



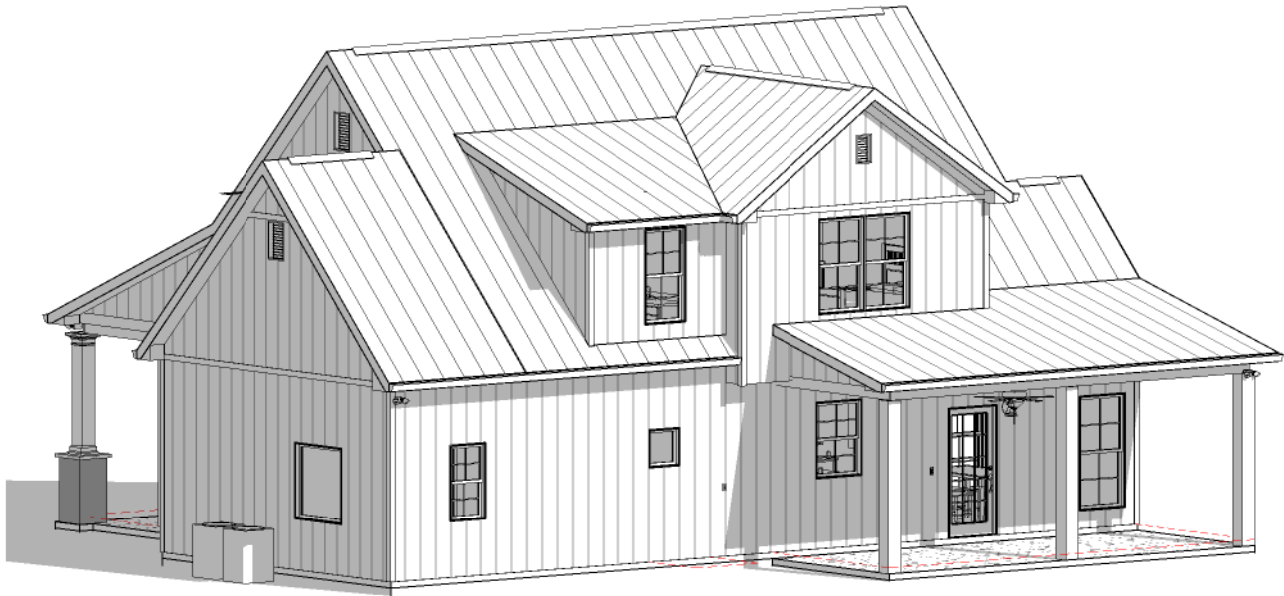
DOGWOOD FRONT PERSPECTIVE

2020	FLORIDA BUILDING CODE	RESIDENTIAL
2020	FLORIDA EXISTING BUILDING CODE	
2020	FLORIDA BUILDING CODE	PLUMBING
2020	FLORIDA BUILDING CODE	MECHANICAL
2017	NATIONAL ELECTRICAL CODE	ELECTRICAL

James A Zaleski

Digitally signed by James A Zaleski

Date: 2021.07.13 09:09:50 -04'00'



DOGWOOD REAR PERSPECTIVE

James Zaleski P.E 51544 2305 Haverhill Rd Tallahassee,FI 32312 PH 850-766-7778

SHEET LIST - CONSTRUCTION	
SHEET NUMBER	SHEET NAME
C-0	COVER SHEET
E-1	FRONT & REAR ELEVATIONS
E-2	LEFT & RIGHT ELEVATION
E-3	ROOF OVERVIEW
F-1	FOUNDATION
F-1.1	MONOSLAB FOUNDATION DETAILS
F-2	FIRST FLOOR PLAN
F-3	SECOND FLOOR
H-1	FIRST & SECOND FLOOR ELEC & HVAC
H-2	SECOND FLOOR ELEC & HVAC
S-1	MONOSLAB WALL SECTIONS
S-2	2 STORY WALL SECTIONS
S-3	COLUMN DETAILS
S-4	DETAILS
S-5	FL-COLUMN HOLD DOWN DETAILS
S-6	FL- HOLD DOWN DETAILS



Revision Schedule	
Revision Number	Revision Description
1	FINAL
7/9/21	

AREAS:	
FIRST FLOOR HEATED	1,296 SF
SECOND FLOOR HEATED	510 SF
FRONT PORCH	252 SF
REAR PORCH	240 SF
TOTAL UNDER ROOF	2,298 SF

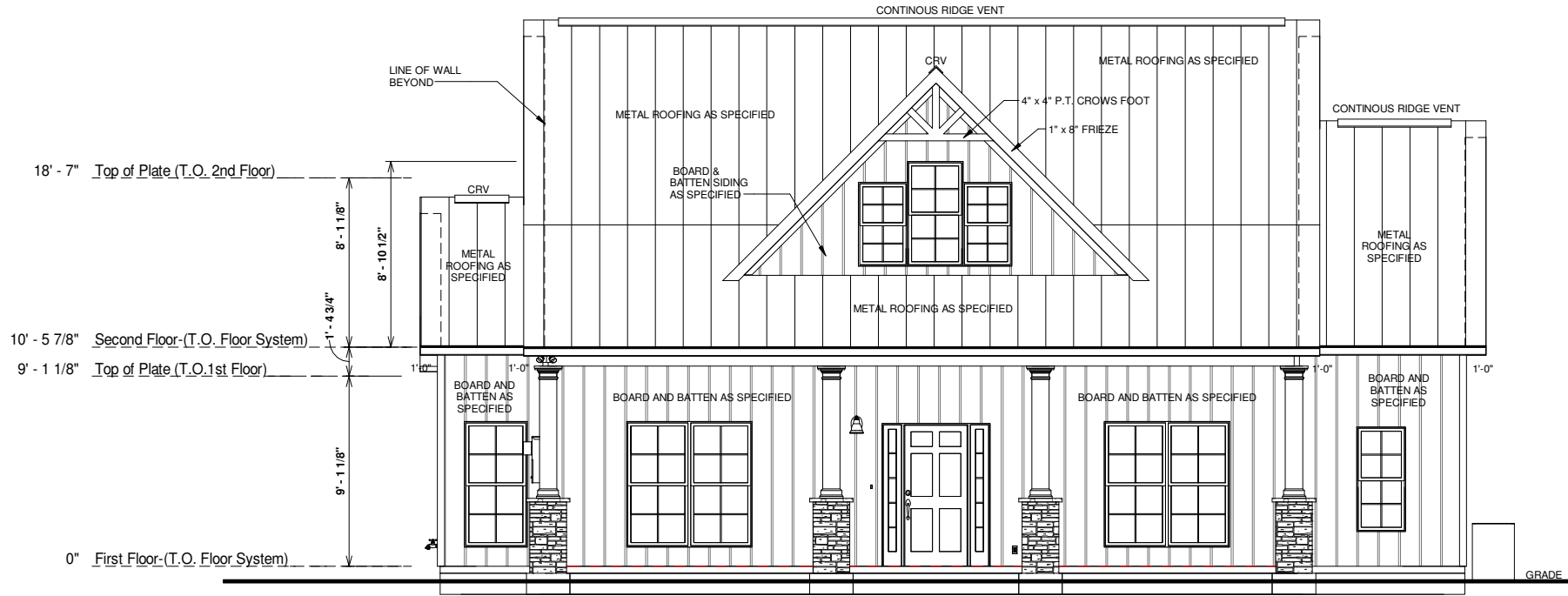
THE: DOGWOOD 'A'	FOR: AUSTIN ODUM
437 S. E. PEACOCK TER. LAKE CITY, FL 32025	
OFFICE: GAINESVILLE, FL	SOLD BY: RD

JOB# 59-21-017	2x4 EXTERIOR WALLS
FOUNDATION TYPE:	MONOSLAB

DRAWN BY: J. GENCHUR	CHECKED BY: B. TOOMBS	PRINT DATE: 7/12/2021 11:03:00 AM
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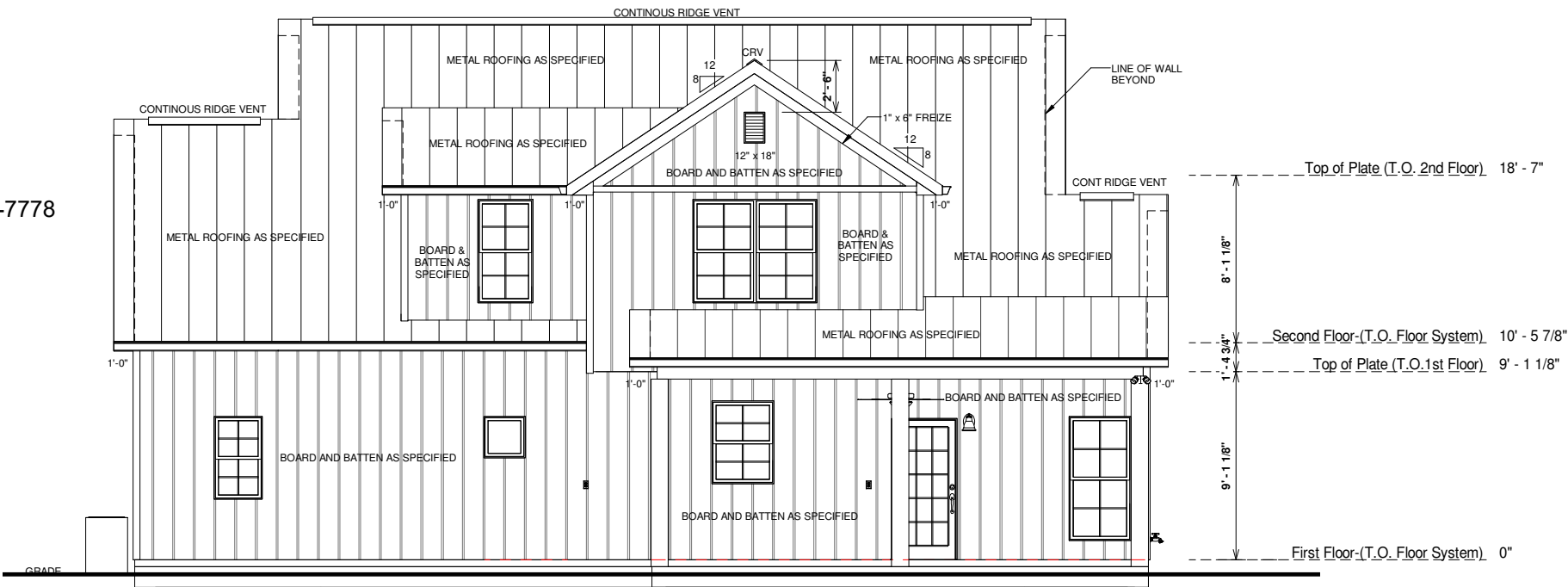
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SHEET NUMBER: C-0	COVER SHEET
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2 FRONT ELEVATION  
1/8" = 1'-0"

HANDRAILS NOT INCLUDED  
WITH SLAB FOUNDATION  
RAILING IS A FORCED OPTION  
WHEN PORCH IS OVER 32" HIGH



1 REAR ELEVATION  
1/8" = 1'-0"

8:12 O.W.H. = 5 31/32  
12:12 O.W.H. = 10 23/32" @ CENTER UPPER GABLE  
12:12 O.W.H. = 25 3/16" @ END LOWER GABLE

#### GENERAL NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO RAFTER TAILS
- FINAL GRADE TO BE DETERMINED ON SITE;
- FOUNDATION DRAWN AS REPRESENTATION ONLY

James Zaleski P.E 51544 2305 Haverhill Rd Tallahassee, FL 32312 PH 850-766-7778

James A Zaleski  
Digitally signed by James A Zaleski  
Date: 2021.07.13 09:09:08 -04'00'

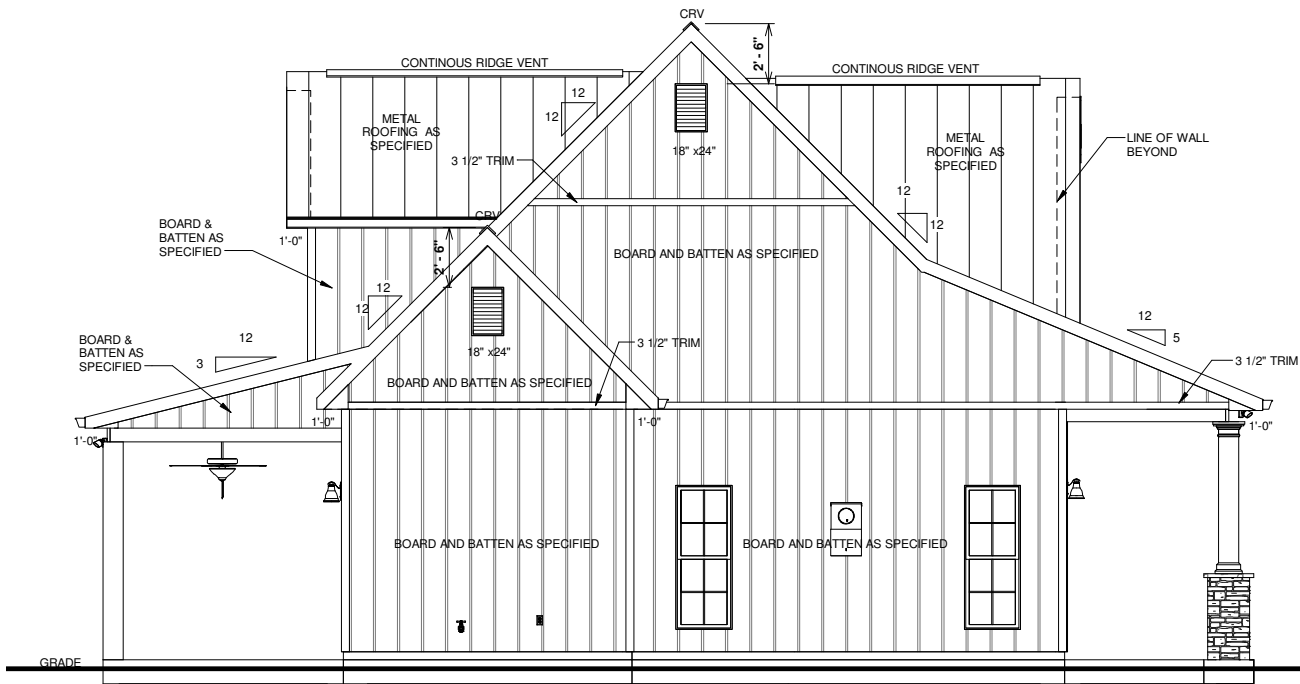


Revision Schedule		Revision Number		Revision Description		Revision Date	
1	FINAL					7/9/21	

AREAS:		FIRST FLOOR HEATED		SECOND FLOOR HEATED		FRONT PORCH		REAR PORCH		TOTAL UNDER ROOF	
		1,296 SF		510 SF		252 SF		240 SF		2,298 SF	

THE:	DOGWOOD 'A'	FOR:	AUSTIN ODUM
			437 S. E. PEACOCK TER. LAKE CITY, FL 32025
		OFFICE:	GAINESVILLE, FL
		SOLD BY:	RD

JOB#	59-21-017 <th>FOUNDATION TYPE:</th> <td>MONOSLAB</td>	FOUNDATION TYPE:	MONOSLAB
DRAWN BY:	J. GENCHUR <th>CHECKED BY:</th> <td>B. TOOMBS</td>	CHECKED BY:	B. TOOMBS
PRINT DATE:	7/12/2021 11:03:01 AM <th>PROPERTY OF:</th> <td>AMERICA'S HOME PLACE</td>	PROPERTY OF:	AMERICA'S HOME PLACE
SHEET NUMBER:	E-1 <th>FRONT &amp; REAR ELEVATIONS</th> <td></td>	FRONT & REAR ELEVATIONS	



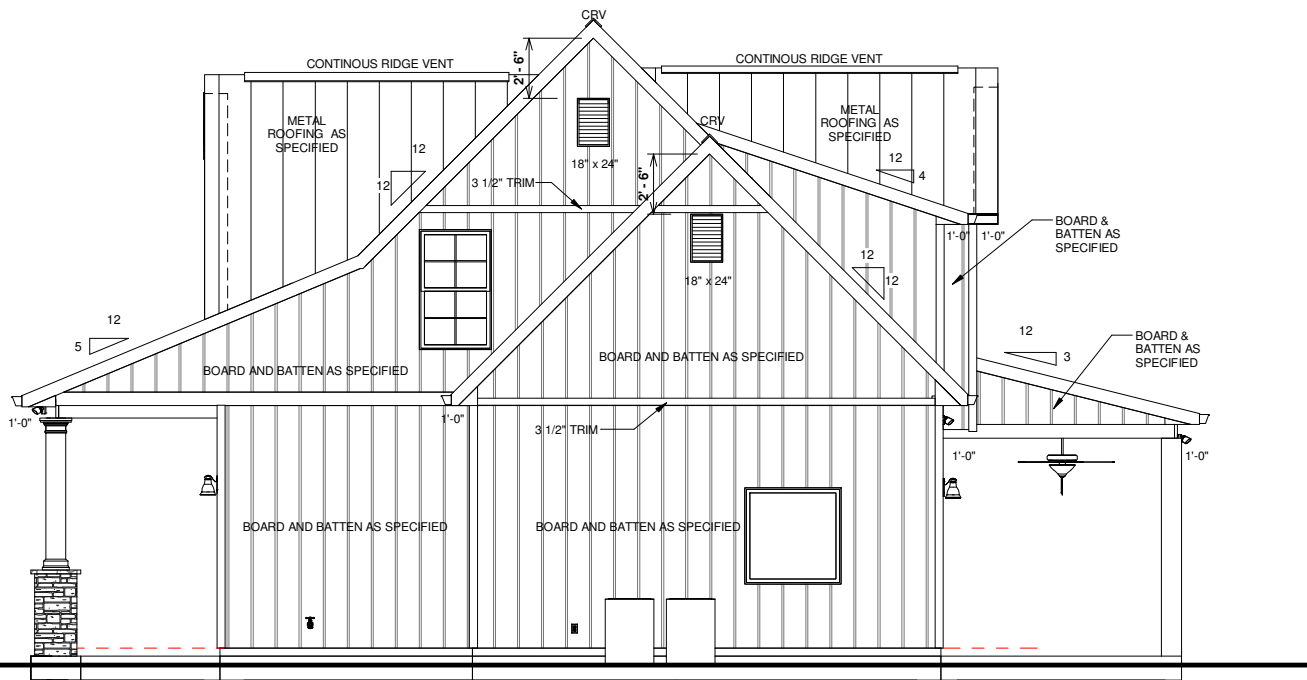
1 LEFT ELEVATION  
1/8" = 1'-0"

HANDRAILS NOT INCLUDED  
WITH SLAB FOUNDATION  
RAILING IS A FORCED OPTION  
WHEN PORCH IS OVER 32" HIGH

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Tallahassee, FL 32312 PH 850-766-7778



James A Zaleski Digitally signed by James A Zaleski  
Date: 2021.07.13 09:08:26 -04'00'



2 RIGHT ELEVATION  
1/8" = 1'-0"

8:12 O.W.H. = 5 31/32  
12:12 O.W.H. = 10 23/32" @ CENTER UPPER GABLE  
12:12 O.W.H. = 25 3/16" @ END LOWER GABLE

#### GENERAL NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO RAFTER TAILS
- FINAL GRADE TO BE DETERMINED ON SITE;
- FOUNDATION DRAWN AS REPRESENTATION ONLY

Revision Schedule		Revision Number	Revision Description	Revision Date
1	FINAL			7/9/21

AREAS:		FIRST FLOOR HEATED	SECOND FLOOR HEATED	FRONT PORCH	REAR PORCH	TOTAL UNDER ROOF
		1,296 SF	510 SF	252 SF	240 SF	2,298 SF

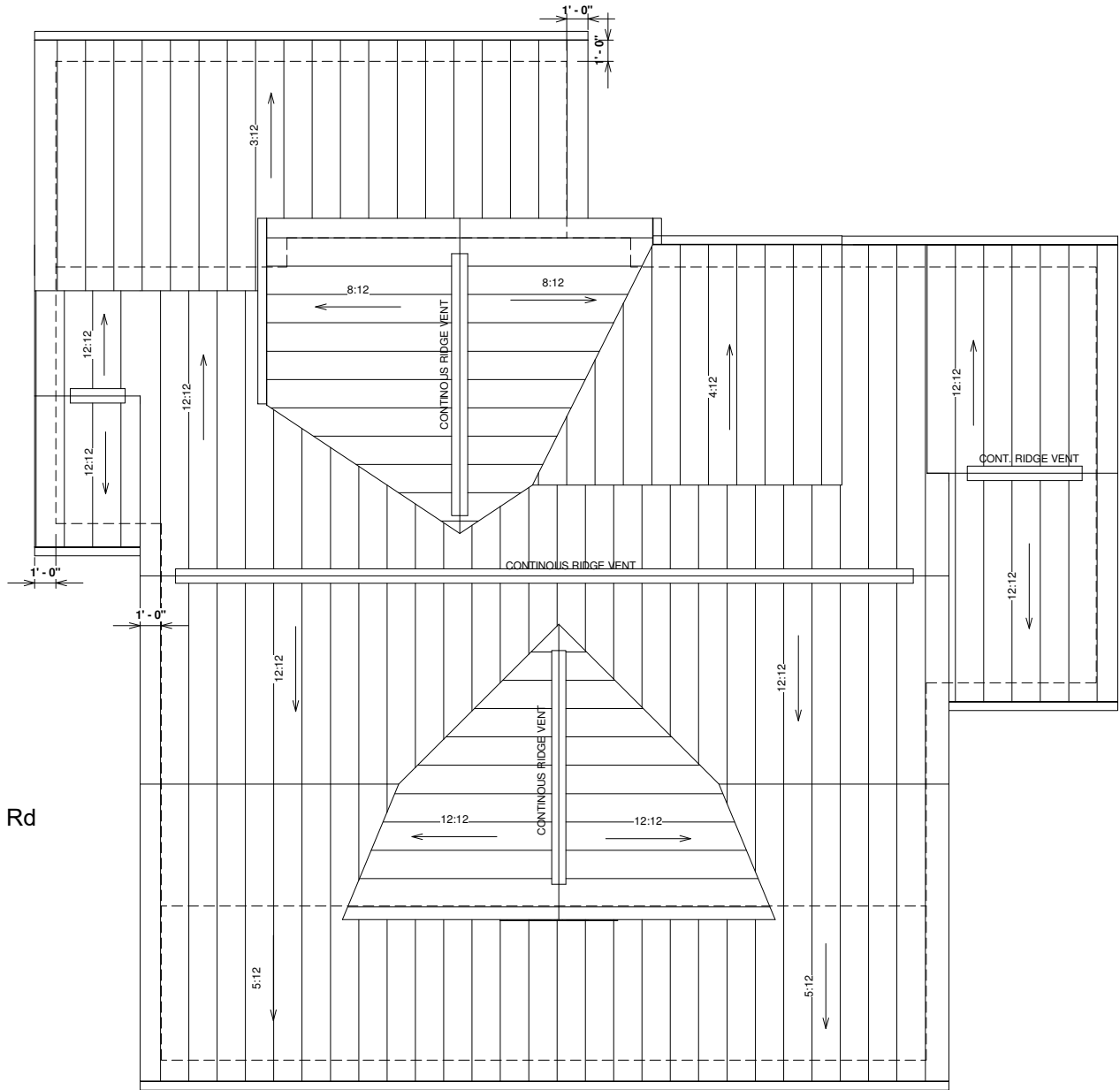
THE:	DOGWOOD 'A'
FOR:	AUSTIN ODUM 437 S. E. PEACOCK TER. LAKE CITY, FL 32025 OFFICE: GAINESVILLE, FL SOLD BY: RD

JOB#	59-21-017
DRAWN BY:	J. GENCHUR
CHECKED BY:	B. TOOMBS
PRINT DATE:	7/12/2021 11:03:02 AM
FOUNDATION TYPE:	MONOSLAB

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SHEET NUMBER:	E-2

LEFT & RIGHT ELEVATION

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1 Roof Overview  
1/8" = 1'-0"

**8:12 O.W.H. = 5 31/32**  
**12:12 O.W.H. = 10 23/32" @ CENTER UPPER GABLE**  
**12:12 O.W.H. = 25 3/16" @ END LOWER GABLE**

- GENERAL NOTES**
- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
  - MIN 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
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  - ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO RAFTER TAILS
  - FINAL GRADE TO BE DETERMINED ON SITE;
  - FOUNDATION DRAWN AS REPRESENTATION ONLY

James A  
Zaleski

Digitally signed by  
James A Zaleski  
Date: 2021.07.13  
09:07:49 -04'00'

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%  
**FINAL CONSTRUCTION PLANS**

Revision Schedule		AREAS:			
Revision Number	Revision Description	Revision Date	FIRST FLOOR HEATED	SECOND FLOOR HEATED	FRONT PORCH
1	FINAL	7/9/21	1,296 SF	510 SF	252 SF
					240 SF
					2,298 SF

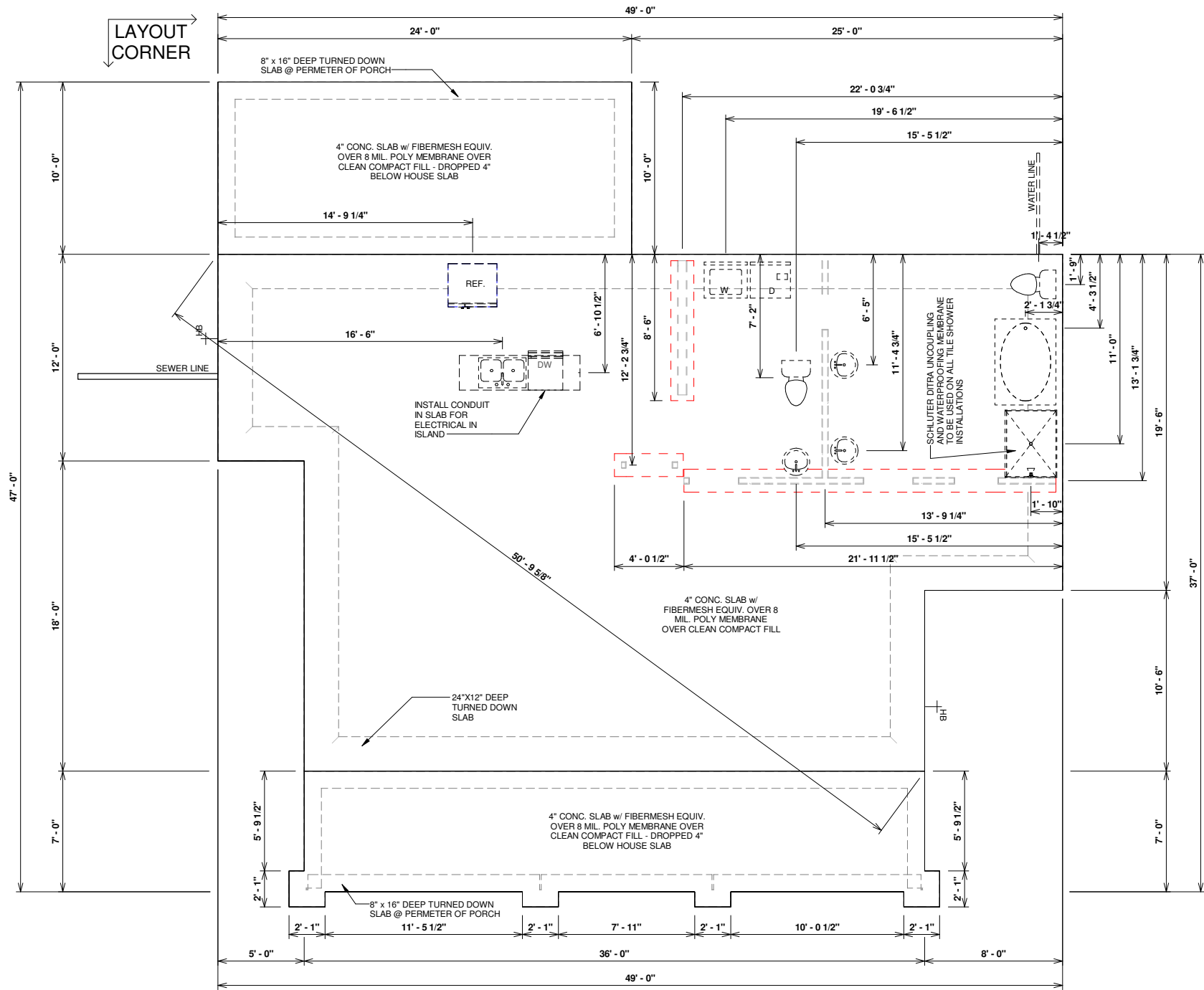
THE:	DOGWOOD 'A'
FOR:	AUSTIN ODUM
OFFICE:	437 S. E. PEACOCK TER. LAKE CITY, FL 32025
SOLD BY:	RD

JOB#	59-21-017
DRAWN BY:	J. GENCHUR
CHECKED BY:	B. TOOMBS
PRINT DATE:	7/12/2021 11:03:02 AM
FOUNDATION TYPE:	MONOSLAB

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SHEET NUMBER:	E-3
© COPYRIGHT - 2020	ROOF OVERVIEW



FOUNDATION FOR SUITABLE SOILS - IF BUILDER FINDS ADVERSE SOILS NOTIFY ENGINEER



1 Foundation Plan (T.O. Foundation)  
1/8" = 1'-0"

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Date: 2021.07.13 09:07:22 -04'00'

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Tallahassee, FL 32312 PH 850-766-7778



OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%  
FINAL CONSTRUCTION PLANS

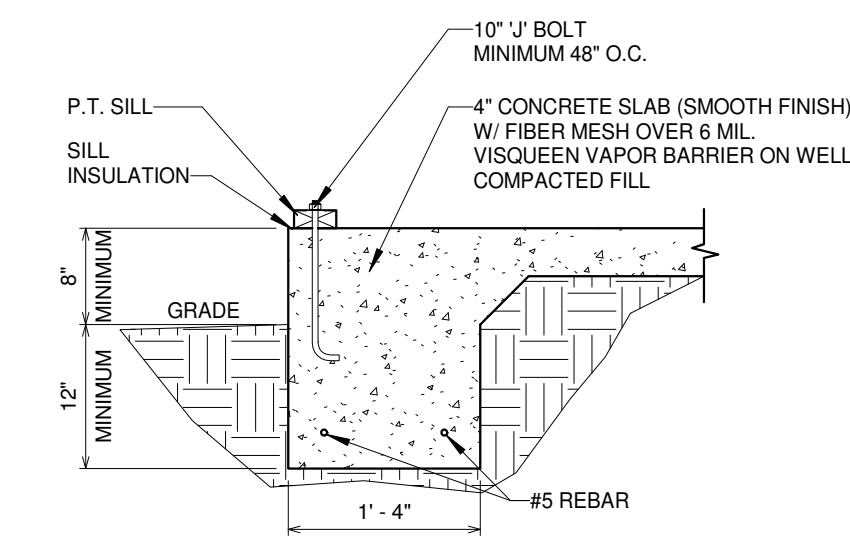
Revision Schedule		Revision Number	Revision Description	Revision Date
1	FINAL			7/9/21

AREAS:		1,296 SF
FIRST FLOOR HEATED		510 SF
SECOND FLOOR HEATED		252 SF
FRONT PORCH		240 SF
REAR PORCH		2,298 SF
TOTAL UNDER ROOF		

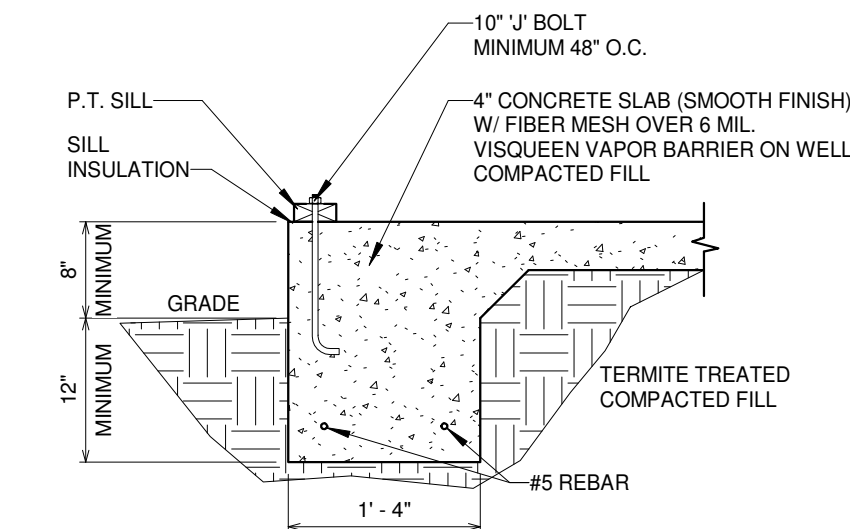
THE:	DOGWOOD 'A'	FOR:	AUSTIN ODUM
		437 S. E. PEACOCK TER. LAKE CITY, FL 32025	
		OFFICE:	GAINESVILLE, FL
		SOLD BY:	RD

JOB#	59-21-017	FOUNDATION TYPE:	MONOSLAB
DRAWN BY:	J. GENCHUR	PRINT DATE:	7/12/2021 11:03:03 AM
CHECKED BY:	B. TOOMBS		

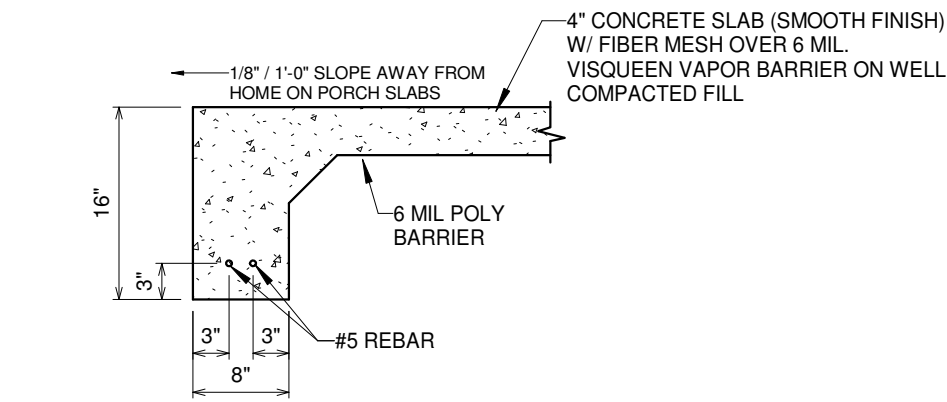
PROPERTY OF:	AMERICA'S HOME PLACE	SHEET NUMBER:	F-1
		© COPYRIGHT - 2020	
		FOUNDATION	



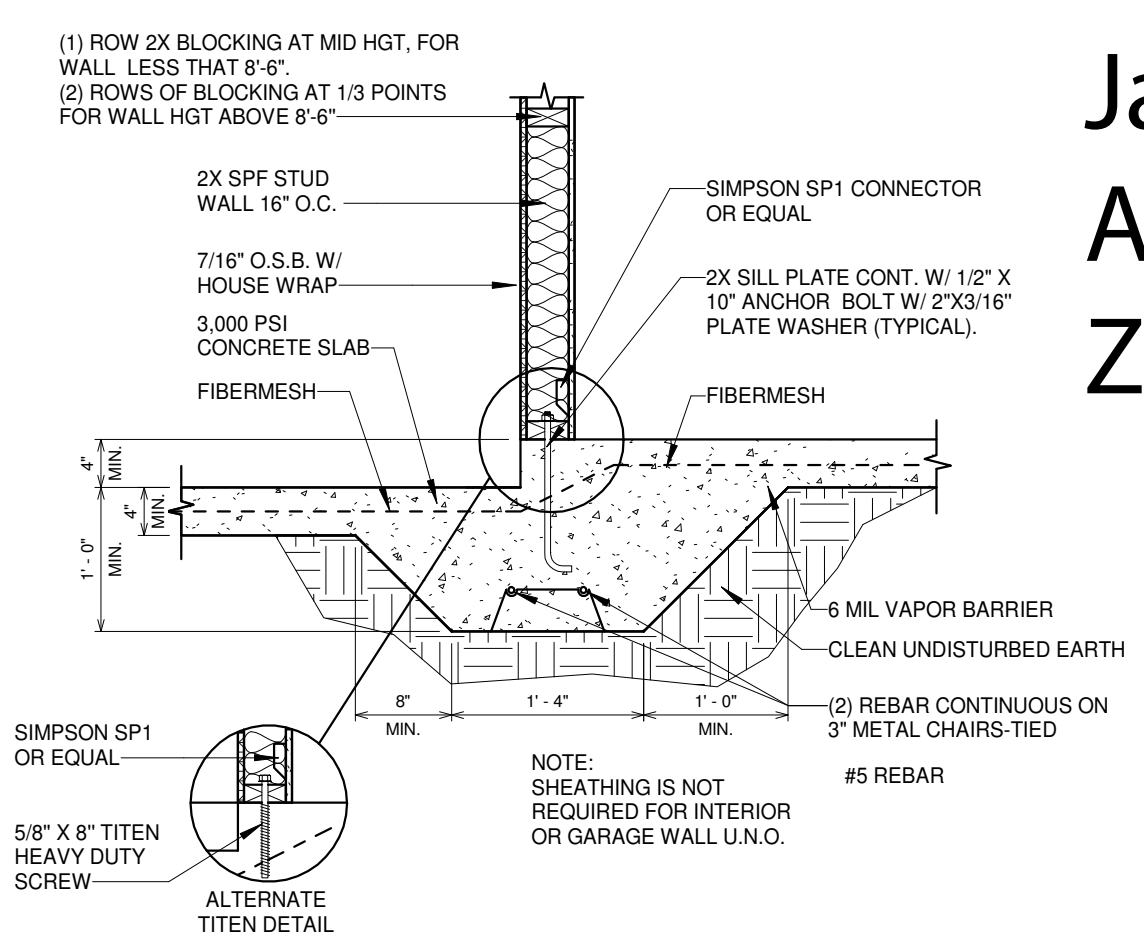
1 1 STORY MONOSLAB DETAIL 1  
3/4" = 1'-0"



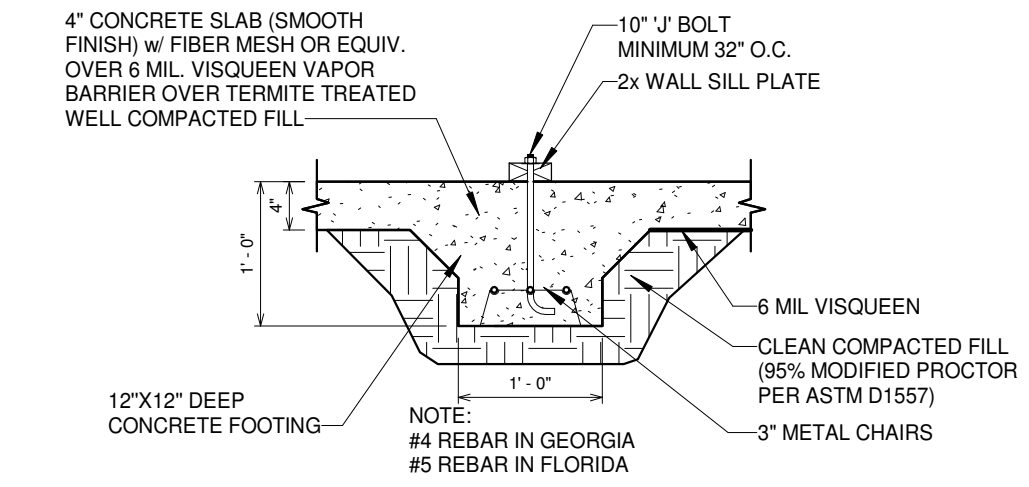
2 2 STORY MONOSLAB DETAIL 1  
3/4" = 1'-0"



3 EDGE OF TURNED DOWN PATIO SLAB 1  
3/4" = 1'-0"



4 BEARING WALL AT STEP 1  
3/4" = 1'-0"



5 66.8-INTERIOR BEARING WALL FOOTER DETAIL  
3/4" = 1'-0"

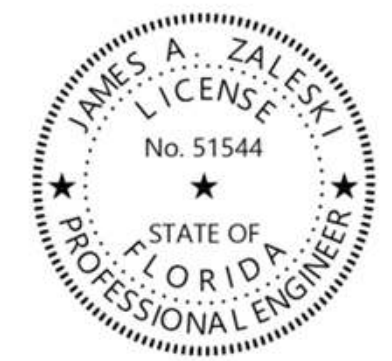
James A Zaleski

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Date: 2021.07.13 09:06:47 -04'00'

James A Zaleski

Digitally signed by James A Zaleski  
Date: 2021.07.13 09:05:51 -04'00'

James Zaleski P.E 51544 2305 Haverhill Rd  
Tallahassee, FL 32312 PH 850-766-7778



MONOSLAB FOUNDATION DETAILS  
FOR AREAS 43, 59, 66, 73

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%  
FINAL CONSTRUCTION PLANS

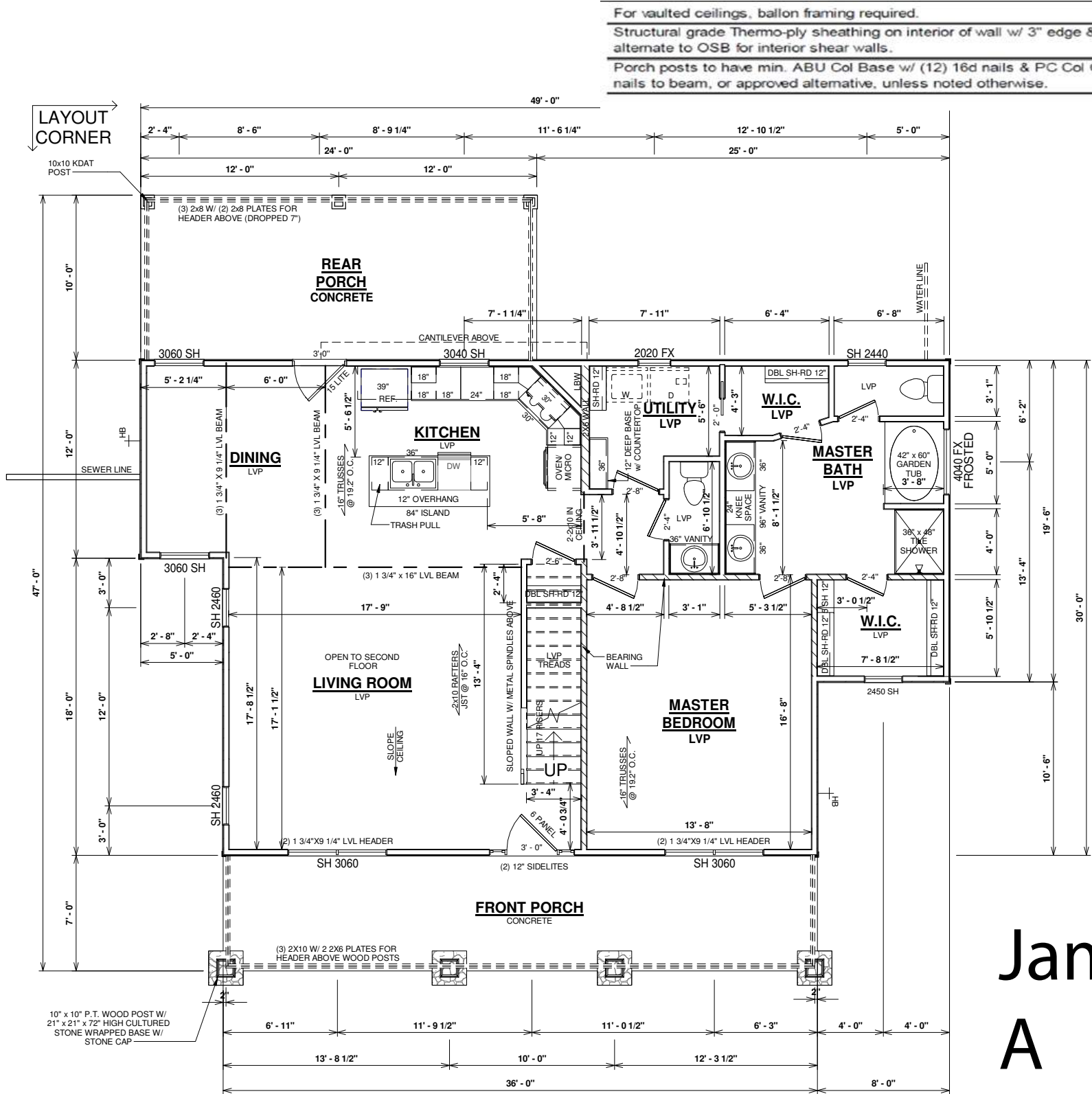
Revision Schedule		Revision Number		Revision Description		Revision Date	
1	FINAL	1	FINAL			7/9/21	

AREAS:	FIRST FLOOR HEATED	1,296 SF
	SECOND FLOOR HEATED	510 SF
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THE:	DOGWOOD 'A'
FOR:	AUSTIN ODUM
	437 S. E. PEACOCK TER. LAKE CITY, FL 32025
OFFICE:	GAINESVILLE, FL
SOLD BY:	RD

JOB#	59-21-017
DRAWN BY:	J. GENCHUR
CHECKED BY:	B. TOOMBS
PRINT DATE:	7/12/2021 11:03:03 AM
FOUNDATION TYPE:	MONOSLAB

PROPERTY OF:	AMERICA'S HOME PLACE
SHEET NUMBER:	F-1.1
© COPYRIGHT - 2021	MONOSLAB FOUNDATION DETAILS



1 First Floor-(T.O. Floor System)  
1/8" = 1'-0"

James Zaleski P.E 51544 2305 Haverhill Rd Tallahassee,FI 32312 PH 850-766-7778

SPECIAL NOTES:

- DISHWASHER, MICRO/HOOD, RANGE AND OVEN BY OWNER.
- PROVIDE CABINET ABOVE RANGE FOR MICRO/HOOD.

GENERAL NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:
  - SINGLE-68"
  - DOUBLE 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AN LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- FRAMER TO INSTALL DRYWALL CLIPS IN LIEU OF DEADWOOD ON ALL WALLS
- PORCH, STOOP, & DECK HARDRAILS NOT INCLUDED W/ SLAB FOUNDATION
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH

James A Zaleski

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Date: 2021.07.13 09:05:27 -04'00'



James A Zaleski  
Digitally signed by James A Zaleski  
Date: 2021.07.13 09:06:20 -04'00'

OPT. PAPER SIZE: for 1/4" =1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

Revision Schedule			
Revision Number	Revision Description	Revision Date	
1	FINAL	7/9/21	

DOGWOOD 'A'

AUSTIN ODUM

437 S. E. PEACOCK TER.

LAKE CITY, FL 32025

OFFICE: GAINESVILLE, FL

SOLD BY: RD

59-21-017

2x4 EXTERIOR WALLS

FOUNDATION TYPE:

MONOSLAB

PROPERTY OF:



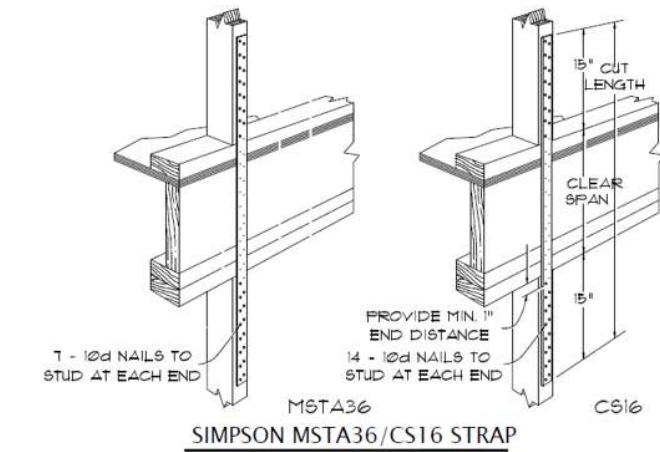
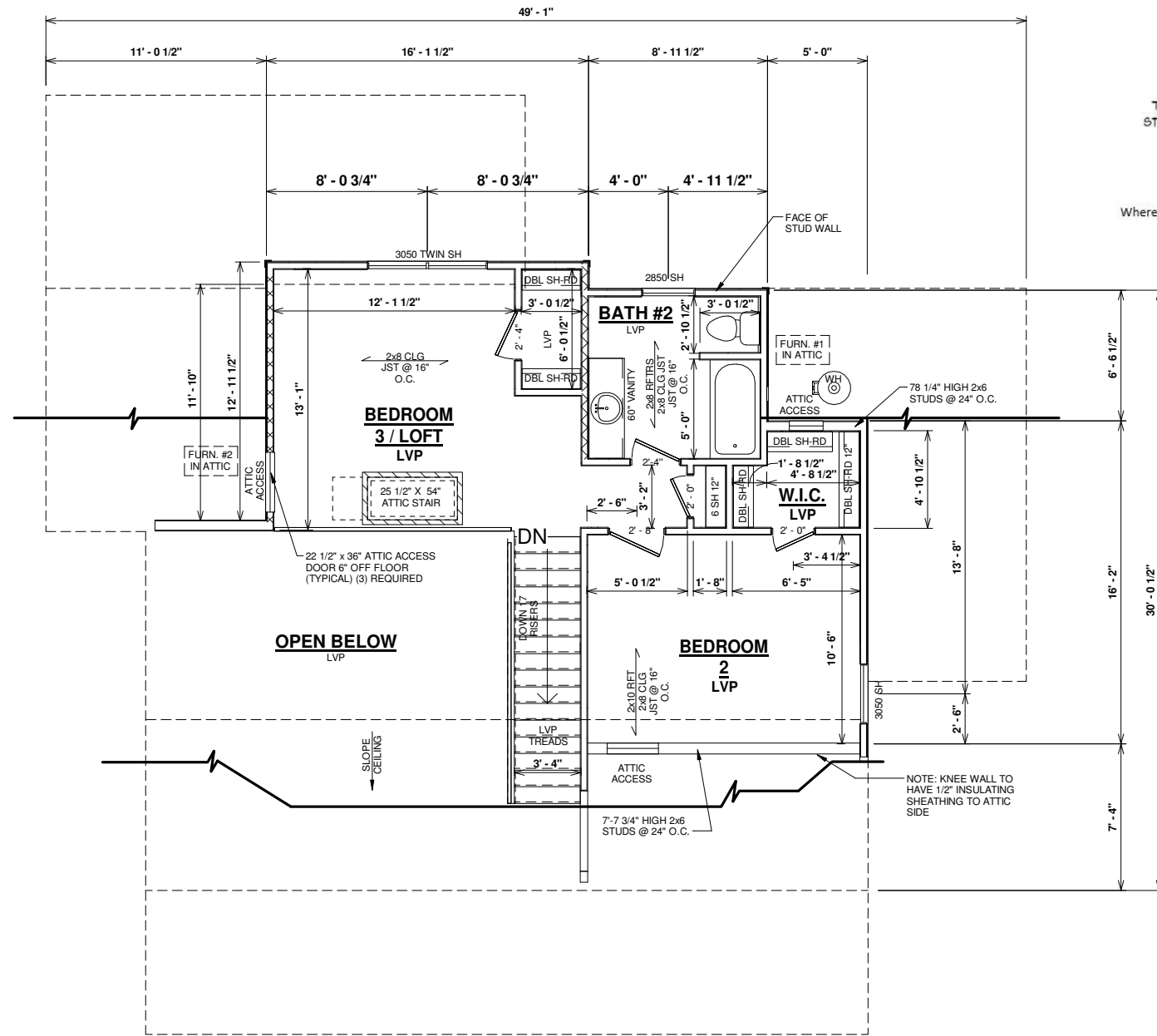
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SHEET NUMBER:

F-2

FIRST FLOOR PLAN





GENERAL NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
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- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- FRAMER TO INSTALL DRYWALL CLIPS IN LIEU OF DEADWOOD ON ALL WALLS
- PORCH, STOOP, & DECK HARDRAILS NOT INCLUDED W/ SLAB FOUNDATION
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH

James A Zaleski

Digitally signed by James A Zaleski

Date: 2021.07.13 09:04:57 -04'00'



1 Second Floor-(T.O. Floor System)  
1/8" = 1'-0"

James Zaleski P.E 51544 2305 Haverhill Rd Tallahassee,FI 32312 PH 850-766-7778

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

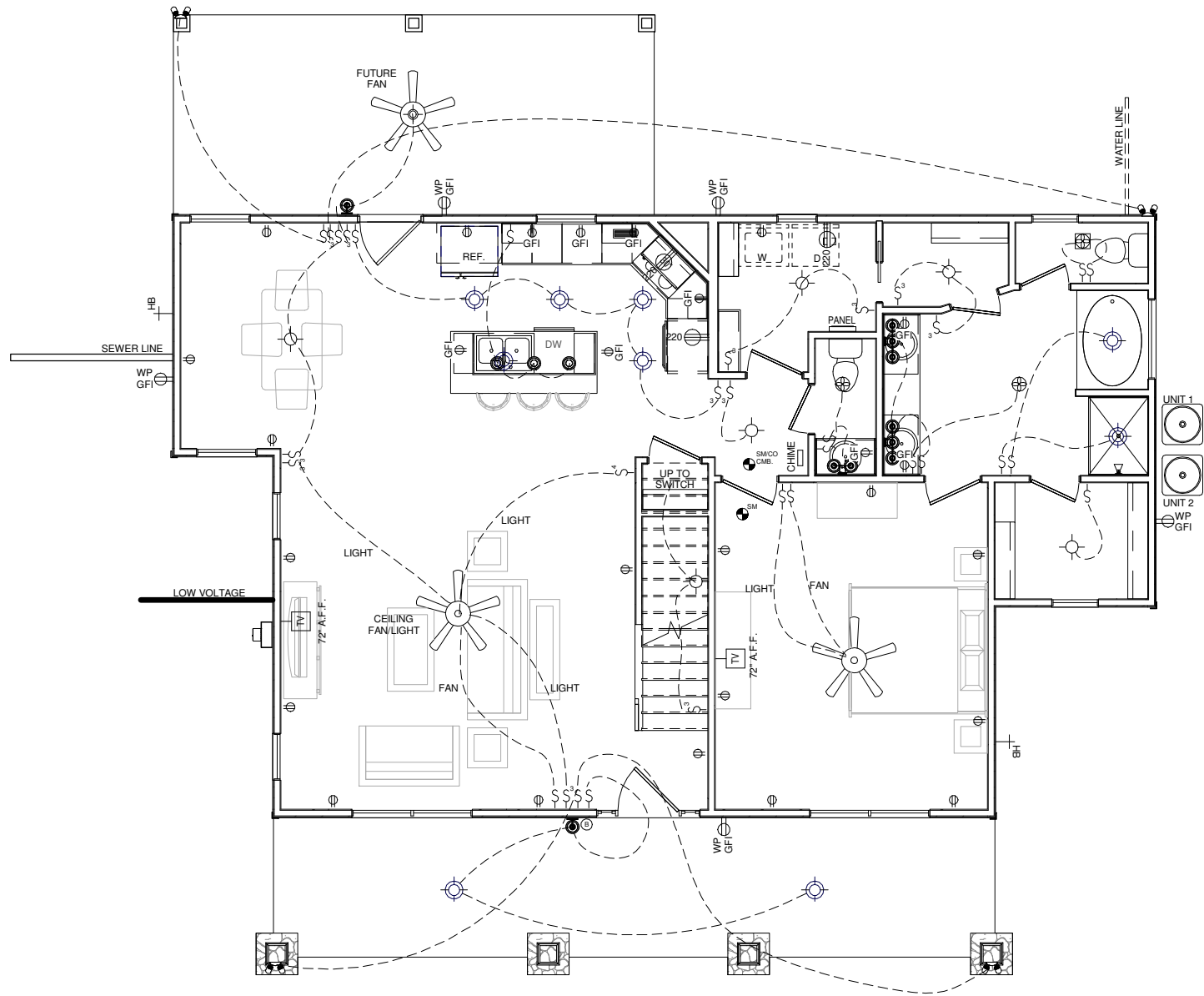
FINAL CONSTRUCTION PLANS

Revision Schedule		Revision		Revision	
Revision Number	Revision Description	Revision Number	Revision Description	Revision Number	Revision Date
1	FINAL	1	FINAL	1	7/9/21

AREAS:		TOTAL UNDER ROOF	
FIRST FLOOR HEATED	1,296 SF	SECOND FLOOR HEATED	510 SF
FRONT PORCH	252 SF	REAR PORCH	240 SF
		2,298 SF	

THE:	DOGWOOD 'A'	FOR:	AUSTIN ODUM
JOB#	59-21-017	FOUNDATION TYPE:	MONOSLAB
DRAWN BY:	J. GENCHUR	CHECKED BY:	B. TOOMBS
PRINT DATE:	7/12/2021	PRINT DATE:	11:03:03 AM
PROPERTY OF:	AMERICA'S HOME PLACE		
SHEET NUMBER:	F-3		
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		437 S. E. PEACOCK TER. LAKE CITY, FL 32025	
		OFFICE: GAINESVILLE, FL	
		RD	





1 First Floor Plan-Electrical/HVAC Plan Const  
1/8" = 1'-0"

ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER. ART. 210-12(b) 1999 NEC
- CONFORM ELECTRICAL WIRING & COMPONENTS TO CURRENT NEC PROVISIONS OF 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET LOCATIONS ARE REPRESENTATION ONLY
- ACTUAL OUTLET LOCATIONS MAY VARY PER LOCAL CODE

HVAC NOTES:

- FURNACE NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE. IN ACCORDANCE WITH ALL APPLICABLE CODES
- BUILDER & HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS OR LINES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT & CENTRALLY LOCATED AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10' AWAY MIN. FROM DRYER VENT



ELECTRICAL	SYMBOL
Ceiling Fan	
Ceiling Fan w Light	
Detector - Combo	
Detector - Combo	
Detector - Smoke	
Fan - Bath Exhaust	
Fan - Exhaust w Light	
Light - Ceiling Incand	
Light - Ceiling Recessed	
Light - Flood	
Light - Fluourescent	
Light - Fluourescent - Wall Mnt	
Light - Pendant	
Light - Wall	
Light - Wall Ext Coach	
Misc - CATV	
Misc - Door Bell	
Misc - Phone Jack	
Misc - Thermostat	
Outlet	
Outlet - Duplex Bottom Switched	
Outlet - Floor	
Outlet - Floor	
Outlet - GFI Waterproof Ext.	
Outlet - Sngl 220	
Panel	
Switch	
Switch - 3 Way	
Switch - 4 Way	

Revision Schedule			
Revision Number	Revision Description	Revision Date	
1	FINAL	7/9/21	

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THE: DOGWOOD 'A'	FOR: AUSTIN ODUM
437 S. E. PEACOCK TER. LAKE CITY, FL 32025	
OFFICE: GAINESVILLE, FL	SOLD BY: RD

DRAWN BY: J. GENCHUR	JOB# 59-21-017	FOUNDATION TYPE: MONOSLAB
CHECKED BY: B. TOOMBS	2x4 EXTERIOR WALLS	
PRINT DATE: 7/12/2021 11:03:04 AM		

PROPERTY OF: AMERICA'S HOME PLACE	SHEET NUMBER: H-1	FIRST & SECOND FLOOR ELEC & HVAC
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James A Zaleski

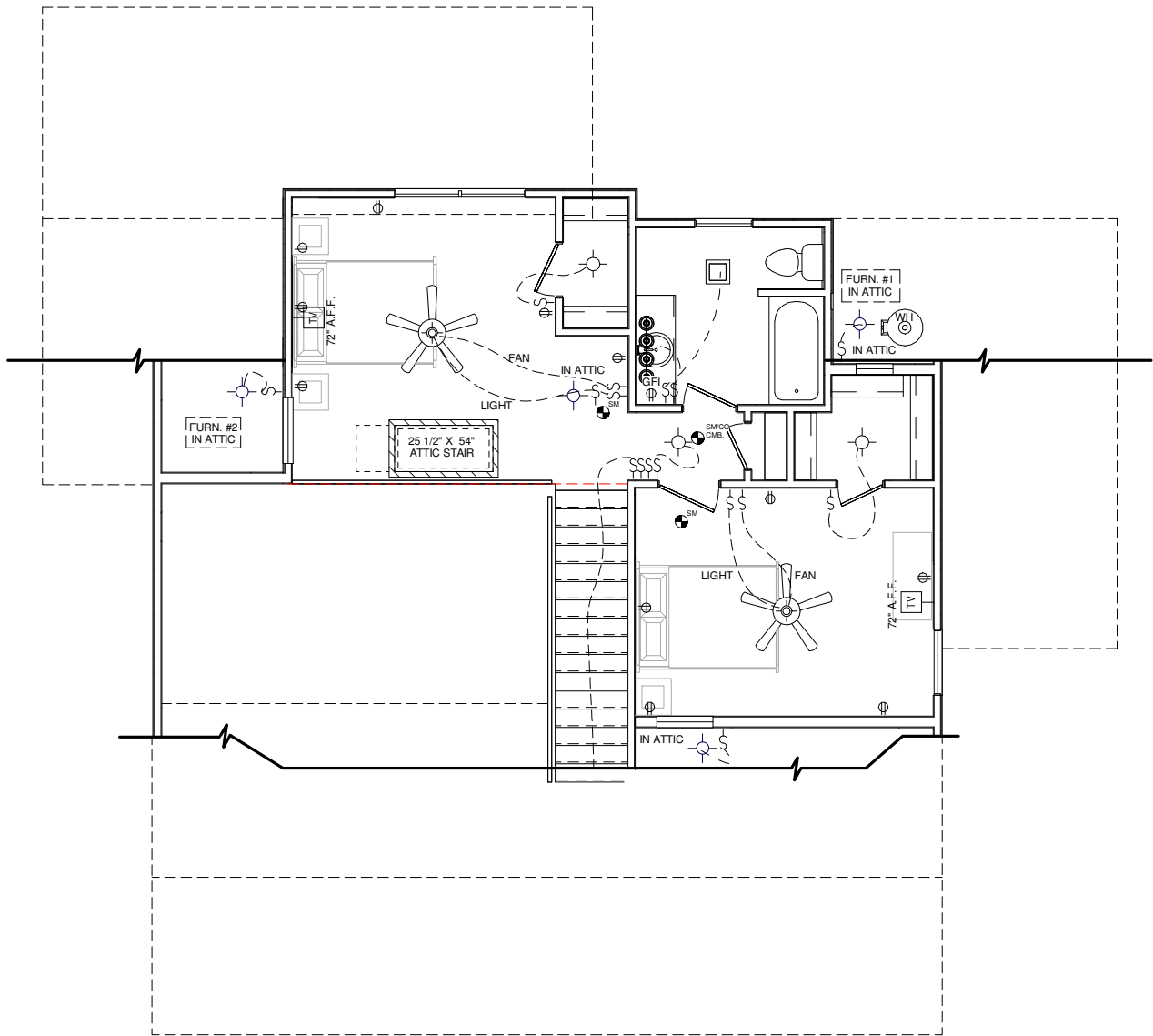
Digitally signed by James A

Zaleski

Date: 2021.07.13 09:04:33 -04'00'

OPT. PAPER SIZE: for 1/4" =1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS



1 Second Floor Plan - Electrical/HVAC Plan Const  
1/8" = 1'-0"

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James A Zaleski  
Digitally signed by James A Zaleski  
Date: 2021.07.13 09:04:07 -04'00'



ELECTRICAL NOTES:

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- FURNACE NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE. IN ACCORDANCE WITH ALL APPLICABLE CODES
- BUILDER & HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS OR LINES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT & CENTRALLY LOCATED AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10' AWAY MIN. FROM DRYER VENT

ELECTRICAL	SYMBOL
Ceiling Fan	
Ceiling Fan w Light	
Detector - Combo	
Detector - Combo	
Detector - Smoke	
Fan - Bath Exhaust	
Fan - Exhaust w Light	
Light - Ceiling Incand	
Light - Ceiling Recessed	
Light - Flood	
Light - Fluourescent	
Light - Fluourescent - Wall Mnt	
Light - Pendant	
Light - Wall	
Light - Wall Ext Coach	
Misc - CATV	
Misc - Door Bell	
Misc - Phone Jack	
Misc - Thermostat	
Outlet	
Outlet - Duplex Bottom Switched	
Outlet - Floor	
Outlet - Floor	
Outlet - GFI Waterproof Ext.	
Outlet - Sngl 220	
Panel	
Switch	
Switch - 3 Way	
Switch - 4 Way	

Revision Schedule	
Revision Number	Revision Description
1	FINAL

AREAS:	
FIRST FLOOR HEATED	1,296 SF
SECOND FLOOR HEATED	510 SF
FRONT PORCH	252 SF
REAR PORCH	240 SF
TOTAL UNDER ROOF	2,298 SF

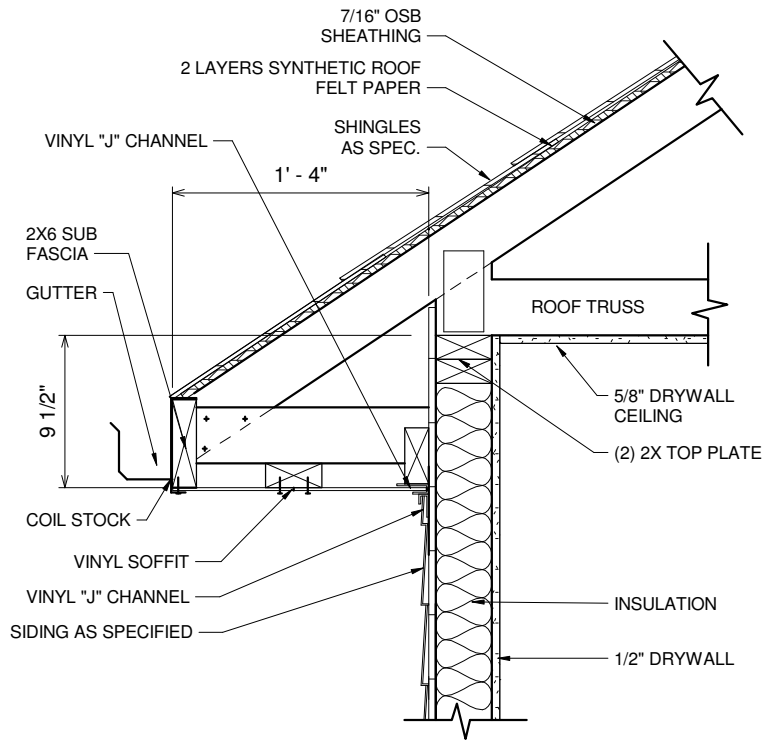
THE: DOGWOOD 'A'	FOR: AUSTIN ODUM
	437 S. E. PEACOCK TER. LAKE CITY, FL 32025
	OFFICE: GAINESVILLE, FL SOLD BY: RD

DRAWN BY: J. GENCHUR	JOB# 59-21-017	2x4 EXTERIOR WALLS UNLESS OTHERWISE NOTED
CHECKED BY: B. TOOMBS	FOUNDATION TYPE: MONOSLAB	
PRINT DATE: 7/12/2021 11:03:04 AM		

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SHEET NUMBER: H-2	SECOND FLOOR ELEC & HVAC

OPT. PAPER SIZE: for 1/4" =1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

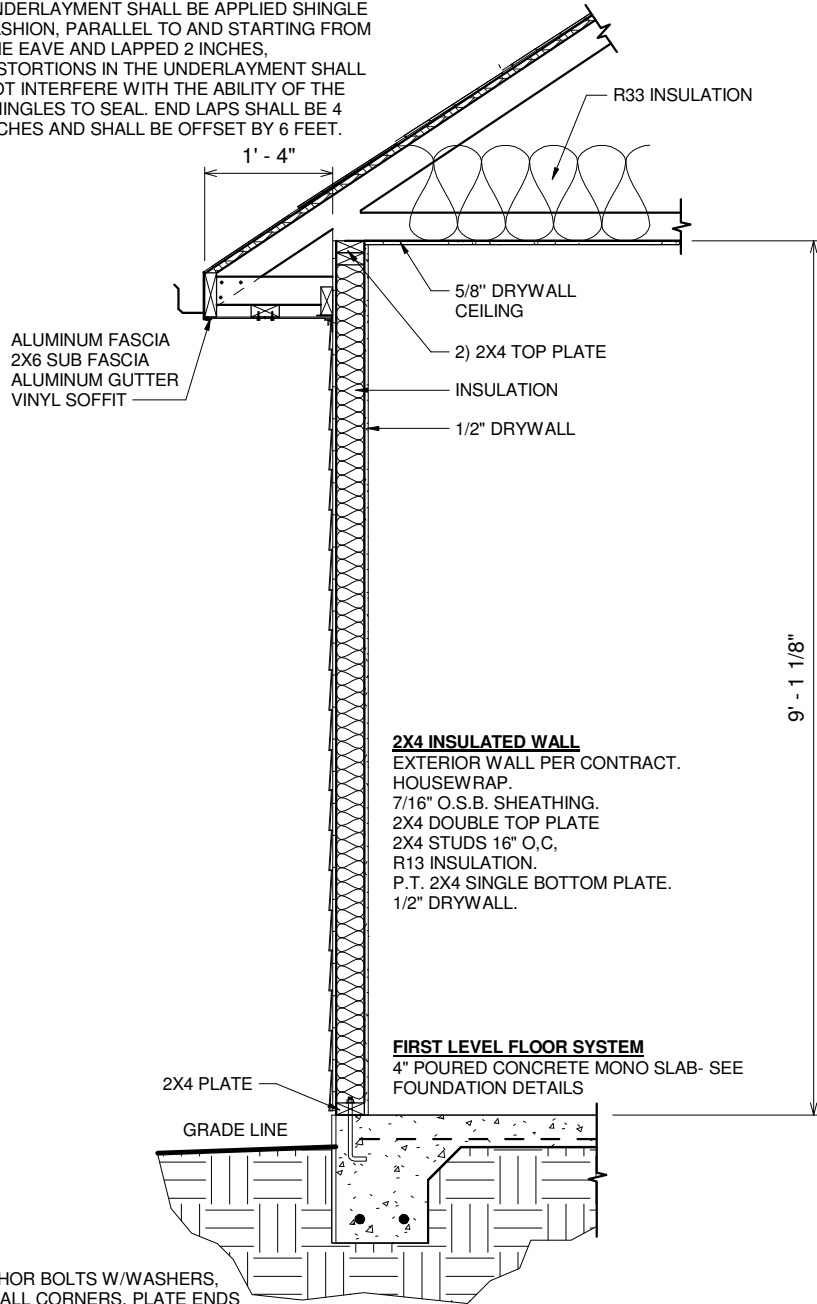
FINAL CONSTRUCTION PLANS



**ROOF SYSTEM**  
ROOF COVERING AS SPECIFIED DOUBLE LAYER OF SYNTHETIC UNDERLAYMENT WITH 7/16" OSB SHEATHING NAILED AND CLIPPED PRE ENGINEERED ROOF TRUSSES PER PRINT R-33 INSULATION IN FLAT AREAS R-30 INSULATION IN SLOPED AREAS

**UNDERLAYMENT MATERIALS**  
UNDERLAYMENT MATERIALS TO COMPLY WITH ASTM D226, D4869 TYPE III OR TYPE IV SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION.

**UNDERLAYMENT APPLICATION**  
UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE 4 INCHES AND SHALL BE OFFSET BY 6 FEET.

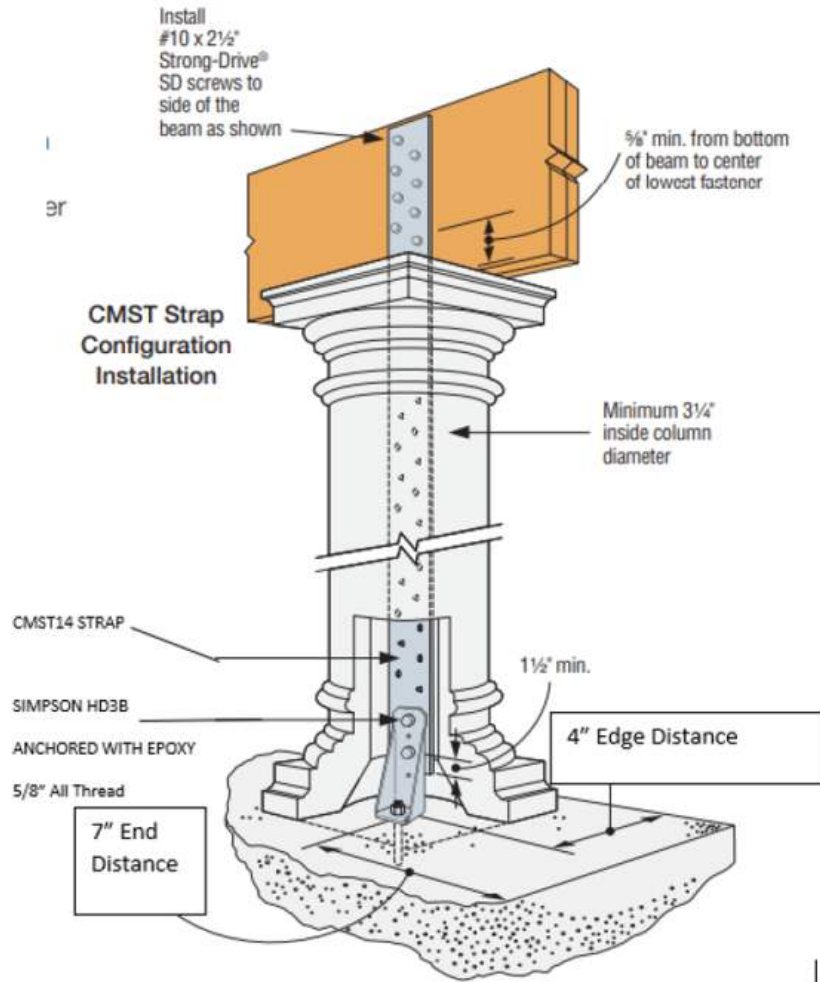


**2X4 INSULATED WALL**  
EXTERIOR WALL PER CONTRACT. HOUSEWRAP. 7/16" O.S.B. SHEATHING. 2X4 DOUBLE TOP PLATE. 2X4 STUDS 16" O.C. R13 INSULATION. P.T. 2X4 SINGLE BOTTOM PLATE. 1/2" DRYWALL.

**FIRST LEVEL FLOOR SYSTEM**  
4" POURED CONCRETE MONO SLAB- SEE FOUNDATION DETAILS

NOTE:  
1/2" X 10" ANCHOR BOLTS W/ WASHERS, WITHIN 6" OF ALL CORNERS, PLATE ENDS AND EACH SIDE OF AN OPENING. THEN SPACED A MINIMUM OF 4'-0" O.C. OR AS REQUIRED.

HOLD DOWN FOR: " KDAT Columns



James A Zaleski

Digitally signed by James A Zaleski

Date: 2021.07.13 09:03:41 -04'00'

**MONOSLAB WALL DETAILS FOR AREAS 43, 53, 59, 66, & 73**

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

James Zaleski P.E 51544 2305 Haverhill Rd Tallahassee, FL 32312 PH 850-766-7778

Revision Number	Revision Description	Revision Date
1	FINAL	7/9/21

AREAS:	1,296 SF	510 SF	252 SF	240 SF	2,298 SF
FIRST FLOOR HEATED					
SECOND FLOOR HEATED					
FRONT PORCH					
REAR PORCH					
TOTAL UNDER ROOF					

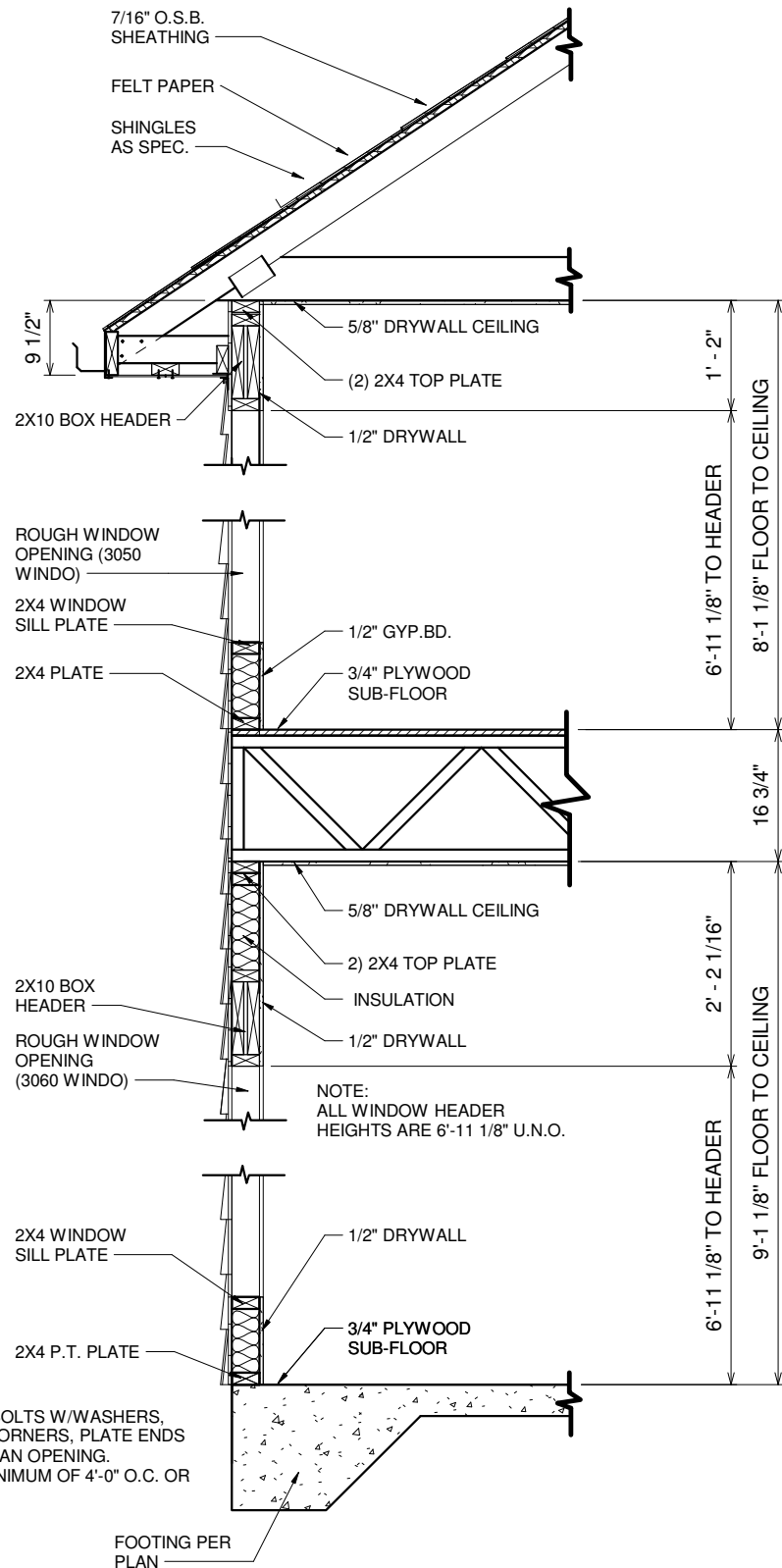
THE:	FOR:	OFFICE:	SOLD BY:
DOGWOOD 'A'	AUSTIN ODUM	437 S. E. PEACOCK TER. LAKE CITY, FL 32025	RD

JOB#	FOUNDATION TYPE:
59-21-017	MONOSLAB

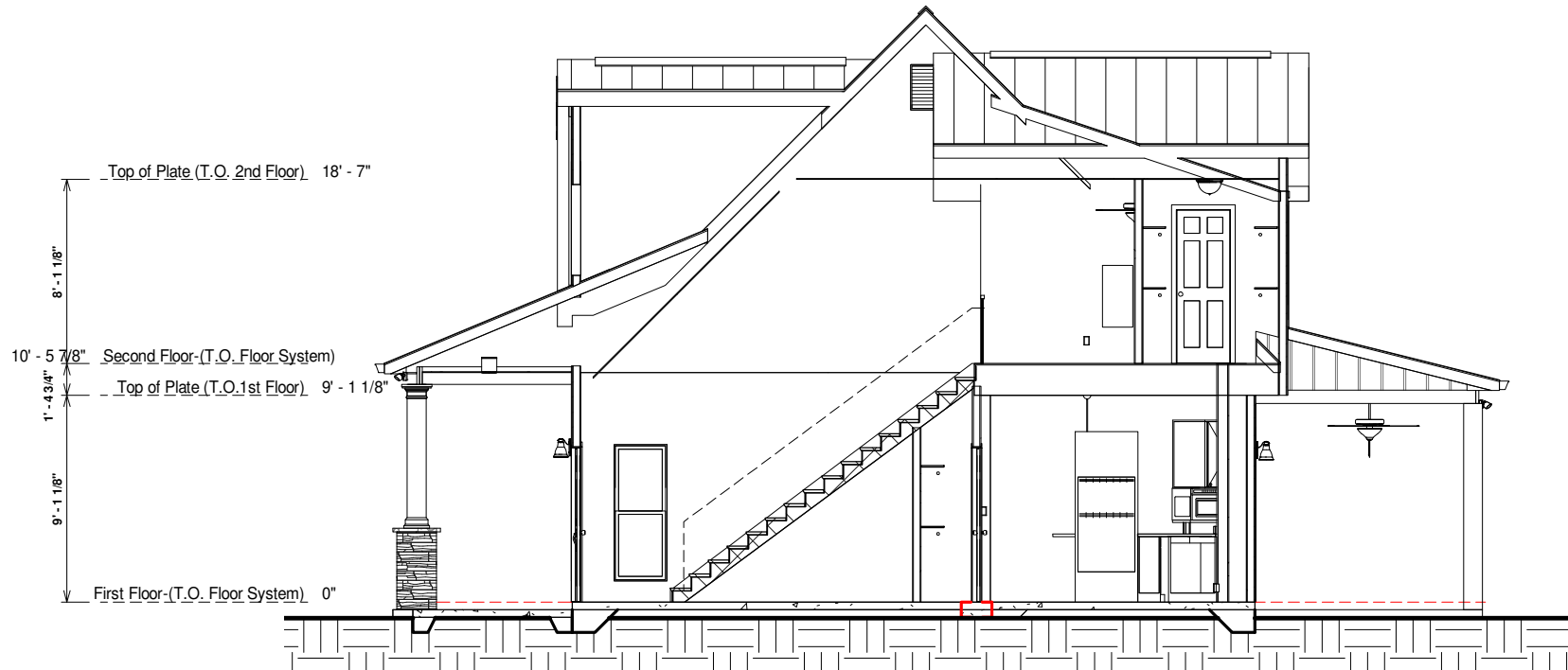
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SHEET NUMBER:	S-1

MONOSLAB WALL SECTIONS

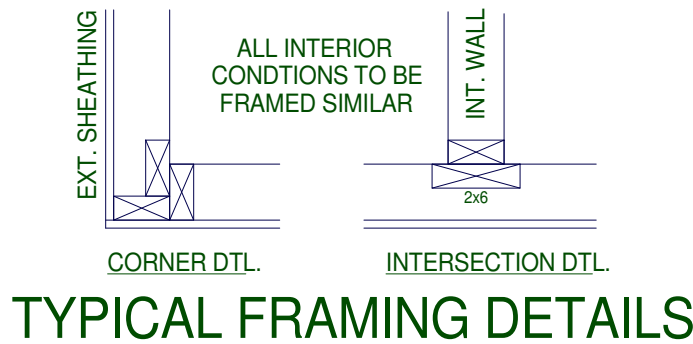




1 2 STORY WALL SECTION 16" TRUSS ON MONOSLAB - FL  
1/2" = 1'-0"



2 Section 2  
1/8" = 1'-0"



3 43.2 CORNER T FRAMING DETAIL  
1" = 1'-0"



James A Zaleski Digitally signed by James A Zaleski  
Date: 2021.07.13 09:03:03 -04'00'

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2 STORY WALL SECTIONS FOR  
AREAS 43, 53, 59, 66, & 73

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

Revision Schedule		Revision		Revision	
Revision Number	Description	Revision Number	Description	Revision Number	Date
1	FINAL				7/9/21

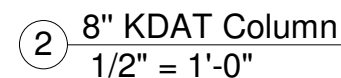
AREAS:		FIRST FLOOR HEATED		SECOND FLOOR HEATED		FRONT PORCH		REAR PORCH		TOTAL UNDER ROOF	
		1,296 SF		510 SF		252 SF		240 SF		2,298 SF	

THE:	DOGWOOD 'A'	DRAWN BY:	J. GENCHUR	PROPERTY OF:	AMERICA'S HOME PLACE
FOR:	AUSTIN ODUM	CHECKED BY:	B. TOOMBS	FOUNDATION TYPE:	MONOSLAB
	437 S. E. PEACOCK TER. LAKE CITY, FL 32025	PRINT DATE:	7/12/2021 11:03:05 AM		
	OFFICE: GAINESVILLE, FL				
	SOLD BY: RD				

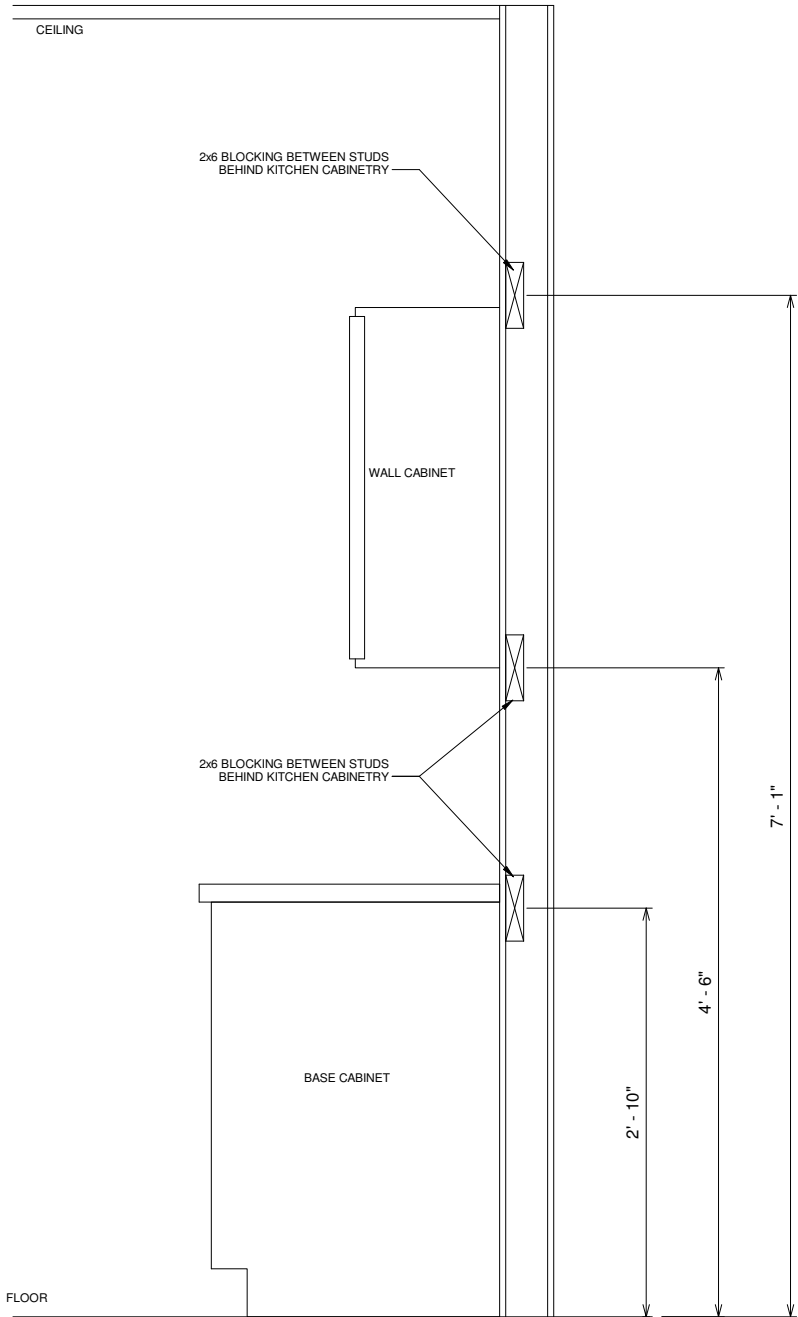
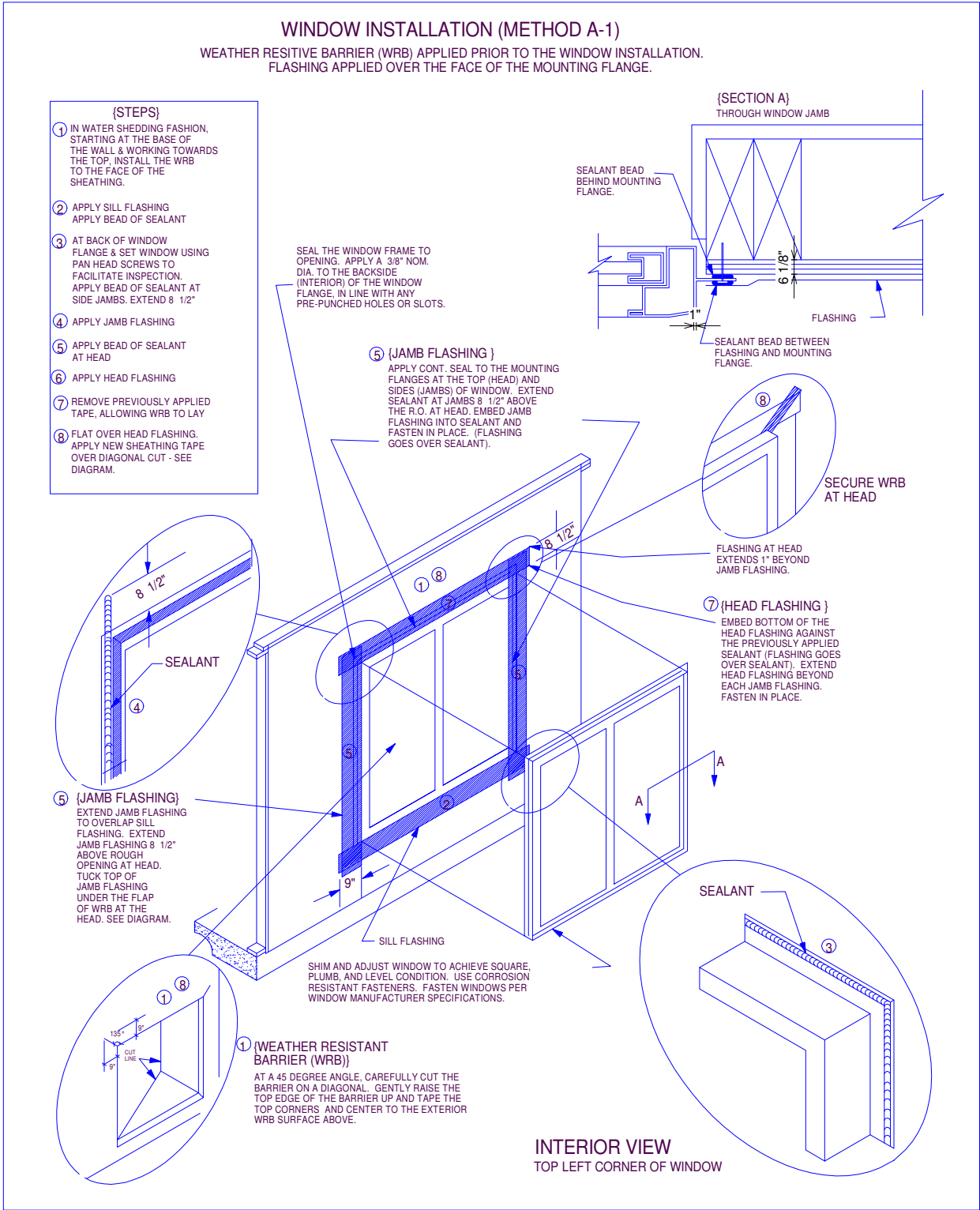
SHEET NUMBER:	S-2	2 STORY WALL SECTIONS
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1 -CRAFTSMAN BRICK BASE TAPERED COLUMN  
SECTION BRICK VENEER ON SLAB  
1/2" = 1'-0"



PAPER SIZE:	11" x 17"	SCALE:	As indicated
-------------	-----------	--------	--------------



1 WINDOW INSTALLATION (TYPICAL)  
3/16" = 1'-0"

2 KITCHEN CABINET WALL BLOCKING  
3/4" = 1'-0"

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OPT. PAPER SIZE: for 1/4" =1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

Revision Schedule		Revision Number	Revision Description	Revision Date
1	FINAL			7/9/21

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FIRST FLOOR HEATED						
SECOND FLOOR HEATED						
FRONT PORCH						
REAR PORCH						
TOTAL UNDER ROOF						

THE: DOGWOOD 'A'	FOR: AUSTIN ODUM
437 S. E. PEACOCK TER. LAKE CITY, FL 32025	
OFFICE: GAINESVILLE, FL	SOLD BY: RD

JOB# 59-21-017	2x4 EXTERIOR WALLS
DRAWN BY: J. GENCHUR	CHECKED BY: B. TOOMBS
PRINT DATE: 7/12/2021 11:03:06 AM	FOUNDATION TYPE: MONOSLAB

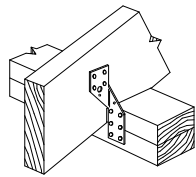
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SHEET NUMBER: S-4	DETAILS





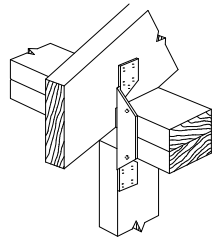
## FINAL CONSTRUCTION PLANS

3" **FFL-COLUMN HOLD DOWN DETAILS**



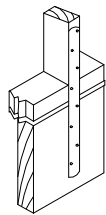
Simpson Strong-Tie  
H2.5

RAFTER WITH NO STUD BELOW  
WHEN H2 ARE NOT USED PROVIDE  
SIMPSON CS16 @ 48" O.C. STRAP OVER  
TOP PLATE AND MIN. 10" LAP ON STUDS U.N.O.

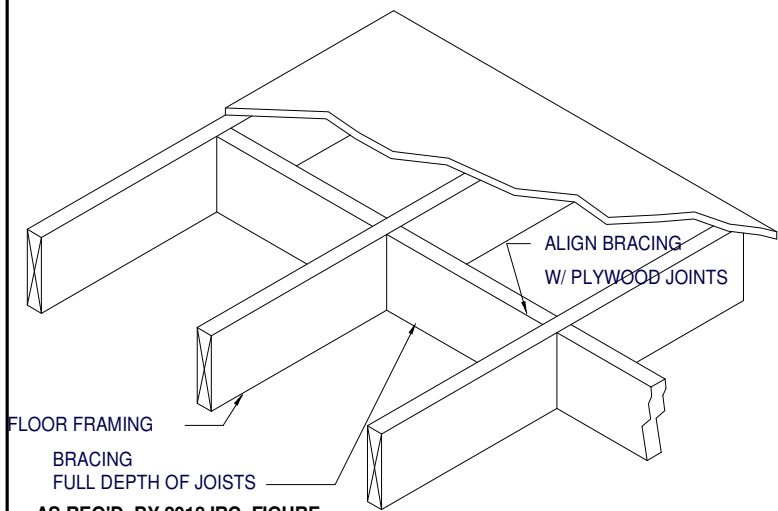


Simpson Strong-Tie  
H2

RAFTER ABOVE STUD  
WHEN H2 ARE USED EVERY OTHER JOIST  
SIMPSON CS16 STRAP OVER TOP PLATE  
& MIN. 10" LAP ON STUDS ARE NOT REQUIRED U.N.O.



20" SIMPSON CS 16 TIE STRAP CONNECTS STUDS TO  
FLOOR SYSTEM @ 48" O.C., 10d NAILS ALL HOLES  
AND WOOD COLUMNS TO PORCH HEADERS  
AND WOOD COLUMNS TO FLOOR RIM JOIST U.N.O.



FLOOR FRAMING

BRACING  
FULL DEPTH OF JOISTS

AS REQ'D. BY 2018 IRC, FIGURE  
R502.2 & SECTION R502.7

OPTIONAL RAFTER OR STUD/POST  
TO DBL PLATE/HEADER CONNECTION:  
6" FASTENMASTER TIMBERLOK  
INSTALLED AT 22.5 DEGREE  
MIN. 2.5" FROM CONNECTION  
WWW.FASTENMASTER.COM

USP #SPT4  
UPLIFT - 735#

USP #RT7  
UPLIFT - 585#

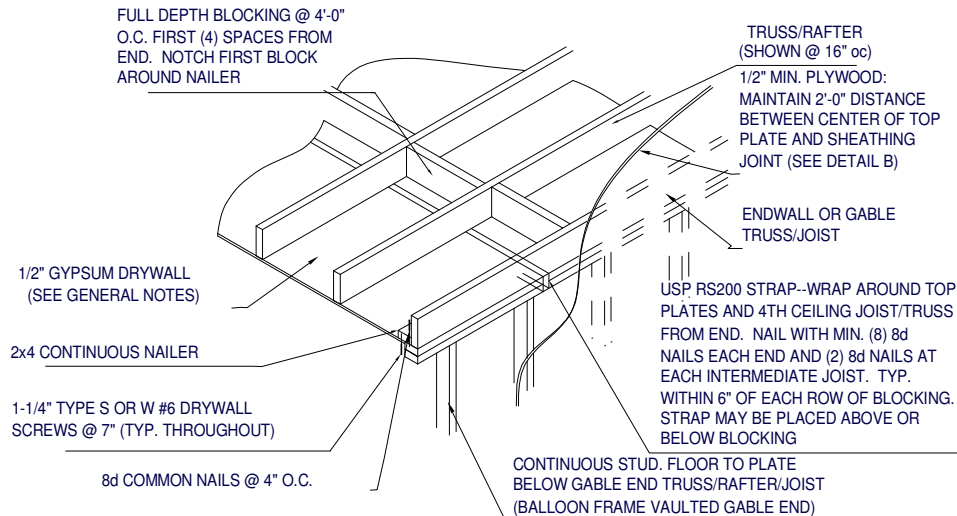
USP #FA3  
UPLIFT = 760#

USP #SPT22  
UPLIFT - 595#

USP #RT3  
UPLIFT - 475#

USP #RT20  
UPLIFT - 1105#

OPTIONAL SLAB/BOTTOM PLATE/WALL CONNECTIONS  
SIMPSON H2.5, H3, OR SSP OR DSP BOTTOM PLATE TO STUDS



ENDWALL CEILING  
CONNECTION

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## RAFTER/TRUSS

USP RS200 ON EACH RAFTER PAIR, 12" MIN.  
END LENGTH ON EACH RAFTER, (11)  
8d FASTENERS REQ'D EACH END.

ALT: 1x6 COLLAR TIE EVERY OTHER RAFTER,  
MIN. (9) 8d NAILS EACH END.

NOTE: DETAIL ABOVE NOT REQUIRED  
FOR CONTINUOUS TRUSSES.

USP RT16 STRAP AT  
ALL BEARING POINTS

RT16 MUST BE INSTALLED ON OUTSIDE OF  
STUD WALL. IF INSTALLED ON INSIDE OF  
WALL, STUDS ON EITHER SIDE OF RT16  
MUST BE ANCHORED TO TOP PLATE USING  
RT7 STRAPS.

INTERIOR LOAD BEARING WALLS--  
STRAP TRUSS/RAFTERS TO TOP PLATES  
WITH USP RT16. ANCHOR TOP PLATES TO  
STUDS WITH USP SPT24 STRAPS ON SAME  
SIDE AS RT16 STRAPS. CONNECT 2ND  
FLOOR WALL STUDS TO 1ST FLOOR WALL  
STUDS OR BEAMS USING USP RS200  
STRAPS @ 48" O.C. (MIN. 11 8d NAILS EACH  
END). ATTACH 1ST FLOOR STUDS TO  
SUPPORTING GIRDERS IN SIMILAR MANNER.  
ANCHOR FLOOR JOISTS TO DROPPED  
GIRDERS WITH USP RT 17. SEE DETAIL I  
FOR DROPPED GIRDER ANCHORING.

OPTIONAL TIEDOWN IS THE QUICK TIE SYSTEM  
WWW.QUICKTIEPRODUCTS.COM  
CONTRACTOR SHALL SUBMIT TIEDOWN PLAN  
FOR ENGINEER'S APPROVAL

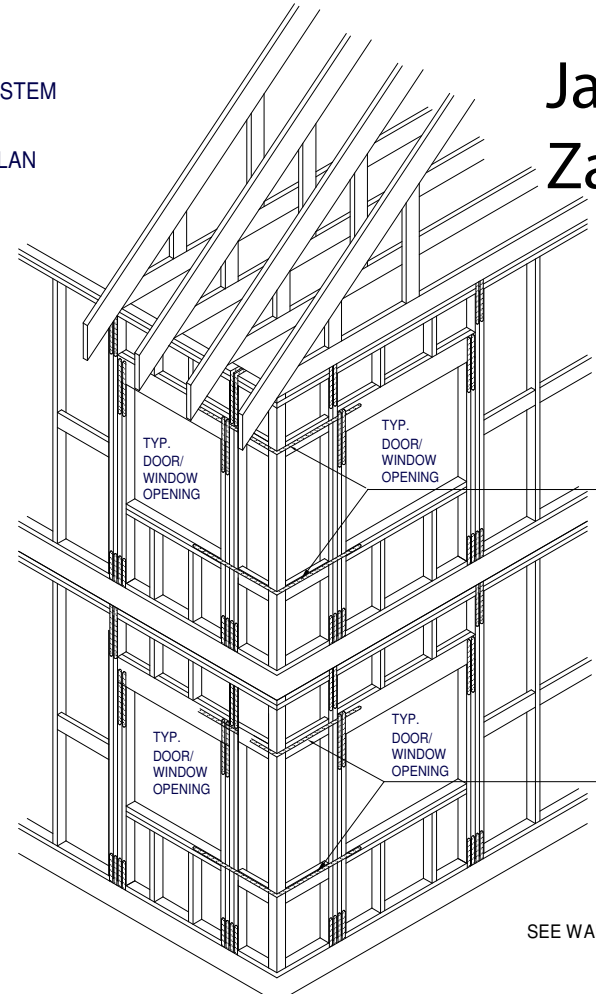
STRAP OVERBUILT VALLEY  
SET) TRUSSES/RAFTERS OVER  
MAIN TRUSSES/RAFTERS WITH  
USP MTW12 OR MTW18

USP STRAP RS200 -- WRAP  
OVER TOP OF EVERY PIGGY  
BACK RAFTER/TRUSS AND FASTEN  
WITH (4) 8d COMMON NAILS  
AT EACH MEMBER

OPTIONAL RAFTER TIEDOWN IS:  
6" FASTENMASTER TIMBERLOK  
2"-3" IN TOP AND 3"-4" IN BOTTOM

MIN. (4) 8d COMMON NAILS  
ON EACH SIDE OF 2 MEMBER  
CONNECTION

RAFTER TO HIP CONNECTION:  
SIMPSON LS50 OR  
(2) 1/4"x3.5" WOOD SCREWS PLACED  
AT 1/3 DEPTH POINTS AND PASS  
THROUGH THE INSIDE CORNER OF CONNECTION



SEE WALL SECTIONS FOR VERICAL TIEDOWN

HORIZONTAL STRAPPING DETAIL @ CORNERS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS



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Digitally signed by  
James A Zaleski  
Date: 2021.07.13  
08:53:30 -04'00'

USP RS200 STRAP--OVERLAP  
TOP AND BOTTOM HEADER (USE  
BLOCKING BETWEEN STUDS WHERE  
HEADERS DON'T ALIGN) 12" MIN.  
EACH SIDE. TYP. WITH CORNER  
WALLS SHEATHED LESS THAT 3'-6"  
EITHER WAY AND ALL BAY WINDOWS.

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1	FINAL	7/9/21

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FIRST FLOOR HEATED					
SECOND FLOOR HEATED					
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REAR PORCH					
TOTAL UNDER ROOF					

THE:	FOR:	OFFICE:	SOLD BY:
DOGWOOD 'A'	AUSTIN ODUM	437 S. E. PEACOCK TER. LAKE CITY, FL 32025	RD

JOB#	FOUNDATION TYPE:
59-21-017	MONOSLAB

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SHEET NUMBER:	S-6

FL- HOLD DOWN DETAILS