

## Columbia County New Building Permit Application

CASH 2405

For Office Use Only Application # 4455 Date Received 2/3 By SW Permit # 39251  
Zoning Official LW/LH Date 2-4-20 Flood Zone X Land Use Ag Zoning A-3  
FEMA Map # \_\_\_\_\_ Elevation \_\_\_\_\_ MFE 83' River \_\_\_\_\_ Plans Examiner T.C. Date 2-5-20  
Comments \_\_\_\_\_  
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Well letter ☐ 911 Sheet ☐ Parent Parcel # \_\_\_\_\_  
☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter  
☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☐ Sub VF Form

Septic Permit No. X-20-007 OR City Water ☐ Fax \_\_\_\_\_Applicant (Who will sign/pickup the permit) BARBARA DANIELLO Phone 917-414-7217Address 1028 SW High Field Terrace, Lake City, FL 32Owners Name BARBARA DANIELLO / DONNA MAGLIONE Phone 917-414-7217911 Address 1028 SW High Field TerraceContractors Name BARBARA DANIELLO Phone 917-414-7217Address 1028 SW High Field Terrace, Lake City, FL 32024  
bdaniello@aol.comContractor Email bdaniello@aol.com \*\*\*Include to get updates on this job.

Fee Simple Owner Name &amp; Address \_\_\_\_\_

Bonding Co. Name &amp; Address \_\_\_\_\_

Architect/Engineer Name & Address Wynne Moore, Inc. 1009 East Ave, North Augusta, SC 29841Mortgage Lenders Name & Address N/ACircle the correct power company ☐ FL Power & Light ☒ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy TotalProperty ID Number 36-55-16 03761-59 Estimated Construction Cost 8,000/17,228-25,228 Concrete StructureSubdivision Name MEADOWLANDS Lot 59 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase 4

Driving Directions from a Major Road \_\_\_\_\_

Exit 414 off I75 - NUS 41 - Right onto SW Harlow St - Right turn onto Tusculum Ave - Left into MEADOWLANDS / Right onto SW HighConstruction of GARAGE Commercial OR ☒ Residential Field TurnProposed Use/Occupancy \_\_\_\_\_ Number of Existing Dwellings on Property 0Is the Building Fire Sprinkled? NO If Yes, blueprints included \_\_\_\_\_ Or Explain \_\_\_\_\_Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☐ Have an Existing DriveActual Distance of Structure from Property Lines - Front 340 (approx) Side 110 Side 190 Rear 265Number of Stories 1 Heated Floor Area \_\_\_\_\_ Total Floor Area 1200/450 Acreage 5.00 INSIDE/OUTSIDEZoning Applications applied for (Site & Development Plan, Special Exception, etc.) 45' x 30' = 1350 per planyou sent email 2.6.20\$237.05

**Columbia County Building Permit Application**

**CODE: Florida Building Code 2017 and the 2014 National Electrical Code.**

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

DONNA MAGLIONE  
BARBARA DANIELLO  
Print Owners Name

*Barbara Danillo*  
Owners Signature

**\*\*Property owners must sign here before any permit will be issued.**

**\*\*If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

\_\_\_\_\_  
Contractor's Signature

Contractor's License Number \_\_\_\_\_  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this \_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.  
Personally known ☐ or Produced Identification \_\_\_\_\_

SEAL:

\_\_\_\_\_  
State of Florida Notary Signature (For the Contractor)

## Columbia County Property Appraiser

updated: 1/6/2020

## 2020 Working Values

Parcel: 36-5S-16-03761-159

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

&lt;&lt; Next Lower Parcel Next Higher Parcel &gt;&gt;

2019 TRIM (pdf)

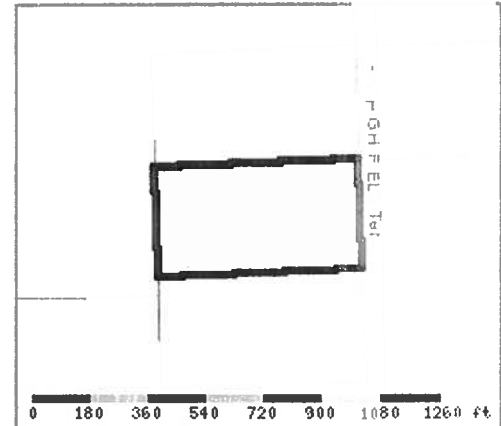
Interactive GIS Map

Print

Search Result: 1 of 1

## Owner &amp; Property Info

<b>Owner's Name</b>	DANIELLO BARBARA &		
<b>Mailing Address</b>	DONNA MAGLIONE 99 SKY MANOR ROAD PITTSVILLE, NJ 08867		
<b>Site Address</b>	1028 SW HIGH FIELD TER		
<b>Use Desc. (code)</b>	VACANT (000000)		
<b>Tax District</b>	3 (County)	<b>Neighborhood</b>	1616
<b>Land Area</b>	5.000 ACRES	<b>Market Area</b>	02
<b>Description</b>	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. LOT 59 MEADOWLANDS S/D PHASE 4 AG 1056-1575, WD 1112-1616, 1617, WD 1333-1542, WD 1399-2376,		



## Property &amp; Assessment Values

2019 Certified Values		
<b>Mkt Land Value</b>	cnt: (0)	\$29,000.00
<b>Ag Land Value</b>	cnt: (1)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$29,000.00
<b>Just Value</b>		\$29,000.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$29,000.00
<b>Exempt Value</b>		\$0.00
<b>Total Taxable Value</b>	Cnty: \$29,000 Other: \$29,000   Schl: \$29,000	

2020 Working Values		
<b>Mkt Land Value</b>	cnt: (0)	\$29,000.00
<b>Ag Land Value</b>	cnt: (1)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$29,000.00
<b>Just Value</b>		\$29,000.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$29,000.00
<b>Exempt Value</b>		\$0.00
<b>Total Taxable Value</b>	Cnty: \$29,000 Other: \$29,000   Schl: \$29,000	

**NOTE: 2020 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.**

## Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
11/22/2019	1399/2376	WD	V	Q	01	\$40,000.00
3/22/2017	1333/1542	WD	V	U	11	\$100.00
2/2/2007	1112/1617	WD	V	Q		\$59,900.00
2/1/2007	1112/1616	WD	V	U	04	\$100.00
2/18/2005	1056/1575	AG	V	U	01	\$49,000.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

## Extra Features &amp; Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

## Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	1 LT - (0000005.000AC)	1.00/1.00/1.00/1.00	\$29,000.00	\$29,000.00

Columbia County Property Appraiser

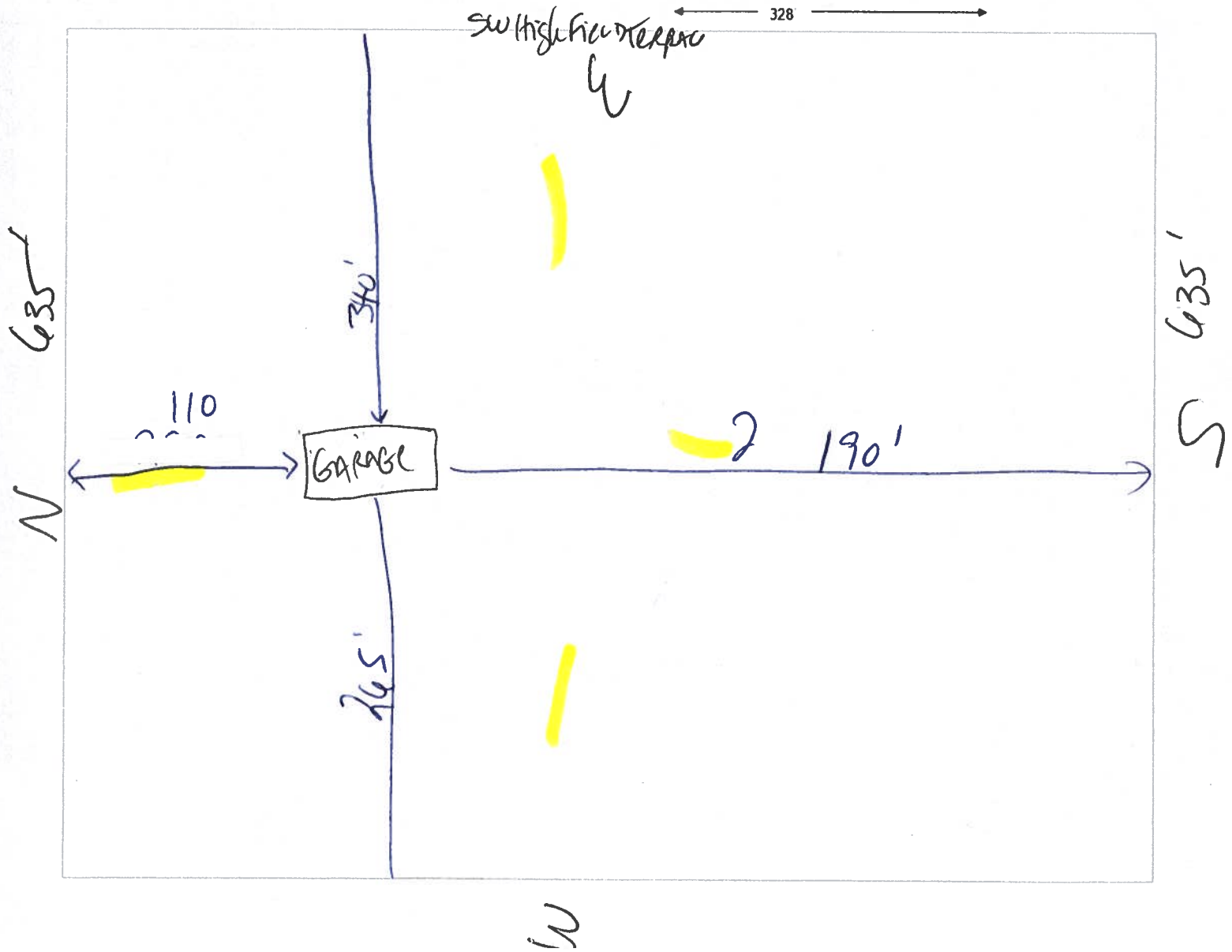
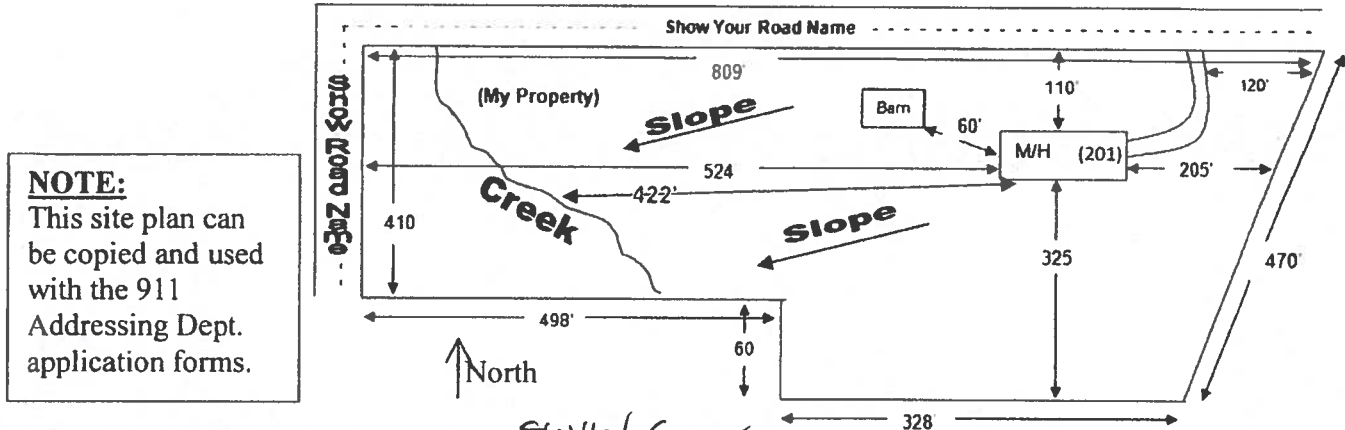
updated: 1/6/2020

## SITE PLAN CHECKLIST

- ☐ 1) Property Dimensions
- ☐ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ☐ 3) Distance from structures to all property lines
- ☐ 4) Location and size of easements
- ☐ 5) Driveway path and distance at the entrance to the nearest property line
- ☐ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ☐ 7) Show slopes and or drainage paths
- ☐ 8) Arrow showing North direction

### SITE PLAN EXAMPLE

Revised 7/1/15





## Legend

### Parcels

Addressing:2018 Base Flood Elevations Group

2018 Base Flood Elevations

DEFAULT

Base Flood Elevations

2018 Base Flood Elevation Zones

0.2 PCT ANNUAL CHANCE

A

AE

AH

2018 Flood Zones

0.2 PCT ANNUAL CHANCE

A

AE

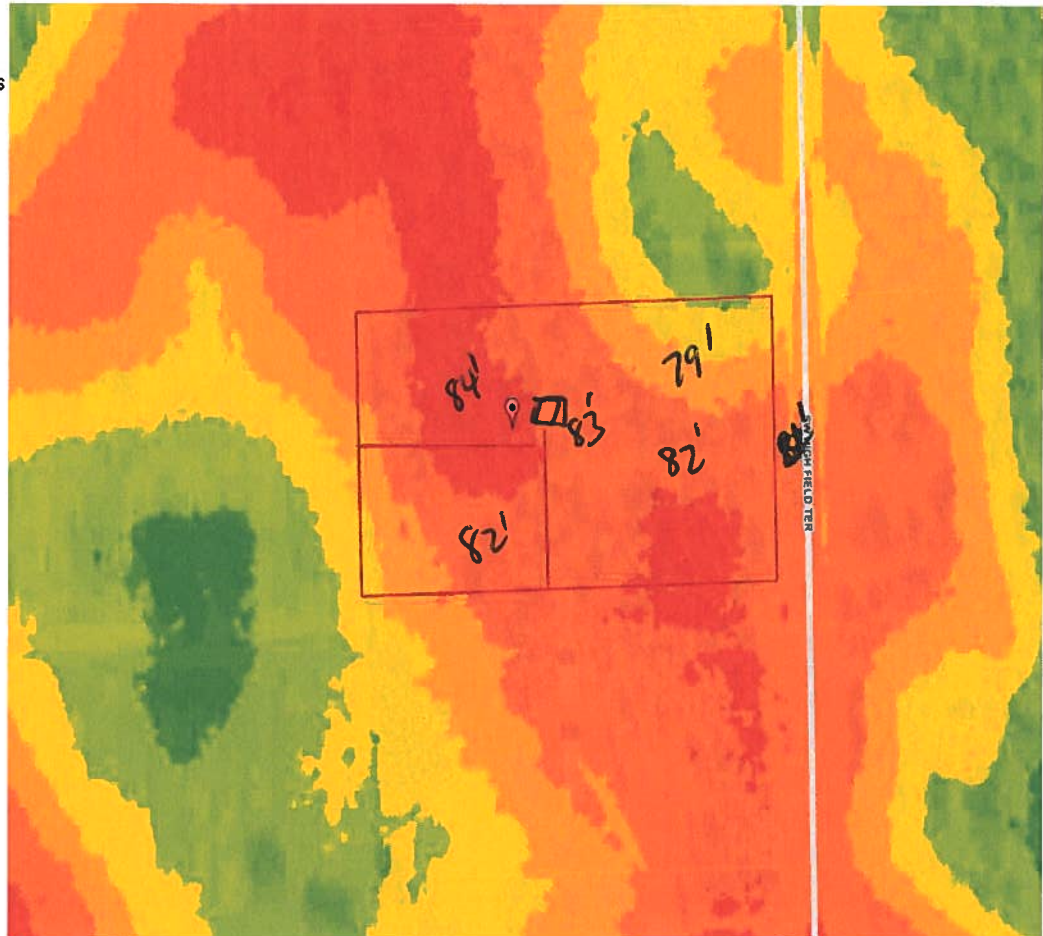
AH

Addresses

LidarElevations

# Columbia County, FLA - Building & Zoning Property Map

Printed: Wed Feb 05 2020 11:14:46 GMT-0500 (Eastern Standard Time)



## Parcel Information

Parcel No: 36-5S-16-03761-159

Owner: DANIELLO BARBARA &

Subdivision: MEADOWLANDS PHASE 4

Lot: 59

Acres: 5.000035

Deed Acres: 5 Ac

District: District 5 Tim Murphy

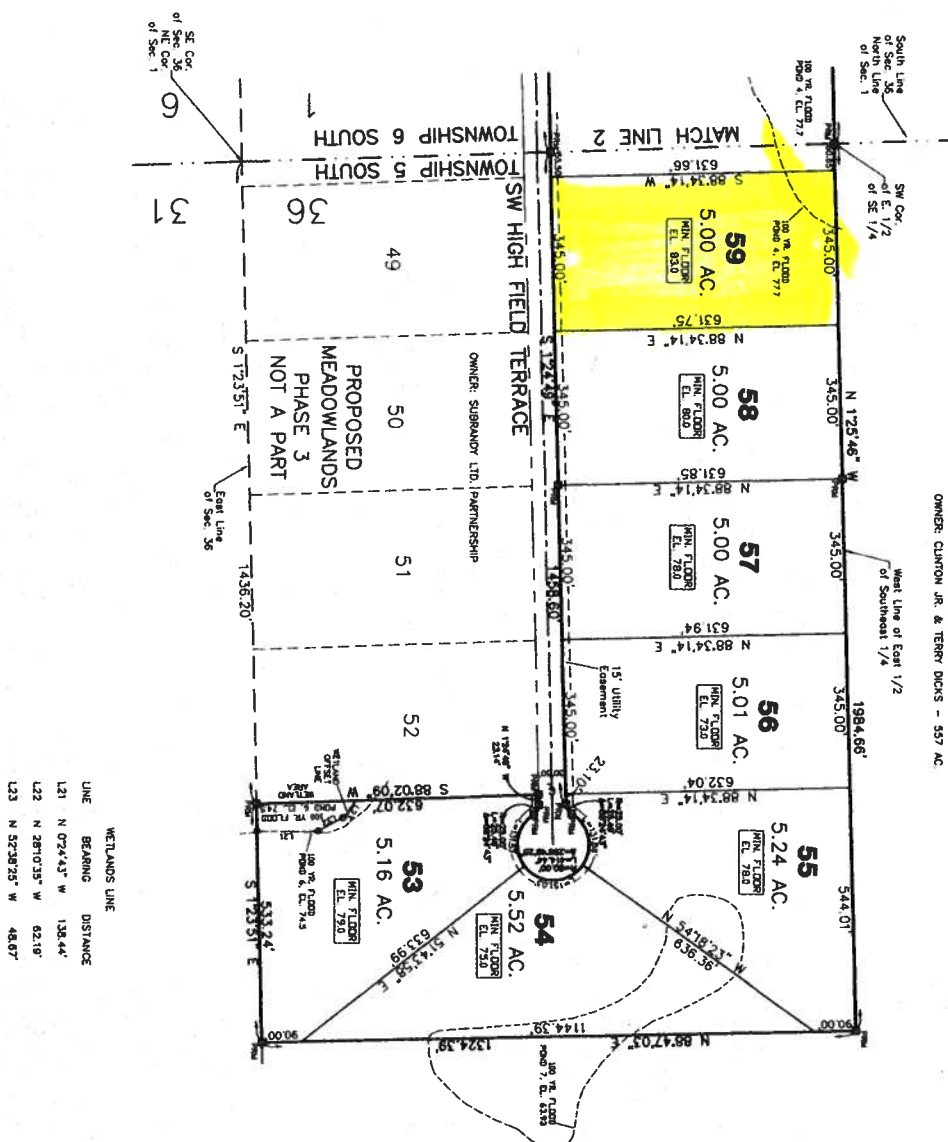
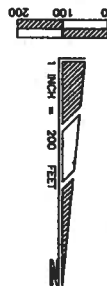
Future Land Uses: Agriculture - 3

Flood Zones:

Official Zoning Atlas: A-3

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

**MEADOWLANDS PHASE 4**  
IN SECTION 1, TOWNSHIP 6 SOUTH, RANGE 16 EAST &  
IN SECTION 36, TOWNSHIP 5 SOUTH, RANGE 16 EAST &  
COLUMBIA COUNTY, FLORIDA



- [illegible]

# NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

36-58-16 03761-159

Clerk's Office Stamp

Last: 202012062691 Date: 02/03/2020 Time: 3:21PM  
Page 1 of 1 B: 1404 P: 2275, P. DeWitt Cason, Clerk of Court  
Columbia, County, By: BD  
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Lot 59 MEADOWLANDS TRS#4  
a) Street (Job) Address: 1028 SW Highfield Terrace, Lake City, FL 32024
2. General description of improvements: Steel Garage - 30x30
3. Owner Information or Lessee information if the Lessee contracted for the improvements:  
a) Name and address: Barbara Daniello & Donna Maglione 99 Skymanor Rd  
b) Name and address of fee simple titleholder (if other than owner) 2 PITSTOWN, NJ  
c) Interest in property 08867
4. Contractor Information  
a) Name and address: Barbara Daniello - 1028 SW Highfield Ter  
b) Telephone No.: 917. 414. 7217 Lake City, FL 32024
5. Surety Information (if applicable, a copy of the payment bond is attached):  
a) Name and address: \_\_\_\_\_  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_
6. Lender  
a) Name and address: \_\_\_\_\_  
b) Phone No.: \_\_\_\_\_
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:  
a) Name and address: \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
a) Name: \_\_\_\_\_ OF \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Barbara Daniello  
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager  
BARBARA DANIELLO  
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 31<sup>st</sup> day of FEBRUARY 2020, by:  
Barbara Daniello as OWNER for Barbara Daniello & Donna Maglione  
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known OR Produced Identification ✓ Type DL

Notary Signature

Laurie Hodson

Notary Stamp or Seal:





## **COLUMBIA COUNTY BUILDING DEPARTMENT**

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

### **OWNER BUILDER DISCLOSURE STATEMENT**

#### **Florida Statutes Chapter 489.103:**

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease, unless I am completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.



7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at **850-487-1395** or <http://www.myfloridalicense.com/> for more information about licensed contractors.

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

1028 Skl Hishie Id Ter

(Write in the address of jobsite property)

12. I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

**Florida Statutes Chapter 489.503:**

State law requires electrical contracting to be done by licensed electrical contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own electrical contractor even though you do not have a license. You may install electrical wiring for a farm outbuilding or a single-family or duplex residence. You may install electrical wiring in a commercial building the aggregate construction costs of which are under \$75,000. The home or building must be for your own use and occupancy. It may not be built for sale or lease, unless you are completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If you sell or lease more than one building you have wired yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your electrical contractor. Your construction shall be done according to building codes and zoning regulations. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

An owner of property completing the requirements of a building permit, where the contractor listed on the permit substantially completed the project as determined by the local permitting agency, for a one-family or two family residence, townhome, accessory structure of a one-family or two-family residence or townhome or individual residential condominium unit or cooperative unit. Prior to the owner qualifying for the exemption, the owner must receive approval from the local permitting agency, and the local permitting agency must determine that the contractor substantially completed the project. An owner who qualifies for the exemption under this paragraph is not required to occupy the dwelling or unit for at least 1 year after the completion of the project.

Before a building permit shall be issued, this notarized disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit.

**TYPE OF CONSTRUCTION**

☐ Single Family Dwelling    ☐ Two-Family Residence    ☐ Farm Outbuilding

☐ Addition, Alteration, Modification or other Improvement    ☐ Electrical

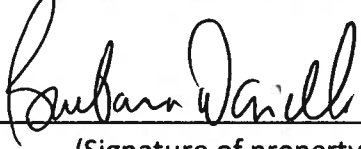
☒ Other 30X30 METAL Storage Building

☐ Contractor substantially completed project, of a \_\_\_\_\_

☐ Commercial, Cost of Construction \_\_\_\_\_ for construction of \_\_\_\_\_

I, BARBARA DAVIELLO, have been advised of the above disclosure  
(Print Property Owners Name)

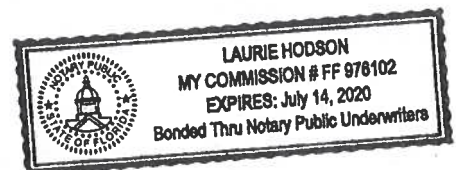
statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

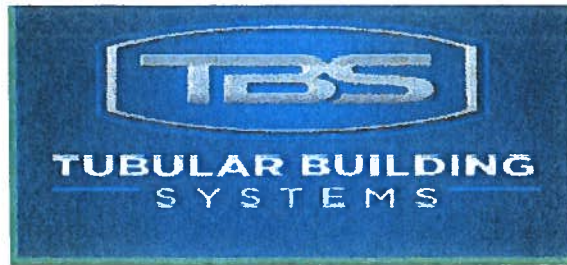
Signature:  Date: 2/3/2020  
(Signature of property owner)

**NOTARY OF OWNER BUILDER SIGNATURE**

The above signer is personally known to me or produced identification DL

Notary Signature  Date 2.3.20 (Seal)





## **STRUCTURAL DESIGN**

# **ENCLOSED BUILDING** **EXPOSURE B**

**MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE  
FRAME AND BOW FRAME**

**18 December 2017**

**Revision 4**

**M&A Project No. 16022S/17300S**

**Prepared for:**

**Tubular Building Systems, LLC  
631 SE Industrial Circle  
Lake City, Florida 32025**

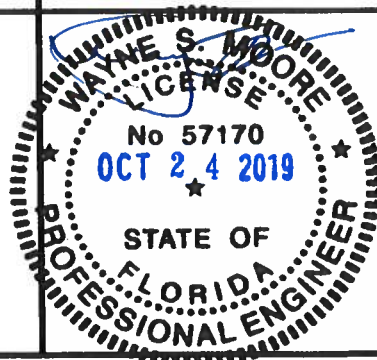
**Prepared by:**

**Moore and Associates Engineering and Consulting, Inc.  
1009 East Avenue  
North Augusta, SC 29841**

**401 S. Main Street, Suite 200  
Mount Airy, NC 27030**





MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B PE SEAL COVER SHEET		
	CHECKED BY: PDH			
THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 1	DWG. NO: SK-3	REV: 4

# DRAWING INDEX

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SHEET 2	DRAWING INDEX
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SHEET 4	TYPICAL SIDE AND END ELEVATIONS
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SHEET 6A	TYPICAL RAFTER COLUMN CONNECTION DETAILS (LACED COLUMN)
SHEET 6B	TYPICAL RAFTER COLUMN CONNECTION DETAILS (DOUBLE COLUMN)
SHEET 6C	TYPICAL RAFTER COLUMN CONNECTION DETAILS (SINGLE COLUMN)
SHEET 7	TYPICAL RAFTER COLUMN END AND SIDE FRAMING SECTIONS (BOW RAFTER)
SHEET 8A	TYPICAL RAFTER COLUMN CONNECTION DETAILS (DOUBLE COLUMN)
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SHEET 14	LEAN-TO OPTIONS (BOW RAFTER)
SHEET 15	VERTICAL ROOF/SIDING OPTION END AND SIDE ELEVATION AND SECTION
SHEET 16	OPTIONAL DOOR HEADER



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 2**

**SCALE: NTS**

**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

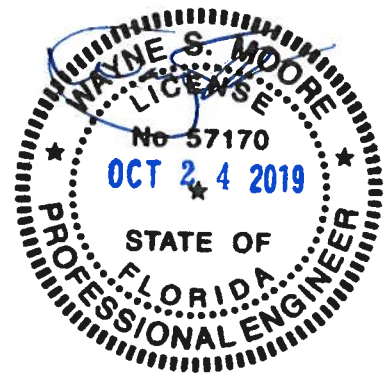
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## INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR A MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION, 2012 INTERNATIONAL BUILDING CODE (IBC), AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
  - A) DEAD LOAD = 1.5 PSF
  - B) LIVE LOAD = 12 PSF
  - C) GROUND SNOW LOAD = 10 PSF
4. LOW ULTIMATE WIND SPEED 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH): MAXIMUM RAFTER/POST AND END POST SPACING = 5.0 FEET.
5. HIGH ULTIMATE WIND SPEED 141 TO 170 MPH (NOMINAL WIND SPEED 109 TO 132 MPH): MAXIMUM RAFTER/POST AND END POST SPACING = 4.0 FEET.
6. LOW HAZARD RISK CATEGORY I (WIND).
7. WIND EXPOSURE CATEGORY B.
8. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS. FOR VERTICAL PANELS, 29 GAUGE METAL PANELS SHALL BE FASTENED TO 18 GAUGE HAT CHANNELS (UNLESS OTHERWISE NOTED).
9. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS, INTERIOR = 9" OR END = 6", (MAX.)
10. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14" (3:12 PITCH) OR LESS. SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
11. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6" OF EACH RAFTER COLUMN ALONG SIDES.
12. GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBAR W/WELDED NUT x 30" LONG IN SUITABLE SOIL CONDITIONS MAY BE USED FOR LOW (< 108 MPH NOMINAL) WIND SPEEDS ONLY. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED.
13. OPTIONAL BASE RAIL ANCHORAGE MAY BE USED FOR LOW AND MUST BE USED FOR HIGH WIND SPEEDS.
14. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:
 

SOIL SITE CLASS = D  
 RISK CATEGORY I/II/III  
 R = 3.25      I<sub>E</sub> = 1.0  
 S<sub>DS</sub> = 1.522      V = C<sub>S</sub>W  
 S<sub>DI</sub> = 0.839



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**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SCALE: NTS**

**SHT. 3**

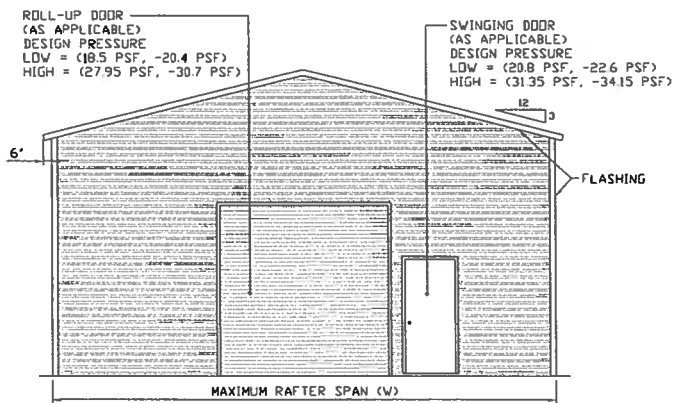
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**JOB NO:  
16022S/17300S**

**REV: 4**

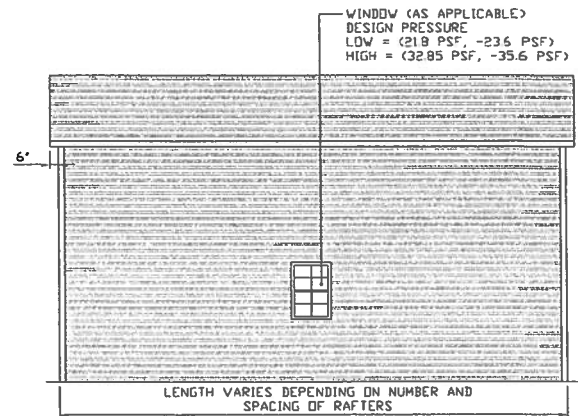
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## BOX EAVE FRAME RAFTER ENCLOSED BUILDING



**TYPICAL END ELEVATION-HORIZONTAL ROOF**

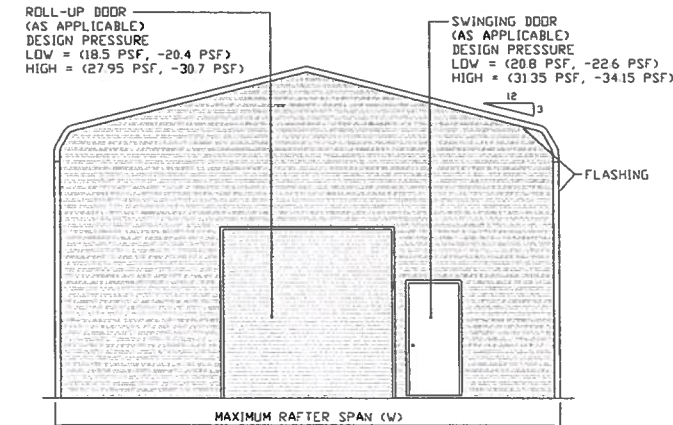
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**TYPICAL SIDE ELEVATION-HORIZONTAL ROOF**

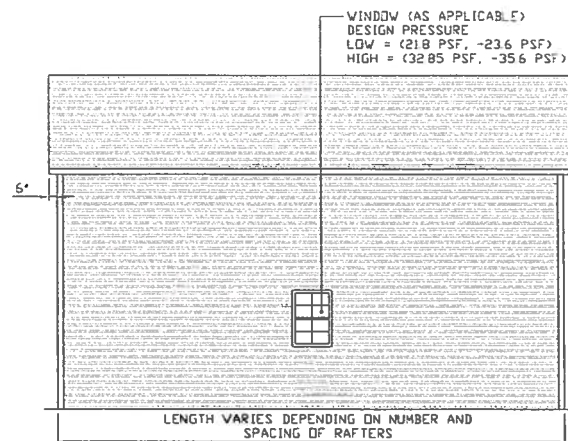
SCALE: NTS

## BOW FRAME RAFTER ENCLOSED BUILDING



**TYPICAL END ELEVATION**

SCALE: NTS



**TYPICAL SIDE ELEVATION**

SCALE: NTS



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**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"X20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 4**

**SCALE: NTS**

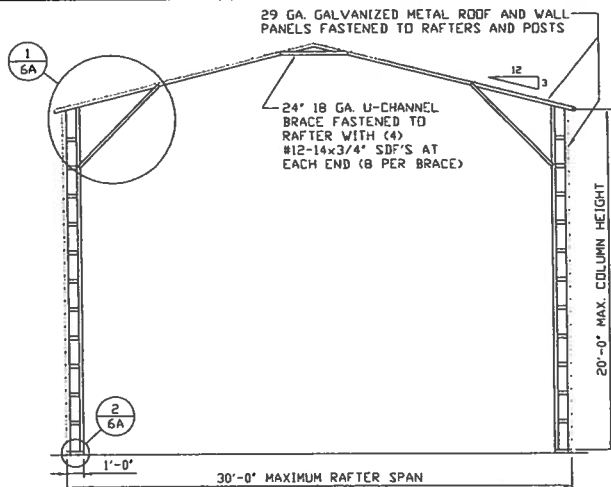
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**JOB NO:  
16022S/17300S**

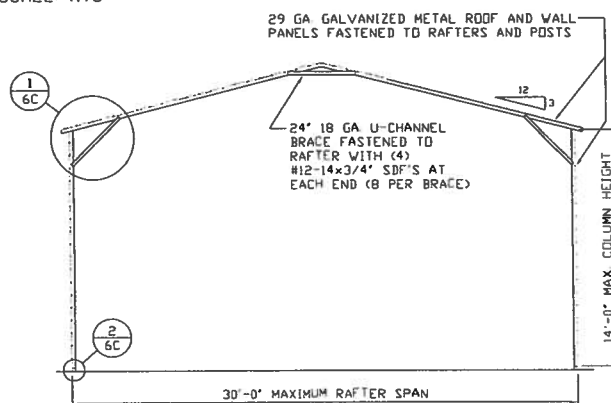
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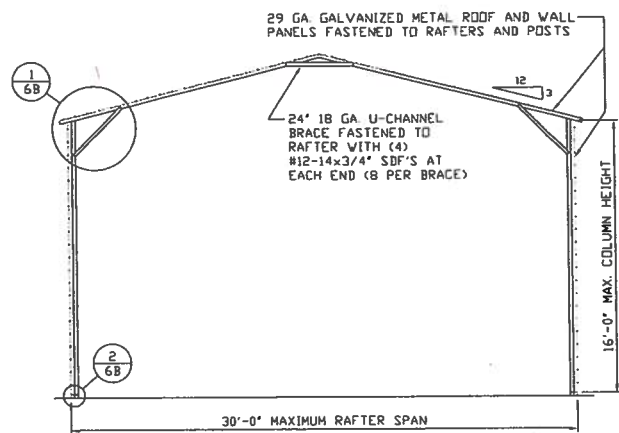




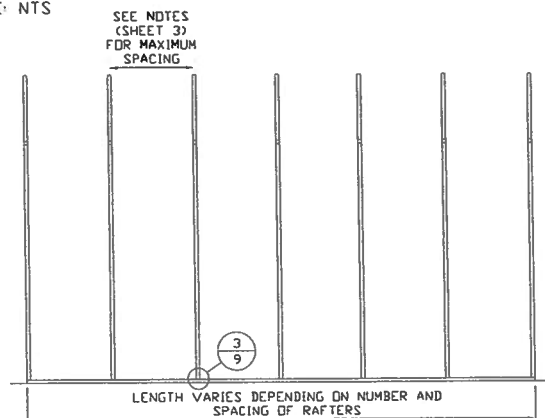
**TYPICAL RAFTER/COLUMN END FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN END FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN END FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**  
SCALE: NTS



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PROJECT MGR: VSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS**  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 5

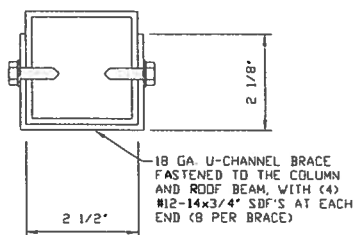
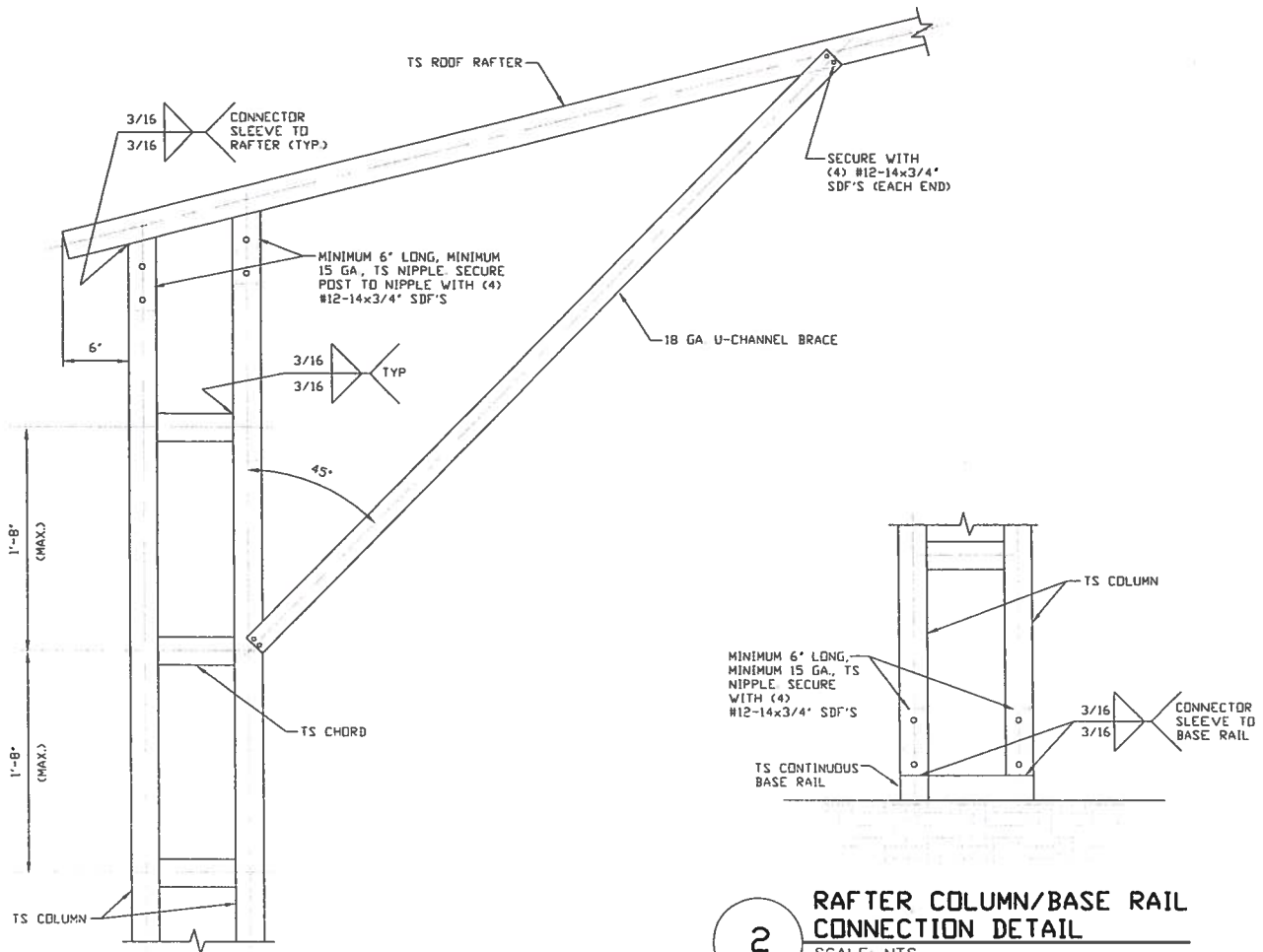
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DWG. NO: SK-3

JOB NO:  
16022S/17300S

REV: 4

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**BRACE SECTION**  
SCALE: NTS



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CHECKED BY: PDM

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
 30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 6A

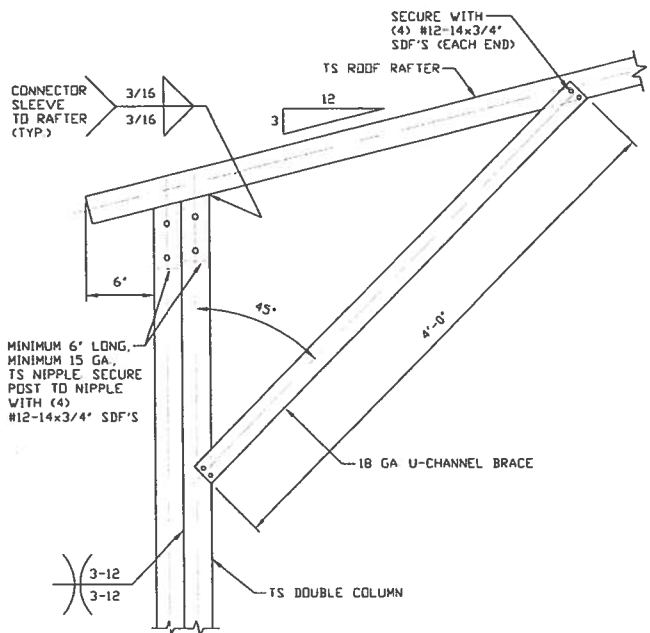
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JOB NO:  
 16022S/17300S

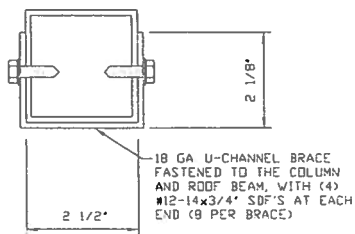
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**1** BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS 14'-0" < TO ≤ 16'-0"

SCALE: NTS

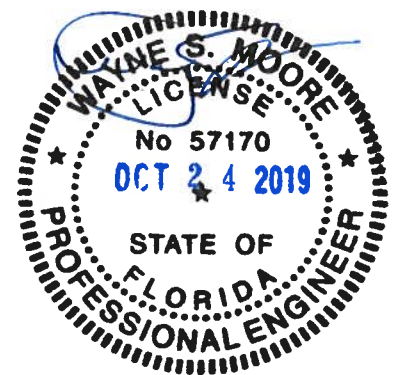


**2** RAFTER COLUMN/BASE RAIL  
CONNECTION DETAIL

SCALE: NTS

**BRACE SECTION**

SCALE: NTS



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**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 6B**

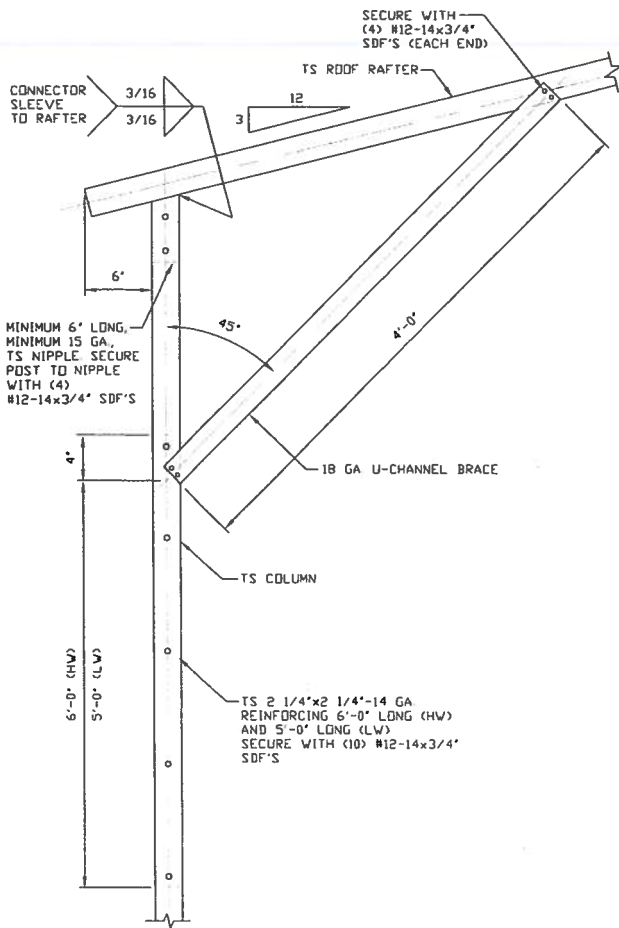
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**JOB NO:  
16022S/17300S**

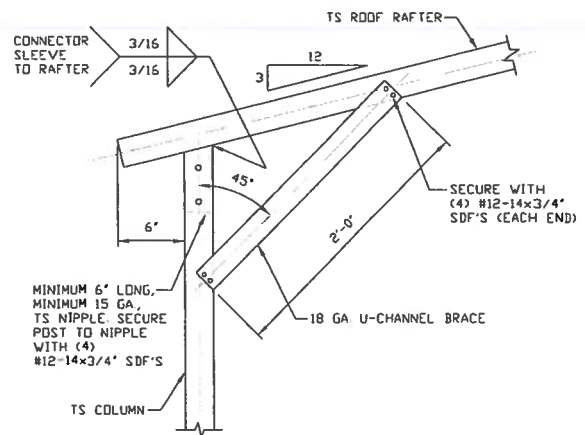
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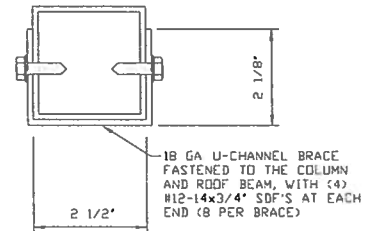
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**BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS 10'-0" < TO ≤ 14'-0"**  
SCALE: NTS

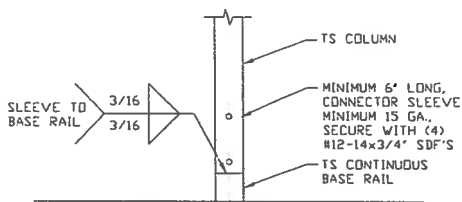


1B

**BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS ≤ 10'-0"**  
SCALE: NTS



**BRACE SECTION**  
SCALE: NTS



2

**RAFTER COLUMN/BASE RAIL  
CONNECTION DETAIL**  
SCALE: NTS



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PROJECT MGR: WSM

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**TUBULAR BUILDING SYSTEMS  
30'-0" x 20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 6C

SCALE: NTS

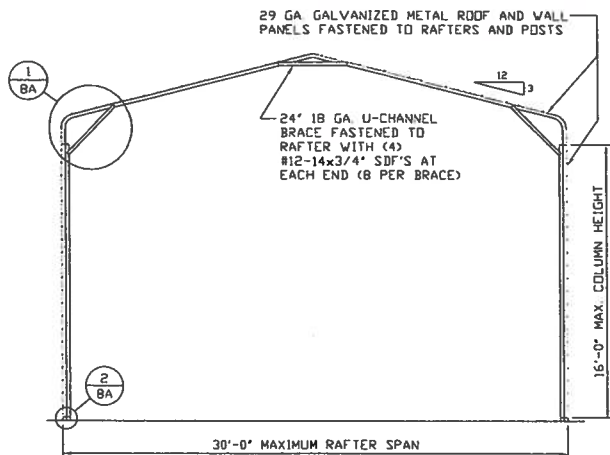
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JOB NO:  
16022S/17300S

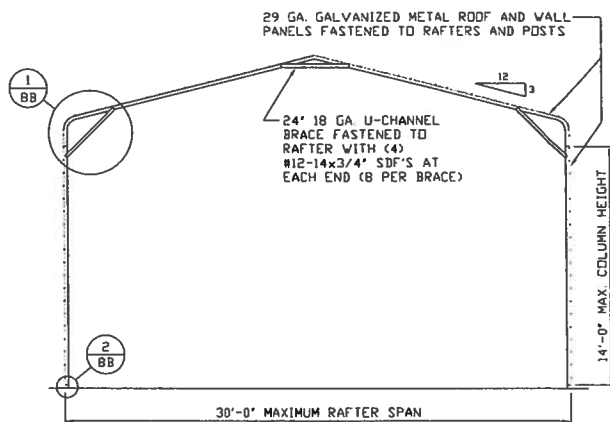
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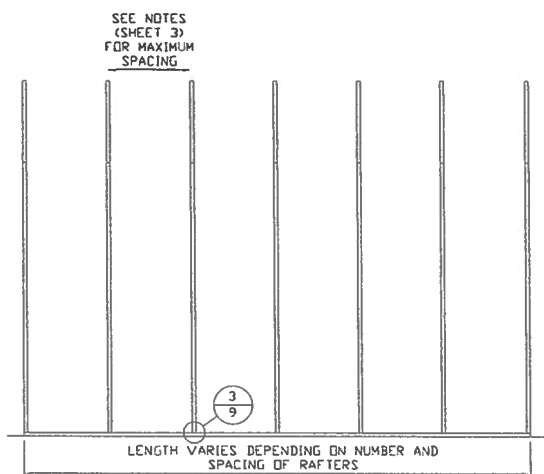




**TYPICAL RAFTER/COLUMN END FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN END FRAME SECTION**  
SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**  
SCALE: NTS



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**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"X20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 7**

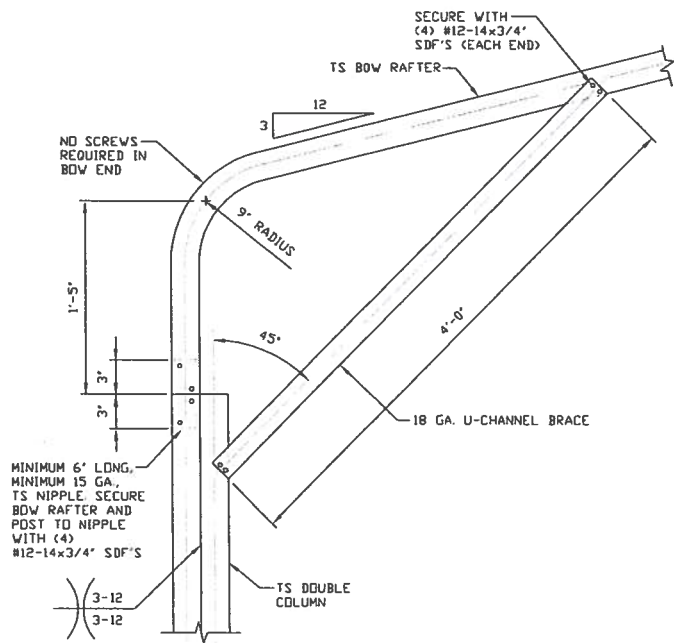
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**JOB NO:  
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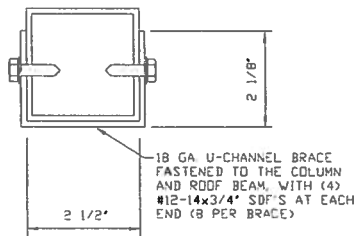
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**BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS 14'-0" < TO ≤ 16'-0"**

SCALE: NTS



**RAFTER COLUMN/BASE RAIL  
CONNECTION DETAIL**

SCALE: NTS

**BRACE SECTION**

SCALE: NTS



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PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 8A

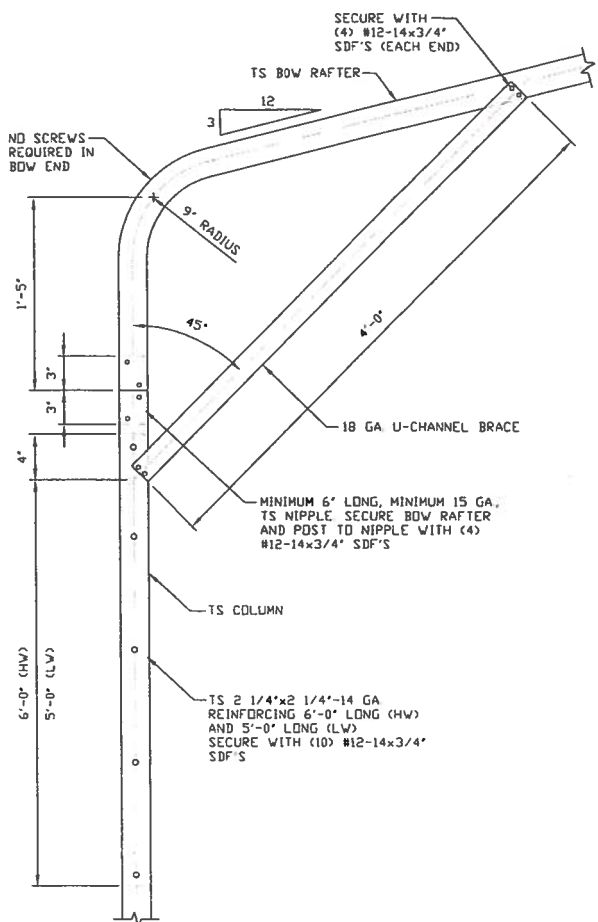
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16022S/17300S

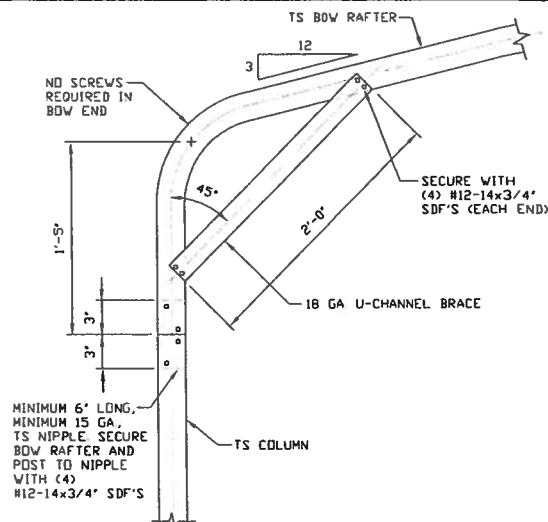
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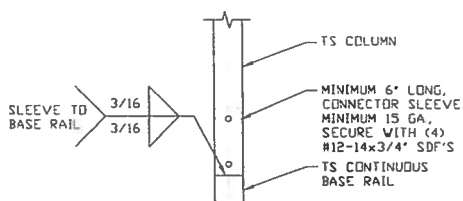
1A

**BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS 10'-0" < TO ≤ 14'-0"**  
SCALE: NTS



1B

BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS  $\leq 10'-0"$   
SCALE: NTS



**RAFTER COLUMN/BASE RAIL  
CONNECTION DETAIL**  
SCALE: NTS

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**DRAWN BY: LT**

**CHECKED BY: PDH**

Source: *Author's calculations.*

PROJECT MGA  
CLIENT: TBS

DATE: 12-18-17

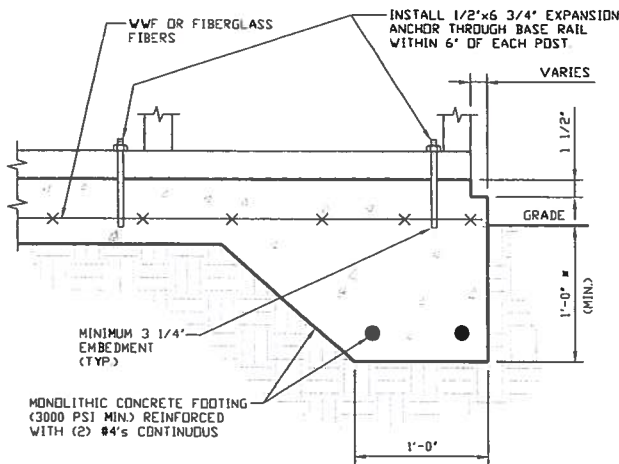
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JOB NO  
16022S/1730

REV: 4

## BASE RAIL ANCHORAGE OPTIONS FOR LOW AND HIGH WIND SPEED

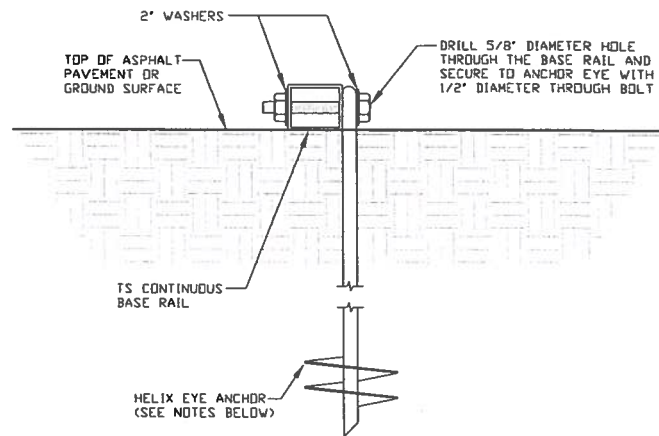


3A

### CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 4")  
\* COORDINATE WITH LOCAL CODES/ORD.



3B

### GROUND BASE HELIX ANCHORAGE

SCALE: NTS

(CAN BE USED FOR ASPHALT)

## GENERAL NOTES

### CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

### COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318.  
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE.

### REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

### REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD.
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

### HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT.
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL USE MINIMUM (2) 6" HELICES WITH MINIMUM 50 INCH EMBEDMENT.
5. FOR VERY LOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL USE MINIMUM (2) 8" HELICES WITH MINIMUM 60 INCH EMBEDMENT.



**MOORE AND ASSOCIATES  
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DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 9A

SCALE: NTS

DWG. NO: SK-3

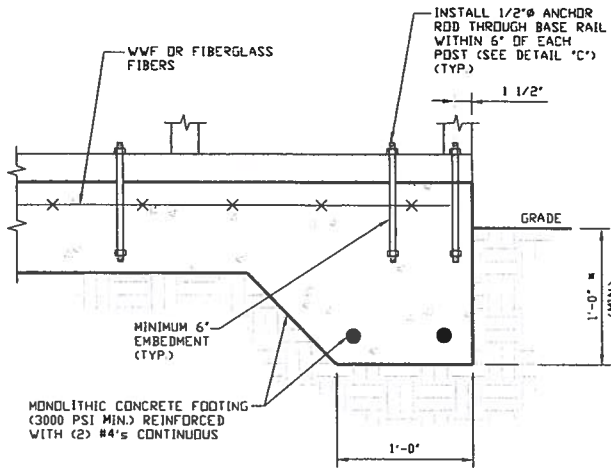
JOB NO:  
16022S/17300S

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## OPTIONAL FOUNDATION ANCHORAGE FOR LOW & HIGH WIND SPEED



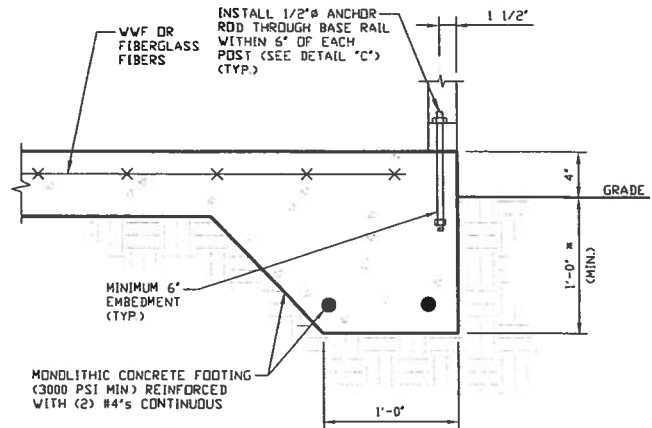
1A

### CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")

\* COORDINATE WITH LOCAL CODES/ORD



1B

### CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")

\* COORDINATE WITH LOCAL CODES/ORD

## GENERAL NOTES

### CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

### COVER OVER REINFORCING STEEL:

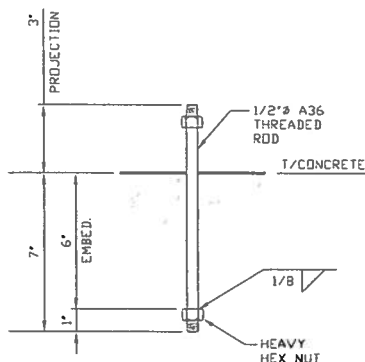
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318  
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

### REINFORCING STEEL:

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### REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

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2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.



1C

### ANCHOR ROD THROUGH BASE RAIL DETAIL

SCALE: NTS



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CHECKED BY: PDM

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 9B

SCALE: NTS

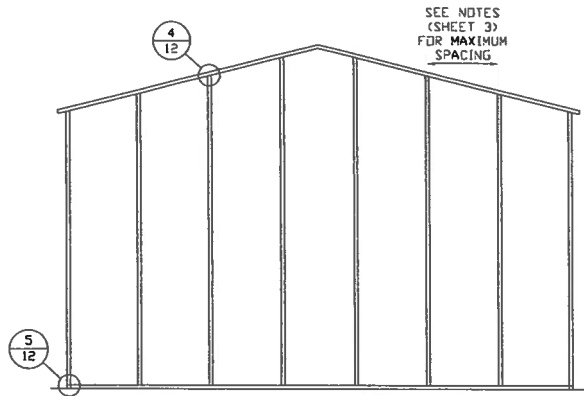
DWG. NO: SK-3

JOB NO:  
16022S/17300S

REV: 4

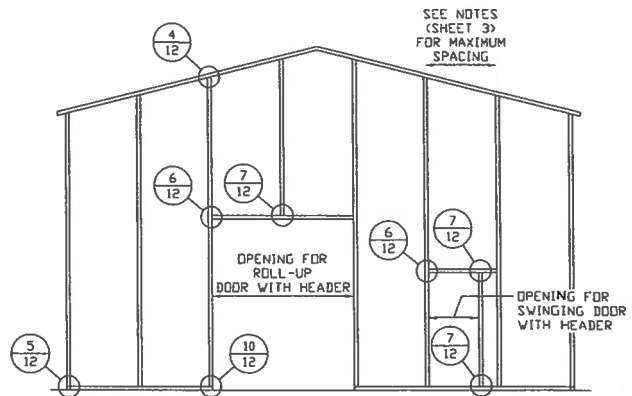
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## BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



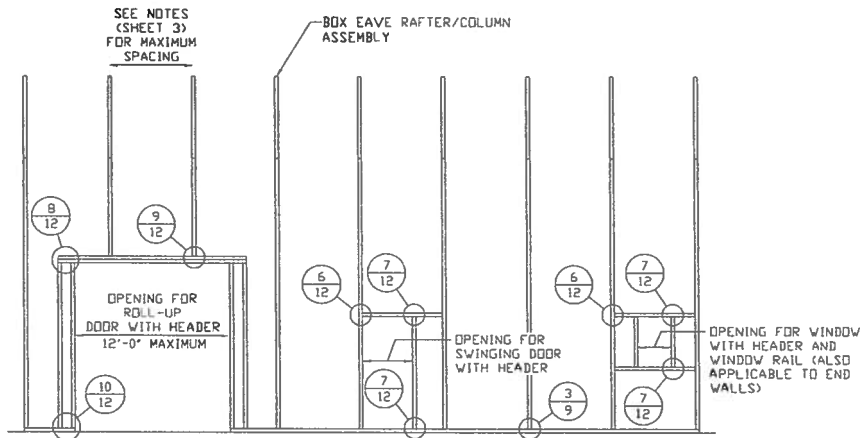
**TYPICAL BOX EAVE RAFTER  
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER SIDE  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDM**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 10**

**SCALE: NTS**

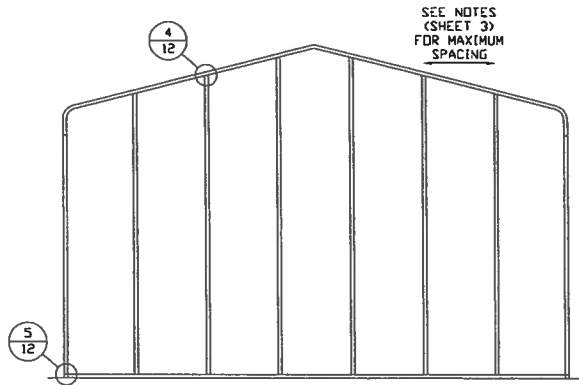
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV: 4**

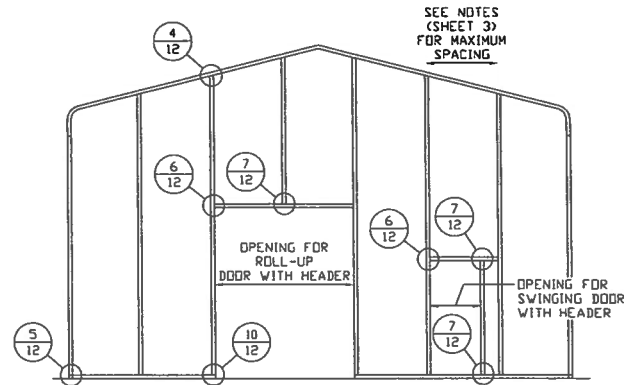
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## BOW RAFTER END WALL AND SIDE WALL OPENINGS



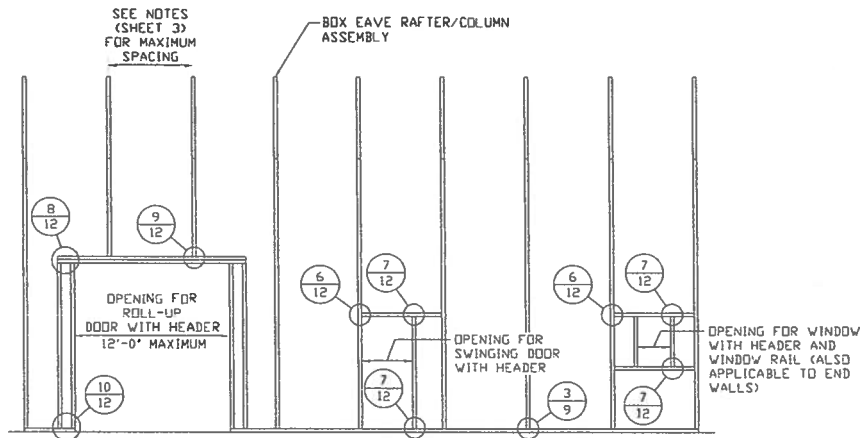
**TYPICAL BOX EAVE RAFTER  
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER SIDE  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDM**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 11**

**SCALE: NTS**

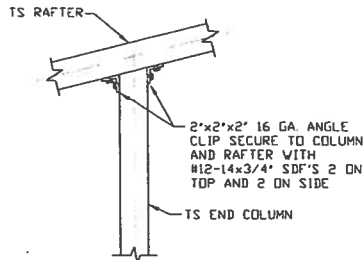
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV: 4**

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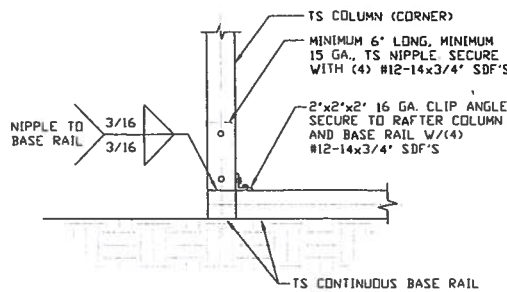
## BOW AND BOX EAVE RAFTER WALL OPENING DETAILS



4

### END COLUMN/RAFTER CONNECTION DETAIL

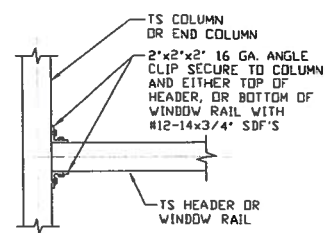
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5

### END COLUMN/BASE RAIL CONNECTION DETAIL

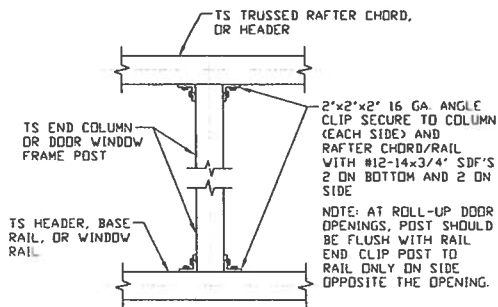
SCALE: NTS



6

### HEADER OR WINDOW RAIL TO COLUMN CONNECTION DETAIL

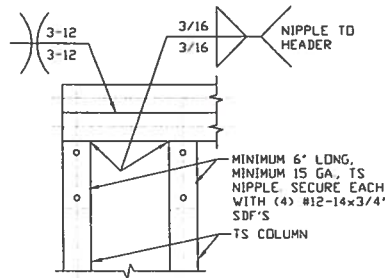
SCALE: NTS



7

### COLUMN TO HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL

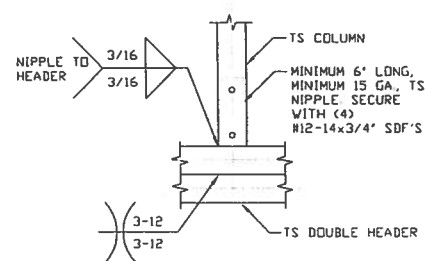
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8

### DOUBLE HEADER/COLUMN CONNECTION DETAIL

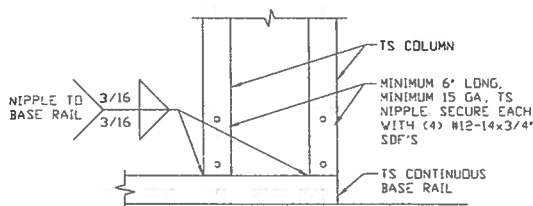
SCALE: NTS



9

### COLUMN/DOUBLE HEADER CONNECTION DETAIL

SCALE: NTS



10

### COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



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DRAWN BY: LT

CHECKED BY: PDM

PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS**  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 12

SCALE: NTS

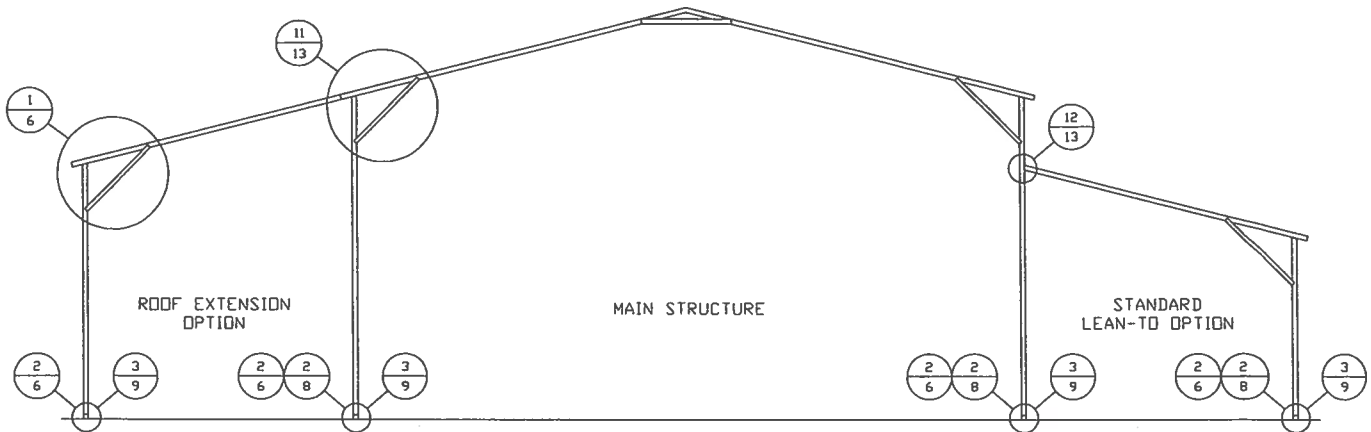
DWG. NO: SK-3

JOB NO:  
16022S/17300S

REV: 4

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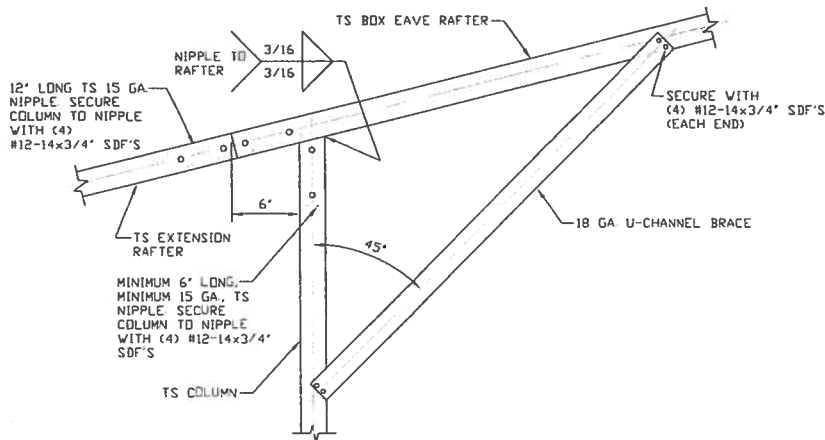
## BOX EAVE RAFTER LEAN-TO OPTIONS



**TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)**

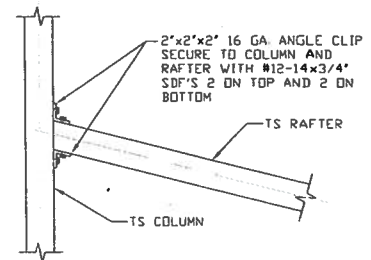
SCALE: NTS

MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 16'-0".



**11A SIDE EXTENSION RAFTER/COLUMN DETAIL**

SCALE: NTS



**12 LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL**

SCALE: NTS



**MOORE AND ASSOCIATES  
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CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 13

SCALE: NTS

DWG. NO: SK-3

JOB NO:  
16022S/17300S

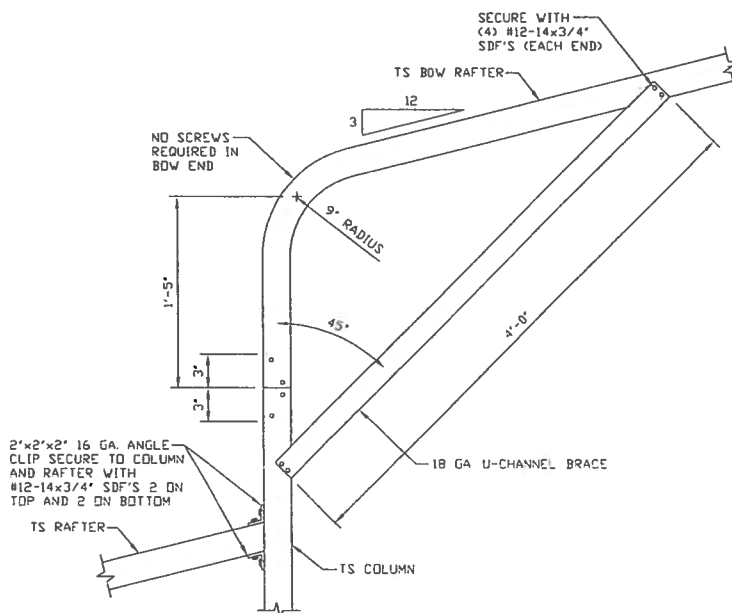
REV: 4

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Diagram illustrating the components of a lean-to roof structure. The main structure is labeled "MAIN STRUCTURE" and the lean-to addition is labeled "STANDARD LEAN-TO OPTION". The diagram shows the main structure with a gabled roof and the lean-to addition attached to the side, featuring a lower-pitched roof. Various components are labeled with numbers in circles: 1/8 for the lean-to roof, 13/14 for the main structure roof, 2/6 for the main structure walls, 3/9 for the main structure roofline, 2/8 for the main structure roofline, and 3/9 for the main structure roofline.

SCALE: NTS  
MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 16'-0".

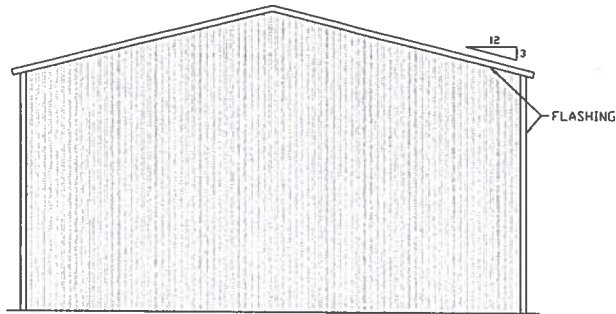


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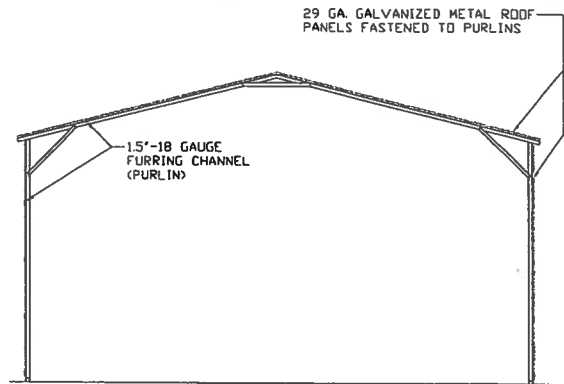
REV. 4

## BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



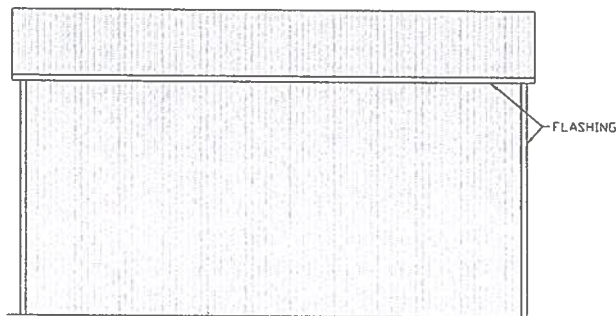
**TYPICAL END ELEVATION  
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



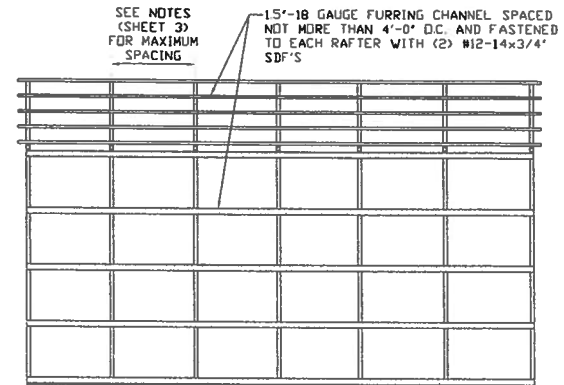
**TYPICAL SECTION VERTICAL  
ROOF/SIDING OPTION**

SCALE: NTS



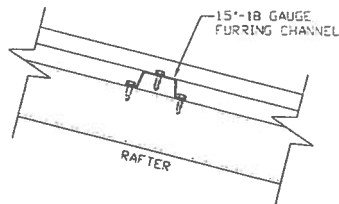
**TYPICAL SIDE ELEVATION  
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



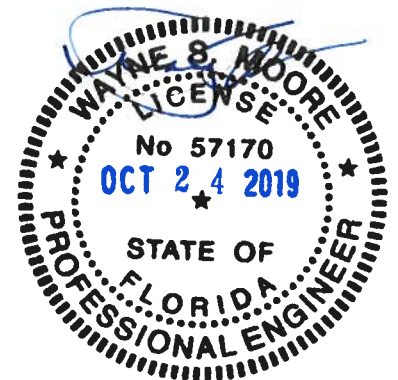
**TYPICAL FRAMING SECTION  
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



**ROOF PANEL ATTACHMENT**

(ALTERNATE FOR VERTICAL ROOF PANELS)  
SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

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CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 15

SCALE: NTS

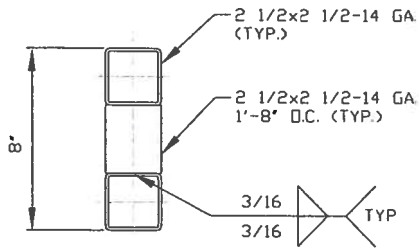
DWG. NO: SK-3

JOB NO:  
16022S/17300S

REV: 4

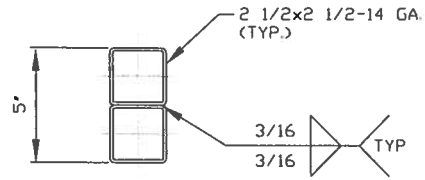
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## OPTIONAL DOOR HEADER



**HEADER DETAIL FOR DOOR  
OPENINGS 12'-0" < LENGTH ≤ 15'-0"**

SCALE: NTS



**HEADER DETAIL FOR DOOR  
OPENINGS LENGTH ≤ 12'-0"**

SCALE: NTS



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**CHECKED BY: PDH**

**PROJECT MGR: WSH**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 16**

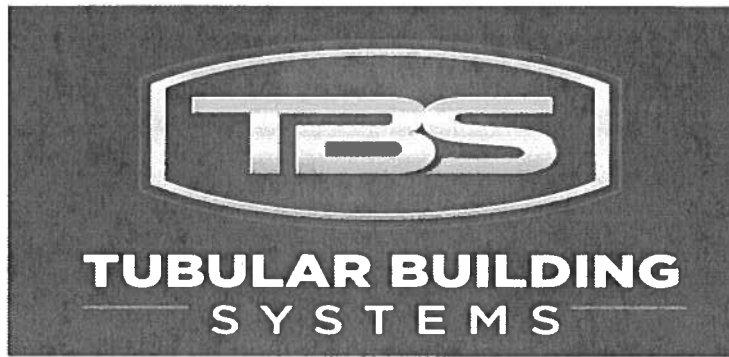
**SCALE: NTS**

**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV: 4**

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631 SE Industrial Circle Lake City, FL 32025  
Phone: 386.961.0006 Fax: 386.961.0008

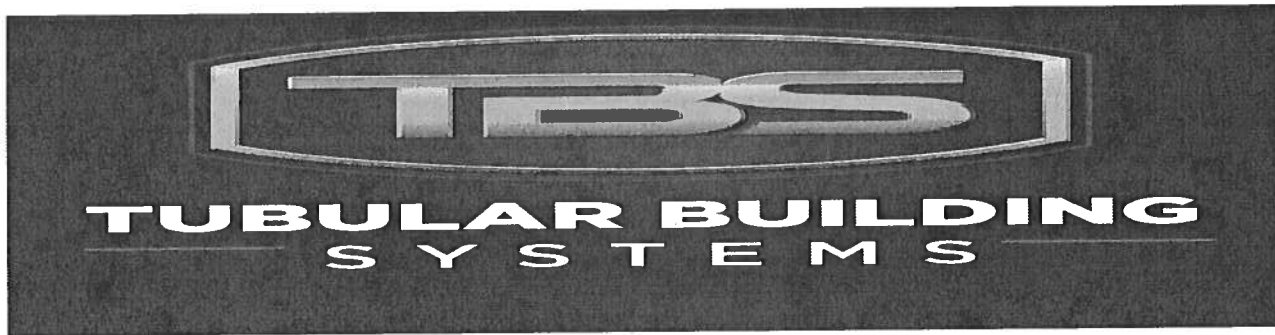
Dear Customer –

To help us in our efforts of getting your building up in a timely manner we would appreciate you giving our office a call @ 386-961-0006 as soon as your concrete is complete (if applicable) and the required permits have been obtained.

We look forward to working with you and are here if you have any questions during the permitting process.

Thank you,

Tubular Building Systems



## **Florida Product Approval Codes**

### **Roll-Up Doors:**

Janus International Corporation Model 750: 21450.8

EXP 12/31/2020

### **Walk-In Door:**

Elixir Door & Metal Company regular door w/ 9 light window: 17996.6

EXP 9/14/2020

### **Window:**

Kinro 993.7      EXP 10/19/21

### **Roof Deck:**

Capital Metal Supply Inc. Ag Panel: 20147.1

EXP 07/20/2020

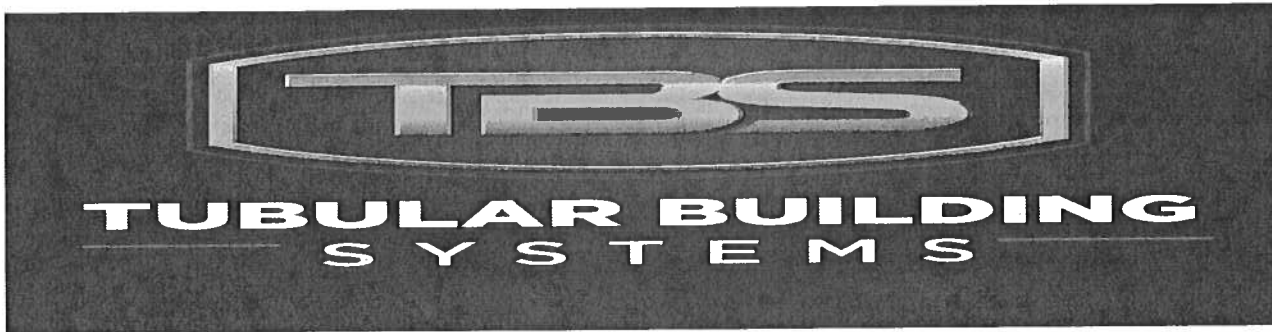
### **Wall Panel:**

Capital Metal Supply Inc. Ag Panel: 20148.1

EXP 07/20/2020

If you have any questions or concerns, please contact Donald Little at 386-961-0006 or at [tubularbuildingsystems@gmail.com](mailto:tubularbuildingsystems@gmail.com).





## **Florida Product Approval Codes**

### **Roll-Up Doors:**

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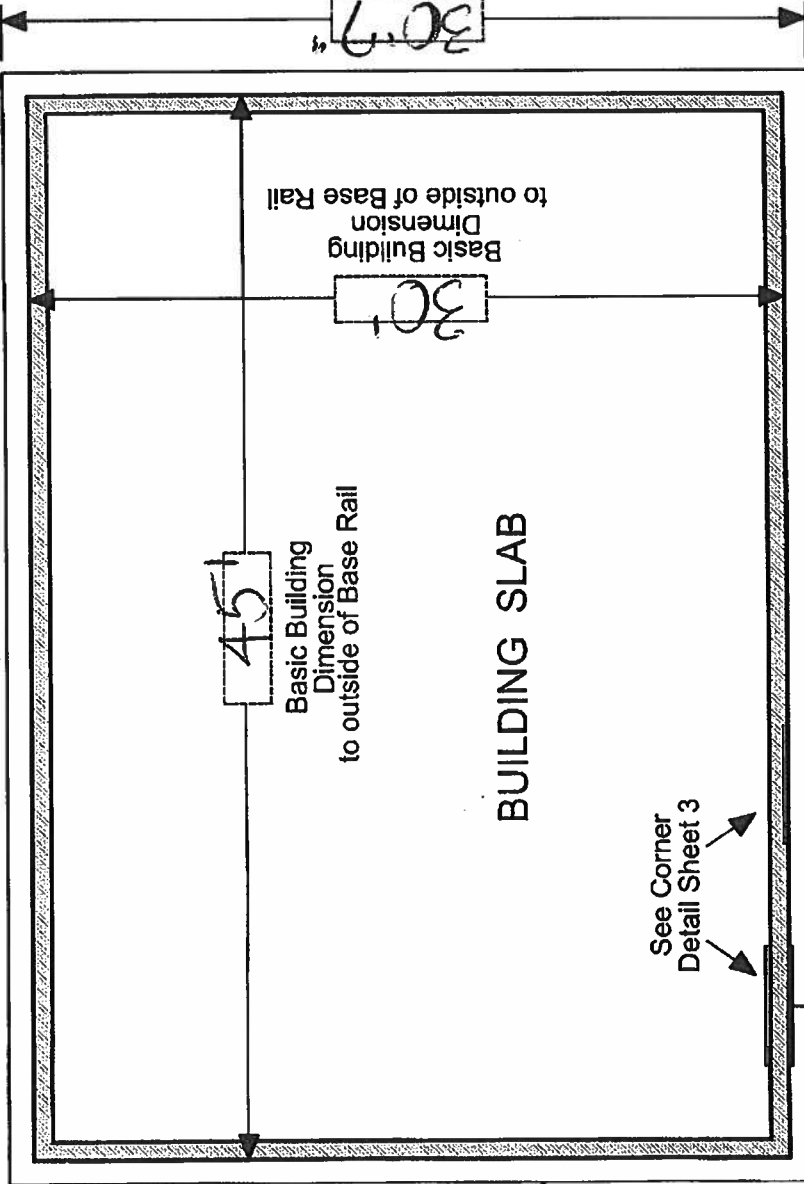
Capital Metal Supply Inc. Ag Panel: 20148.1

EXP 07/20/2020

If you have any questions or concern, please contact Donald Little at  
386-961-0006 or at [tubularbuildingsystems@gmail.com](mailto:tubularbuildingsystems@gmail.com).

Outside measurement of foundation  
Equals Basic Building Dimension  
plus Seven (7) inches

45' 1 7/8"



Outside edge of foundation / footing

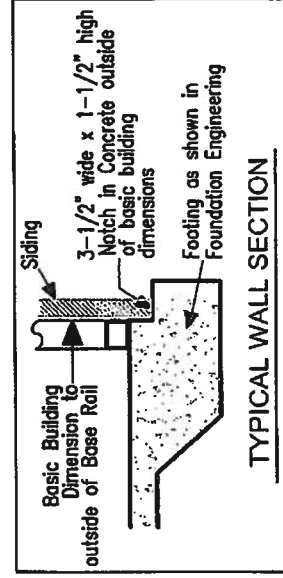
Outside measurement of foundation  
Equals Basic Building Dimension  
plus Seven (7) inches

## IMPORTANT - NOTES

Record Measurements  
in these spaces provided

All basic building dimensions  
are to the outside of the  
frame Base Rail and DO NOT  
INCLUDE the 3-1/2" x 1-1/2"  
notch in the concrete footing

See Sheet 3 of 3  
for Detail of Building  
corner configuration



TYPICAL WALL SECTION

## TYPICAL BUILDING FOUNDATION MEASUREMENTS



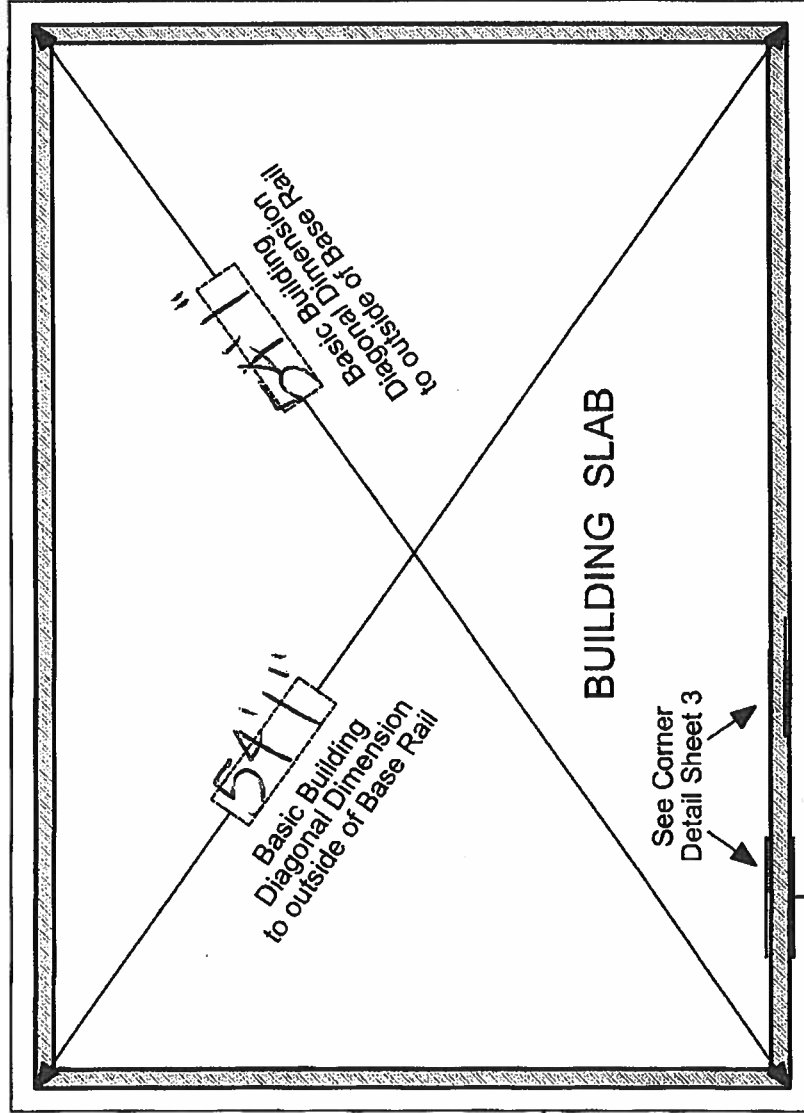
## IMPORTANT - NOTES



Record Measurements  
in these spaces provided

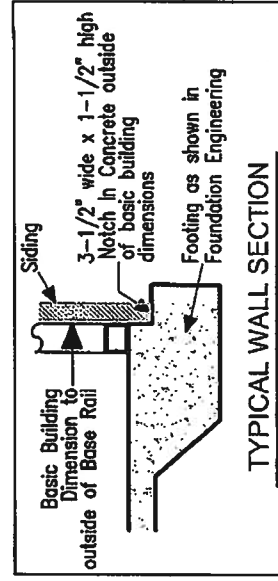
All basic building diagonal dimensions  
are to the outside corner of the  
frame Base Rail and DO NOT  
INCLUDE the 3-1/2" x 1-1/2"  
notch in the concrete footing

See Sheet 3 of 3  
for Detail of Building  
corner configuration



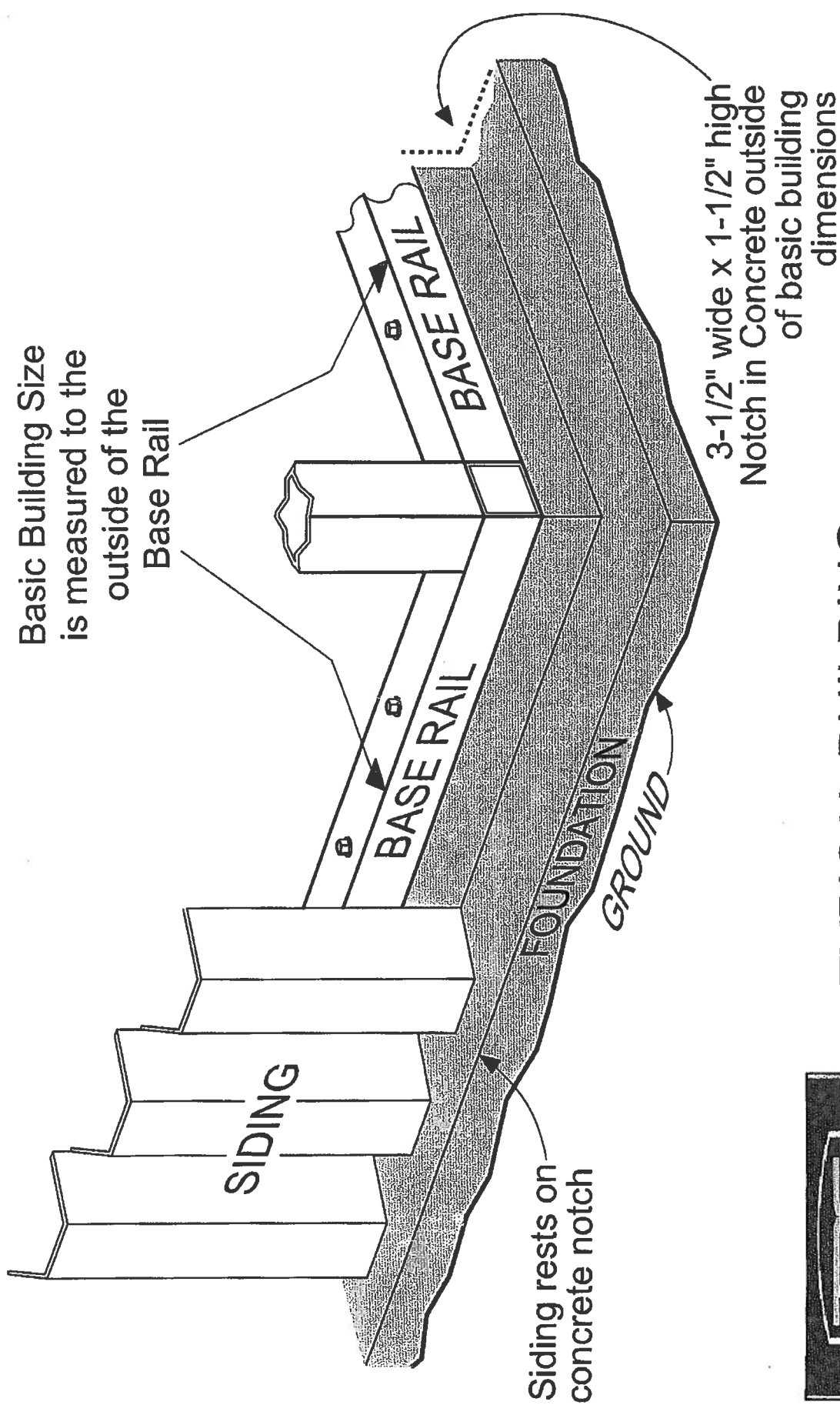
3-1/2" wide x 1-1/2" high Notch  
in Concrete outside  
of basic building  
dimensions

Building  
Base Rail



## TYPICAL BUILDING FOUNDATION MEASUREMENTS DIAGONALS





## TYPICAL BUILDING

### CORNER DETAIL