

DATE 02/11/2011

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000029176

APPLICANT JAMES PLAYER PHONE 229.400.2034
ADDRESS 2465 COLQUITT HWY COLQUITT GA 39837
OWNER PETER CARPENTER PHONE 352.231.3918
ADDRESS 250 SW TARA COURT FT. WHITE FL 32038
CONTRACTOR MICHAEL R. JOHNSON PHONE 229.246.0449
LOCATION OF PROPERTY 47-S TO SUNVIEW CT,TR TO TARA CT,TR AND IT'S THE 2ND.
DRIVE ON L.
TYPE DEVELOPMENT METAL BUILDING ESTIMATED COST OF CONSTRUCTION 11896.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES 1
FOUNDATION CONC WALLS METAL ROOF PITCH 3'12 FLOOR CONC
LAND USE & ZONING A-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 33-5S-16-03745-311 SUBDIVISION SUNVIEW ESTATES ADDITION
LOT 11 BLOCK PHASE UNIT TOTAL ACRES 5.00

CBC1254822
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
10-0557 BLK TC Y
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ACCESSORY USE. NOC ON FILE. ORIGINAL PERMIT WAS ASSESSED ZONING FEES
AND BLDG. SURCHARGE & CERTIFICATION FEES..#29170.

Check # or Cash CASH

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 60.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 60.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS
PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED
FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR
IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY
BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED
WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR
ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES
APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR IN
WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECT

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Ref: # 29170

Columbia County Building Permit Application

JL LAB
ETWC

For Office Use Only		Application #	1102-22	Date Received	2/11	By	JW	Permit #			
Zoning Official		Ref to # 29170	Date		Flood Zone	X	Land Use	A-3	Zoning	A-3	
FEMA Map #		Elevation	N/A	MFE	N/A	River	N/A	Plans Examiner	T.C.	Date	2-11-11
Comments											
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☒ Well letter ☐ 911 Sheet ☐ Parent Parcel # ☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter IMPACT FEES: EMS _____ Fire _____ Corr _____ ☐ Sub VF Form Road/Code _____ School _____ = TOTAL (Suspended) ☐ App Fee Paid N/A											

Septic Permit No. 10-0557

Fax (229) 243-0832

Name Authorized Person Signing Permit James Mayer

Cell #
Phone (229) 400-2034

Address 2465 Colquitt Hwy Colquitt GA 39837

Owners Name Peter Carpenter Phone 352-231-3918

911 Address 250 SW Targ CT. Fort White FL 32038

Contractors Name Michael R Johnson Phone (229) 246-0449

Address 2465 Colquitt Hwy Colquitt GA 39837

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address Bechtel Engineering & Test 605 NEW YORK AVE Deland FL

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 33-55-16-03745-311 Estimated Cost of Construction \$118,963.35

Subdivision Name SunView Estates Add'l Lot 11 Block _____ Unit _____ Phase _____

Driving Directions 75 South to Exit 423 47 South to Right on SW SunView CT Right on SW Targ CT second drive on left

Number of Existing Dwellings on Property 0

Construction of Metal Blog

Total Acreage 5 Lot Size 781 x 277

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive

Total Building Height _____

Actual Distance of Structure from Property Lines - Front 288 Side 80 Side 173 Rear 439

Number of Stories 1 Heated Floor Area 0 Total Floor Area 1440 Roof Pitch 3/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.

HAVE MR. JOHNSON
to sign

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

* Contractor's License Number _____
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20__.

Personally known _____ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)

HAVE MR. JOHNSON
do sign

Columbia County Building Permit Application

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Michael R. Johnson

Contractor's Signature (Permitee)

* Contractor's License Number CC01254822
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 1st day of Feb. 2011.
Personally known ☒ or Produced Identification _____

Smiley A. Martinez
State of Florida-Notary Signature (For the Contractor)
GEORGIA



SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1102-22 CONTRACTOR Michael R. Johnson PHONE 229.400.2034

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR	<u>CBC1254822</u>	<u>Michael R. Johnson</u>	<u>[Signature]</u> - Agent.

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

PRODUCT APPROVAL SPECIFICATION SHEET

Location: _____

Project Name: _____

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging 1 ✓	ELIXIR INDUSTRIES SA	Model 402-H	FL1722-R3
2. Sliding			
3. Sectional			
4. Roll up 2 ✓	ASTA INDUSTRIES INC	Model 203	FL9888-R2
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung 2 ✓	PHILLIPS PRODUCTS INC.	Model 23V	FL6228-R1
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles			
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives – Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight			
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof	✓ CAROLINA CARPORTS INC	26 Gauge Panel	FL 6596-R1
11. Wall	11	11	FL 6102-R1
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

James Player
 Contractor or Contractor's Authorized Agent Signature
 250 SW 1st Ave CT
 Location

James Player
 Print Name
 2/17/11
 Date



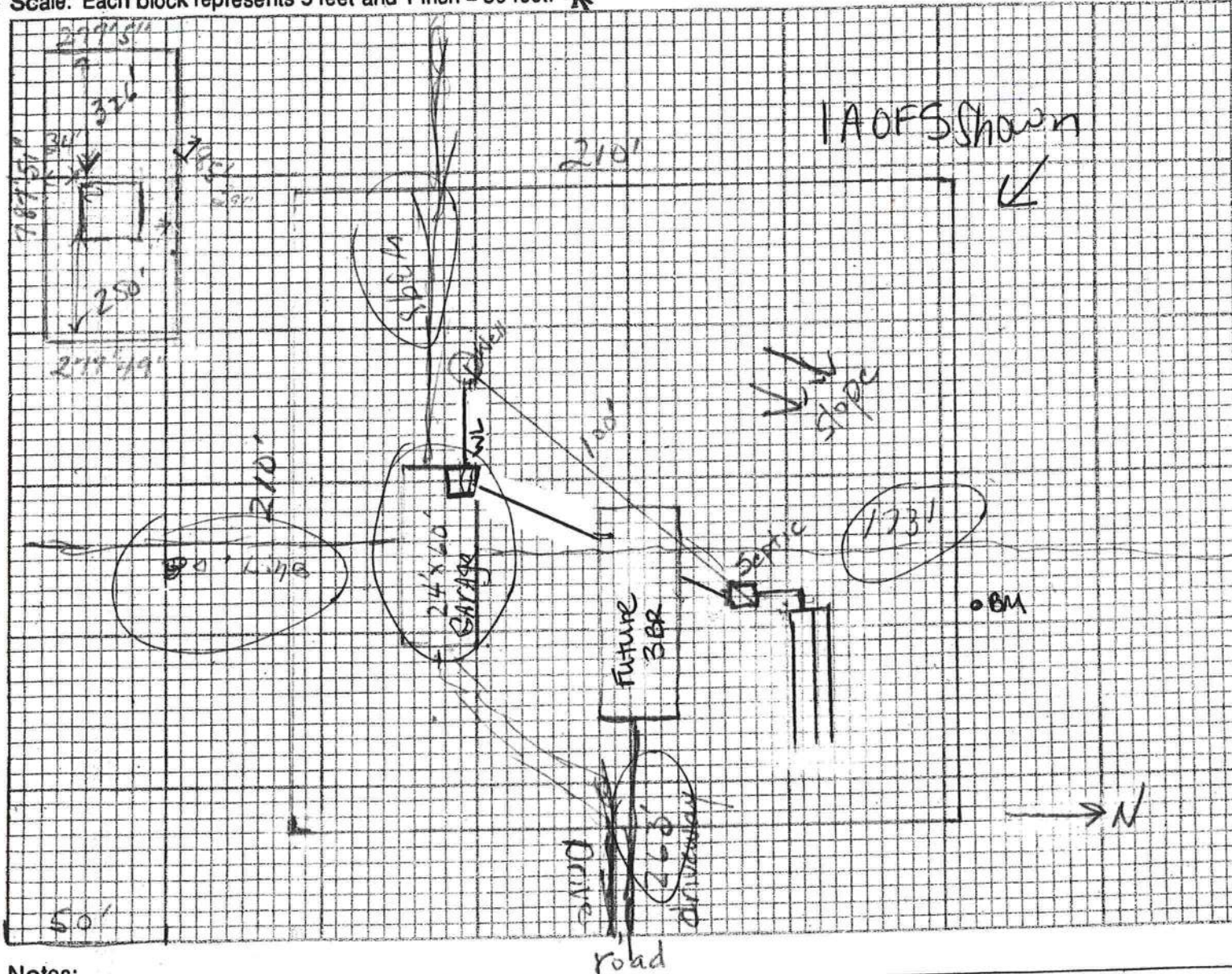
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 10-8557

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes:

Site Plan submitted by: [Signature]

Signature

Title

Plan Approved X

Not Approved

Date 2/22/10

By [Signature]

Columbia

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 12/10/2010 DATE ISSUED: 12/21/2010

ENHANCED 9-1-1 ADDRESS:

250 SW TARA CT

FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

33-5S-16-03745-311

Remarks:

LOT 11 SUNVIEW ESTATES ADDITION S/D

Address Issued By:



Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

33-55-16-03745 -31

Clerk's Office Stamp

Inst: 201112002146 Date: 2/11/2011 Time: 8:50 AM
DC, P DeWitt: Cason, Columbia County Page 1 of 1 B: 1209 P: 1805

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): SUNVIEW estates Add'n Lot 11
a) Street (job) Address: 250 SW TARA Court Ft White FL 32038
2. General description of improvements: Steel Buildings on Concrete
3. Owner Information
a) Name and address: Peter Carpenter 250 SW TARA Court Ft White FL 32038
b) Name and address of fee simple titleholder (if other than owner):
c) Interest in property: OWNER
4. Contractor Information
a) Name and address: Michael R. Johnson 2465 Colquitt Hwy Colquitt GA 39837
b) Telephone No.: (229) 246-0449 Fax No. (Opt.): (229) 243-0852
5. Surety Information
a) Name and address: N/A
b) Amount of Bond:
c) Telephone No.: Fax No. (Opt.):
6. Lender
a) Name and address: N/A
b) Phone No.:
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: N/A
b) Telephone No.: Fax No. (Opt.):
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:
a) Name and address: N/A
b) Telephone No.: Fax No. (Opt.):
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10.

Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 4 day of February, 20 11, by:
Peter Carpenter as Owner (type of authority, e.g. officer, trustee, attorney
fact) for Peter Carpenter (name of party on behalf of whom instrument was executed).

Personally Known ☐ OR Produced Identification ☒ Type Tennessee DL

Notary Signature Laurie Hodson Notary Stamp or Seal:

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.



X [Signature]
Signature of Natural Person Signing (in line #10 above.)

METAL CARPORT INSTALLATION PLANS AND DETAILS
AND
FRAMING AND FASTENER SPECIFICATIONS

FOR CONSTRUCTION IN THE
STATE OF FLORIDA

PREPARED FOR:
CAROLINA CARPORTS, INC.
P.O. BOX 1263
DOBSON, NORTH CAROLINA 27017

PREPARED BY:
BECHTOL ENGINEERING AND TESTING, INC.
605 WEST NEW YORK AVENUE
DELAND, FLORIDA 32720
Certificate of Authorization No. 00005492

WINDOW AND DOOR NOTE

EXTERIOR WINDOWS AND GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY, AND BEAR AN AAMA OR WDMA OR OTHER APPROVED LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT EVALUATION ENTITY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF THE FOLLOWING SPECIFICATION:

ANSI/AAMA/NWDA 101/IS2 2/97
THE CONSTRUCTION SHALL BE TESTED IN ACCORDANCE WITH ASTM E 330, STANDARD TEST METHODS FOR STRUCTURAL PERFORMANCE OF EXTERIOR WINDOWS, CURTAIN WALLS, AND DOORS BY UNIFORM STATIC AIR PRESSURE.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2007 FLORIDA BUILDING CODE, AND 2009 SUPPLEMENTS. THE PLANS ARE VALID UNTIL THE NEXT REVISION OF THE FLORIDA BUILDING CODE.



CAROLINA CARPORTS, INC.

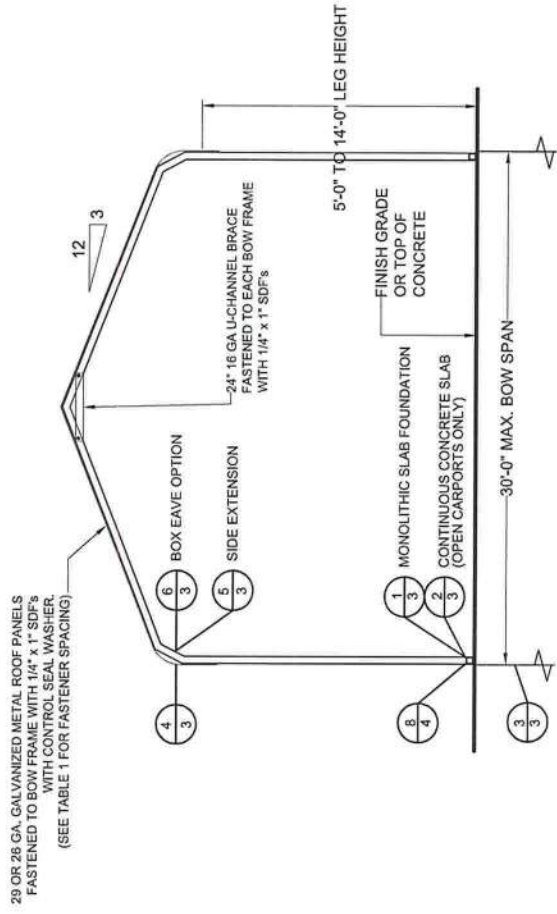
BECHTOL ENGINEERING AND TESTING, inc.		FIELD:	DATE:
		DRAWN: RR	12-13-10
		CHECKED: TB	SCALE: NTS
		APPROVED: TB	PLG. NO.: 06175
		SHEET 1 OF 4	

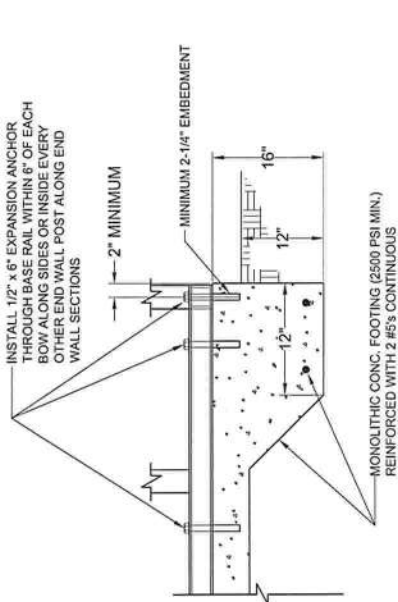
TABLE 1 BOW/RAFTER FRAME, END POST, GROUND ANCHOR AND PANEL FASTENER SPACING SPECIFICATIONS			
WIND EXPOSURE CATEGORY	BASIC WIND SPEED 3-SECOND GUST (MPH)	MAXIMUM BOW AND END POST SPACING (FEET)	AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS (INCHES)
			INTERIOR BOWS END BOWS
B OR C	100 TO 130	5.0	6 6
	140 TO 150	4.0	6 6
NOTES: 1. Specifications applicable to 29 gauge (100 to 130 mph) and 26 gauge (100 to 150 mph) metal panels fastened directly to 12 or 14 gauge steel tube bow frames. 2. Fasteners consist of 1/4"-14X1" self-drilling screws with control seal washer. 3. Specifications applicable only for mean roof height of 20 feet or less, and roof slopes of 14° (3:12 pitch). Spacing requirements for other roof heights and/or slopes may vary. 4. Ground anchors requirements are 1 @ each corner and one every other interior bow/rafter post location, at a maximum of 10' O.C. 5. Ground anchors are not required with concrete slab construction.			

APPROVED PRODUCTS LIST			
PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER	APPROVAL No. & DATE
STRUCTURAL COMPONENTS	ROOF DECK	CAROLINA CARPORTS, INC. 26 Gauge AG Panel	FL6596-R1 10/14/08
STRUCTURAL COMPONENTS	STRUCTURAL WALL	CAROLINA CARPORTS, INC. 26 Gauge AG Panel	FL6702-R1 10/14/08
EXTERIOR DOORS	SWINGING	ELIXIR INDUSTRIES GA. Model 402-14	FL1722-R3 10/13/09
EXTERIOR DOORS	ROLL-UP	ASTA INDUSTRIES INC. Model 203	FL8888-R2 12/09/09
WINDOWS	SINGLE HUNG	PHILLIPS PRODUCTS, INC. Model 23V	FL6228-R1 10/11/06

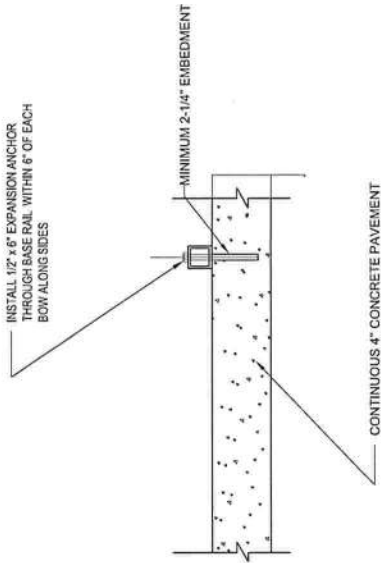
GENERAL NOTES:

- ALL STEEL TUBING SHALL BE 60 KSI STEEL.
- FASTEN METAL ROOF AND WALL PANELS TO FRAMING WITH 1/4" x 1" SELF DRILLING FASTENERS WITH CONTROL SEAL WASHER @ 6" O.C. AVERAGE. (SEE TABLE 1 FOR FASTENER SPACING SPECIFICATIONS)
- ALL FIELD CONNECTIONS SHALL BE 1/4" x 1" SELF DRILLING SCREWS.
- ALL SHOP CONNECTIONS SHALL BE WELDED.

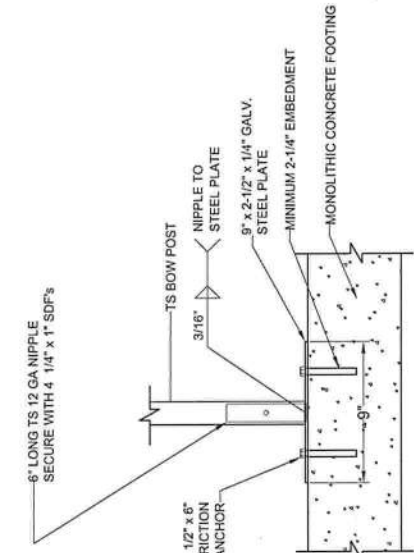




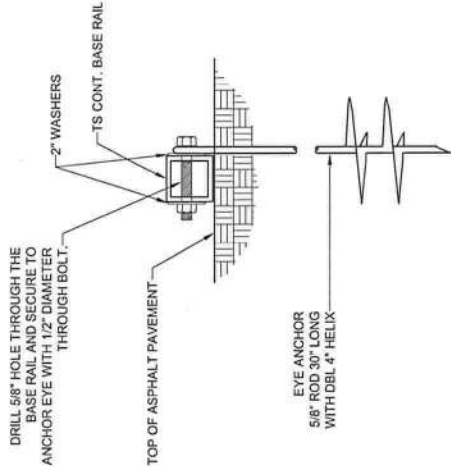
1 CONCRETE BASE RAIL ANCHORAGE (OPTIONAL)
Not To Scale



2 CONCRETE BASE RAIL ANCHORAGE (OPTIONAL - OPEN CARPORTS ONLY)
Not To Scale



ALTERNATE POST TO CONCRETE FOUNDATION CONNECTION DETAIL
Not To Scale



3 BASE RAIL ANCHORAGE
Not To Scale

CONCRETE:
CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE: 3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER AND 1 1/2 INCHES ELSEWHERE. REINFORCING BARS EMBEDDED IN GROUTED CELLS SHALL HAVE A MINIMUM CLEAR DISTANCE OF 1/4 INCH FOR FINE GROUT OR 1/2 INCH FOR COARSE GROUT BETWEEN REINFORCING BARS AND ANY FACE OF A CELL. REINFORCING BARS USED IN MASONRY WALLS SHALL HAVE A MASONRY COVER (INCLUDING GROUT) OF NOT LESS THAN 2 INCHES FOR MASONRY UNITS WITH EXPOSED TO EARTH OR WEATHER 1 1/2 INCHES FOR MASONRY UNITS NOT EXPOSED TO EARTH OR WEATHER.

REINFORCING STEEL:

THE REINFORCING STEEL SHALL BE MINIMUM GRADE 40.

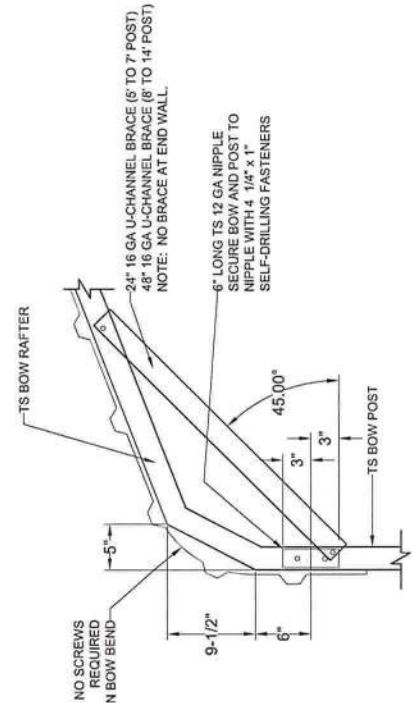
GALVANIZATION:

METAL ACCESSORIES FOR USE IN EXTERIOR WALL CONSTRUCTION AND NOT DIRECTLY EXPOSED TO THE WEATHER SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A 153, CLASS B-2. METAL PLATE CONNECTORS, SCREWS, BOLTS AND NAILS EXPOSED DIRECTLY TO THE WEATHER SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.

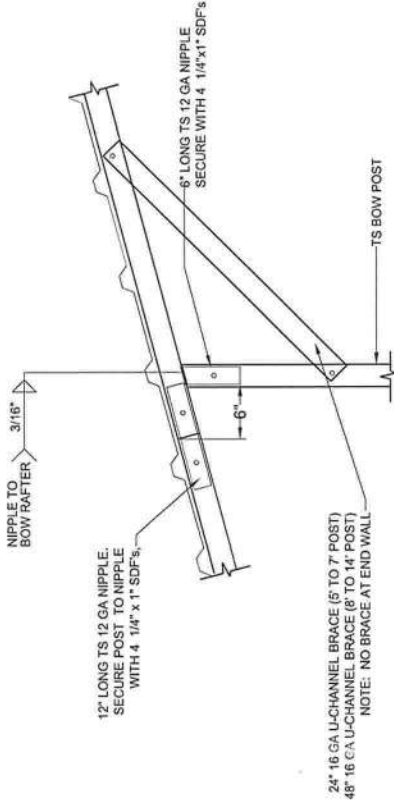
REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. ALL REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS AND
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

EXCEPTION: WHERE BENDING IS NECESSARY TO ALIGN DOWEL BARS WITH A VERTICAL CELL, BARS PARTIALLY EMBEDDED IN CONCRETE SHALL BE PERMITTED TO BE BENT AT A SLOPE OF NOT MORE THAN 1 INCH OF HORIZONTAL DISPLACEMENT TO 6 INCHES OF VERTICAL BAR LENGTH.



4 BOW/CORNER POST DETAIL
Not To Scale

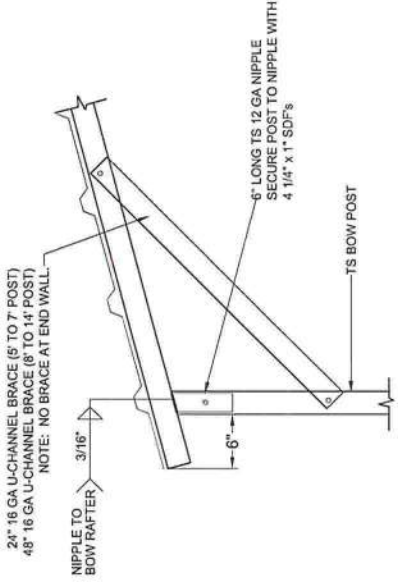


5 SIDE EXTENSION RAFTER/CORNER POST DETAIL
Not To Scale

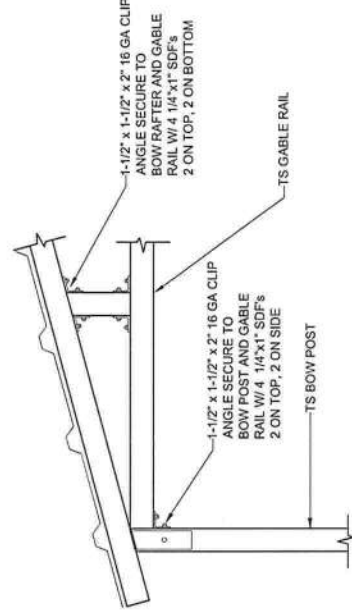
1-1/2" 18 GAUGE FURRING CHANNEL FASTENED TO EACH RAFTER WITH (2) 1/4" x 1" SELF-DRILLING FASTENER SPACED NOT MORE THAN 48" O.C.



ROOF PANEL ATTACHMENT (ALTERNATE FOR VERTICAL ROOF PANELS)
Not To Scale



6 BOX EAVE RAFTER/CORNER POST DETAIL
Not To Scale



7 GABLE RAIL TO RAFTER POST CONNECTION DETAIL
Not To Scale

NOTE:
14 GA FRAMING IS 2-1/2" x 2-1/2" TUBE STEEL
12 GA FRAMING IS 2-1/4" x 2-1/4" TUBE STEEL
NIPPLES ARE 2-1/4" x 2-1/4" 12 GA T.S. FOR 14 GA FRAMING.
NIPPLES ARE 2" x 2" 12 GA T.S. FOR 12 GA FRAMING.



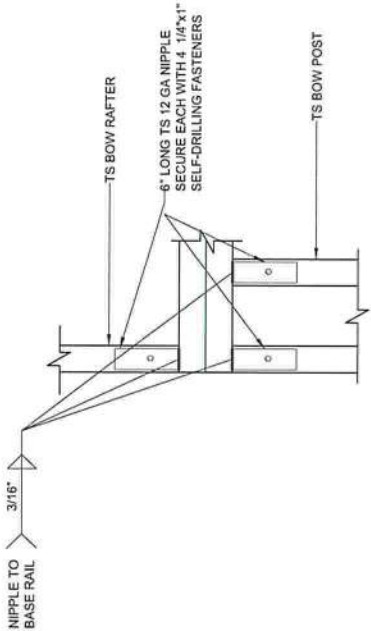
CAROLINA CARPORTS, INC.



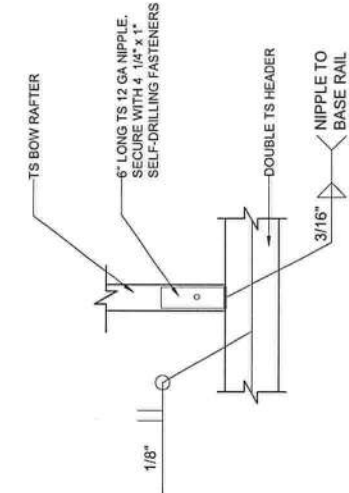
BECHTOL ENGINEERING
AND TESTING, Inc.

CONSULTING GEOTECHNICAL, ENVIRONMENTAL, AND MATERIALS TESTING ENGINEERS
Certificate of Authorization No. 00002593

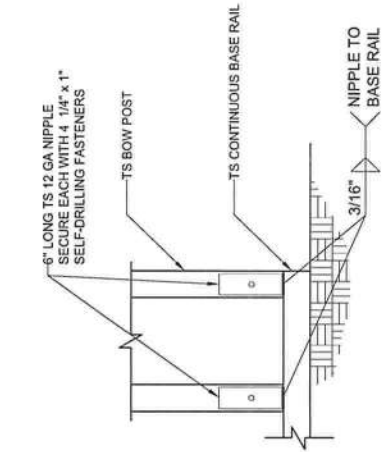
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DRAWN: RR	12-13-10
CHECKED: TB	SCALE: NTS
APPROVED: TB	PROJECT: 06175
	SHEET 3 OF 4



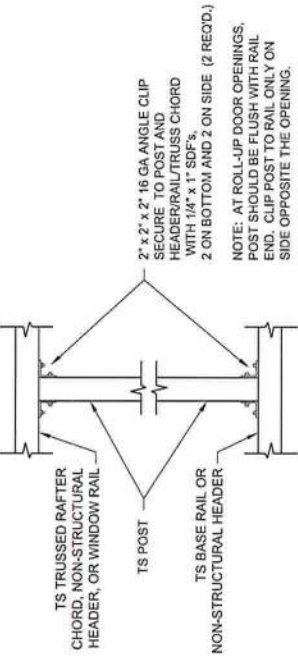
1 Rafter/Post Detail
Not To Scale



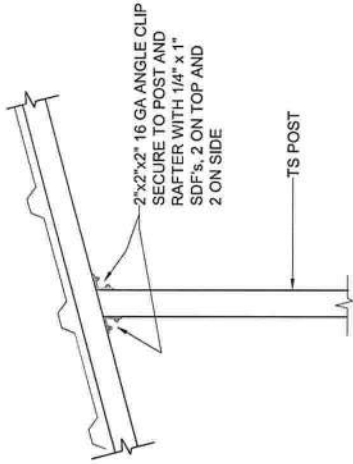
2 Bow/Header Detail
Not To Scale



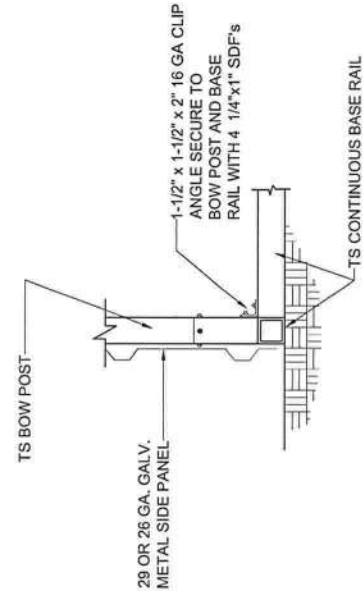
3 Bow/Base Rail Conn. Detail
Not To Scale



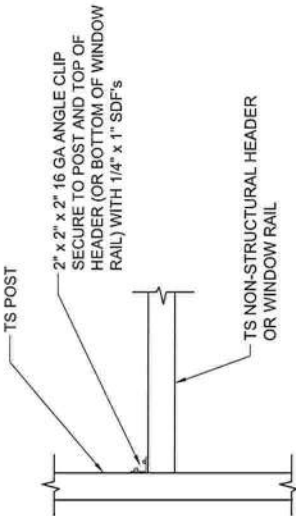
4 Post to Base Rail, Non-Structural Header or Truss Chord Conn. Detail
Not To Scale



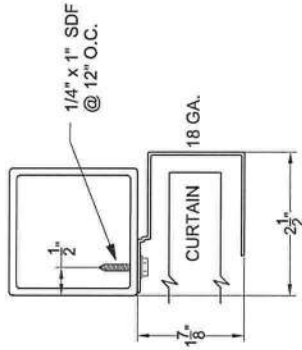
5 End Post/Rafter Conn. Detail
Not To Scale



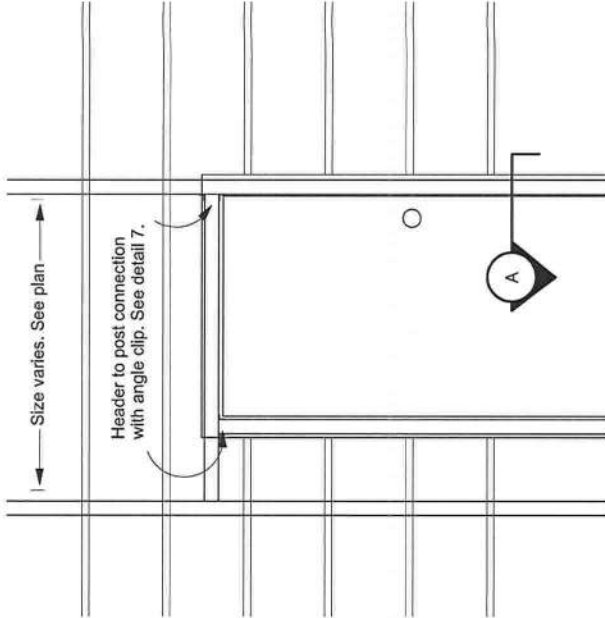
6 End Post/Base Rail Conn.
Not To Scale



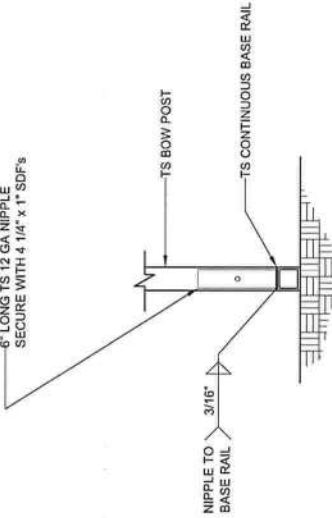
7 Non-Structural Header/Window Rail to Post Connection Detail
Not To Scale



Section Through Roll Up Door Header
Not To Scale
CURTAIN: 26 GA. galvanized steel with baked on epoxy primer & polyester top coat.



A Section
Not To Scale



8 Post/Base Rail Conn. Detail
Not To Scale

NOTE:
14 GA FRAMING IS 2-1/2" x 2-1/2" TUBE STEEL.
12 GA FRAMING IS 2-1/4" x 2-1/4" TUBE STEEL.
NIPPLES ARE 2-1/4" x 2-1/4" 12 GA T.S. FOR 14 GA FRAMING.
NIPPLES ARE 2" x 2" 12 GA T.S. FOR 12 GA FRAMING.



CAROLINA CARPORTS, INC.

 BECHTOL ENGINEERING AND TESTING, Inc. CONSULTING GEOTECHNICAL, ENVIRONMENTAL AND MATERIALS TESTING ENGINEERS OFFICE: FAYETTEVILLE, NC 28404	FIELD:	DATE:
	DRAWN: RR	12-13-10
	CHECKED: TB	SCALE: NTS
	APPROVED: TB	PENAL NO: 06175
		SHEET 4 OF 4