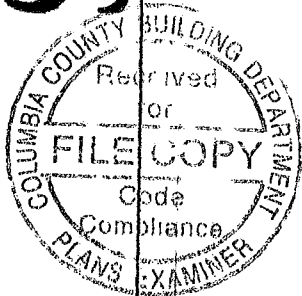


PEELED POOLS



NOTES:
1. SEE SPECIFICATIONS FOR ALL MATERIALS AND METHODS OF CONSTRUCTION.
2. SEE SPECIFICATIONS FOR ALL MATERIALS AND METHODS OF CONSTRUCTION.
3. SEE SPECIFICATIONS FOR ALL MATERIALS AND METHODS OF CONSTRUCTION.
4. SEE SPECIFICATIONS FOR ALL MATERIALS AND METHODS OF CONSTRUCTION.
5. SEE SPECIFICATIONS FOR ALL MATERIALS AND METHODS OF CONSTRUCTION.

LEGEND

SYMBOL	DESCRIPTION
	ELEVATION MARK
	SECTION MARK
	DETAIL CALLOUT
	ELEVATION INDICATOR
	DOOR TAG
	WINDOW TAG
	ROOM TAG
	REVISION CLOUD
	W/TAG

DRAWING INDEX - BUILDING PACKAGE

SHEET #	SHEET TITLE	REV #	REV DATE
T-10	TITLE SHEET	0	05-18-10
S-10	SECTIONS	0	05-18-10
A-10	PLAN VIEW	0	05-18-10

GENERAL DESIGN REQUIREMENTS:

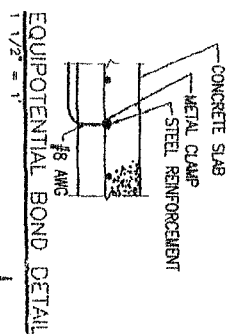
- DESIGN DIMENSIONS SHALL COMPLY WITH SPECIFICATIONS IN ANSI/NSP 5 RESIDENTIAL IN-GROUND POOLS BASED ON THE POOL TYPE AND NSP 3 PERMANENTLY INSTALLED RESIDENTIAL SPAS.
- SEE ANSI/NSP 5 FOR DIVING WATER ENVELOPES.
- SLIDES SHALL MEET MANUFACTURER'S INSTALLATION REQUIREMENTS.
- ENTRY/EXIT SHALL COMPLY WITH ANSI/NSP 5 AND NSP 3 LADDERS, UNDERWATER SEATS AND SWIM OUTS (MAX. 20" BELOW WATER).
- CIRCULATION SYSTEMS, COMPONENTS & EQUIPMENT SHALL COMPLY WITH NSF 50.
- THE MAXIMUM TURNOVER RATE IS 12 HOURS.
- FILTERS SHALL HAVE AN AIR RELIEF AND PRESSURE GAUGE PLANS 3 HP AND LESS SHALL MEET ANSI/UL 1081.
- CORROSION RESISTANT STRAINER AND MEET THE REQUIRED FLOW.
- SURFACE SKIMMERS SHALL MEET NSF 50 AND THERE SHALL BE ONE FOR EVERY 800 SQUARE FEET OF SURFACE AREA.
- RETURN INLETS SHALL BE A MINIMUM OF ONE FOR EVERY 800 SQ. FT.
- HEADERS SHALL MEET ANSI-Z21.56 OR UL1261 OR UL559.
- DISINFECTANT EQUIPMENT SHALL COMPLY WITH NSF 50.
- PRESSURE TEST PUMP AT 35 PSI FOR 15 MINUTES OR MEET LOCAL CODE IF GREATER.
- POOL SHAPE IS FREE FORM, ABOVE SHAPE AND DIMENSION ARE APPROXIMATE.
- ASSUMED SOIL BEARING = 1.5 KSF.
- INSTALL CONTROL JOINTS @ 20'-0" O.C. IN POOL DECKING.
- CONCRETE STAIRS ARE 12" TREAD WITH AND 10" MAX. HEIGHT.
- LIGHTING IF INSTALLED WILL BE FIBER OPTIC OR LED.
- ALL EQUIPMENTAL BONDING SHALL BE INSTALLED PER 2008 NEC 680.26.
- SLAB AND FOOTING 2500 PSI CONCRETE, GRADE 40 STEEL REBAR.

SPECIAL SPA REQUIREMENTS:

- MAXIMUM WATER DEPTH 4', MAXIMUM SEAT DEPTH 28".
- MAXIMUM FLOOR SLOPE 1:12.
- STEPS: MINIMUM TREAD = 10" X 12", MINIMUM RISE = 7" MAXIMUM RISE = 12" EXCEPT THE BOTTOM STEP MAY BE 14" IF IT IS THE SEAT INTERMEDIATE TREADS AND RISERS TO BE UNIFORM.
- SLIDES SHALL MEET MANUFACTURER'S INSTALLATION REQUIREMENTS.
- IF THE SPA IS OPERATED INTERMITTENTLY IT SHALL HAVE A ONE HOUR TURNOVER.
- MAXIMUM TEMPERATURE IS 104° FAHRENHEIT.
- MEET ANSI/NSP ARTICLE XVI SAFETY INSTRUCTION/SAFETY SIGN.
- PRESSURE TEST PUMP AT 35 PSI FOR 15 MINUTES OR MEET LOCAL CODE IF GREATER.
- ELECTRICAL REQUIREMENTS.
- WIRING AND BONDING AND ALL ELECTRICAL TO NEC ARTICLE 680 OR LOCAL CODE.
- NO OUTLET OR OVERHEAD POWER WITHIN 10' IF WITHIN 15' PROTECT BY GFI TRANSFORMER MINIMUM 10' FROM POOL & ABOVE WATER, J BOX 4' FROM POOL, BRASS TO J BOX OR TRANSFORMER WHICH EVER IS FIRST EXCEPT WHERE PVC IS APPROVED.
- EQUIPMENTAL BONDING GOOD TO BE ACCOMPLISHED PER THE NEC, SECTION 680.26 (C)(3)b.

ADDITIONAL NOTES:

- POOL INSTALLATION SHALL BE BY A QUALIFIED AND LICENSED (APPROVED BY LOCAL BUILDING DEPARTMENT) POOL CONTRACTOR. THE INSTALLATION SHALL CONFORM TO ALL LOCAL BUILDING CODES, I.E. PERMITS, SPECIFICATIONS, CODES, RULES, INSPECTIONS, WORKMANSHIP, ETC.
- POOL SHELL SHALL BEAR ON UNDISTURBED SOIL, FREE OF PEAT, MUCK, OR OTHER DELETERIOUS MATERIAL OF ANY SIGNIFICANT AMOUNT.
- BACKFILL MATERIAL MUST NOT CONTAIN ROCKS OR OTHER MATERIALS THAT COULD DAMAGE POOL WALLS.
- POOL TURNOVER SHALL BE 12 HOURS, MAXIMUM WITH CARTRIDGE FILTER, APPROVED PUMP (MIN 2 HP WITH 29 GPM @ 20 TH).
- STEPS SHALL BE PROVIDED AT THE SHALLOW END OF THE POOL.
- LADDERS ARE TO BE PROVIDED IN POOLS WITH GREATER THAN 5' DEPTH WITHOUT SWIMMERS.
- INSTALL LOW VOLTAGE LIGHT PER NEC 680.
- DURING HIGH-TEMPERATURE WARNING OR ALERT, THIS POOL SHALL BE FILLED WITH WATER.
- ALL GLASS WITHIN 5' OF WATER'S EDGE SHALL COMPLY WITH R308.4(9) FOR SAFETY GLAZING.





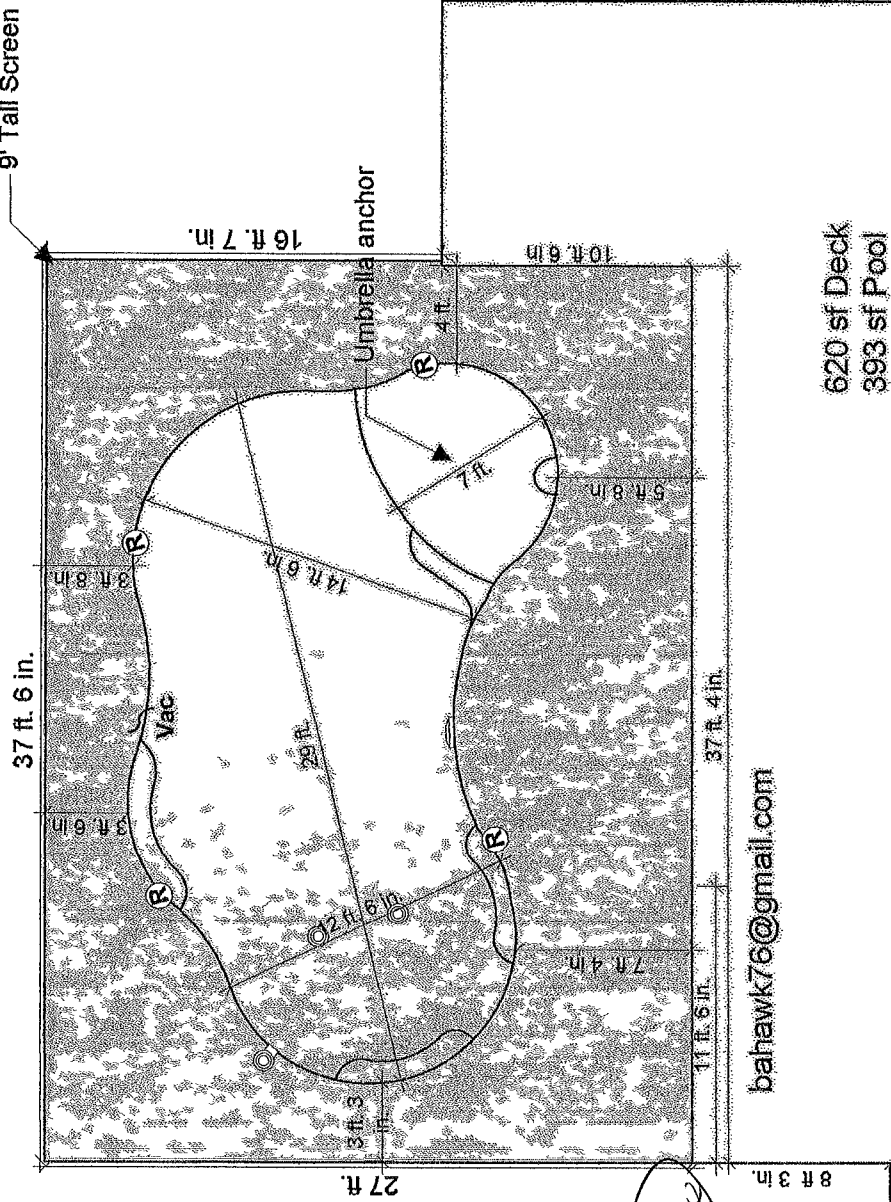
Construction, Renovation and Design

Peeler Pools

www.peelerpools.com

Screen roof 27' x 37'6"
Screen Walls
8'3"x37'6"+16'7"x9'
Tail

9' Tall Screen



620 sf Deck
393 sf Pool

bahawk76@gmail.com

Peeler Pools
9878 S U.S.Hwy 441
Lake City FL 32025

Phone: 386-755-2848

Fax: 386-755-5577

Designed by:
Raymond Peeler
2/26/2013

Hawkins, Brian & Jolene
Designed 312 SW Traver Ct.
for: Ft White FL 32038

SCALE: 1/8" = 1'

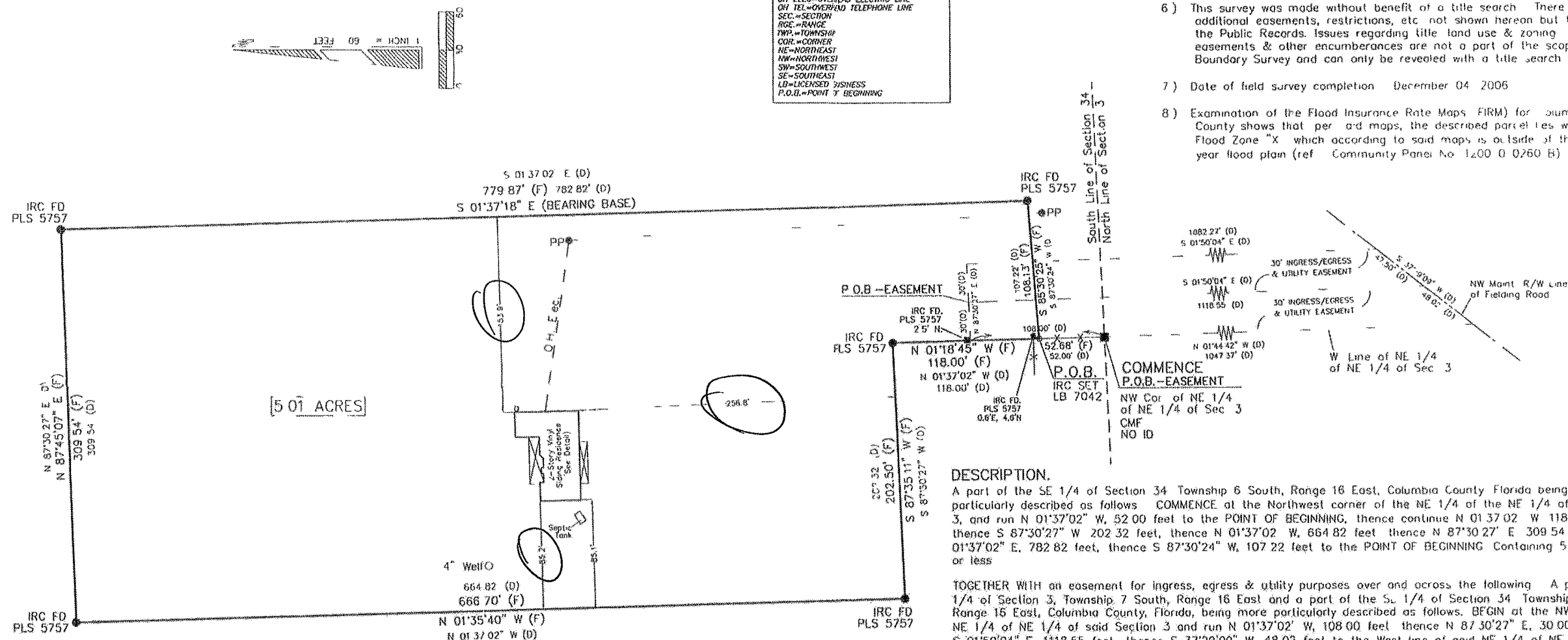
BOUNDARY SURVEY

IN SECTION 34, TOWNSHIP 6 SOUTH, RANGE 16 EAST
COLUMBIA COUNTY, FLORIDA

LEGEND
CMF=CONCRETE MONUMENT FOUND
PLS=PROFESSIONAL LAND SURVEYOR
P.S.M.=PROFESSIONAL SURVEYOR & MAPPER
R/W=RIGHT-OF-WAY
PP=POWER POLE
IRC=IRON REBAR & CAP
NO ID=NO IDENTIFICATION
ME=METER, ELECTRIC
(F)=FIELD MEASUREMENTS
(D)=DEED MEASUREMENTS
FD=FOUND
OH ELEC=OVERHEAD ELECTRIC LINE
OH TEL=OVERHEAD TELEPHONE LINE
SEC=SECTION
RGE=RANGE
TWP=TOWNSHIP
COR=CORNER
NE=NORTHEAST
NW=NORTHWEST
SW=SOUTHWEST
SE=SOUTHEAST
LD=LICENSED BUSINESS
P.O.B.=POINT OF BEGINNING

NOTES.

- 1) Monumentation is as shown and designated on the face of the plat.
- 2) Boundary based on monumentation found in place description furnished by client prior survey by Britt Surveying.
- 3) Bearings projected from East property line and based on above referenced prior survey by Britt Surveying.
- 4) Interior improvements were located by field ties.
- 5) Underground encroachments if present were not located with this survey.
- 6) This survey was made without benefit of a title search. There may be additional easements, restrictions, etc. not shown hereon but found in the Public Records. Issues regarding title land use & zoning easements & other encumbrances are not a part of the scope of a Boundary Survey and can only be revealed with a title search.
- 7) Date of field survey completion December 04, 2006.
- 8) Examination of the Flood Insurance Rate Maps (FIRM) for Columbia County shows that per said maps, the described parcel lies within Flood Zone "X" which according to said maps is outside of the 100 year flood plain (ref. Community Panel No. 1200 D 0260 B).

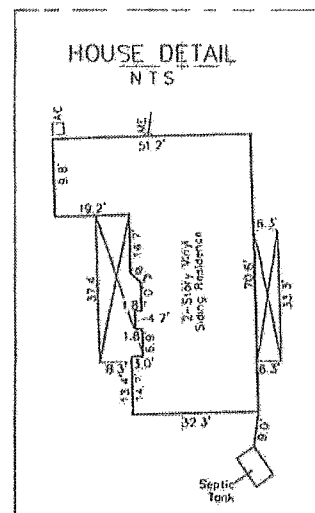


DESCRIPTION.

A part of the SE 1/4 of Section 34, Township 6 South, Range 16 East, Columbia County, Florida being more particularly described as follows: COMMENCE at the Northwest corner of the NE 1/4 of the NE 1/4 of said Section 3, and run N 01°37'02" W, 52.00 feet to the POINT OF BEGINNING, thence continue N 01°37'02" W 118.00 feet thence S 87°30'27" W 202.32 feet, thence N 01°37'02" W, 664.82 feet thence N 87°30'27" E 309.54 feet thence S 01°37'02" E, 782.82 feet, thence S 87°30'24" W, 107.22 feet to the POINT OF BEGINNING. Containing 5.01 acres, more or less.

TOGETHER WITH an easement for ingress, egress & utility purposes over and across the following: A part of the NE 1/4 of Section 3, Township 7 South, Range 16 East and a part of the SE 1/4 of Section 34, Township 6 South, Range 16 East, Columbia County, Florida, being more particularly described as follows: BEGIN at the NW corner of the NE 1/4 of the NE 1/4 of said Section 3 and run N 01°37'02" W, 108.00 feet thence N 87°30'27" E, 30.00 feet thence S 01°50'04" E, 1118.55 feet thence S 37°29'09" W, 48.02 feet to the West line of said NE 1/4 of NE 1/4, thence N 01°44'42" W, along said West line, 1047.37 feet to the POINT OF BEGINNING.

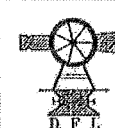
ALSO TOGETHER WITH an easement for ingress, egress & utility purposes over and across the following: A part of the NE 1/4 of Section 3, Township 7 South, Range 16 East and a part of the SE 1/4 of Section 34, Township 6 South, Range 16 East, Columbia County, Florida being more particularly described as follows: COMMENCE at the NW corner of the NE 1/4 of the NE 1/4 of said Section 3 and run N 01°37'02" W 108.00 feet thence N 87°30'27" E, 30.00 feet to the POINT OF BEGINNING thence continue N 87°30'27" E 30.00 feet thence S 01°50'04" E, 1082.27 feet thence S 37°29'09" W, 47.50 feet, thence N 01°50'04" W, 1118.55 feet to the POINT OF BEGINNING.



CERTIFIED TO: Brian A. Hawkins
Jolene A. Hawkins
People's State Bank
Title Offices, LLC
Tiger Title Insurance Company

NOT VALID WITHOUT THE SIGNATURE
AND ORIGINAL RAISED SEAL OF A
FLORIDA REGISTERED PROFESSIONAL
SURVEYOR AND MAPPER

Timothy A. Delbene, P.L.S.
Florida Reg. No. 5594
DATE: 12/17/2006



Donald F. Lee and Associates, Inc.

SURVEYORS - ENGINEERS
140 Northwest Ridgewood Avenue, Lake City, Florida 32055
Phone: (386) 755-6166 FAX: (386) 755-6167
Certificate of Authorization # LB 7042

Date: 12/04/2006
Drafting: A V G
Computations: A V G
Checked: T A D

BRIAN & JOLENE
HAWKINS

Scale: 1"=60'
Field Book: 06-504
Work Order: 06-5163
File: A-41-13

CAD FILE: 5163B.DWG