

This Document Prepared By and Return to:
Darryl J. Tompkins, Esquire
Darryl J. Tompkins, P.A.
14420 NW 151st Blvd.
P.O. Box 519
Alachua, FL 32616

Inst: 202012013323 Date: 08/13/2020 Time: 1:40PM
Page 1 of 2 B: 1417 P: 389, P.DeWitt Cason, Clerk of Court Colu
County, By: KV
Deputy ClerkDoc Stamp-Deed: 1050.00

Parcel ID Number: R10010-000 (portion of)

Warranty Deed

This Indenture, Made this 12th day of August, 2020 A.D., Between Sherie L. Belflower, a married woman

of the County of Alachua, State of Florida, grantor, and Garret Fields and Sorrell Fields, husband and wife

whose address is: 234 SW Moonlit Drive, Fort White, FL 32038

of the County of Columbia, State of Florida, grantees.

Witnesseth that the GRANTOR, for and in consideration of the sum of

-----TEN DOLLARS (\$10)----- DOLLARS, and other good and valuable consideration to GRANTOR in hand paid by GRANTEES, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said GRANTEES and GRANTEES' heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Columbia State of Florida to wit:

See Exhibit "A" attached hereto.

SUBJECT TO THE FOLLOWING:

- A. Zoning restrictions, prohibitions and other requirements imposed by governmental authority;
- B. Restrictions and matters appearing on the plat and/or in the public records of Columbia County, Florida; provided, however, the reference herein shall not be deemed to reimpose same;
- C. Taxes for the year 2020 and subsequent years.

The land described herein is not the homestead of the grantor, and neither the grantor nor the grantors spouse, nor anyone for whose support the grantor is responsible, resides on or adjacent to said land.

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set her hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Printed Name: Darryl J. Tompkins
Witness

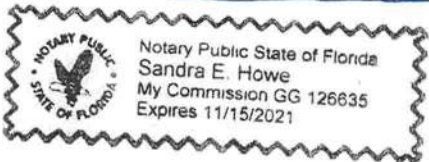

Sherie L. Belflower (Seal)
P.O. Address: P. O. Box 986, High Springs, FL 32643


Printed Name: Sandra E. Howe
Witness

STATE OF FLORIDA
COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me by means of ☒ physical presence or _____ online notarization, this 12th day of August, 2020 by Sherie L. Belflower, a married woman

who is personally known to me or who has produced her Georgia driver's license as identification.



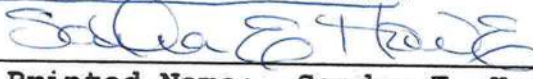

Printed Name: Sandra E. Howe
Notary Public
My Commission Expires: 11/15/21

EXHIBIT "A"

THAT PART OF THE SOUTHEAST 1/4 OF SECTION 17, TOWNSHIP 7 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 17, TOWNSHIP 7 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA FOR THE POINT OF BEGINNING; THENCE SOUTH 01°48'57" EAST ALONG THE EAST LINE OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 17 FOR 2657.67 FEET TO THE SOUTHEAST CORNER OF THE WEST 1/2 OF SOUTHEAST 1/4 OF SAID SECTION 17; THENCE SOUTH 88°21'55" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 17 FOR 656.55 FEET TO THE SOUTHWEST CORNER OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 17; THENCE NORTH 01°56'05" WEST ALONG THE WEST LINE OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 17 FOR 1327.47 FEET TO THE NORTHWEST CORNER OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 17; THENCE SOUTH 88°14'47" WEST ALONG THE NORTH LINE OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 17 FOR 112.71 FEET; THENCE NORTH 01°49'42" WEST FOR 361.13 FEET; THENCE NORTH 88°10'18" EAST FOR 382.74 FEET; THENCE NORTH 01°49'42" WEST FOR 966.33 FEET TO AN INTERSECTION WITH THE NORTH LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 17; THENCE NORTH 88°06'57" EAST ALONG THE NORTH LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 17 FOR 387.24 FEET TO SAID POINT OF BEGINNING.

TOGETHER WITH AND SUBJECT TO AND RESERVING UNTO GRANTOR A NON EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AND PUBLIC UTILITIES OVER THE FOLLOWING DESCRIBED PROPERTY.

AN EASEMENT FOR ROADWAY PURPOSES OVER:

THE NORTH 60 FEET AND THE EAST 20 FEET OF THE NORTHWEST ONE QUARTER (NW (1/4)) OF THE SOUTHEAST ONE QUARTER (SE (1/4));

THE NORTH 40 FEET OF THE EAST 20 FEET OF THE EAST ONE HALF (E (1/2)) OF THE SOUTHWEST ONE QUARTER (SW (1/4)) OF THE SOUTHEAST ONE QUARTER (SE (1/4));

AND A RECREATIONAL EASEMENT TO BE MAINTAINED ONLY FOR NONMOTORIZED VEHICULAR, PEDESTRIAN AND HORSEBACK RIDING PURPOSES OVER:

THE EAST 10 FEET AND THE SOUTH 20 FEET OF THE EAST ONE HALF (E (1/2)) OF THE SOUTHWEST ONE QUARTER (SW (1/4)) OF THE SOUTHEAST ONE QUARTER (SE (1/4));

TOGETHER WITH INGRESS AND EGRESS EASEMENT
(OFFICIAL RECORDS BOOK 1243 PAGE 55)

THE WEST 35 FEET OF FOLLOWING DESCRIBED PROPERTY; COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER (NE1/4) OF SECTION 17, TOWNSHIP 7 SOUTH, RANGE 17 EAST FOR THE POINT OF BEGINNING, THENCE RUN ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER (NE 1/4); SOUTH 89°12'34" EAST, 876.34 FEET; THENCE RUN NORTH 00°47'44" EAST, 663.92 FEET TO THE NORTH LINE OF THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER (NE 1/4) OF SAID SECTION 17; THENCE RUN ALONG SAID NORTH LINE, NORTH 89°11'58" WEST, 876.80 FEET TO THE WEST LINE OF SAID NORTHEAST QUARTER (NE 1/4); THENCE RUN ALONG THE WEST LINE OF SAID NORTHEAST QUARTER (NE 1/4), SOUTH 00°45'19" WEST, 663.05 FEET TO THE POINT OF BEGINNING. RECORDED MARCH 25, 2008, UNDER INSTRUMENT #200812005828, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FL.