

DATE 05/10/2010

**Columbia County Building Permit**  
This Permit Must Be Prominently Posted on Premises During Construction

**PERMIT**  
**000028549**

APPLICANT BRENT HANDY PHONE 386.984.0917  
ADDRESS 295 NW COMMONS LOOP LAKE CITY FL 32055  
OWNER ABRAM & ANGELA HUBER PHONE 386.867.1463  
ADDRESS 225 SW FINLEY LITTLE LN LAKE CITY FL 32024  
CONTRACTOR BRENT HANDY PHONE 386.755.7300  
LOCATION OF PROPERTY 47-S TO LITTLE RD,TL (SOUTHWOOD ACRES ENTRANCE),TL ON FINLEY  
LITTLE LN AND IT'S THE 3RD LOT DOWN ON THE L.  
TYPE DEVELOPMENT SWIMMING POOL ESTIMATED COST OF CONSTRUCTION 70000.00  
HEATED FLOOR AREA                      TOTAL AREA                      HEIGHT            STORIES             
FOUNDATION                      WALLS                      ROOF PITCH                      FLOOR                       
LAND USE & ZONING A-3 MAX. HEIGHT                       
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 1 FLOOD ZONE                      DEVELOPMENT PERMIT NO.                     

PARCEL ID 01-5S-16-03387-012 SUBDIVISION                       
LOT            BLOCK            PHASE            UNIT            TOTAL ACRES 2.00

CPC1456799

Culvert Permit No.                      Culvert Waiver                      Contractor's License Number                      Applicant/Owner/Contractor                       
EXISTING X-10-116 BLK HD N  
Driveway Connection                      Septic Tank Number                      LU & Zoning checked by                      Approved for Issuance                      New Resident                     

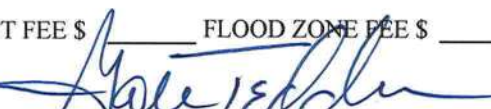

COMMENTS: NOC ON FILE. SWIMMING POOL ONLY. PERMIT FOR ELECTRICAL & DECK MUST BE  
PULLED PRIOR TO DECK OR ELECTRICAL BEING DONE.

Check # or Cash 3372

**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power                      Foundation                      Monolithic                       
                     date/app. by                      date/app. by                      date/app. by                       
Under slab rough-in plumbing                      Slab                      Sheathing/Nailing                       
                     date/app. by                      date/app. by                      date/app. by                       
Framing                      Insulation                       
                     date/app. by                      date/app. by                       
Rough-in plumbing above slab and below wood floor                      Electrical rough-in                       
                     date/app. by                      date/app. by                       
Heat & Air Duct                      Peri. beam (Lintel)                      Pool                       
                     date/app. by                      date/app. by                      date/app. by                       
Permanent power                      C.O. Final                      Culvert                       
                     date/app. by                      date/app. by                      date/app. by                       
Pump pole                      Utility Pole                      M/H tie downs, blocking, electricity and plumbing                       
                     date/app. by                      date/app. by                      date/app. by                       
Reconnection                      RV                      Re-roof                       
                     date/app. by                      date/app. by                      date/app. by                     

BUILDING PERMIT FEE \$ 350.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$             
FLOOD DEVELOPMENT FEE \$            FLOOD ZONE FEE \$            CULVERT FEE \$            **TOTAL FEE** 400.00  
INSPECTORS OFFICE  CLERKS OFFICE 

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

**The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.**



**Columbia County Building Permit Application**

**For Office Use Only** Application # 1004-55 Date Received 4/28/10 By LH Permit # 28549  
 Zoning Official BDR Date 06.05.10 Flood Zone N/A Land Use A-3 Zoning A-3  
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner LD Date 5-4-10  
 Comments paid App fee  
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # \_\_\_\_\_  
☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter  
 IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_ Road/Code \_\_\_\_\_  
 School \_\_\_\_\_ = TOTAL N/A Pool ☒ License updated

Septic Permit No. X10-116 (Inbox) Fax \_\_\_\_\_  
 Name Authorized Person Signing Permit Brent Handy Phone 386-984-0917  
 Address 295 NW Commons Loop, Ste 115-343, Lake City, FL 32055  
 Owners Name Abram Huber Phone 386-867-1463  
 911 Address 225 SW Finley Little Ln, Lake City, FL 32024  
 Contractors Name Brent Handy dba Paragon Pools Phone 386-755-7300  
 Address 295 NW Commons Loop, Ste 115-343, Lake City, FL 32055  
 Fee Simple Owner Name & Address N/A  
 Bonding Co. Name & Address N/A  
 Architect/Engineer Name & Address Kines Engineering, 1767 Lakewood Ranch Blvd, Bradenton, FL 34211  
 Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 01-55-16-03387-012 Estimated Cost of Construction 70,000  
 Subdivision Name Hwy 47 South Dr Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_  
 Driving Directions Hwy 47 South to Brentwood Rd turn Left Entrance to Southwood Estates Sub to Glenwood Cir turn Right to Little Rd turn Left to Finley Little Rd turn Left to job on left.

Number of Existing Dwellings on Property 1  
 Construction of inground swimming pool Pool Only no deck or electric 2nd floor Total Acreage 2 acres Lot Size \_\_\_\_\_  
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height \_\_\_\_\_  
 Actual Distance of Structure from Property Lines - Front 246' ± Side 58' ± Side 63' ± Rear 160' ±  
 Number of Stories 1 Heated Floor Area \_\_\_\_\_ Total Floor Area 1400 sq ft Roof Pitch \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.



## Columbia County Building Permit Application

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance.)

Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number CRC1456799  
Columbia County  
Competency Card Number 570 OK LA

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 28 day of April 20 10.

Personally known \_\_\_\_\_ or Produced Identification FL-DL

State of Florida Notary Signature (For the Contractor)

SEAL:

NOTARY PUBLIC-STATE OF FLORIDA  
George R. Morse  
Commission # DD924178  
Expires: SEP. 27, 2013  
BONDED THRU ATLANTIC BONDING CO., INC.





## COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

Application Number \_\_\_\_\_

### NOTICE TO SWIMMING POOL OWNERS

I Abram Huber have been informed and I understand that prior to the final inspection approval and use of my pool, I will need all the inspections approved and the required fencing installed in accordance with applicable regulations. The Florida Building Code Chapter 4 Section 24 requires private residential swimming pools, hot tubs, or non-portable spas containing water over 24 inches deep to meet the following pool barrier safety feature requirements:

- The pool access must be isolated by a barrier at least 4 feet high and installed around the perimeter of the pool. Unless the pool is equipped with a safety cover complying with the specifications of American Society for Testing and Materials standard F-1346-91.
- The barrier shall not have any gaps or openings which would allow a child to crawl under, squeeze through or climb over and must be placed no less than 20 inches from the water's edge.
- Gates located in the pool barrier must open outward away from the pool and be both self-closing and self latching, with a release mechanism not less than 54" above the standing surface at the gate.
- The barrier must be separate from any other fence, wall, or other enclosure surrounding the yard unless the fence, wall or other enclosure or portion thereof is situated on the perimeter of the pool and meets the pool barrier requirements.
- Where a wall of a dwelling serves as part of the barrier one of the following shall apply:
  - 1) All doors and first floor windows with a sill height of less than 48 inches providing direct access from the home to the pool must be equipped with an alarm that has a minimum sound pressure rating of 85 decibels at 10 feet. The alarm shall sound immediately upon opening the window or door unless the temporary bypass mechanism is activated.
  - 2) Or; all doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with a release mechanism located at least 54 inches above the floor.

According to Florida statutes, failure to comply with these requirements is a misdemeanor of the second degree, punishable by imprisonment for up to 60 days or a fine of up to \$500, except that no penalty shall be imposed if within 45 days after arrest or issuance of a summons or notice to appear, the pool is equipped with the aforementioned safety features and the responsible person attends a drowning prevention education program developed by the Florida Department of Health. I also understand that there are several inspections required in addition to a final inspection for my swimming pool.

Owner Signature [Signature] Date 4/27/10

Address: 225 SW Finley Little Ln, Lake City, FL 32024

Contractor Signature [Signature] / Date 4/28/10

License Number CPC1456799

## Columbia County Property Appraiser

DB Last Updated: 3/29/2010

### 2009 Tax Roll Year

Parcel: 01-5S-16-03387-012

[<< Next Lower Parcel](#)
[Next Higher Parcel >>](#)
[Tax Collector](#)
[Tax Estimator](#)
[Property Card](#)
[Parcel List Generator](#)
[Interactive GIS Map](#)
[Print](#)

&lt;&lt; Prev

Search Result: 3 of 6

Next &gt;&gt;

### Owner & Property Info

<b>Owner's Name</b>	HUBER ABRAM B & ANGELA D		
<b>Mailing Address</b>	P O BOX 932 LAKE CITY, FL 32056-0932		
<b>Site Address</b>	225 SW FINLEY LITTLE LN		
<b>Use Desc. (code)</b>	SINGLE FAM (000100)		
<b>Tax District</b>	3 (County)	<b>Neighborhood</b>	1516
<b>Land Area</b>	2.050 ACRES	<b>Market Area</b>	01
<b>Description</b>	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.  COMM SW COR OF NW1/4 OF NE1/4, RUN E 591.5 FT FOR POB, CONT E 180.50 FT, N 495 FT, W 180.50 FT, S 495 FT TO POB. ORB 337-164, 960-265.		



### Property & Assessment Values

2009 Certified Values		
Mkt Land Value	cnt: (0)	\$23,624.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$411,664.00
XFOB Value	cnt: (5)	\$28,115.00
Total Appraised Value		\$463,403.00
Just Value		\$463,403.00
Class Value		\$0.00
Assessed Value		\$463,403.00
Exempt Value	(code: HX)	\$50,000.00
Total Taxable Value		Cnty: \$413,403 Other: \$413,403   Schl: \$438,403

### 2010 Working Values

#### NOTE:

2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

### Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
NONE						

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2007	WD FR STUC (16)	4580	6651	\$396,951.00
Note: All S.F. calculations are based on exterior building dimensions.						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0180	FPLC 1STRY	2007	\$2,000.00	0000001.000	0 x 0 x 0	(000.00)
0166	CONC,PAVMT	2007	\$15,663.00	0005221.000	0 x 0 x 0	(000.00)
0021	BARN,FR AE	2007	\$9,072.00	0000648.000	24 x 27 x 0	(000.00)
0251	LEAN TO W/	2007	\$540.00	0000108.000	4 x 27 x 0	(000.00)
0251	LEAN TO W/	2007	\$540.00	0000108.000	4 x 27 x 0	(000.00)

### Land Breakdown



NOTICE OF COMMENCEMENT

Inst. 201012006727 Date: 4/28/2010 Time: 11:25 AM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1193 P: 1128

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 01-SS-16-03387-012

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description):

a) Street (job) Address: 225 SW Finley Little CN, Lake City, FL

2. General description of improvements: inground swimming pool

3. Owner Information

a) Name and address: Abram Huber, PO BOX 932, Lake City, FL, 32056

b) Name and address of fee simple titleholder (if other than owner) owner

c) Interest in property owner

4. Contractor Information

a) Name and address: Brent Hardy aka Pagan Parks, 295 NW Commons Loop Ste 115-343 Lake City, FL 32055

b) Telephone No.: 386-255-5300 Fax No. (Opt.) \_\_\_\_\_

5. Surety Information

a) Name and address: N/A

b) Amount of Bond: \_\_\_\_\_

c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_

6. Lender

a) Name and address: N/A

b) Phone No. \_\_\_\_\_

7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:

a) Name and address: owner

b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:

a) Name and address: N/A

b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

Print Name

ABRAM HUBER

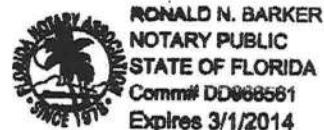
The foregoing instrument was acknowledged before me, a Florida Notary, this 28<sup>th</sup> day of April, 20 10, by:

Abram Huber as Owner (type of authority, e.g. officer, trustee, attorney

fact) for \_\_\_\_\_ (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification ☐ Type \_\_\_\_\_

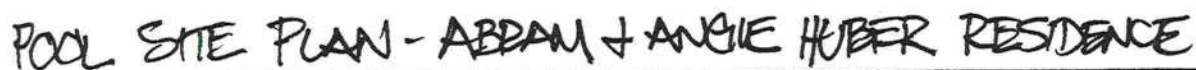
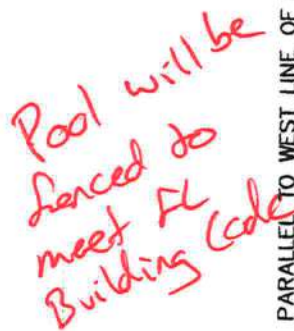
Notary Signature Ronald N. Barker Notary Stamp or Seal:



—AND—

11. Verification pursuant to Section 92.525, Florida Statutes, Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)

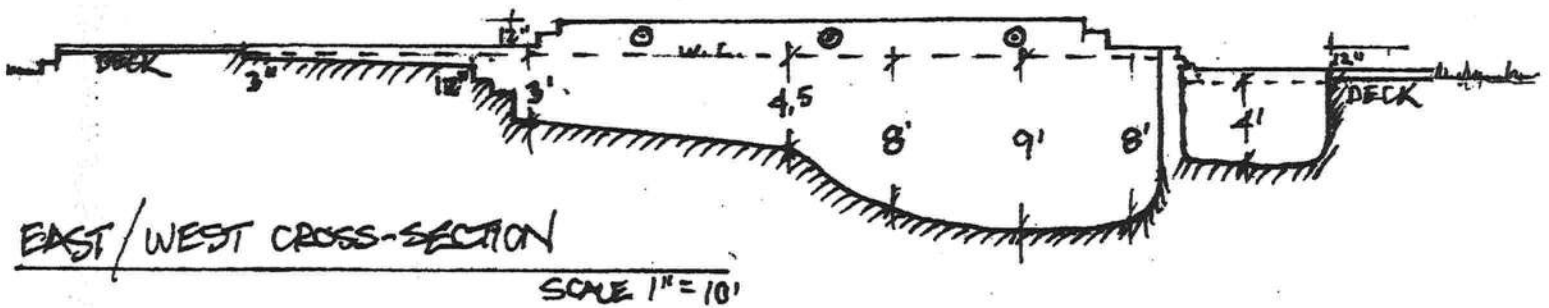
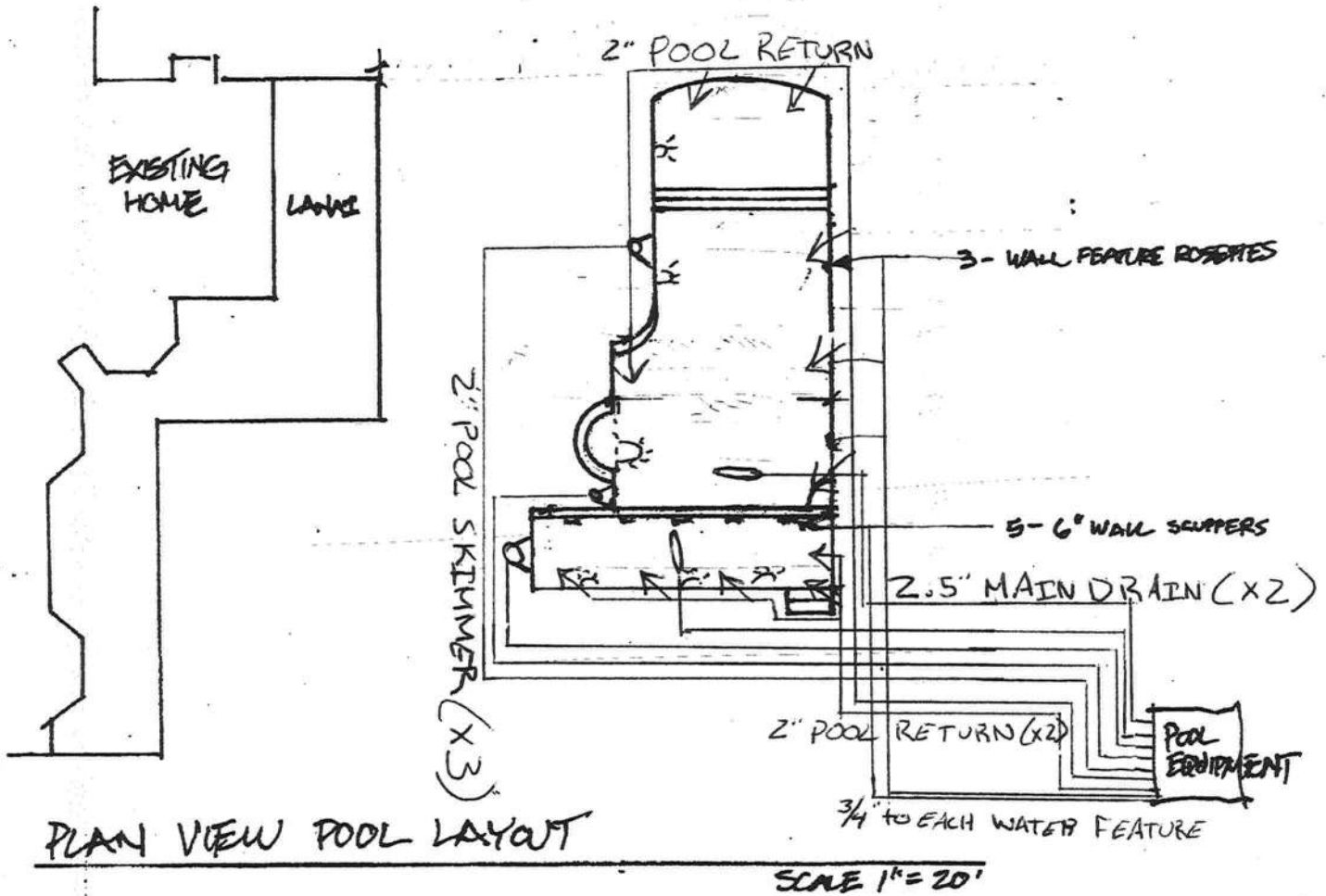


SCALE 1" = 40'





# PLUMBING DETAIL



ABRAM & ANNE HUBER POOL LAYOUT PLAN

**Site Specific Information for Compliance with 2007 FBC**

Pump Selection- Brand & Model	FILTRATION PUMP	SPA PUMP	FEATURE
EXISTING POOL PUMP	PENTAIR WHISPERFLO	0	0
	2.0 HP	0	0

**Choose Option for DETERMINING MAXIMUM SYSTEM FLOW AT SUCTION OUTLETS**

Maximum Flow from Pump- (Attach product pump curve)	X			
Simplified TDH- (Attach pump curve & Calculation)				
Detailed TDH Calculation- (Attach pump curve & Calculation)				
Pump Flow from Pump Curve with method indicated				
Adjusted Maximum Pump Flow for sizing Branch Pipe & Suction based on number of Suction Outlets used	130			GPM
Minimum Branch Pipe Size given flow at 6 FPS	N/A			Inch Pipe

**Listed Suction Cover/Grate**

Number of Suction Outlets	ONE UNBLOCKABLE			0
Manufacturer & Model	AQUASTAR 32CDDL			0
Maximum Flow Floor(GPM)/ Maximum Flow Wall (GPM)	316 208			/

**Trunk/Suction Pipe Sizing**

Flow Using Product Pump Curve at 60 FT TDH (1)	100 GPM			GPM
Minimum Trunk Pipe Size given flow @ 8 FPS	2.5 Inch Pipe			Inch Pipe

**Pressure/Return Pipe Sizing**

Flow Using Product Pump Curve at 60 FT TDH (1)	100 GPM			GPM
Minimum Pressure Pipe Size given flow @ 10 FPS	2 Inch Pipe			Inch Pipe

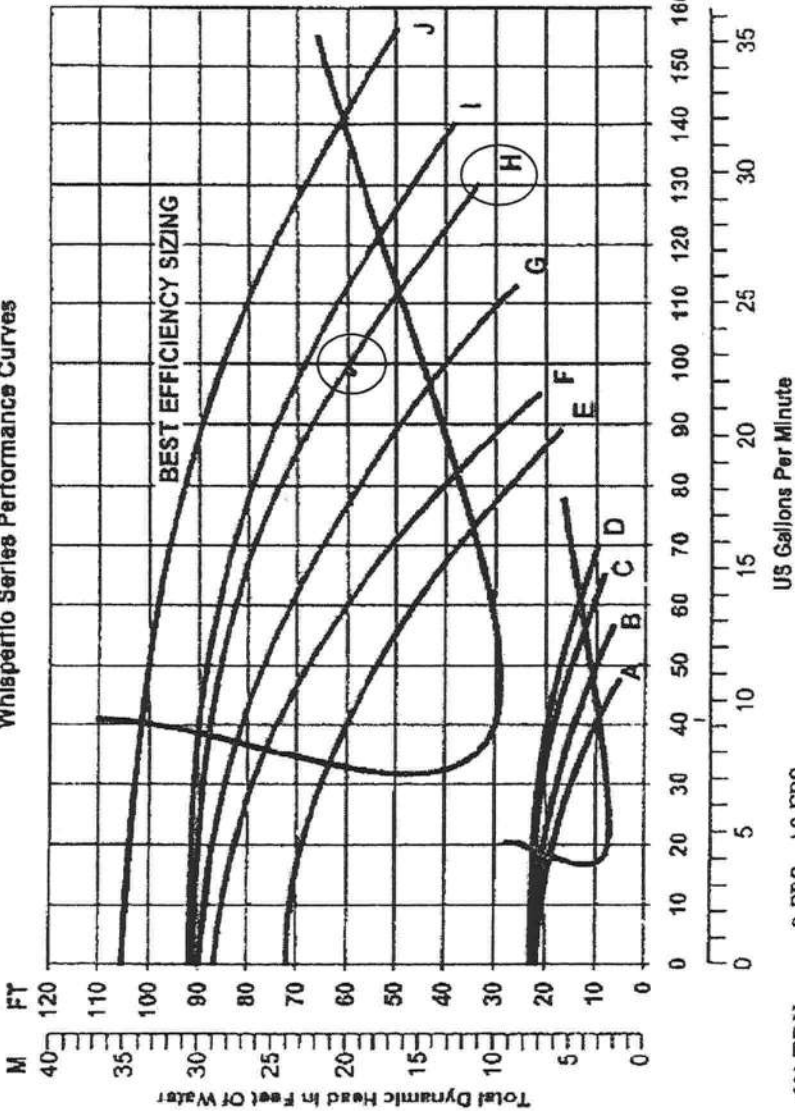
NOTE:(1) ANSI/APSP concludes that trunk or pressure piping may be sized at normal flow, not maximum flow as required for branch piping.

Site Specific Descriptions as needed: MAY USE LARGER TRUNK SUCTION AND RETURN PIPING



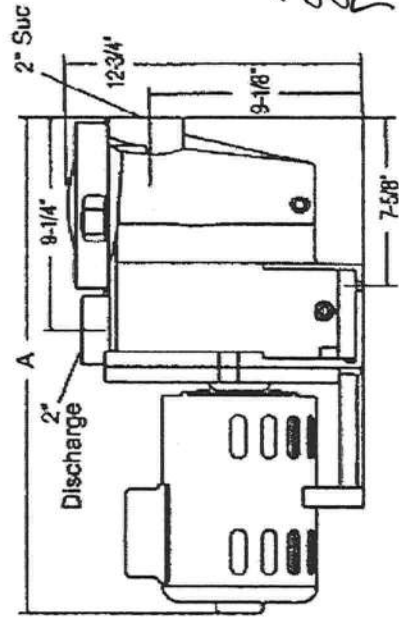


Pentair Pool Products  
Whisperflo Series Performance Curves



	MAX	6 FPS	60' TDH	8 FPS	10 FPS
0.75 HP	87 GPM	2.5"	40 GPM	1.5"	1.5"
1.0 HP	95 GPM	3"	60 GPM	2"	1.5"
1.5 HP	113 GPM	3"	77 GPM	2"	2"
2.0 HP	130 GPM	3"	100 GPM	2.5"	2"
2.5 HP	140 GPM	4"	113 GPM	3"	2.5"

Curve	High Perf full rated	High Perf Up Rated	Standard Motor	Standard Motor Up Rated
E	WFE-20.5	WFE-20.5	WF-20.5	WF-23 0.75
F	WFE-30.75	WFE-24 1.0	WF-30.75	WF-24 1.0
G	WFE-41.0	WFE-26 1.5	WF-41.0	WF-26 1.5
H	WFE-61.5	WFE-28 2.0	WF-61.5	WF-28 2.0
I	WFE-82.0	WFE-30 2.5	WF-82.0	WF-30 2.5
J	WFE-12 3.0		WF-12 3.0	



MAIN POOL

225 SW FINLEY LN

ABRAM HUBER

JC 27330 • Tel 800-831-7133 • Fax 800-284-4151  
Moortpark, CA 93021 • Tel 800-831-7133 • Fax 800-284-415

**AQUASTAR**  
pool products

A Safe Drain is No Accident™

# 32" Channel Drain Flat Grate Anti-Entrapment Suction Outlet Cover and Three-Port Manufactured Sump

## VGB Series

### Product Specification Sheet

The AquaStar line of suction outlet covers, compliant with the new Virginia Graeme-Baker Pool and Spa Safety Act (ASME/ANSI A112.19.8a-2008)

### Features

A single, unblockable suction outlet that exceeds the new VGB mandate and ASME/ANSI A112.19.8a-2008 standard

For single or multiple drain use (see installation instructions for plumbing, hydrostatic valve/drain pipe and single or multi-pump connections)

#### Single

Floor: 316 GPM at 3.9 fps

Wall: 208 GPM at 2.6 fps

#### Dual

Floor: 632 GPM at 3.9 fps

Wall: 416 GPM at 2.6 fps

Floor/wall: 242 GPM at 1.5 fps

25.9 square inch opening

#316 stainless steel screws

Manufactured from superior UV-resistant engineered polymers

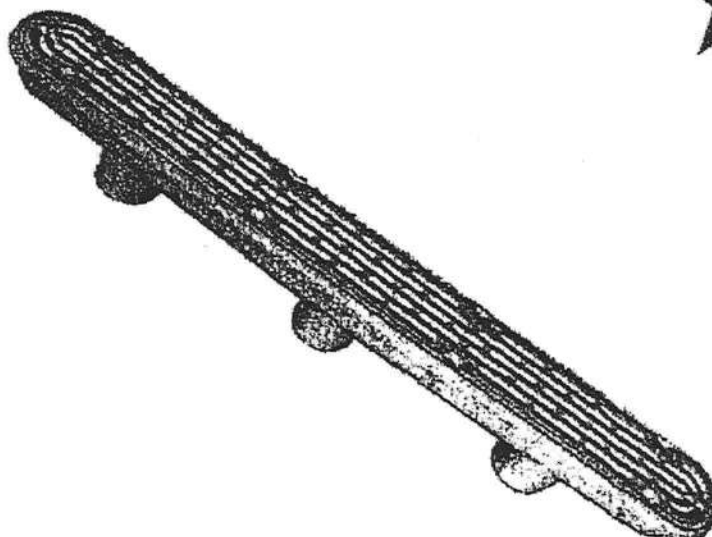
Three ports: bottom 2 1/2" OD, 2.0" ID S/S; inside 2.0" threaded FPT; two 1" threaded plugs included

Meets or exceeds NSF 50/ASME/ANSI A112.19.8a-2008 national standards and ASTM G354 UV testing

Listed with IAPMO/ETL

4 per case

## The Unblockable!™



With sump (concrete pools)\*  
Model # 32CDFLxxx

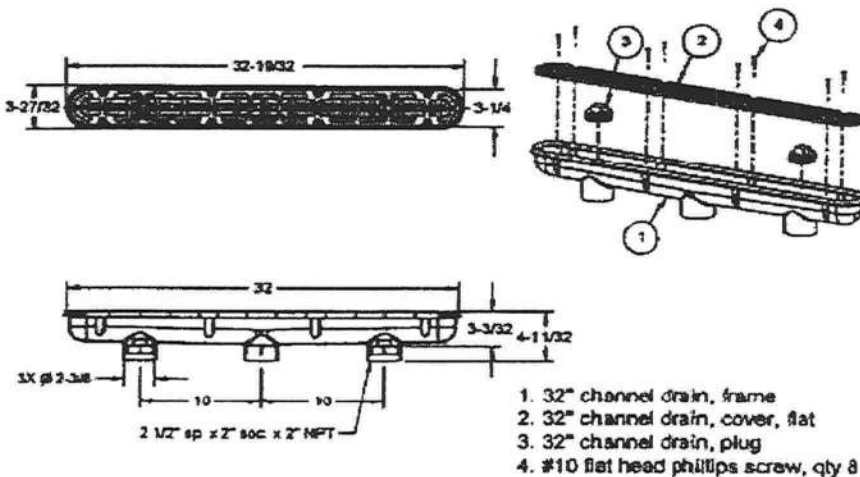
## Two Drains in One!!!

\*Also available for vinyl/fiberglass model # 32CDFLVxxx

### Part Numbers / Colors

- ☐ 32CDFL101 White\*
- ☐ 32CDFL102 Black\*
- ☐ 32CDFL103 Lt. Gray\*
- ☐ 32CDFL104 Blue\*
- ☐ 32CDFL105 Dk. Gray\*
- ☐ 32CDFL106 Bone\*
- ☐ 32CDFL107 Taupe\*
- ☐ 32CDFL108 Tan\*

VGB 2008  
Compliant





## Site Specific Information for Compliance with 2007 FBC

Pump Selection- Brand & Model	FILTRATION PUMP	SPA PUMP	FEATURE
EXISTING POOL PUMP	PENTAIR WHISPERFLO	0	0
	1.5 HP	0	0

### Choose Option for DETERMINING MAXIMUM SYSTEM FLOW AT SUCTION OUTLETS

Maximum Flow from Pump- (Attach product pump curve)	X		
Simplified TDH- (Attach pump curve & Calculation)			
Detailed TDH Calculation- (Attach pump curve & Calculation)			
Pump Flow from Pump Curve with method indicated	113	GPM	GPM
Adjusted Maximum Pump Flow for sizing Branch Pipe & Suction based on number of Suction Outlets used		GPM	GPM
Minimum Branch Pipe Size given flow at 6 FPS	N/A	Inch Pipe	Inch Pipe

### Listed Suction Cover/Grate

Number of Suction Outlets	ONE UNBLOCKABLE	0	0
Manufacturer & Model	AQUASTAR 32CDFL	0	0
Maximum Flow Floor(GPM)/ Maximum Flow Wall (GPM)	316 / 208	/	/

### Trunk/Suction Pipe Sizing

Flow Using Product Pump Curve at 60 FT TDH (1)	77 GPM	GPM	GPM
Minimum Trunk Pipe Size given flow @ 8 FPS	2	Inch Pipe	Inch Pipe

### Pressure/Return Pipe Sizing

Flow Using Product Pump Curve at 60 FT TDH (1)	77 GPM	GPM	GPM
Minimum Pressure Pipe Size given flow @ 10 FPS	2	Inch Pipe	Inch Pipe

NOTE:(1) ANSI/APSP concludes that trunk or pressure piping may be sized at normal flow, not maximum flow as required for branch piping.

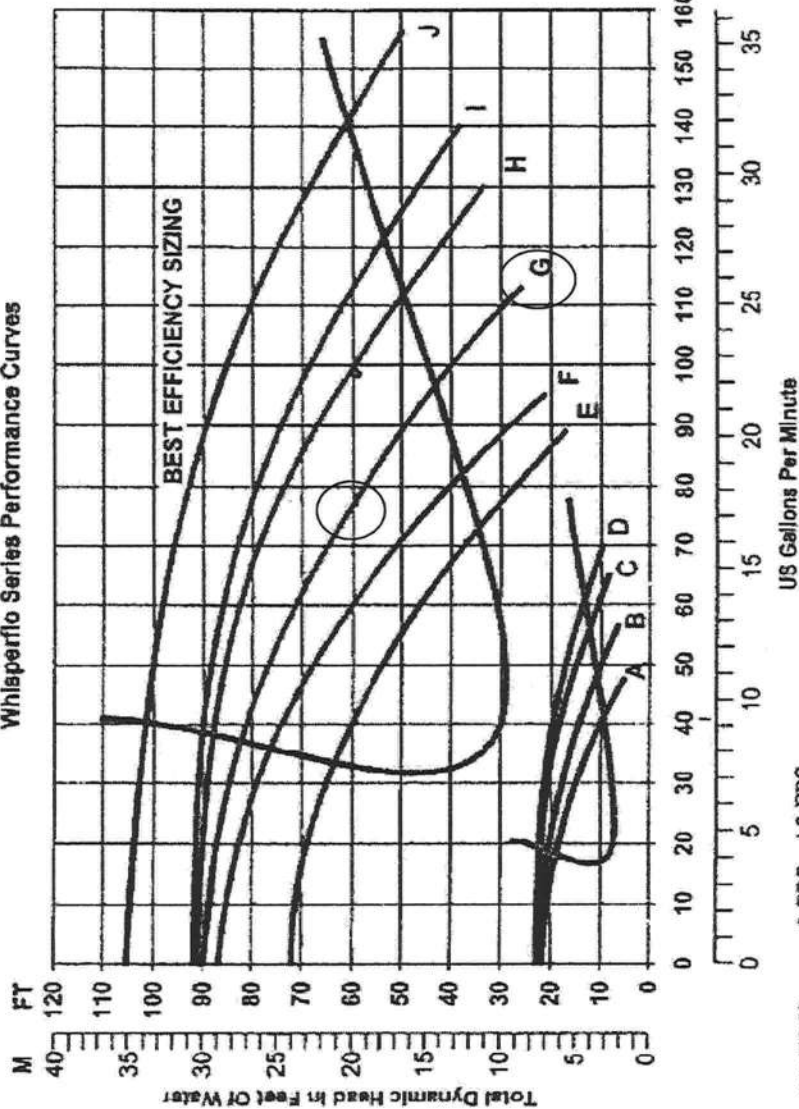
Site Specific Descriptions as needed: MAY USE LARGER TRUNK SUCTION AND RETURN PIPING

ABRAM HUBER

225 SW FINLEY LN

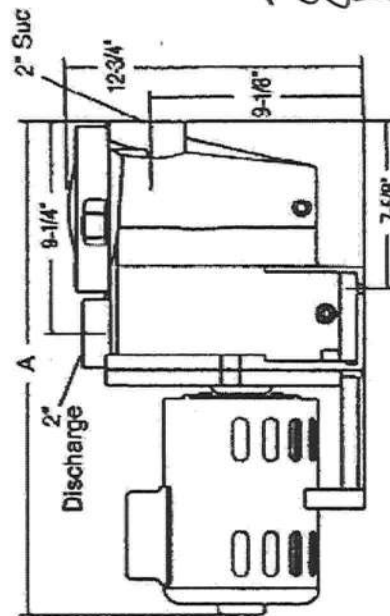
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Pentair Pool Products  
Whisperflo Series Performance Curves



	MAX	6 FPS	8 FPS	10 FPS
0.75 HP	87 GPM	2.5"	1.5"	1.5"
1.0 HP	95 GPM	3"	2"	1.5"
1.5 HP	113 GPM	3"	2"	2"
2.0 HP	130 GPM	3"	2.5"	2"
2.5 HP	140 GPM	4"	2.5"	2.5"

Curve	High Perf full rated	High Perf Up Rated	Standard Motor	Standard Motor Up Rated
E	WFE-2 0.5	WFE-2 0.5	WF-23 0.75	WF-23 0.75
F	WFE-3 0.75	WFE-24 1.0	WF-24 1.0	WF-24 1.0
G	WFE-4 1.0	WFE-26 1.5	WF-26 1.5	WF-26 1.5
H	WFE-5 1.5	WFE-28 2.0	WF-28 2.0	WF-28 2.0
I	WFE-6 2.0	WFE-30 2.5	WF-30 2.5	WF-30 2.5
J	WFE-12 3.0	WFE-12 3.0	WF-12 3.0	WF-12 3.0



QC 27330 • Tel 800-831-7133 • Fax 800-284-4151  
Moorpark, CA 93021 • Tel 800-831-7133 • Fax 800-284-4151





# 32" Channel Drain Flat Grate Anti-Entrapment Suction Outlet Cover and Three-Port Manufactured Sump

## VGB Series

### Product Specification Sheet

The AquaStar line of suction outlet covers, compliant with the new Virginia Graeme-Baker Pool and Spa Safety Act (ASME/ANSI A112.19.8a-2008)

#### Features

A single, unblockable suction outlet that exceeds the new VGB mandate and ASME/ANSI A112.19.8a-2008 standard

For single or multiple drain use (see installation instructions for plumbing, hydrostatic valve/drain pipe and single or multi-pump connections)

#### Single

Floor: 316 GPM at 3.9 fps

Wall: 208 GPM at 2.6 fps

#### Dual

Floor: 632 GPM at 3.9 fps

Wall: 416 GPM at 2.6 fps

Floor/wall: 242 GPM at 1.5 fps

25.9 square inch opening

#316 stainless steel screws

Manufactured from superior UV-resistant engineered polymers

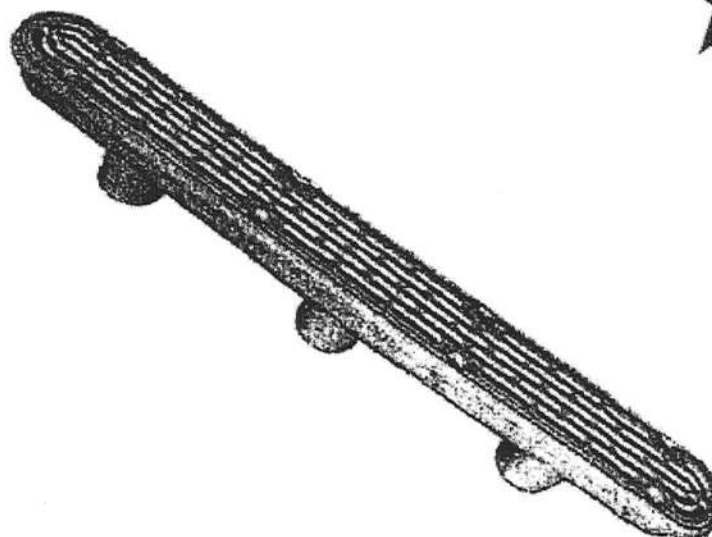
Three ports: bottom 2" OD, 2.0" ID S/S; inside 2.0" threaded FPT; two 1" threaded plugs included

Meets or exceeds NSF 50/ASME/ANSI A112.19.8a-2008 national standards and ASTM G154 UV testing

Listed with IAPMO R&T

4 per case

## The Unblockable!™



With sump (concrete pools)\*  
Model # 32CDLxxx

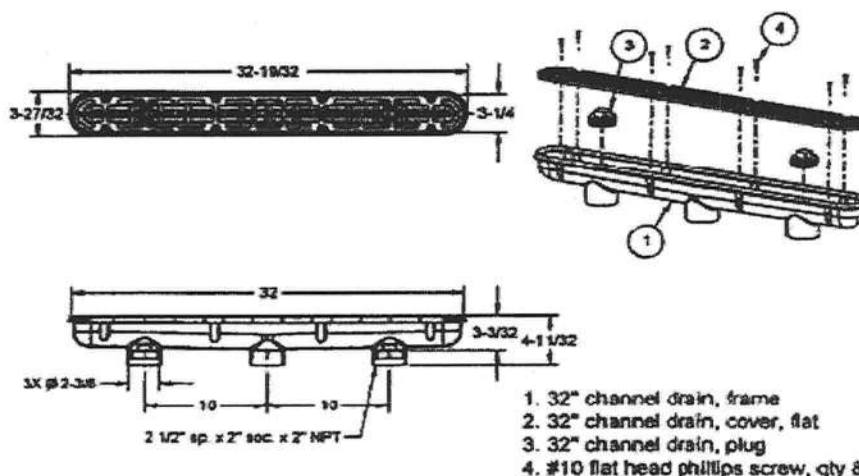
## Two Drains in One!!!

\*Also available for vinyl/fiberglass model # 32CDLVxxx

#### Part Numbers / Colors

- ☐ 32CDL101 White\*
- ☐ 32CDL102 Black\*
- ☐ 32CDL103 Lt. Gray\*
- ☐ 32CDL104 Blue\*
- ☐ 32CDL105 Dk. Gray\*
- ☐ 32CDL106 Bone\*
- ☐ 32CDL107 Taupe\*
- ☐ 32CDL108 Tan\*

VGB 2008  
Compliant



**SUBCONTRACTOR VERIFICATION FORM**

APPLICATION NUMBER \_\_\_\_\_

CONTRACTOR Boert Hardy / Pagan Pools PHONE 386-984-0917

**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

***Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.***

<b>ELECTRICAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>MECHANICAL/ A/C</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>PLUMBING/ GAS</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>ROOFING</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SHEET METAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>FIRE SYSTEM/ SPRINKLER</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SOLAR</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

*Handwritten in table:* "NO Subs" (with a large 'X' over the remaining rows) and "Boert" (written diagonally across the bottom right section).

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

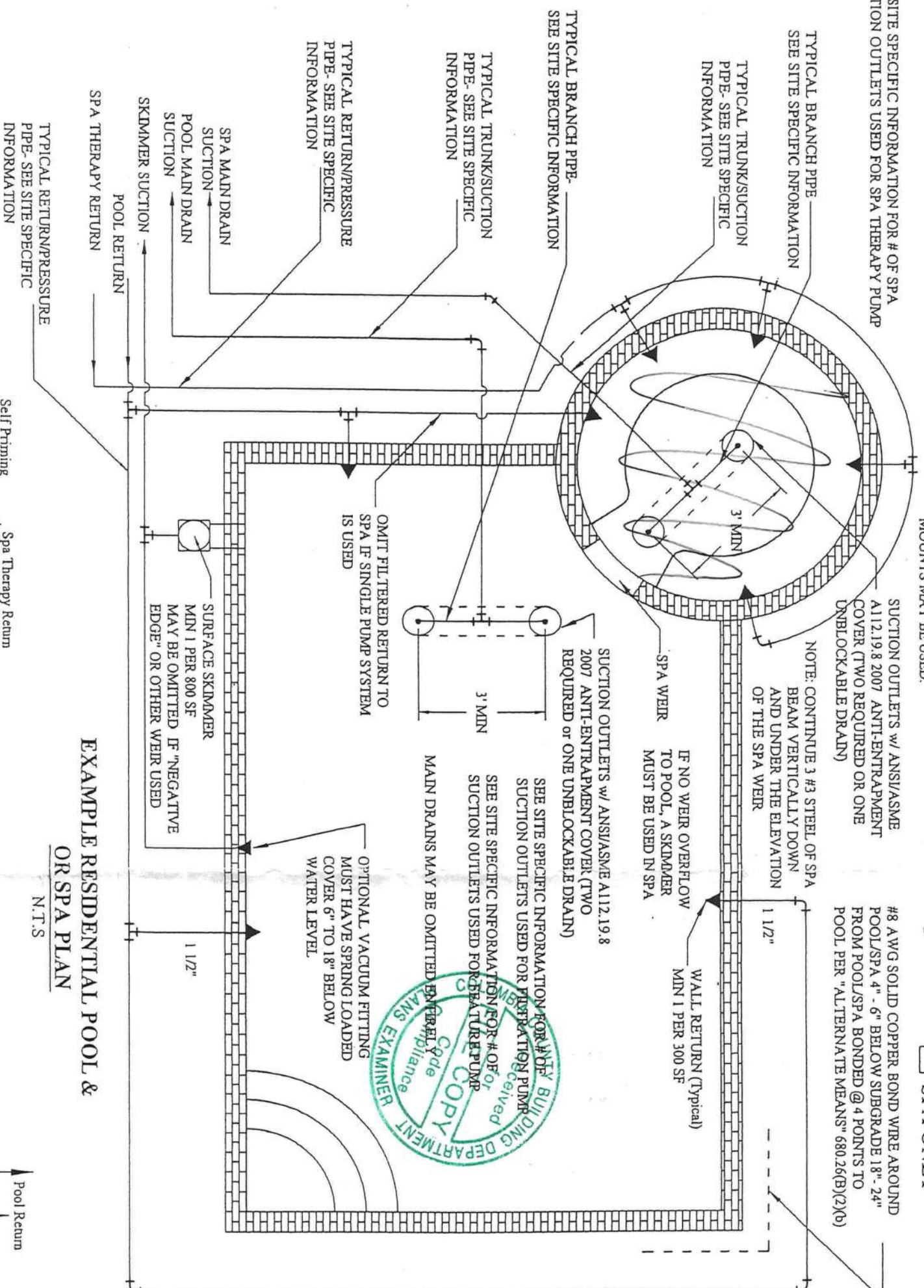


NOTE: IN LIEU OF SUCTION OUTLETS IN FLOOR OF POOL OR SPA, VERTICAL WALL MOUNTS MAY BE USED.

☒ POOL ONLY  
☐ SPA ONLY

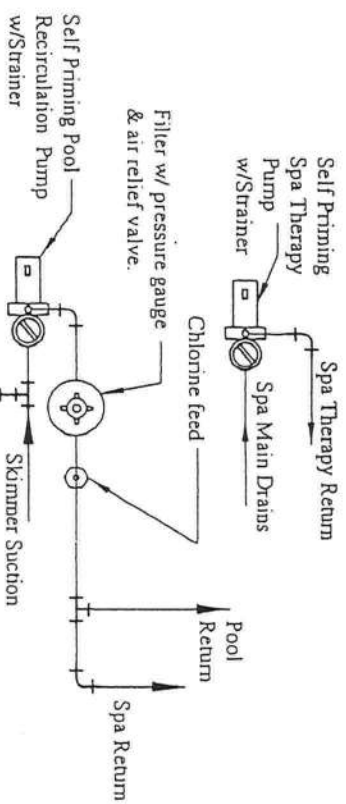
SUCTION OUTLETS w/ ANSI/ASME  
A112.19.8 2007 ANTI-ENTRAPMENT  
COVER (TWO REQUIRED OR ONE  
UNBLOCKABLE DRAIN)

#8 AWG SOLID COPPER BOND WIRE AROUND  
POOL/SPA 4" - 6" BELOW SUBGRADE 18" - 24"  
FROM POOL/SPA BONDED @ 4 POINTS TO  
POOL PER "ALTERNATE MEANS" (80.26(6)(2)(b))

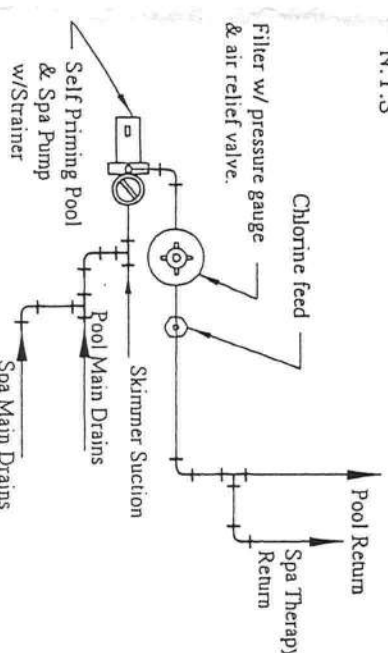


Pipe	6 FPS	8 FPS	10 FPS
1	0.0000	0.0000	0.0000
2	0.0000	0.0000	0.0000
3	0.0000	0.0000	0.0000
4	0.0000	0.0000	0.0000
5	0.0000	0.0000	0.0000
6	0.0000	0.0000	0.0000
7	0.0000	0.0000	0.0000
8	0.0000	0.0000	0.0000
9	0.0000	0.0000	0.0000
10	0.0000	0.0000	0.0000
11	0.0000	0.0000	0.0000
12	0.0000	0.0000	0.0000
13	0.0000	0.0000	0.0000
14	0.0000	0.0000	0.0000
15	0.0000	0.0000	0.0000
16	0.0000	0.0000	0.0000
17	0.0000	0.0000	0.0000
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77	0.0000	0.0000	0.0000
78	0.0000	0.0000	0.0000
79	0.0000	0.0000	0.0000
80	0.0000		

1"	16	22	27
1.5"	38	51	64
2"	63	84	105
2.5"	90	119	149
3"	138	184	230
4"	238	317	397
6"	540	720	900



# EXAMPLE PIPING PLAN FOR RESIDENTIAL POOL & OR SPA



## EXAMPLE SINGLE PUMP PIPING PLAN FOR RESIDENTIAL POOL & SPA

NTS

N.T.S

FOR USE ONLY BY CLIENTS OF KIMES ENGINEERING AND MANAGEMENT SERVICES, INC.

**KIMES ENGINEERING**  
AND MANAGEMENT SERVICES, INC.  
13410 2nd Ave. NE, Bradenton, FL 34212

13410 2nd Ave. NE, Bradenton, FL 34212  
Office: 941-749-0311, Fax: 941-746-7391

kent@kimesengineering.com  
P.E. 33678, C.A. 27189

## NOTES:

- This plan is a schematic and piping shall be connected to provide a functioning system.
  - The dual main drains shall have a minimum separation of 3 feet, unless one is located on the vertical wall, or a single unblockable drain is used.
  - All suction covers shall meet ANSI/ASME A112.19.8-2007
  - Piping shall be NSF-PW approved and meet requirements of Florida Building Code and Plumbing Code.
  - Electrical equipment, wiring, and installation shall conform to the National Electrical Code 2005 Edition (NEC 2008 after July 1, 2009).
  - Bonding of pool steel and light to footing steel shall be continued to and include all pumps and heaters.
  - Temporary fencing shall be installed and maintained until permanent child safety features are installed.
  - There shall be a passing electrical and child safety final inspection prior to filling the pool or spa with water.
  - Regardless of the criteria here, the project shall comply with the 2007 Residential Florida Building Code, and the Florida Building Code 2007, Mechanical Code, Plumbing Code and Gas Code, as amended.
  - SEE ATTACHED SHEET(S) FOR SITE SPECIFIC PIPE SIZING DOCUMENTATION
- ACCORDING TO FBC 2007

SEE INFORMATION ATTACHED TO  
THIS PERMIT PACKAGE FOR SITE  
SPECIFIC DETAILS SHOWING  
COMPLIANCE WITH 2007 FBC

225 SW Finley Ln

**PROJECT:**

TYPICAL PLAN AND

## SECTIONS FOR RESIDENTIAL

POOL/SPA

SEALS:

REVISIONS:

BY:

DRAWN BY: JKK

CHECKED BY:KRRK

DATE: 4-8-09

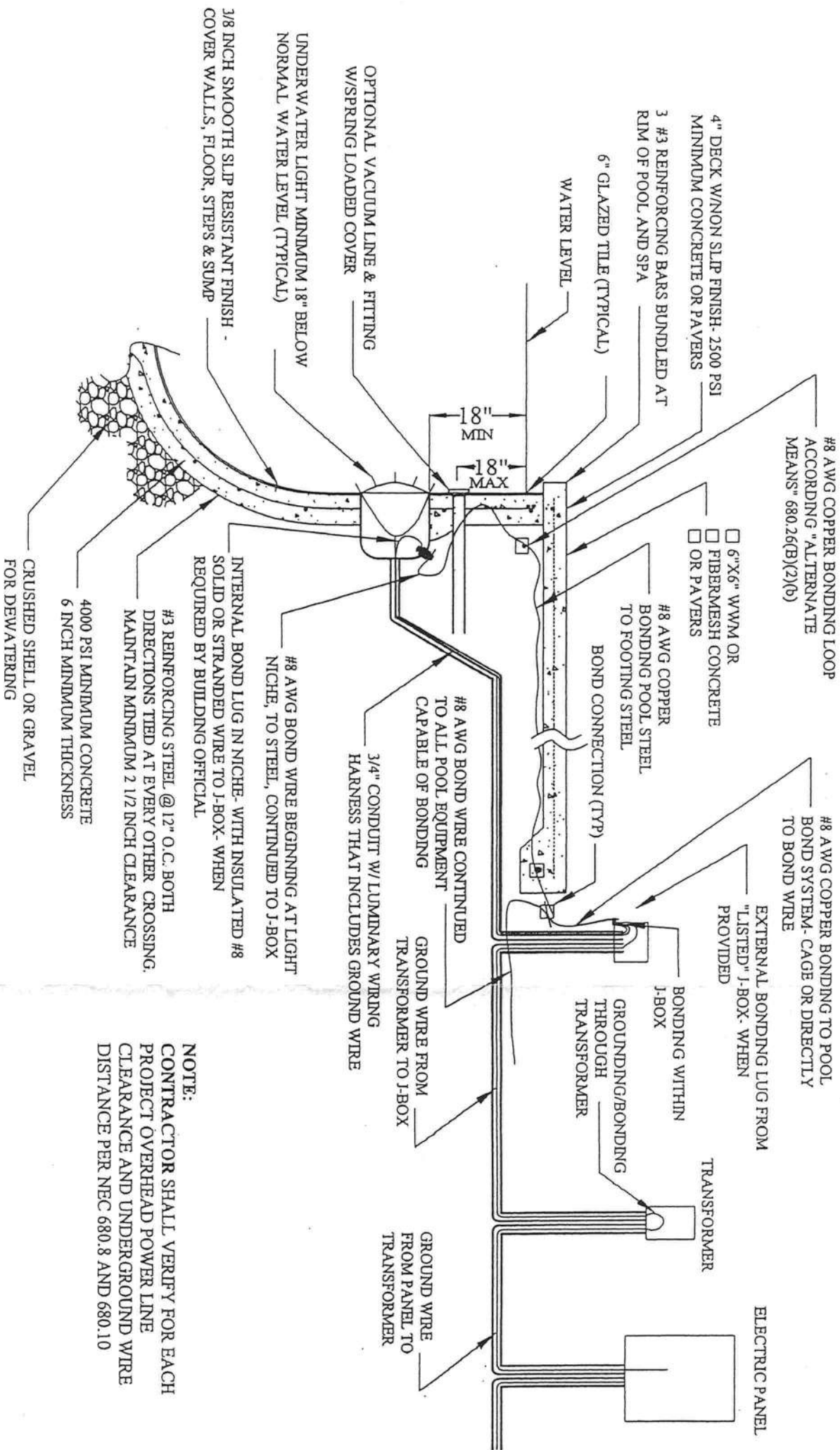
SCALE: No Scale

SL

SHEET 1 OF 2

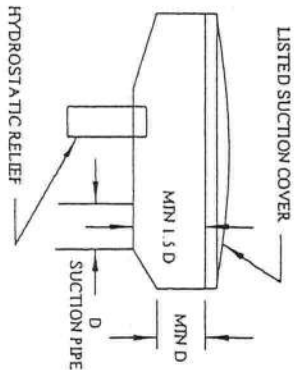
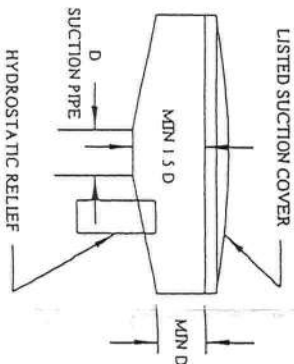
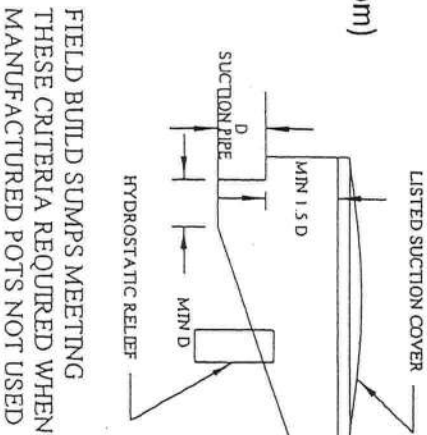


NOTE: CONTINUE #3 STEEL OF SPA BEAM VERTICALLY DOWN AND UNDER THE ELEVATION OF THE SPA WEIR



NOTE: CONTRACTOR SHALL VERIFY FOR EACH PROJECT OVERHEAD POWER LINE CLEARANCE AND UNDERGROUND WIRE DISTANCE PER NEC 680.8 AND 680.10

PIPE FLOW AT GIVEN VELOCITY (gpm)				
Pipe	6 FPS	8 FPS	10 FPS	
1"	16	22	27	
1.5"	38	51	64	
2"	63	84	105	
2.5"	90	119	149	
3"	138	184	230	
4"	238	317	397	
6"	540	720	900	



FIELD BUILT SUMP MINIMUM DETAILS

MAY OMIT IF LISTED COVER DOCUMENTATION SPECIFICALLY STATES NO CLEARANCE TO SUCTION PIPE REQUIRED

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13410 2nd Ave. NE, Bradenton, FL 34212  
Office: 941-749-0311, Fax: 941-746-7391  
kent@kimesengineering.com  
P.E. 33678, C.A. 27199

NOTES:

- This plan is a schematic and piping shall be connected to provide a functioning system.
- Pool piping shall hold a static water or air pressure not less than 35 psi for 15 minutes, per R4101.12.1.
- Pools shall have pumps selected to provide minimum 12 hour turnover.
- Determine pipe sizing from attached work sheet.
- Spa piping determined from attached work sheet.
- Piping shall be NSF-PW approved, and meet requirements of the Florida Building Code and Plumbing Code.
- Electrical equipment, wiring, and installation shall conform to the National Electrical Code 2005 Edition [ 2008 NEC after July 1, 2009].
- Pool shall meet the applicable criteria in ANSI/APSP 3, 4, 5, 6, & 7 standards.
- Regardless of the criteria here, the project shall comply with the 2007 Residential Florida Building Code, and the Florida Building Code 2007, Mechanical Code, Plumbing Code and Gas Code, as amended.
- SEE ATTACHED SHEET(S) FOR SITE SPECIFIC PIPE SIZING DOCUMENTATION ACCORDING TO FBC 2007

SEE INFORMATION ATTACHED TO THIS PERMIT PACKAGE FOR SITE SPECIFIC DETAILS SHOWING COMPLIANCE WITH 2007 FBC

225 SW Finley Ln

PROJECT :

TYPICAL PLAN AND SECTIONS FOR RESIDENTIAL POOL/SPA

SEALS:



REVISIONS:	BY:	

DRAWN BY: JKK  
CHECKED BY: KKK  
DATE: 4-2-09  
SCALE: No Scale

S2  
SHEET 2 OF 2



SEE SITE SPECIFIC INFORMATION FOR # OF SPA  
SUCTION OUTLETS USED FOR FILTRATION PUMP

NOTE: IN LIEU OF SUCTION OUTLETS IN FLOOR OF POOL OR SPA, VERTICAL WALL MOUNTS MAY BE USED.

☒ POOL ONLY  
☐ SPA ONLY

SEE SITE SPECIFIC INFORMATION FOR # OF SPA SUCTION OUTLETS USED FOR SPA THERAPY PUMPS

SUCTION OUTLETS w/ ANSVASME  
A112.19.8 2007 ANTI-ENTRAPMENT  
COVER (TWO REQUIRED OR ONE  
UNBLOCKABLE DRAIN)

#8 A/WG SOLID COPPER BOND WIRE AROUND  
POOL/SPA 4" - 6" BELOW SUBGRADE 18" - 24"  
FROM POOL/SPA BONDED @ 4 POINTS TO  
POOL PER "ALTERNATE MEANS" 680.26(b)(2)(b)

NOTE: CONTINUE 3 #3 STEEL OF SPA  
BEAM VERTICALLY DOWN  
AND UNDER THE ELEVATION  
OF THE SPA WEIR

IF NO W/ER OVERFLOW  
TO POOL, A SKIMMER  
MUST BE USED IN SPA

SUCTION OUTLETS w/ ANSI/ASME A112.19.8  
2007 ANTI-ENTRAPMENT COVER (TWO  
REQUIRED or ONE UNBLOCKABLE DRAIN)

SEE SITE SPECIFIC INFORMATION FOR # OF SUCTION OUTLETS USED FOR FILTRATION PUMPS

MAIN DRAINS MAY BE OMITTED ENTIRELY

OMIT FILTERED RETURN TO SPA IF SINGLE PUMP SYSTEM IS USED

OPTIONAL VACUUM FITTING  
MUST HAVE SPRING LOADED  
COVER 6" TO 18" BELOW  
WATER LEVEL.

TYPICAL RETURN/PRESSURE  
PIPE- SEE SITE SPECIFIC  
INFORMATION

TYPICAL TRUNK/SUCTION  
 PIPE- SEE SITE SPECIFIC  
 INFORMATION \_\_\_\_\_

TYPICAL BRANCH PIPE \_\_\_\_\_  
SEE SITE SPECIFIC INFORMATIONTYPICAL BRANCH PPE —  
SEE SITE SPECIFIC INFORMATION

TYPICAL TRUNK/SUCTION  
PIPE-SEE SITE SPECIFIC  
INFORMATION \_\_\_\_\_

SPA MAIN DRAIN  
SUCTION →  
POOL MAIN DRAIN  
SUCTION →  
SKIMMER SUCTION →  
POOL RETURN  
SPA THERAPY RETURN

TYPICAL RETURN/PRESSURE  
PIPE-SEE SITE SPECIFIC  
INFORMATION

### PIPE FLOW AT GIVEN VELOCITY (gpm)

Pipe	6 FPS	8 FPS	10 FPS
1"	16	22	27
1.5"	38	51	64
2"	63	84	105
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3"	138	184	230
4"	238	317	397
6"	540	720	900

### EXAMPLE RESIDENTIAL POOL &

N.T.S

### EXAMPLE PIPING PLAN FOR RESIDENTIAL POOL & OR SPA

NTS

### EXAMPLE SINGLE PUMP PIPING PLAN FOR RESIDENTIAL POOL & SPA

NTS

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kenl@kimesengineering.com  
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  - SEE ATTACHED SHEET(S) FOR SITE SPECIFIC PIPE SIZING DOCUMENTATION
- ACCORDING TO FBC 2007

SEE INFORMATION ATTACHED TO  
THIS PERMIT PACKAGE FOR SITE  
SPECIFIC DETAILS SHOWING  
COMPLIANCE WITH 2007 FBC

225 SW Finley Ln

PROJECT:

**TYPICAL PLAN AND  
SECTIONS FOR  
RESIDENTIAL  
POOL/SPA**

SEALS:

REVISIONS:

BY:

DRAWN BY: JKK

CHECKED BY: KRRK

DATE: 4-8-09

SCALE: No Scale

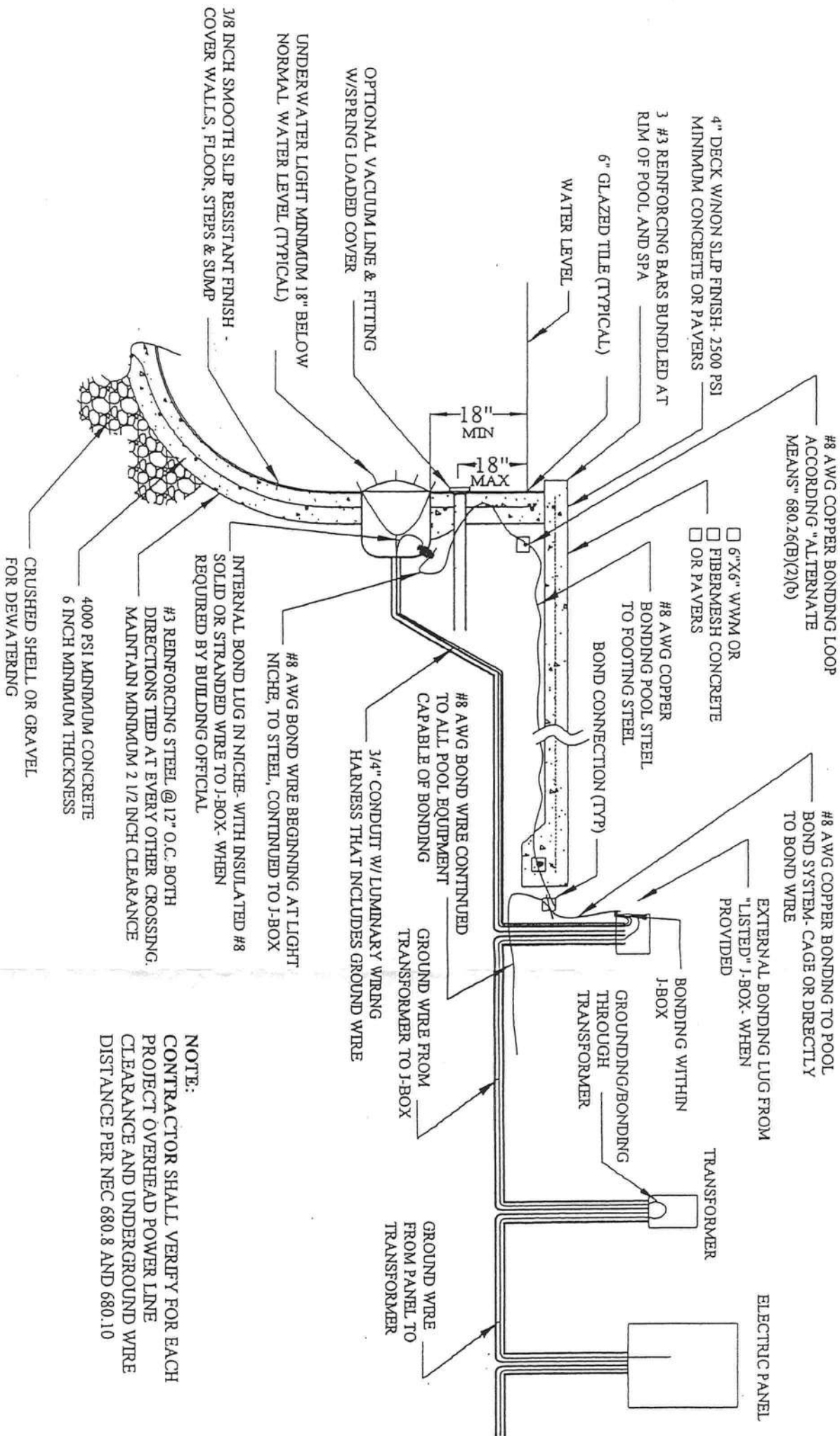
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SHEET 1 OF 2





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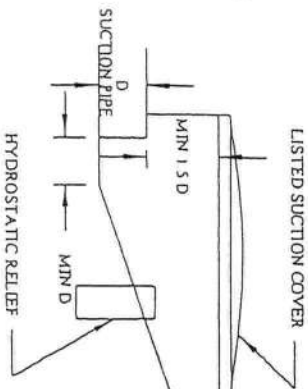


NOTE: CONTRACTOR SHALL VERIFY FOR EACH PROJECT OVERHEAD POWER LINE CLEARANCE AND UNDERGROUND WIRE DISTANCE PER NEC 680.8 AND 680.10

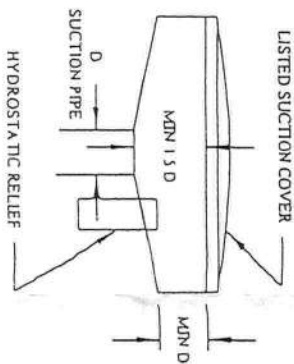
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2"	63	84	105
2.5"	90	119	149
3"	138	184	230
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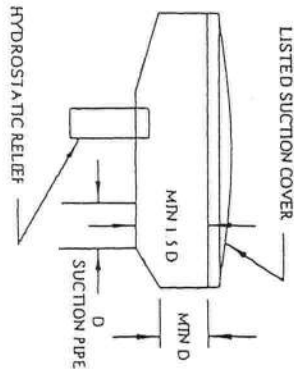
FIELD BUILD SUMPS MEETING THESE CRITERIA REQUIRED WHEN MANUFACTURED POTS NOT USED



FIELD BUILT SUMP MINIMUM DETAILS



MAY OMIT IF LISTED COVER DOCUMENTATION SPECIFICALLY STATES NO CLEARANCE TO SUCTION PIPE REQUIRED



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- Regardless of the criteria here, the project shall comply with the 2007 Residential Florida Building Code, and the Florida Building Code 2007, Mechanical Code, Plumbing Code and Gas Code, as amended.
- SEE ATTACHED SHEET(S) FOR SITE SPECIFIC PIPE SIZING DOCUMENTATION ACCORDING TO FBC 2007

SEE INFORMATION ATTACHED TO THIS PERMIT PACKAGE FOR SITE SPECIFIC DETAILS SHOWING COMPLIANCE WITH 2007 FBC

225 SW FINLEY LN

PROJECT :

TYPICAL PLAN AND SECTIONS FOR RESIDENTIAL POOL/SPA

SEALS:



BY:	
REVISIONS:	
DRAWN BY: JKK	
CHECKED BY: KRK	
DATE: 4-2-09	
SCALE: No Scale	
SHEET 2 OF 2	