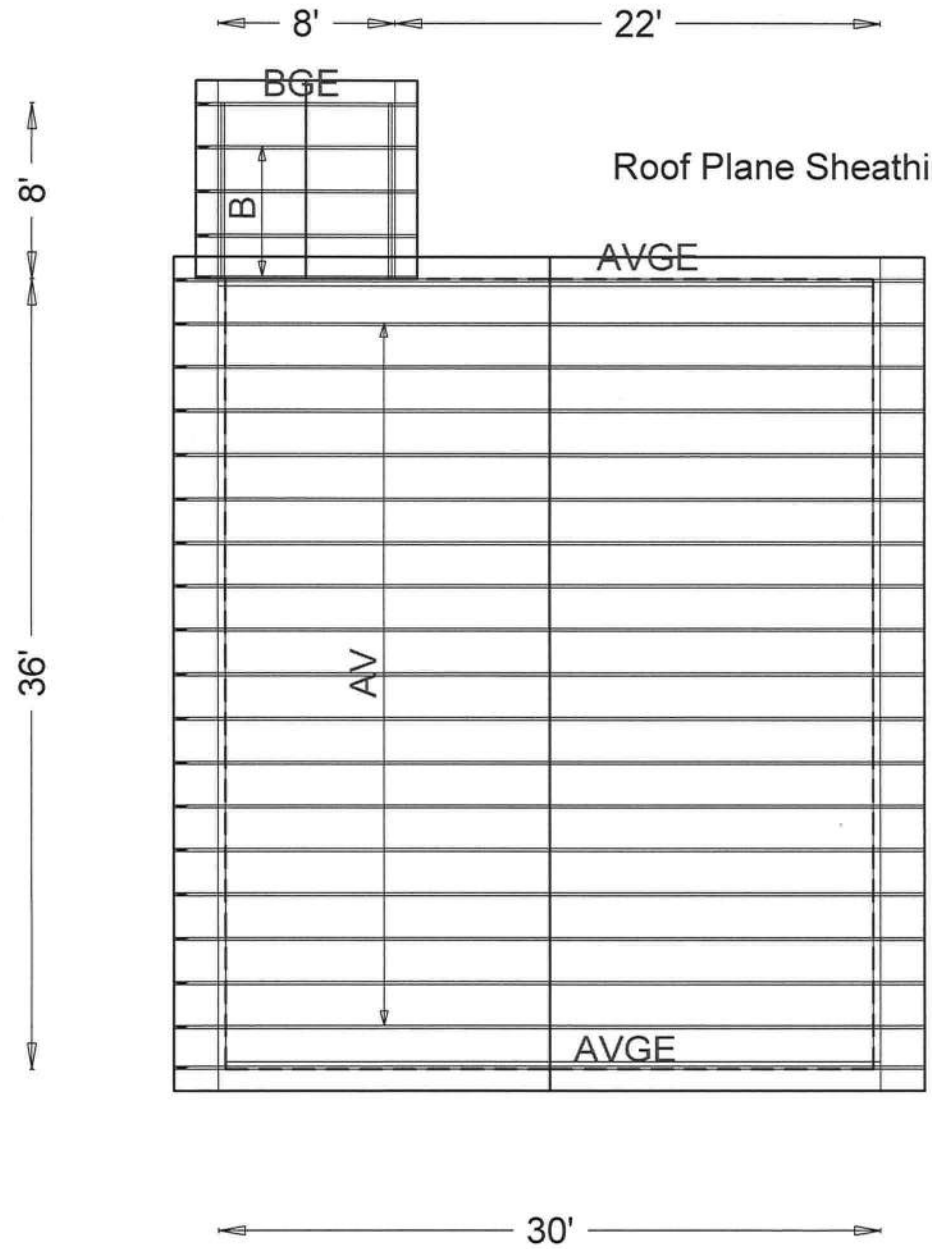
Walter P. Finn
-Truss Design Engineer-

1950 Marley Drive
Haines City, FL 33844

Details: A1103005-GBLLETIN-A1101505-

#	Ref	Description	Drawing#	Date
1	99657--AV		11313055	11/09/11
2	99658--AVGE		11313057	11/09/11
3	99659--B		11313056	11/09/11
4	99660--BGE		11313058	11/09/11

COLUMBIA COUNTY BUILDING DEPT. REVIEWED FOR FIELD CODE COMPLIANCE PLANS EXAMINER



Roof Plane Sheathing Area = 1545 sq. ft

SONYA GRAHAM

JOB DESCRIPTION:: Fill in later
/: SONYA GRAHAM

JOB NO:
11-212

PAGE NO:
1 OF 1

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(11-212--Fill in later SONYA GRAHAM -- , ** - AV)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

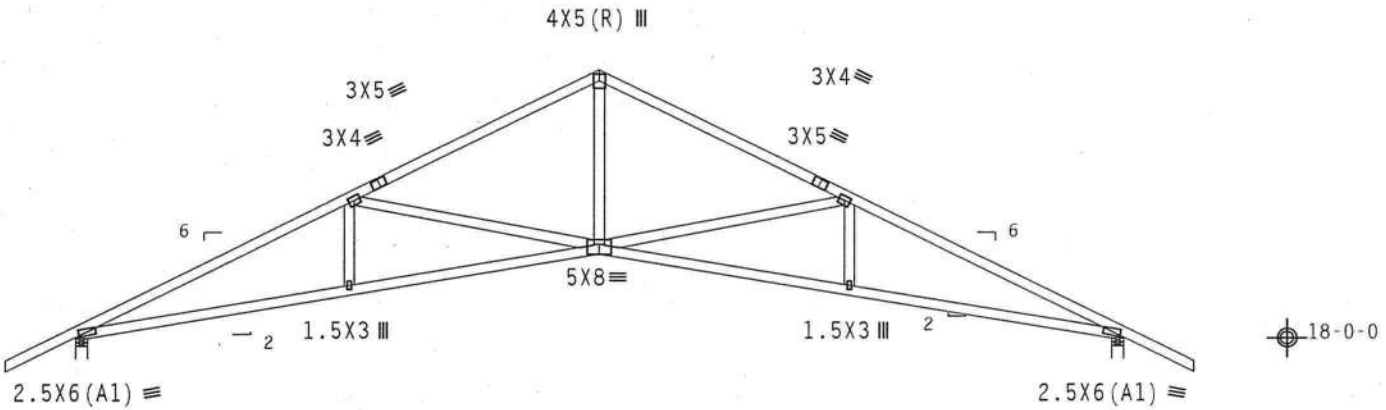
Roof overhang supports 2.00 psf soffit load.

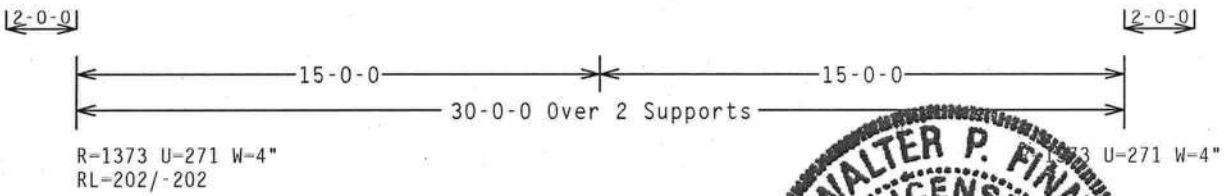
Bottom chord checked for 10.00 psf non-concurrent live load.

110 mph wind, 21.60 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind loads and reactions based on MWFRS with additional C&C member design.

Deflection meets L/240 live and L/180 total load.





R=1373 U=271 W=4"
RL=202/-202

3 U=271 W=4"

Design Crit: FBC2007Res/TPI-2002(STD) 10 .16 TY:17 FL/-/4/-/-/R/-

PLT TYP. Wave FT/RT=10%(0%)/0(0

Scale =.1875"/Ft.

WALTER P. FINN LICENSE No. 62639 STATE OF FLORIDA PROFESSIONAL ENGINEER

11/09/2011

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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TC LL	20.0 PSF	REF	R487-- 99657
TC DL	10.0 PSF	DATE	11/09/11
BC DL	10.0 PSF	DRW	HCUSR487 11313055
BC LL	0.0 PSF		HC-ENG JB/AP *
TOT.LD.	40.0 PSF	SEQN-	244886
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1UGW487_Z02

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(11-212--Fill in later SONYA GRAHAM -- , ** - AVGE)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3
:Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:

Left and right cantilevers are exposed to wind

Roof overhang supports 2.00 psf soffit load.

See DWGS A11030050109 & GBLLETIN0109 for more requirements.

Bottom chord checked for 10.00 psf non-concurrent live load.

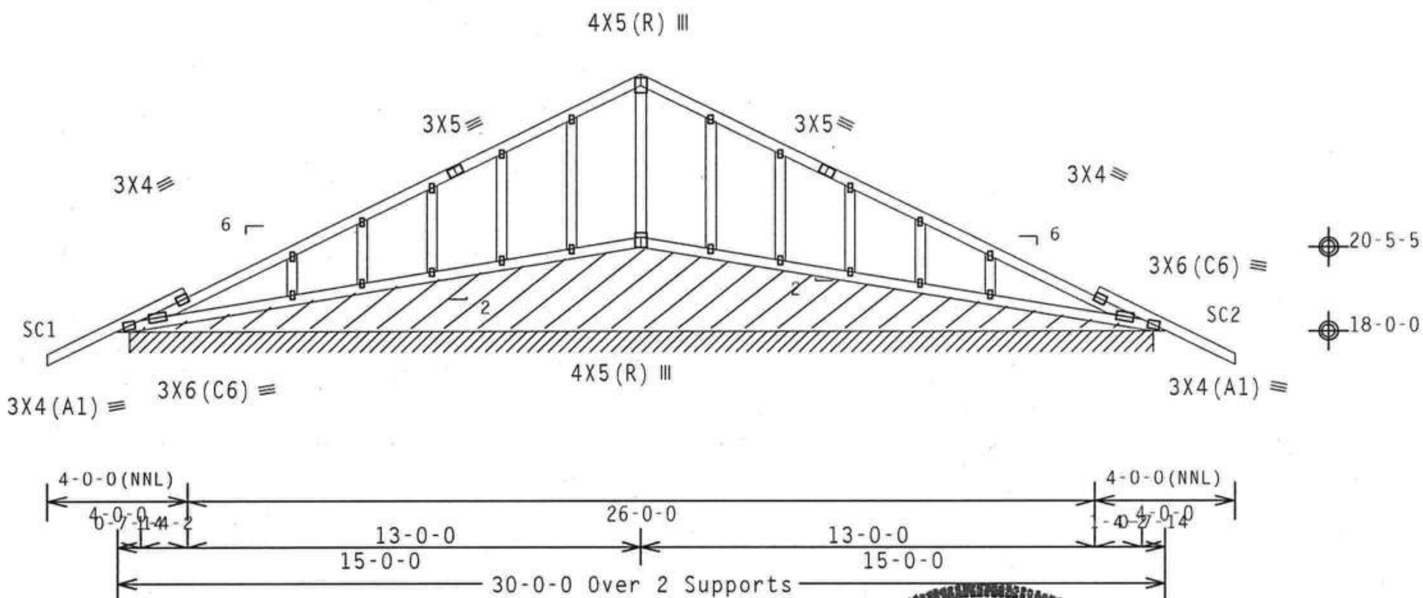
Deflection meets L/240 live and L/180 total load.

110 mph wind, 21.43 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind loads and reactions based on MWFRS with additional C&C member design.

Gable end supports 8" max rake overhang.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.



R=120 PLF U=18 PLF W=29-4-0
RL=7/-7 PLF

Note: All Plates Are 1.5X3 Except As Shown.

Design Crit: FBC2007Res/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 10 03.00.0901.16 QTY:2 FL/-/4/-/-/R/- Scale =.1875"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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WALTER P. FINN LICENSE No. 22839 STATE OF FLORIDA PROFESSIONAL ENGINEER

11/09/2011

TC LL	20.0 PSF	REF	R487-- 99658
TC DL	10.0 PSF	DATE	11/09/11
BC DL	10.0 PSF	DRW	HCUSR487 11313057
BC LL	0.0 PSF	HC-ENG	JB/AP
TOT.LD.	40.0 PSF	SEQN-	244889
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1UGW487_Z02

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(11-212--Fill in later SONYA GRAHAM -- , ** - B)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

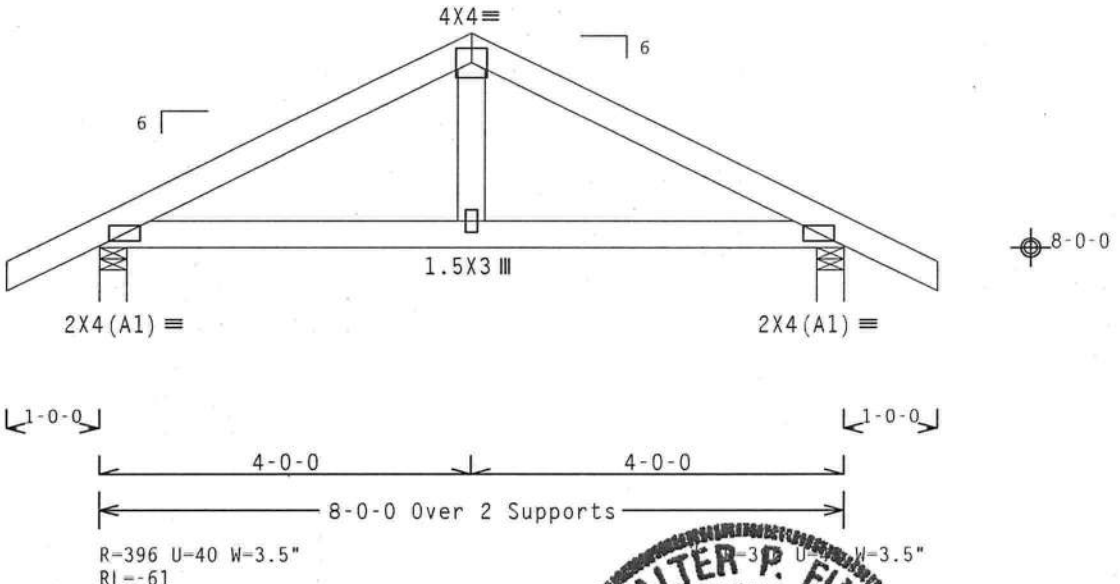
Roof overhang supports 2.00 psf soffit load.

Bottom chord checked for 10.00 psf non-concurrent live load.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind loads and reactions based on MWFRS with additional C&C member design.

Deflection meets L/240 live and L/180 total load.



Design Crit: FBC2007Res/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 10.03.04.0601.16 QTY:4 FL/-/4/-/-/R/- Scale =.5"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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WALTER P. FINN LICENSE No.22839 STATE OF FLORIDA PROFESSIONAL ENGINEER
11/09/2011

TC LL	20.0 PSF	REF	R487-- 99659
TC DL	10.0 PSF	DATE	11/09/11
BC DL	10.0 PSF	DRW	HCUSR487 11313056
BC LL	0.0 PSF	HC-ENG	JB/AP *
TOT.LD.	40.0 PSF	SEQN-	244892
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1UGW487_Z02

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(11-212--Fill in later SONYA GRAHAM -- , ** - BGE)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

Gable end supports 8" max rake overhang.

Bottom chord checked for 10.00 psf non-concurrent live load.

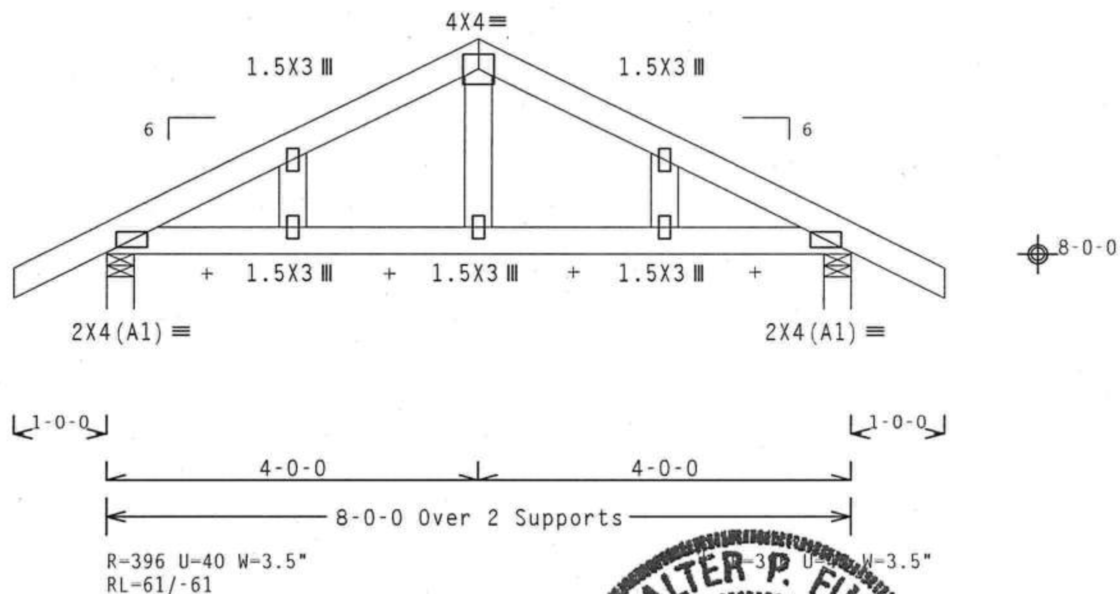
+ MEMBER TO BE LATERALLY BRACED FOR OUT OF PLANE WIND LOADS. BRACING SYSTEM TO BE DESIGNED AND FURNISHED BY OTHERS.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind loads and reactions based on MWFRS with additional C&C member design.

See DWGS A11015050109 & GBLLETIN0109 for more requirements.

Deflection meets L/240 live and L/180 total load.



Design Crit: FBC2007Res/TPI-2002(STD)

PLT TYP. Wave

FT/RT=10%(0%)/0(0) 10.03.04.0601.16 QTY:1 FL/-/4/-/-/R/- Scale =.5"/Ft.

ALPINE ITW Building Components Group Inc. Haines City, FL 33844 FL COA #0 278	**WARNING** READ AND FOLLOW ALL NOTES ON THIS SHEET! **IMPORTANT** FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS. Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and WTCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3, B7 or B10, as applicable. ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see: This job's general notes page; ITW-BCG: www.itwbcg.com; TPI: www.tpinst.org; WTCA: www.sbcindustry.com; ICC: www.iccsafe.org	WALTER P. FINN LICENSE No. 22839 STATE OF FLORIDA PROFESSIONAL ENGINEER 11/09/2011	TC LL 20.0 PSF TC DL 10.0 PSF BC DL 10.0 PSF BC LL 0.0 PSF TOT.LD. 40.0 PSF DUR.FAC. 1.25 SPACING 24.0"

REF	R487-- 99660
DATE	11/09/11
DRW	HCUSR487 11313058
HC-ENG	JB/AP
SEQN-	244899
JREF-	1UGW487_Z02

GABLE STUD REINFORCEMENT DETAIL

ASCE 7-05: 110 MPH WIND SPEED, 30' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C, Kzt = 1.00

MAX GABLE VERTICAL LENGTH

2X4 GABLE VERTICAL SPACING	SPECIES	BRACE GRADE	NO BRACES	(1) 1X4 "L" BRACE *		(1) 2X4 "L" BRACE *		(2) 2X4 "L" BRACE **		(1) 2X6 "L" BRACE *		(2) 2X6 "L" BRACE **	
				GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B
24" O.C.	SPF HF	#1 / #2	3' 8"	6' 4"	6' 6"	7' 6"	7' 8"	8' 11"	9' 2"	11' 9"	12' 1"	14' 0"	14' 0"
		#3	3' 7"	5' 5"	5' 5"	7' 2"	7' 2"	8' 11"	8' 11"	11' 2"	11' 2"	14' 0"	14' 0"
		STUD	3' 7"	5' 5"	5' 5"	7' 1"	7' 1"	8' 11"	8' 11"	11' 1"	11' 1"	14' 0"	14' 0"
		STANDARD	3' 7"	4' 8"	4' 8"	6' 1"	6' 1"	8' 3"	8' 3"	9' 6"	9' 6"	12' 11"	12' 11"
	SP DFL	#1	4' 0"	6' 4"	6' 10"	7' 6"	8' 1"	8' 11"	9' 7"	11' 9"	12' 8"	14' 0"	14' 0"
		#2	3' 11"	6' 4"	6' 10"	7' 6"	8' 1"	8' 11"	9' 7"	11' 9"	12' 8"	14' 0"	14' 0"
		#3	3' 9"	5' 7"	5' 7"	7' 4"	7' 4"	8' 11"	9' 5"	11' 5"	11' 5"	14' 0"	14' 0"
		STUD	3' 9"	5' 6"	5' 6"	7' 3"	7' 3"	8' 11"	9' 5"	11' 4"	11' 4"	14' 0"	14' 0"
		STANDARD	3' 8"	4' 9"	4' 9"	6' 3"	6' 3"	8' 5"	8' 5"	9' 9"	9' 9"	13' 3"	14' 0"
16" O.C.	SPF HF	#1 / #2	4' 2"	7' 3"	7' 5"	8' 7"	8' 10"	10' 3"	10' 6"	13' 5"	13' 10"	14' 0"	14' 0"
		#3	4' 1"	6' 8"	6' 8"	8' 7"	8' 7"	10' 3"	10' 3"	13' 5"	13' 5"	14' 0"	14' 0"
		STUD	4' 1"	8' 0"	8' 0"	8' 7"	8' 7"	10' 3"	10' 3"	13' 5"	13' 5"	14' 0"	14' 0"
		STANDARD	4' 1"	5' 8"	5' 8"	7' 6"	7' 6"	10' 1"	10' 1"	11' 8"	11' 8"	14' 0"	14' 0"
	SP DFL	#1	4' 7"	7' 3"	7' 9"	8' 7"	9' 3"	10' 3"	11' 0"	13' 5"	14' 0"	14' 0"	14' 0"
		#2	4' 6"	7' 3"	7' 9"	8' 7"	9' 3"	10' 3"	11' 0"	13' 5"	14' 0"	14' 0"	14' 0"
		#3	4' 4"	6' 10"	6' 10"	8' 7"	9' 0"	10' 3"	10' 3"	13' 5"	14' 0"	14' 0"	14' 0"
		STUD	4' 4"	6' 9"	6' 9"	8' 7"	8' 11"	10' 3"	10' 9"	13' 5"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 2"	5' 10"	5' 10"	7' 8"	7' 8"	10' 3"	10' 4"	11' 11"	11' 11"	14' 0"	14' 0"
12" O.C.	SPF HF	#1 / #2	4' 7"	8' 0"	8' 2"	9' 5"	9' 8"	11' 3"	11' 7"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 6"	7' 8"	7' 8"	9' 5"	9' 5"	11' 3"	11' 3"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 6"	7' 8"	7' 8"	9' 5"	9' 5"	11' 3"	11' 3"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 6"	6' 7"	6' 7"	8' 8"	8' 8"	11' 3"	11' 3"	13' 6"	13' 6"	14' 0"	14' 0"
	SP DFL	#1	5' 1"	8' 0"	8' 7"	9' 5"	10' 2"	11' 3"	12' 1"	14' 0"	14' 0"	14' 0"	14' 0"
		#2	4' 11"	8' 0"	8' 7"	9' 5"	10' 2"	11' 3"	12' 1"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 9"	7' 11"	7' 11"	9' 5"	9' 11"	11' 3"	11' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 9"	7' 9"	7' 9"	9' 5"	9' 11"	11' 3"	11' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 7"	6' 9"	6' 9"	8' 10"	8' 10"	11' 3"	11' 7"	13' 10"	13' 10"	14' 0"	14' 0"

BRACING GROUP SPECIES AND GRADES:

GROUP A:

SPRUCE-PINE-FIR	
#1 / #2	STANDARD
#3	STUD

HEM-FIR	
#2	STUD
#3	STANDARD

DOUGLAS FIR-LARCH
#3
STUD
STANDARD

SOUTHERN PINE
#3
STUD
STANDARD

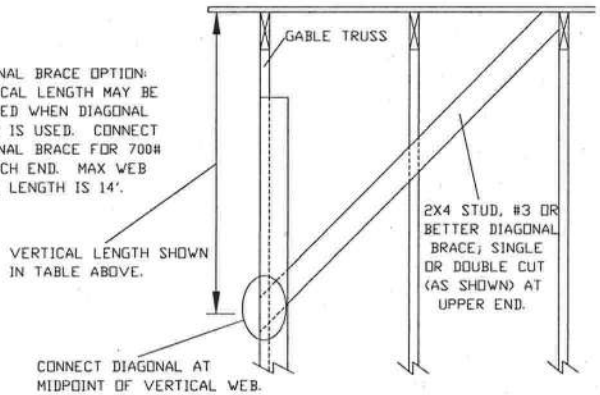
GROUP B:

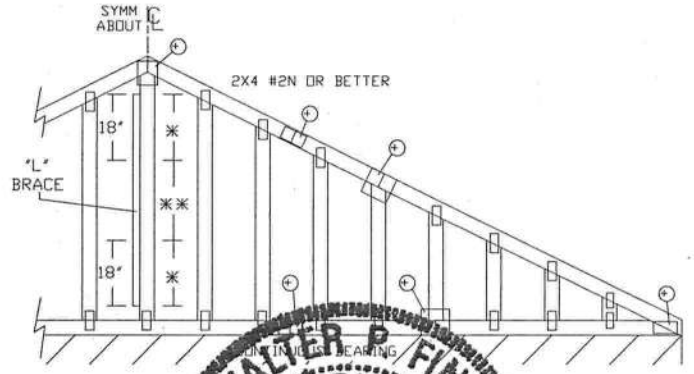
HEM-FIR
#1 & BTR
#1

SOUTHERN PINE
#1
#2

DOUGLAS FIR-LARCH
#1
#2

DIAGONAL BRACE OPTION: VERTICAL LENGTH MAY BE DOUBLED WHEN DIAGONAL BRACE IS USED. CONNECT DIAGONAL BRACE FOR 700# AT EACH END. MAX WEB TOTAL LENGTH IS 14'.





REFER TO CHART ABOVE FOR MAX. GABLE VERTICAL LENGTH.

GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.

PROVIDE UPLIFT CONNECTIONS FOR 100 PLF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).

GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.

ATTACH EACH "L" BRACE WITH 10d NAILS. (0.128"x3" min

* FOR (1) "L" BRACE: SPACE NAILS AT 2" O.C. IN 18" END ZONES AND 4" O.C. BETWEEN ZONES.

** FOR (2) "L" BRACES: SPACE NAILS AT 3" O.C. IN 18" END ZONES AND 6" O.C. BETWEEN ZONES.

"L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES

VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2.5X4
GREATER THAN 11' 6"	3X4

+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.

WALTER P. FINN LICENSE No. 22839 STATE OF FLORIDA PROFESSIONAL ENGINEER

09 '11

11/09/2011

ITW Building Components Group Inc.

Earth City, MO 63045

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ITW-BCG: www.itwbcg.com; TPI: www.tpinst.com; WTCA: www.sbcindustry.com; ICC: www.iccsafe.org

MAX. TOT. LD. 60 PSF

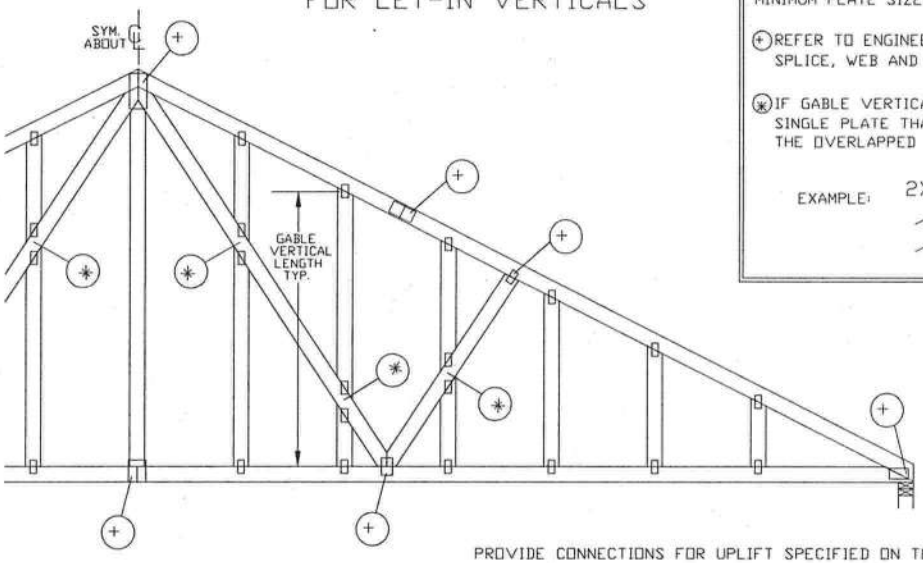
MAX. SPACING 24.0"

REF ASCE7-05-GAB11030

DATE 1/1/09

DRWG A11030050109

GABLE DETAIL
FOR LET-IN VERTICALS



GABLE TRUSS PLATE SIZES

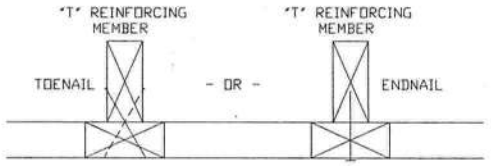
REFER TO APPROPRIATE ITW GABLE DETAIL FOR MINIMUM PLATE SIZES FOR VERTICAL STUDS.

(+) REFER TO ENGINEERED TRUSS DESIGN FOR PEAK, SPLICE, WEB AND HEEL PLATES.

(*) IF GABLE VERTICAL PLATES OVERLAP, USE A SINGLE PLATE THAT COVERS THE TOTAL AREA OF THE OVERLAPPED PLATES TO SPAN THE WEB.

EXAMPLE: 2X4 2X4 2X8

"T" REINFORCEMENT ATTACHMENT DETAIL



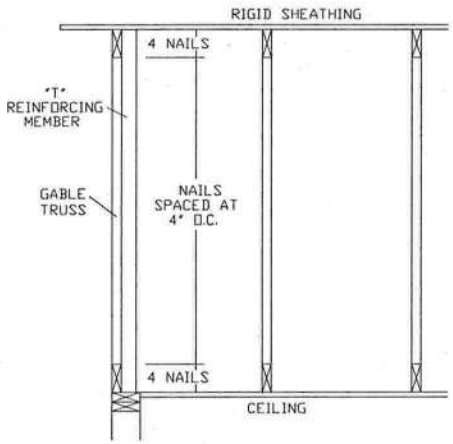
TO CONVERT FROM "L" TO "T" REINFORCING MEMBERS, MULTIPLY "T" INCREASE BY LENGTH (BASED ON APPROPRIATE ITW GABLE DETAIL).

MAXIMUM ALLOWABLE "T" REINFORCED GABLE VERTICAL LENGTH IS 14' FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

WIND SPEED AND MRH	"T" REINF. MBR. SIZE	"T" INCREASE
140 MPH	2x4	10 %
15 FT	2x6	50 %
140 MPH	2x4	10 %
30 FT	2x6	50 %
130 MPH	2x4	10 %
15 FT	2x6	50 %
130 MPH	2x4	10 %
30 FT	2x6	50 %
120 MPH	2x4	10 %
15 FT	2x6	50 %
120 MPH	2x4	10 %
30 FT	2x6	40 %
110 MPH	2x4	10 %
15 FT	2x6	40 %
110 MPH	2x4	10 %
30 FT	2x6	50 %
100 MPH	2x4	20 %
15 FT	2x6	30 %
100 MPH	2x4	10 %
30 FT	2x6	40 %
90 MPH	2x4	20 %
15 FT	2x6	20 %
90 MPH	2x4	20 %
30 FT	2x6	30 %

EXAMPLE:
- ASCE WIND SPEED = 100 MPH
- MEAN ROOF HEIGHT = 30 FT, Kzt = 1.00
- GABLE VERTICAL = 24" O.C. SP #3
- "T" REINFORCING MEMBER SIZE = 2X4
- "T" BRACE INCREASE (FROM ABOVE) = 10% = 1.10
- (1) 2X4 "L" BRACE LENGTH = 6' 7"
- MAXIMUM "T" REINFORCED GABLE VERTICAL LENGTH
  1.10 x 6' 7" = 7' 3"



PROVIDE CONNECTIONS FOR UPLIFT SPECIFIED ON THE ENGINEERED TRUSS DESIGN.

ATTACH EACH "T" REINFORCING MEMBER WITH
END DRIVEN NAILS:
- 10d COMMON (0.148"X 3.",MIN) NAILS AT 4" O.C. PLUS
- (4) NAILS IN TOP AND BOTTOM CHORD.

TOENAILED NAILS:
- 10d COMMON (0.148"x3",MIN) TOENAILS AT 4" O.C. PLUS
- (4) TOENAILS IN TOP AND BOTTOM CHORD.

THIS DETAIL TO BE USED WITH THE APPROPRIATE ITW GABLE DETAIL FOR ASCE WIND LOAD.
- ASCE 7-98 GABLE DETAIL DRAWINGS
  A13015980109, A12015980109, A11015980109, A10015980109, A13030980109, A12030980109, A11030980109, A10030980109
- ASCE 7-02 GABLE DETAIL DRAWINGS
  A13015020109, A12015020109, A11015020109, A10015020109, A14015020109, A13030020109, A12030020109, A11030020109, A10030020109, A14030020109
- ASCE 7-05 GABLE DETAIL DRAWINGS
  A13015050109, A12015050109, A11015050109, A10015050109, A14015050109, A13030050109, A12030050109, A11030050109, A10030050109, A14030050109

SEE APPROPRIATE ITW GABLE DETAIL FOR MAXIMUM UNREINFORCED GABLE VERTICAL LENGTH.

11/09/2011

Building Components Group Inc.

Earth City, MO 63045

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MAX TOT. LD. 60 PSF
DUR. FAC. ANY
MAX SPACING 24.0"

REF	LET-IN VERT
DATE	1/1/09
DRWG	GBLLETIN0109

GABLE STUD REINFORCEMENT DETAIL

ASCE 7-05: 110 MPH WIND SPEED, 15' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C, Kzt = 1.00

MAX GABLE VERTICAL LENGTH

2X4 GABLE VERTICAL SPACING	SPECIES	GRADE	NO BRACES	(1) 1X4 "L" BRACE *		(1) 2X4 "L" BRACE *		(2) 2X4 "L" BRACE **		(1) 2X6 "L" BRACE *		(2) 2X6 "L" BRACE **	
				GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B
24" O.C.	SPF HF	#1 / #2	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"
		#3	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"
		STUD	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 3"	12' 3"	14' 0"	14' 0"
		STANDARD	3' 9"	5' 2"	5' 2"	6' 9"	6' 9"	9' 1"	9' 1"	10' 7"	10' 7"	14' 0"	14' 0"
	SP DFL	#1	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#2	4' 2"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#3	4' 0"	6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	9' 11"	12' 5"	12' 8"	14' 0"	14' 0"
		STUD	4' 0"	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"
		STANDARD	3' 10"	5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"
16" O.C.	SPF HF	#1 / #2	4' 5"	7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 4"	6' 4"	6' 4"	8' 4"	8' 4"	10' 10"	10' 10"	12' 11"	12' 11"	14' 0"	14' 0"
	SP DFL	#1	4' 10"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"
		#2	4' 9"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 6"	7' 7"	7' 7"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 6"	7' 6"	7' 6"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 5"	6' 5"	6' 5"	8' 6"	8' 6"	10' 10"	11' 1"	13' 3"	13' 3"	14' 0"	14' 0"
12" O.C.	SPF HF	#1 / #2	4' 11"	8' 5"	8' 8"	10' 0"	10' 3"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 9"	7' 3"	7' 3"	9' 7"	9' 7"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
	SP DFL	#1	5' 4"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		#2	5' 3"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	5' 0"	8' 5"	8' 7"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 11"	7' 5"	7' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"

BRACING GROUP SPECIES AND GRADES:

GROUP A:

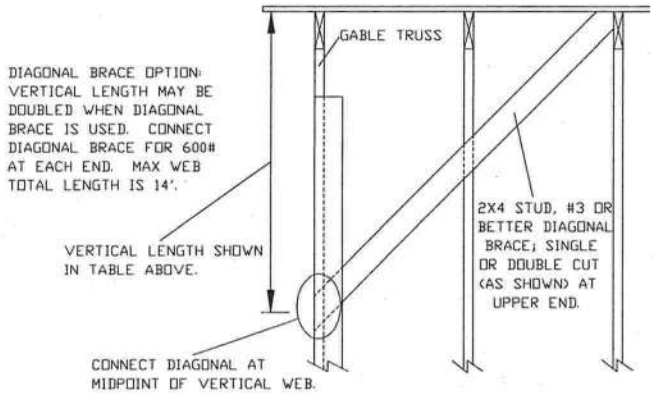
SPRUCE-PINE-FIR		HEM-FIR	
#1 / #2	STANDARD	#2	STUD
#3	STUD	#3	STANDARD

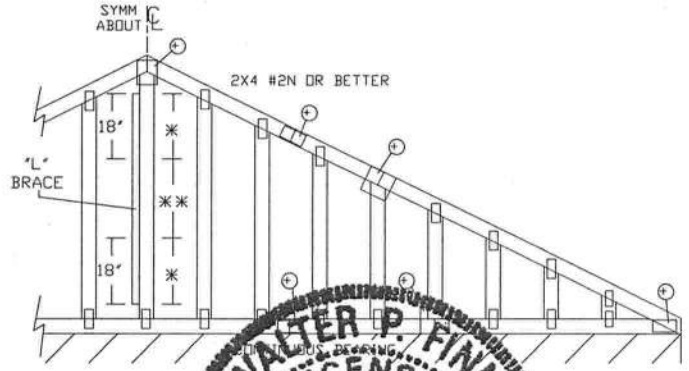
DOUGLAS FIR-LARCH	SOUTHERN PINE
#3	#3
STUD	STUD
STANDARD	STANDARD

GROUP B:

HEM-FIR
#1 & BTR
#1

SOUTHERN PINE	DOUGLAS FIR-LARCH
#1	#1
#2	#2





REFER TO CHART ABOVE FOR MAX GABLE VERTICAL LENGTH.

GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.

PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).

GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.

ATTACH EACH "L" BRACE WITH 10d NAILS. (0.128"x3" min

* FOR (1) "L" BRACE: SPACE NAILS AT 2" O.C. IN 18" END ZONES AND 4" O.C. BETWEEN ZONES.

** FOR (2) "L" BRACES: SPACE NAILS AT 3" O.C. IN 18" END ZONES AND 6" O.C. BETWEEN ZONES.

"L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES

VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2.5X4
GREATER THAN 11' 6"	3X4

+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.

WALTER P. FINN LICENSE No. 22839 STATE OF FLORIDA PROFESSIONAL ENGINEER

NOV 09 '11

ITW Building Components Group Inc.

Earth City, MO 63045

WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET!
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and Follow BCSI (Building Component Safety Information, by TPI and WTCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural panels and bottom chord shall have properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3 & B7. See this job's general notes page for more information.

IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.
ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design, any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing & bracing of trusses. ITWBCG connector plates are made of 20/18/16GA (W,H/S/M) ASTM A653 grade 37/40/60 (K/W/H,S) galv. steel. Apply plates to each face of truss, positioned as shown and on Joint Details.
A seal on this drawing or cover page indicates acceptance and professional engineering responsibility solely for the truss component design shown. The suitability and use of this component for any building is the responsibility of the Building Designer per ANST/TPI 1 Sec. 2.
ITW-BCG: www.itwbcg.com; TPI: www.tpinst.com; WTCA: www.sbcindustry.com; ICC: www.iccsafe.org

11/09/2011

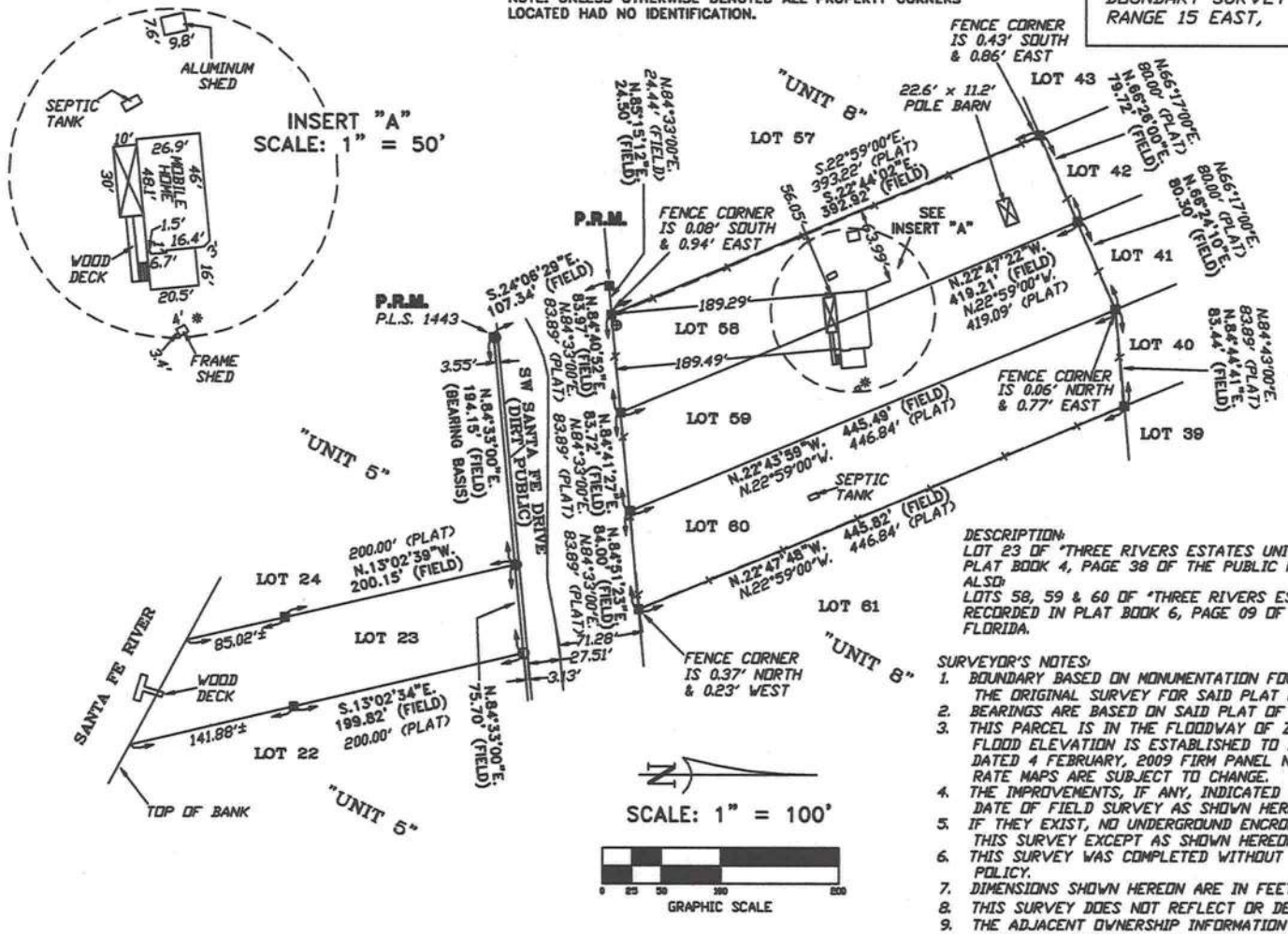
MAX. TOT. LD. 60 PSF

MAX. SPACING 24.0"

REF	ASCE7-05-GAB11015
DATE	1/1/09
DRWG	A11015050109

NOTE: UNLESS OTHERWISE DENOTED ALL PROPERTY CORNERS LOCATED HAD NO IDENTIFICATION.

BOUNDARY SURVEY IN SECTIONS 26 & 35, TOWNSHIP 6 SOUTH, RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA.



SYMBOL LEGEND:

■	4"X4" CONCRETE MONUMENT FOUND
□	4"X4" CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON PIN AND CAP SET
✕	"X" CUT IN PAVEMENT
+	CALCULATED PROPERTY CORNER
⊙	NAIL & DISK
⊛	POWER POLE
+	SIGN POST
▲	WATER METER
⊙	UTILITY BOX
✱	WELL
Ⓢ	SANITARY MANHOLE
℄	CENTERLINE
—·—	SECTION LINE
—E—	ELECTRIC LINES
—x—	WIRE FENCE
—o—	CHAIN LINK FENCE
—□—	WOODEN FENCE
(PLAT)	AS PER A PLAT OF RECORD
(DEED)	AS PER A DEED OF RECORD
(CALC.)	AS PER CALCULATIONS
(FIELD)	AS PER FIELD MEASUREMENTS
P.R.M.	PERMANENT REFERENCE MARKER
P.C.P.	PERMANENT CONTROL POINT

DESCRIPTION:
LOT 23 OF "THREE RIVERS ESTATES UNIT 5" AS PER THE PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 38 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.
ALSO:
LOTS 58, 59 & 60 OF "THREE RIVERS ESTATES UNIT NO. 8" AS PER THE PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 09 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SURVEYOR'S NOTES:

1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
2. BEARINGS ARE BASED ON SAID PLAT OF RECORD.
3. THIS PARCEL IS IN THE FLOODWAY OF ZONE "AE" AND IS SUBJECT TO FLOODING. A BASE FLOOD ELEVATION IS ESTABLISHED TO BE 33.6 FEET AS PER FLOOD INSURANCE RATE MAP, DATED 4 FEBRUARY, 2009 FIRM PANEL NO. 12023C 0467C. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
7. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
9. THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

CERTIFIED TO:

SONYA GRAHAM

FIELD BOOK: SEE PAGE(S): FILE

SURVEYOR'S CERTIFICATION:

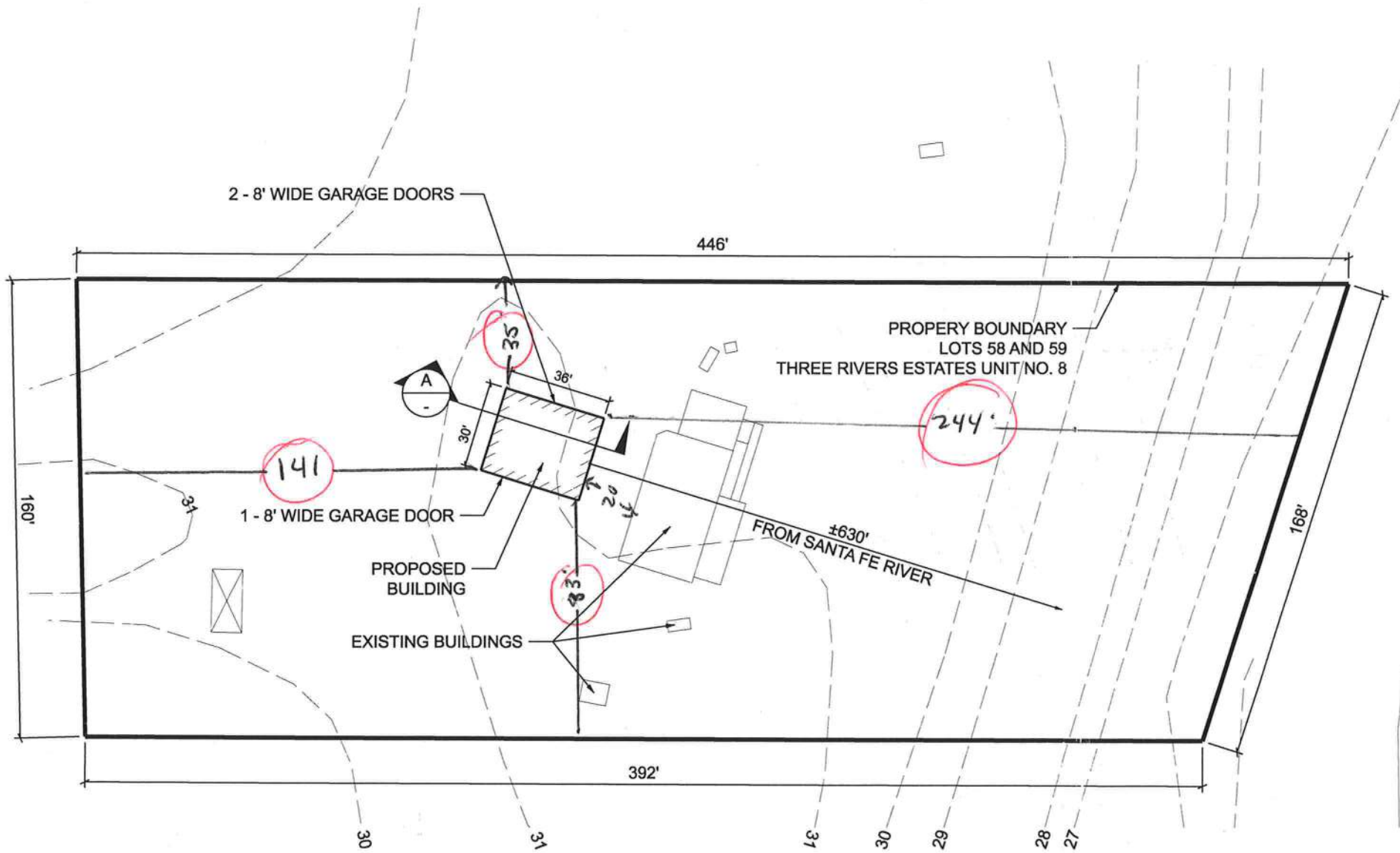
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

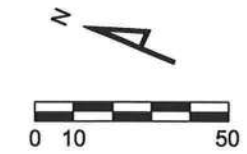
07/02/10 — FIELD SURVEY DATE
07/07/10 — DRAWING DATE
L. SCOTT BRITT, P.S.M. CERTIFICATION # 5757

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

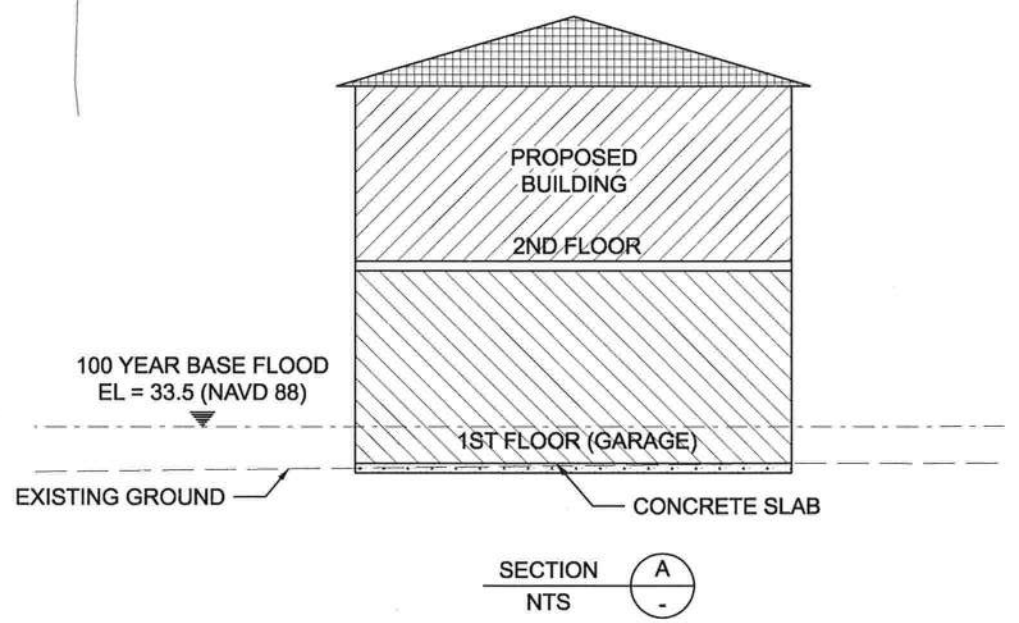
BRITT SURVEYING & ASSOCIATES, INC.
LAND SURVEYORS AND MAPPERS, L.B. # 7593
830 WEST DUVAL STREET LAKE CITY, FLORIDA 32055
(386)752-7163 FAX (386)752-5573

WORK ORDER # L-20467





SW SANTA FE DRIVE



SECTION A / NTS -

NOTES:

1. EXISTING BOUNDARY AND TOPOGRAPHICAL INFORMATION BASED ON SURVEY PREPARED BY BRITT SURVEYING AND ASSOCIATES, INC. DATED 4-19-2011
2. THE GARAGE DOORS SHAL BE OPENED DURING A FLOOD EVENT TO ALLOW UNOBSTRUCTED FLOW OF FLOODWAY.

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

CES
Crews Engineering Services, LLC

CERTIFICATE OF AUTHORIZATION
NO. 28022

P.O. BOX 970
LAKE CITY, FL 32056
PHONE: 386.754.4085

Brett A. Crews, P.E. 65592

DRAWN BY:	GRAHAM FLOODWAY PROJECT	CES PROJECT NO.:
BC		2011-009
APPROVED BY:	SITE PLAN	SHEET:
BC		S1

...\CAD\site.dgn 9/16/2011 12:10:58 PM

Notice of Treatment

Applicator: Florida Pest Control & Chemical Co. (www.flapest .com)
Address: 536 SE BAYA
City LAKE CITY FL Phone 7521703

Site Location: Subdivision _____
Lot # _____ Block# _____ Permit # 30055
Address _____

Product used	Active Ingredient	% Concentration
☑ Premise	Imidacloprid	0.1%
☐ Termidor	Fipronil	0.12%
☐ Bora-Care	Disodium Octaborate Tetrahydrate	23.0%

Type treatment: ☑ Soil ☐ Wood

Area Treated	Square feet	Linear feet	Gallons Applied
DWELLING	1152	120	90

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____.

5-15-12 Date | 12:16 Time | DAVID FULLER Print Technician's Name

Remarks: _____

Applicator - White Permit File - Canary Permit Holder - Pink
10/05 ©