

CONSTRUCTION PLANS

FOR:

COMMERCIAL RETAIL STORE FORT WHITE

COLUMBIA COUNTY, FLORIDA

SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST

SUBMITTED TO:

TOWN OF FORT WHITE
FLORIDA DEPARTMENT OF TRANSPORTATION
SUWANNEE RIVER WATER MANAGEMENT DISTRICT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

DEVELOPMENT DATA

ZONING:	CG (GENERAL COMMERCIAL)		
FLU:	COMM (GENERAL COMMERCIAL)		
DEVELOPMENT AREA:	88255 S.F.	2.03 AC	100.0%
IMPERVIOUS AREA:	35325 S.F.	0.81 AC	40.0%
BUILDING AREA:	10640 S.F.	0.24 AC	12.1%
ROADS/CURB/CONCRETE/DUMPSTER PAD:	25127 S.F.	0.58 AC	28.5%
SMF:	15562 S.F.	0.36 AC	17.6%
OPEN SPACE:	37343 S.F.	0.86 AC	42.4%
FLOOR AREA:	10213 S.F.	0.23 AC	11.6%
FAR:		11.6%	
LOT COVERAGE:		40.0%	
MAX BUILDING HEIGHT:		19.5 FT	
TAX PARCEL:	PORTION OF #00-00-00-14305-000		
PARKING:	1 SPACE PER 150 SQ FT OF GROSS FLOOR AREA PARKING SPACES REQUIRED: 84 PARKING SPACES PROVIDED: 35 A PARKING REDUCTION WAS SUBMITTED		
HANDICAP PARKING:	1 SPACE PER 25 REGULAR PARKING SPACES HANDICAP SPACES REQUIRED: 2 HANDICAP SPACES PROVIDED: 2		
BICYCLE PARKING:	2 SPACES PER 20 REQUIRED REGULAR PARKING SPACES BICYCLE SPACES REQUIRED: 2 BICYCLE SPACES PROVIDED: 2		
MOTORCYCLE SPACES REQUIRED:	1 SPACE PER 10 REGULAR PARKING SPACES MOTORCYCLE SPACES REQUIRED: 4 MOTORCYCLE SPACES PROVIDED: 4		

SHEET INDEX

SHEET NUMBER	DESCRIPTION
C0.00	COVER SHEET AND INDEX
C0.10	GENERAL NOTES
C0.11	LEGEND
1-2 OF 2	SURVEY(S)
C0.20	STORMWATER POLLUTION PREVENTION NOTES
C0.21 - C0.22	STORMWATER POLLUTION PREVENTION PLAN(S) AND DETAILS
C0.30	DEMOLITION AND TREE PROTECTION PLAN(S)
C1.00	HORIZONTAL CONTROL AND SITE PLAN
C2.00	GRADING AND DRAINAGE PLAN
C2.20 - C2.21	STORMWATER MANAGEMENT FACILITY PLAN AND DETAILS
C2.30	CONSTRUCTION DETAILS
C3.00	UTILITY PLAN
LS-01 - LS-03	LANDSCAPE PLAN(S)
E-1	SITE PHOTOMETRIC PLAN
E-2	FIXTURE INFORMATION
A2.0	EXTERIOR ELEVATIONS AND EXTERIOR FINISH SCHEDULE
C1.0	DUMPSTER ENCLOSURE DETAILS

SURVEYOR OF RECORD

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PROPERTY OWNER

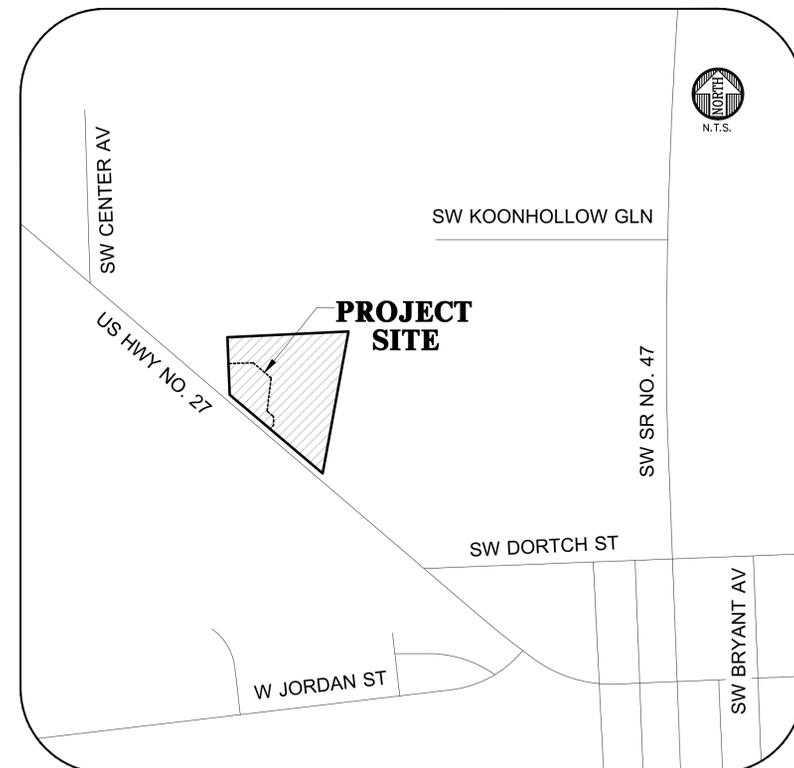
BLUEBERRY HILL PROPERTIES, LLC
2927 SW TUSTENUGEE AVE
LAKE CITY, FL 32025

PHOTOMETRIC

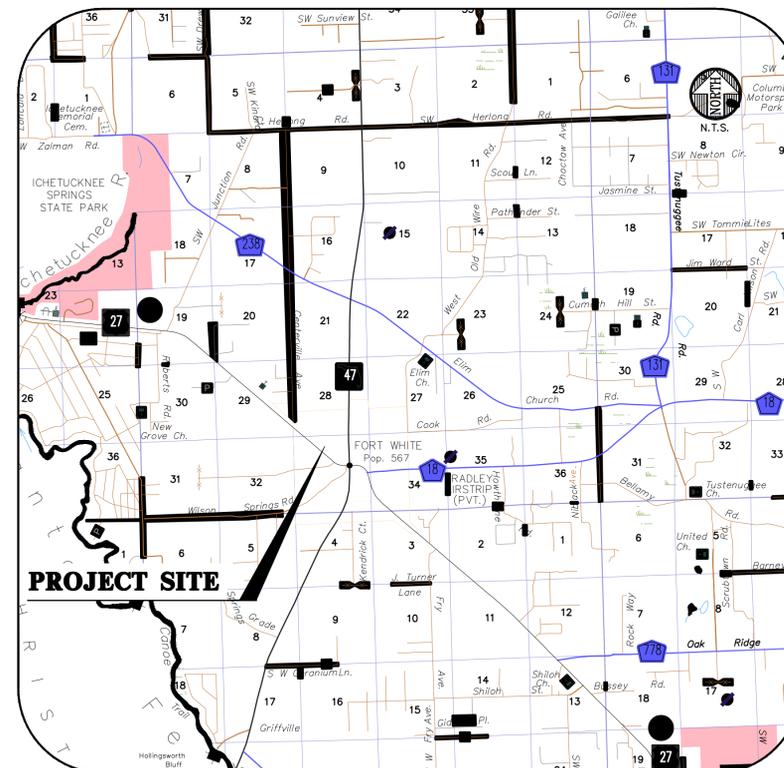
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VICINITY MAP



LOCATION MAP

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CHW
Professional Consultants

N/A
VERIFY SCALE
BASE IS ONE INCH ON
DRAWING UNLESS NOTED
IF NOT ONE INCH ON
DRAWING UNLESS NOTED
SCALES ACCORDINGLY.

CONSTRUCTION AND REVISIONS

DATE: 08-24-23
SUBMITTAL: 08-24-23
FOOT ACCESS - WHITE
11-11-23
FOOT DRAINAGE
09-05-23
FOOT DRAINAGE
11-11-23
TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE
12-14-23
FOOT ACCESS
01-31-24
TOWN OF FORT WHITE

CLIENT: CONCEPT DEVELOPMENT, INC.
PROJECT: COMMERCIAL RETAIL STORE
FORT WHITE
SHEET TITLE: COVER SHEET AND INDEX

TECHNICIAN: G. WADZINSKI
DESIGNER: N. COWAP, P.E.
QUALITY CONTROL: T. HASTAY, P.E.
PROJECT NUMBER: 23-0250

FL PE No. 91233
SHEET NO. **C0.00**

GENERAL NOTES

1. THE TOPOGRAPHIC AND EXISTING INFORMATION SHOWN HEREON WERE TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY CHW, AND DATED JULY 27, 2023.
2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. THE RESPECTIVE UTILITY COMPANIES SHALL RELOCATE ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING THE RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE APPROPRIATE UTILITY COMPANIES IN ORDER TO ALLOW MARKING OF THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES IN ADVANCE OF CONSTRUCTION BY CALLING THE FLORIDA SUNSHINE STATE ONE-CALL CENTER, INC. AT 1-800-432-4770 OR 811. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "SUNSHINE" 48 HOURS PRIOR TO ANY CLEARING OF CONSTRUCTION TO IDENTIFY ALL UTILITY LOCATIONS. NO CONSTRUCTION ACTIVITY MAY OCCUR UNTIL THE UTILITIES HAVE BEEN PROPERLY MARKED.
4. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL LOCATION AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE PROJECT ENVELOPE SHOWN PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CALL ALL UTILITY COMPANIES TO HAVE THE LOCATIONS OF ALL UTILITIES FIELD MARKED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
6. ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
7. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK INCLUDING LANDSCAPING.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY AND/OR MUNICIPALITY INSTRUCTIONS.
9. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS AT THE SOLE COST OF THE CONTRACTOR.
11. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT AND BORINGS PRIOR TO BIDDING THE PROJECT AND FOLLOW OUTLINED CONSTRUCTION TECHNIQUES.
12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SERVICES OF AN APPROVED TESTING LABORATORY AND/OR SOILS ENGINEER, APPLICABLE REGULATORY AGENCIES, AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS OR SPECIFICATIONS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE TESTING LABORATORY AND/OR SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
13. INSTALL SILT FENCE PRIOR TO SITE DEMOLITION OR NEW SITE CONSTRUCTION. INSTALL SILT FENCE PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL AND PROVIDE TOE-IN. THE CONTRACTOR SHALL MAINTAIN THE SILT FENCE IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE PROJECT SILT FENCE SHALL BE INSPECTED DAILY AND ANY CORRECTIVE MEASURES SHALL BE COMPLETED WITHIN 24 HOURS.
14. ALL TREE BARRICADES AND SILT FENCING SHALL BE INSTALLED AND INSPECTED BY COLUMBIA COUNTY ENVIRONMENTAL HEALTH DEPARTMENT PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES.
15. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
16. ALL DELETERIOUS MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED AND REMOVED FROM THE SITE. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE AREAS.
17. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS SHALL BE SODDED, SEEDDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL, AS DIRECTED BY THESE PLANS, IMMEDIATELY FOLLOWING CONSTRUCTION PER LOCAL INSPECTOR.
18. WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON THE SITE BY OTHER CONTRACTORS AND/OR UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
19. ALL PAVEMENT DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
20. THE GOVERNING STANDARDS AND SPECIFICATIONS, UNLESS STATED OTHERWISE SHALL BE PER FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS (FY 2023-24 ROAD CONSTRUCTION), AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED JULY 2023, AS AMENDED BY CONTRACT DOCUMENTS. ALL MATERIALS AND METHODS SHALL MEET FDOT SPECIFICATIONS AND SHALL BE PRODUCED OR OBTAINED FROM AN FDOT APPROVED SOURCE.
21. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARDS.
22. ALL STRIPING WITHIN THE FDOT RIGHT OF WAY SHALL BE PLACED FIRST AS TEMPORARY STRIPING FOLLOWED BY APPLICATION OF THERMOPLASTIC STRIPING 30 DAYS LATER.
23. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER BENCHMARKS ON-SITE. EXISTING BENCH MARKS SCHEDULED FOR REMOVAL SHALL BE RELOCATED AT CONTRACTORS EXPENSE AND RE-ESTABLISHED BY A LICENSED SURVEYOR.
24. ALL HANDICAP RAMPS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE AND AMERICANS WITH DISABILITIES ACT.
25. A PRE-CONSTRUCTION CONFERENCE SHALL BE REQUIRED. THE CONTRACTOR, ENGINEER OF RECORD, AND THE OWNER SHALL MEET WITH THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT PRIOR TO INITIATION OF SITE CONSTRUCTION.
26. ANY CHANGE ORDER REQUESTS, SITE REVISIONS, AND PAY REQUESTS MUST BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD.
27. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NEEDED THROUGHOUT ALL CONSTRUCTION ACTIVITIES COVERED BY THESE PLANS. DEWATERING SHALL BE DONE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, 2018 EDITION, SECTION 120.
28. THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE AND COST OF ALL CLEARING AND GRUBBING AND ALL WORK OF REMOVAL, DISPOSAL, AND REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS WHERE SHOWN IN THE PLANS, OR ORDERED BY THE ENGINEER TO BE REMOVED, OR WHERE REQUIRED BECAUSE OF THE CONSTRUCTION OPERATIONS, IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS (THIS INCLUDES BUT IS NOT LIMITED TO PROPOSED PIPING, STRUCTURES, UTILITIES, PAVING, CURBING, ETC.).
29. AN AS-BUILT SURVEY MAY BE REQUIRED BY REGULATORY AGENCIES. CONTRACTOR TO COORDINATE WITH PROJECT OWNER FOR COMPLETION OF AS-BUILT SURVEYS PRIOR TO PROJECT / PERMIT CLOSE-OUT.

MAINTENANCE OF TRAFFIC (MOT) NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CREATING A MAINTENANCE OF TRAFFIC (MOT) PLAN FOR CONSTRUCTION ACTIVITY THAT OCCURS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO SIDEWALK WORK AND ACTIVITIES THAT REQUIRE A LANE (OR ROAD) CLOSURE, SUCH AS CONNECTION TO SEWER MANHOLES AND WATER MAINS. THE MOT PLAN MUST BE CREATED BY A REGISTERED PROFESSIONAL ENGINEER WHO IS CERTIFIED TO DO SO BY THE FDOT MOT CERTIFICATION TRAINING. THE MOT PLAN MUST ALSO BE IN ACCORDANCE WITH FDOT STANDARDS PLANS AND FDOT STANDARD SPECIFICATIONS REQUIREMENTS AND MUST BE REVIEWED AND APPROVED BY THE FDOT.
2. THE CONTRACTOR SHALL SUBMIT THE MOT TO THE APPROPRIATE REGULATORY AUTHORITY PRIOR TO WORK REQUIRING THE MOT FOR APPROVAL. NO WORK IN THE ROW SHALL OCCUR UNTIL THE MOT IS APPROVED.

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLITION MATERIALS IN A SAFE AND LAWFUL MANNER. THE CONTRACTOR SHALL SALVAGE TO THE OWNER ANY ITEM AS DETERMINED BY THE OWNER. ONCE DEMOLISHED, MATERIAL SHALL BE DISPOSED OF PROPERLY AND IMMEDIATELY.
2. REMOVE ALL IMPROVEMENTS DEFINED ON THE DEMOLITION PLAN. SALVAGE ITEMS TO OWNER AS DEFINED BY THE OWNER'S REPRESENTATIVE AND CONSTRUCTION DOCUMENT SPECIFICATIONS.
3. EXISTING PAVEMENT AND SIDEWALK EDGES THAT BORDER NEW CONSTRUCTION OR DEMOLITION ARE TO BE SAW-CUT TO PROVIDE A SMOOTH TRANSITION.
4. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
5. ROOTS LARGER THAN 1 INCH IN DIAMETER ON TREES TO BE PRESERVED THAT ARE ENCOUNTERED DURING CONSTRUCTION MUST BE CUT CLEANLY AND COVERED OVER WITH SOIL BY THE END OF THE WORKING DAY.
6. ALL ASPHALT AND LIMEROCK WILL BE COMPLETELY REMOVED FROM AREAS THAT WILL BE LANDSCAPED. IN PARTICULAR, AREAS WHERE ASPHALT WILL BE REMOVED MUST HAVE THE TOP HARD SURFACE, LIMEROCK, AND COMPACTED SOIL REMOVED. REPLACEMENT SOIL SHALL BE CLEAN DEEP FILL OF PH 5.5 - 6.5. THE DEPTH OF UNCOMPACTED SOIL PRIOR TO PLANTING MUST BE AT LEAST 3 FEET TO ACCOMMODATE FUTURE TREE ROOT GROWTH. NO LIMEROCK, LARGE STONES, OR OTHER CONSTRUCTION DEBRIS CAN REMAIN IN AREAS TO BE LANDSCAPED.

PAVING, GRADING, AND DRAINAGE GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDIMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF-SITE PROPERTY. THE FOLLOWING PRACTICES SHALL BE EMPLOYED:
 - A. EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AREAS OF OFF-SITE DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS. A SILT BARRIER SHALL SPECIFICALLY BE REQUIRED, CONSTRUCTED, AND MAINTAINED AS INDICATED ON THIS SHEET. TEMPORARY SEED AND MULCH SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. SOD SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5 (FT) HORIZONTAL TO 1 (FT) VERTICAL. SOD SHALL BE PINNED AS REQUIRED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL INSPECT AND REPAIR AS NECESSARY THE EROSION/SEDIMENTATION PROTECTION AT THE END OF EACH WORKING DAY.
 - B. NOTE: EROSION/SEDIMENTATION CONTROL SHALL BE PLACED PRIOR TO SITE EXCAVATION AND SHALL REMAIN IN PLACE UNTIL SITE VEGETATION AND LANDSCAPING IS COMPLETE.
 - C. B. ALL INLET STRUCTURES AND PIPE SHALL BE PROTECTED FROM SILTATION BY CONSTRUCTING INLET PROTECTION AS DEFINED BY THESE PLANS OR IN THE FDOT STANDARDS. IF SILTATION OCCURS, THE CONTRACTOR IS RESPONSIBLE TO REMOVE SILTATION AS PART OF THE BASE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
 - D. C. EXCAVATED STORMWATER FACILITIES SHALL BE CONSTRUCTED AS PART OF THE INITIAL CONSTRUCTION. THE FACILITIES SHALL BE ROUGH GRADED TO THE DESIGN ELEVATIONS. AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED, THE FACILITIES BOTTOM SHALL BE OVER-EXCAVATED BY SIX INCHES, SCARIFIED, BACKFILLED WITH ARCHER FILL (HAVING NO MORE THAN 5% PASSING NO. 200 SIEVE), AND GRADED TO FINAL DESIGN GRADES. EXCESS AND UNSUITABLE SOILS SHALL BE REMOVED FROM THE BASIN (REMOVE ALL ACCUMULATED SILTS, CLAYS, ORGANIC, AND DEBRIS). FINALLY, SCARIFY AND RAKE BOTTOM AND VEGETATE.
 - E. D. PERMANENT VEGETATIVE STABILIZATION SHALL BE APPLIED ON FINE GRADED SITES AS SOON AS PRACTICAL. TEMPORARY SEEDING SHOULD BE EMPLOYED TO PREVENT EXPOSURE OF BARREN SOILS UNTIL PERMANENT VEGETATION CAN BE APPLIED.
 - F. E. ALL SLOPES 1:3 OR STEEPER REQUIRE LAPPED OR PEGGED SOD.
 - G. F. EROSION, SEDIMENT AND TURBIDITY CONTROL ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DELINEATED MEASURES ARE THE MINIMUM REQUIRED, WITH ADDITIONAL CONTROLS TO BE UTILIZED AS NEEDED, DEPENDENT UPON ACTUAL SITE CONDITIONS AND CONSTRUCTION OPERATION.
 - H. G. ALL SYNTHETIC BALES, SILT FENCE, AND OTHER EROSION CONTROL MEASURES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
2. THE CONTRACTOR SHALL MAINTAIN IN HIS POSSESSION A COPY OF THE WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL CONDITIONS CONTAINED IN THE PERMIT.
3. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
4. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
5. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.
6. GENERAL CONTRACTOR TO CONTACT ENGINEER OF RECORD AND THE OWNER REPRESENTATIVE 48 HOURS IN ADVANCE PRIOR TO BACKFILLING TRENCHES FOR FIELD INSPECTION AND PRIOR TO LAYING ASPHALT FOR FIELD INSPECTION.
7. CONTRACTOR IS TO SUBMIT FDOT APPROVED ASPHALT DESIGN MIXES TO THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD BEFORE ANY WORK IS TO COMMENCE ON PROJECT. THE MIXTURE AT THE PLANT OR ON THE ROAD SHALL NOT EXCEED 335 DEGREES. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND PROVIDE TEMPERATURE READINGS PRIOR TO LAYING ASPHALT.
8. AS DETERMINED NECESSARY AND DIRECTED BY COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL UNDERCUT ALL UNSUITABLE MATERIAL 24 INCHES BELOW THE BOTTOM OF ANY PROPOSED LIMEROCK BASE, AND SHALL BACKFILL WITH FILL MATERIAL MEETING FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEE FDOT INDEX 120-001 AND 120-002.
9. PROVIDE LEVEL PLATFORM IN FRONT OF ALL EGRESS DOORS. THE FLOOR SURFACE ON BOTH SIDES OF A DOOR SHALL BE AT THE SAME ELEVATION. THE FLOOR SURFACE OR LANDING ON EACH SIDE OF THE DOOR SHALL EXTEND FROM THE DOOR IN THE CLOSED POSITION A DISTANCE EQUAL TO THE DOOR WIDTH AND SHALL COMPLY WITH SECTION 4.13.6 MANEUVERING CLEARANCES AT DOORS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
10. RAMPS SHALL HAVE LEVEL LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP RUN. CURB RAMPS ARE NOT REQUIRED TO HAVE LANDINGS. LANDINGS SHALL HAVE THE FOLLOWING FEATURES:
 - A. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.
 - B. ALL LANDINGS ON RAMPS SHALL BE NOT LESS THAN 60" CLEAR, AND THE BOTTOM OF EACH RAMP SHALL HAVE NOT LESS THAN 72" OF STRAIGHT AND LEVEL CLEARANCE.
 - C. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60"x60". IF A RAMP RUN HAS A RISE GREATER THAN 6" OR A HORIZONTAL PROJECTION GREATER THAN 72" THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. HANDRAILS SHALL BE SHOWN ON THE SITE PLAN.
11. THE CONTRACTOR SHALL STOCKPILE TOPSOIL AND CONSTRUCTION MATERIALS IN AREAS DESIGNATED BY THE OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS AS NOTED IN NOTE #29 UNDER SITE GENERAL NOTES.
13. ALL CONCRETE USED SHALL BE 2,500 PSI MINIMUM.
14. ALL WELLS, CLEANOUTS, MANHOLE TOPS, PULL BOX COVERS AND OTHER UTILITY APPURTENANCES IN THE AREA OF REDEVELOPMENT SHALL BE PROTECTED AND TOPS ADJUSTED TO MATCH PROPOSED GRADES.
15. CONTRACTOR SHALL SAW CUT, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS ANY EXISTING PAVEMENT.
16. SOD SHALL BE PLACED AROUND ALL STRUCTURES AS DIRECTED BY THE FDOT INDEX 524-001 AND FDOT INDEX 425- AND 430- SERIES AS APPROPRIATE. ALL OTHER DISTURBED AREAS SHALL BE SEEDDED AND MULCHED.
17. ALL STORM SEWER CURB AND DITCH BOTTOM INLETS SHALL CONFORM TO THE APPLICABLE FDOT INDEX. ALL DRAINAGE STRUCTURES WITH GRATES THAT ARE LOCATED IN GRASSED AREAS SHALL HAVE THE GRATE CHAINED TO THE STRUCTURE USING AN EYE BOLT AND CHAIN.
18. ALL CONCRETE STRUCTURES SHALL HAVE ALL EXPOSED EDGES CHAMFERED 3/4" AND CLASS I SURFACE FINISH.
19. ALL HDPE FITTINGS AND CONNECTORS SHALL BE WATER TIGHT. SEE SPECIFICATIONS FOR MORE INFORMATION.
20. COMPACTION OF ALL MATERIALS SHALL BE LIMITED TO STATIC MODE ONLY, UNLESS DIRECTED OTHERWISE BY THE ENGINEER OF RECORD.
21. ALL RCP PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC IN ACCORDANCE WITH FDOT STANDARD SPECIFICATION SECTION 430.

WATER AND WASTEWATER GENERAL NOTES

1. MATERIALS AND CONSTRUCTION METHODS FOR WATER AND WASTEWATER SYSTEMS SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES, PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THERETO. APPROVAL AND CONSTRUCTION OF ALL UTILITY EXTENSIONS AND CONNECTIONS MUST BE COORDINATED THROUGH THE REGULATORY AGENCY DEPARTMENT FOR PUBLIC UTILITIES.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING ANY EXISTING STRUCTURES FROM THE SITE.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY UTILITY FIELD LOCATION AND RELOCATION AS REQUIRED.
4. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.
5. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
6. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
7. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
8. A HORIZONTAL SEPARATION OF TEN FEET PREFERRED, BUT NO LESS THAN SIX FEET, SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND GRAVITY OR PRESSURE WASTEWATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. A HORIZONTAL SEPARATION OF TEN FEET PREFERRED, BUT NO LESS THAN THREE FEET, SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND VACUUM WASTEWATER MAINS. A HORIZONTAL SEPARATION OF THREE FEET SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND STORM SEWERS, STORMWATER FORCE MAINS, AND RECLAIMED WATER MAINS REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
9. WHEN POTABLE WATER MAINS CROSS OTHER PIPES, THE TWO PIPES SHALL HAVE JOINTS A MINIMUM OF SIX FEET FROM THE CROSSING. WHEN POTABLE WATER MAINS CROSS UNDERNEATH OTHER PIPES, THE MINIMUM VERTICAL SEPARATION IS TWELVE INCHES. WHEN POTABLE WATER MAINS CROSS ABOVE PRESSURE WASTEWATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, THE MINIMUM VERTICAL SEPARATION IS TWELVE INCHES. WHEN POTABLE WATER MAINS CROSS ABOVE GRAVITY AND VACUUM WASTEWATER MAINS, STORM SEWERS, AND STORMWATER FORCE MAINS, THE PREFERRED VERTICAL SEPARATION IS TWELVE INCHES AND THE THE MINIMUM VERTICAL SEPARATION IS SIX INCHES.
10. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
11. RESTRAINED JOINTS SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS IN ACCORDANCE WITH AWWA STANDARDS.
12. ALL PVC WATER SERVICE LINES SHALL BE SCH 40 PVC.
13. THE SITE WORK CONTRACTOR SHALL ENGAGE THE SERVICES OF A LICENSED UNDERGROUND UTILITY AND EXCAVATION CONTRACTOR TO INSTALL THE NEW WATER SERVICE LINE.
14. ALL SANITARY SEWER SERVICE LATERALS SHALL BE 4" PVC SDR 35 OR 6" PVC SDR 35 WITH A CLEAN-OUT LOCATED PER THE PLANS. MINIMUM SLOPE FOR 4" LATERALS SHALL BE .10% AND A MINIMUM CLEANOUT SPACING OF 75 FEET ON-CENTER AND MINIMUM SLOPE FOR 6" LATERALS SHALL BE 0.6% AND A MINIMUM CLEANOUT SPACING OF 100 FEET ON-CENTER.
15. PUBLIC UTILITY EASEMENTS WILL BE PROVIDED AS REQUIRED FOR ALL UTILITIES SHOWN HEREON BY METES AND BOUND DESCRIPTION AND IN ACCORDANCE WITH THE REGULATORY AGENCY DEPARTMENT FOR PUBLIC UTILITIES.

ELECTRIC SERVICE GENERAL NOTES

1. ALL ELECTRICAL UTILITIES AND INFORMATION SHOWN ON THE CIVIL PLANS ARE FOR LOCATION AND COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS BY OTHERS FOR THE ELECTRICAL DESIGN AND DETAILS.
2. ELECTRIC DESIGN PROVIDED BY CLAY ELECTRIC.

FDOT GENERAL NOTES

1. ALL WORK PERFORMED WITHIN THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE FOLLOWING:
 - A. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (JULY 2023).
 - B. FDOT STANDARD PLANS (FY 2023-2024 ROAD CONSTRUCTION)
 - C. FDOT DESIGN MANUAL (2023)
 - D. FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION
2. SHOULD A CONFLICT ARISE BETWEEN THE DETAILS SHOWN IN THE PLANS AND THE DEPARTMENT OF TRANSPORTATION STANDARDS THE ENGINEER/ PERMITTEE SHALL IMMEDIATELY CONFER WITH THE DEPARTMENT'S ENGINEER IN ORDER TO RESOLVE THE DISCREPANCY. IN NO CASE WILL ANYTHING LESS THAN THE DEPARTMENT'S MINIMUM STANDARD BE ALLOWED.
3. ALL TRAFFIC STRIPING AND MARKINGS ARE TO BE LEAD-FREE, NON-SOLVENT BASED THERMOPLASTIC.
4. REMOVAL OF EXISTING STRIPING SHALL BE ACCOMPLISHED USING THE "HYDRO-BLAST" METHOD.
5. ALL CURB AND GUTTER AND SIDEWALK WILL BE REMOVED AND REPLACED JOINT TO JOINT.
6. ALL DISTURBED AREA WITH THE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREA DISTURBED (BERMUDA IN RURAL, CENTIPEDE IN UTILITY STRIPS).

File Name: N:\2023\23-0250\Drawings\04_Engineering\02_DWG\Production\Final\23-0250_C7.dwg
Title: Motif Plot Date: Jan 31, 2024 8:21 am

11801 Research Drive
Alicia, Florida 32615
(352) 351-1976
www.chw-inc.com
est. 1988 FLORIDA
CA-5075

CHW
Professional Consultants

N/A
SCALE
1" = 30' (SEE DRAWING)
IF NOT ONE INCH ON
DRAWING, SCALE ACCORDINGLY.

CONSTRUCTION DIVISION

SUBMITTALS
08-28-23 FDOT ACCESS
09-05-23 FDOT DRAINAGE
11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE
12-14-23 FDOT ACCESS
01-31-24 TOWN OF FORT WHITE

TECHNICAL: G. WADZINSKI
DESIGNER: N. COWAP, P.E.
QUALITY CONTROL: T. HASTAY, P.E.
PROJECT NUMBER: 23-0250

CLIENT: CONCEPT DEVELOPMENT, INC.
PROJECT: COMMERCIAL RETAIL STORE
FORT WHITE
SHEET TITLE: GENERAL NOTES

NICOLA R. COWAP

FL PE No. 91233

SHEET NO. **C0.10**

ALTA/NSPS LAND TITLE SURVEY

LOCATED IN THE NORTHWEST QUARTER (NW 1/4) OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST, TOWN OF FORT WHITE, COLUMBIA COUNTY, FLORIDA

DESCRIPTION: (SUBJECT PARCEL) FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: 7222-6318219, COMMITMENT DATE: JANUARY 19, 2023)
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF COLUMBIA, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:
 PART OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND BEING PART OF BLOCK "F" OF THE TOWN FT. WHITE, FLORIDA, AS SHOWN ON PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 48, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

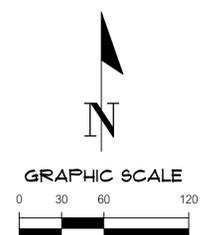
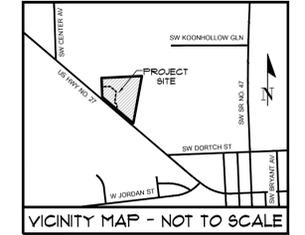
BEGIN AT A TRIANGLE SHAPED CONCRETE MONUMENT MARKING THE NW CORNER OF THE NE 1/4 OF THE NW 1/4 OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND BEING ALSO THE NW CORNER OF BLOCK "F" OF THE TOWN FT. WHITE, FLORIDA, AS SHOWN ON PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 48, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, AND THENCE N 88° 33' 22" E 833.87' (D) ALONG THE MONUMENTED NORTH LINE OF SAID BLOCK "F", 833.87 FEET TO A 5/8" IRON ROD, L.S. 4708, THENCE S 11° 41' 55" W 988.23 FEET TO A 5/8" IRON ROD, L.S. 4709, ON THE NORTHEASTERLY RIGHT-OF-WAY LINE OF U. S. HIGHWAY NO. 27 (STATE ROAD NO. 20), AS MONUMENTED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION; THENCE N 48° 33' 26" E 58.14 FEET ALONG SAID RIGHT-OF-WAY LINE, 58.14 FEET TO A CONCRETE MONUMENT ON THE WEST LINE OF SAID BLOCK "F" (WEST LINE OF SAID NE 1/4 OF THE NW 1/4); THENCE N 00° 55' 50" W, 393.04 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH THE MOBILE HOME(S) SITUATE THEREON.

DESCRIPTION: (PARCEL A) PREPARED BY THIS SURVEYOR
 A TRACT OF LAND SITUATED IN THE NORTHWEST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST, BEING A PORTION OF BLOCK "F" OF THE TOWN FT. WHITE, FLORIDA, AS SHOWN IN PLAT BOOK "1", PAGE 48 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, MORE SPECIFICALLY BEING A PORTION OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1439, PAGE 2365 OF SAID PUBLIC RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF AFOREMENTIONED NORTHWEST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4), SAID CORNER ALSO BEING THE NORTHWEST CORNER OF AFOREMENTIONED BLOCK "F" OF THE TOWN FT. WHITE; THENCE SOUTH 00° 55' 12" EAST, ALONG THE WEST LINE OF SAID NORTHWEST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION AND ALONG THE WEST LINE OF SAID BLOCK "F" OF THE TOWN FT. WHITE, A DISTANCE OF 180.00 FEET TO THE POINT OF BEGINNING; THENCE, DEPARTING SAID WEST LINE, THE FOLLOWING SIX (6) COURSES: (1) NORTH 89° 30' 36" EAST, A DISTANCE OF 169.87 FEET; (2) SOUTH 48° 33' 39" EAST, A DISTANCE OF 162.04 FEET; (3) SOUTH 08° 27' 22" WEST, A DISTANCE OF 228.26 FEET; (4) SOUTH 48° 33' 26" EAST, A DISTANCE OF 58.14 FEET; (5) SOUTH 00° 55' 50" WEST, A DISTANCE OF 58.88 FEET; (6) SOUTH 42° 02' 39" WEST, A DISTANCE OF 34.93 FEET TO THE NORTHEASTERLY RIGHT-OF-WAY LINE OF S.W. US HIGHWAY NO. 27 - STATE ROAD NO. 20 (120 FOOT RIGHT OF WAY WIDTH); THENCE NORTH 48° 32' 58" WEST, ALONG NORTHEASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 365.33 FEET TO AFOREMENTIONED WEST LINE OF BLOCK "F" AND AFOREMENTIONED WEST LINE OF THE NORTHWEST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4); THENCE, DEPARTING SAID NORTHEASTERLY RIGHT-OF-WAY LINE, NORTH 00° 55' 50" WEST ALONG SAID WEST LINE AND ALONG SAID WEST LINE, A DISTANCE OF 213.05 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINING ± 2.03 ACRES, MORE OR LESS.



ZONING INFORMATION:
 (AS FURNISHED)
 ZONING: AGRICULTURE
 FUTURE ZONING: GENERAL COMMERCIAL
 MINIMUM SETBACK REQUIREMENTS (GENERAL COMMERCIAL):
 - FRONT: 20' (SOUTHWEST)

SURVEYOR'S NOTES:

- BEARINGS SHOWN HEREON ARE REFERRED TO A VALUE OF N 00° 55' 50" W FOR THE WEST LINE OF THE SUBJECT PARCEL, SAID BEARING IS IDENTICAL WITH THE RECORDED DEED.
- VERTICAL DATUM IS SHOWN IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND IS BASED ON FLORIDA DEPARTMENT OF TRANSPORTATION CONTROL MONUMENT NAMED 29050018MS, BEING A ROUND CONCRETE MONUMENT WITH FOOT BRASS DISK, STAMPED 29050018MS WITH A PUBLISHED ELEVATION 74.00 FEET (NAVD 88). BENCHMARK IS LOCATED APPROXIMATELY NORTH 76° 57' 52" WEST 263 FEET ± FROM THE SOUTHWEST CORNER OF THE SITE.
- OBSERVED EVIDENCE OF UTILITIES HAS BEEN SHOWN PURSUANT TO SECTION 5 PARAGRAPH E (IV) OF THE ALTA/NSPS MINIMUM STANDARD DETAIL REQUIREMENTS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCRoACH.
- FENCING, SYMBOLS AND MONUMENTATION SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
- THIS SURVEY WAS PRODUCED WITH THE BENEFIT OF FURNISHED TITLE INFORMATION PER FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: 7222-6318219, COMMITMENT DATE: JANUARY 23, 2023. A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN PERFORMED BY THE SURVEYOR.
- INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY (IFEMA) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
- THERE WERE NO MARKED PARKING SPACES OBSERVED AT THE TIME OF THIS SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS BEING CONDUCTED AT THE TIME OF THIS SURVEY.
- THE NEAREST INTERSECTION IS OF S.W. US HIGHWAY NO. 27 AND S.W. DORTCH STREET AND IS APPROXIMATELY 1000 FEET TO THE SOUTHEAST.
- THERE WAS NO EVIDENCE OF CHANGES IN STREET RIGHT-OF-WAY LINES. THERE WAS NO OBSERVED EVIDENCE OF CURRENT STREET CONSTRUCTION OR REPAIRS. THERE WAS NO OBSERVED EVIDENCE OF CURRENT SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A CEMETERY, SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SV-NODE* LAYERS IN THE SUPPLIED DIGITAL FILE.
- TOPOGRAPHIC INFORMATION SHOWN HEREON BASED ON GROUND SURVEY. CONTOURS SHOWN HEREON REFLECT 1-FOOT INTERVALS.
- BOTH THE SUBJECT PARCEL AND "PARCEL A" ARE LOCATED ADJACENT TO THE NORTHEASTERLY RIGHT-OF-WAY LINE OF S.W. US HIGHWAY NO. 27.
- PROJECT LIMITS ARE PER CLIENT SPECIFICATIONS.
- THIS SURVEY IS A TOTAL OF TWO (2) SHEETS. SEE SHEET ONE (1) FOR OVERALL BOUNDARY INFORMATION FOR THE SUBJECT PARCEL AND PARCEL "A". SEE SHEET TWO (2) FOR DETAILED TOPOGRAPHIC INFORMATION AND IMPROVEMENT LOCATIONS.

SCHEDULE B-2: (AS FURNISHED PER FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: 7222-6318219, COMMITMENT DATE: JANUARY 23, 2023)

ITEM NO. 9: THIS PROPERTY IS SUBJECT TO THE EASEMENT GRANTED TO FLORIDA POWER CORPORATION BY INSTRUMENT RECORDED IN BOOK 776, PAGE 851. (AS SHOWN HEREON)

FLOOD ZONE:
 THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM FEMA F.I.R.M. PANEL NO. 490 OF 552, COMMUNITY NUMBER AND PANEL "20203 0490 C, EFFECTIVE DATE: FEBRUARY 4, 2009.

LEGEND:

- (D) = DATA BASED ON FURNISHED DESCRIPTION
- (M) = DATA BASED ON FIELD MEASUREMENTS
- FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
- F.I.R.M. = FLOOD INSURANCE RATE MAP
- SEC-T/R-R# = SECTION, TOWNSHIP, RANGE
- INV = INVERT
- CMP = CORRUGATED METAL PIPE
- RW = RIGHT OF WAY
- O.R.B. = OFFICIAL RECORDS BOOK
- PB = PLAT BOOK
- PG. = PAGE
- LO = LIVE OAK TREE
- LAO = LAUREL OAK TREE
- CHY = CHERRY TREE
- PINE = PINE TREE
- POST = POST OAK TREE
- TO = TURKEY OAK TREE
- = FOUND 5/8" STEEL ROD & CAP (NOTED)
- ⊙ = FOUND 5/8" STEEL ROD & CAP (NOTED)
- △ = TRIANGLE CONCRETE MONUMENT (NO ID.)
- ⊙ = FOUND 4"x4" CONCRETE MONUMENT (NOTED)
- = SET 5/8" STEEL ROD & CAP (LB 5075)
- ☐ = AIR CONDITIONER
- ⊥ = GUY ANCHOR
- ⊥ = MAILBOX
- ⊥ = SIGN
- ⊥ = TELEPHONE PEDESTAL
- ⊥ = FIRE HYDRANT
- ⊥ = WOODEN POWER POLE
- ⊥ = WATER VALVE
- ⊥ = WATER METER
- ⊥ = MITERED END SECTION
- ⊥ = WATER LINE FLAG (BY OTHERS)
- ⊥ = TREE (SIZE/TYPE NOTED)
- ⊙ = BENCHMARK
- = PARCEL A BOUNDARY LINE
- - - = RIGHT OF WAY LINE
- - - = ADJOINING BOUNDARY LIEN
- - - = SUBJECT PARCEL BOUNDARY LINE
- - - = MATCH LINE
- = OVER-HEAD WIRE
- (M) = BURIED WATER LINE (PER PLAN)
- X = 4" HOG WIRE FENCE
- 74. = CONTOUR LINE
- X 74.5 = SPOT ELEVATION (PERVIOUS)
- X 74.45 = SPOT ELEVATION (IMPERVIOUS)
- ▨ = ASPHALT SURFACE
- ▨ = DIRT/LIME/ROCK SURFACE

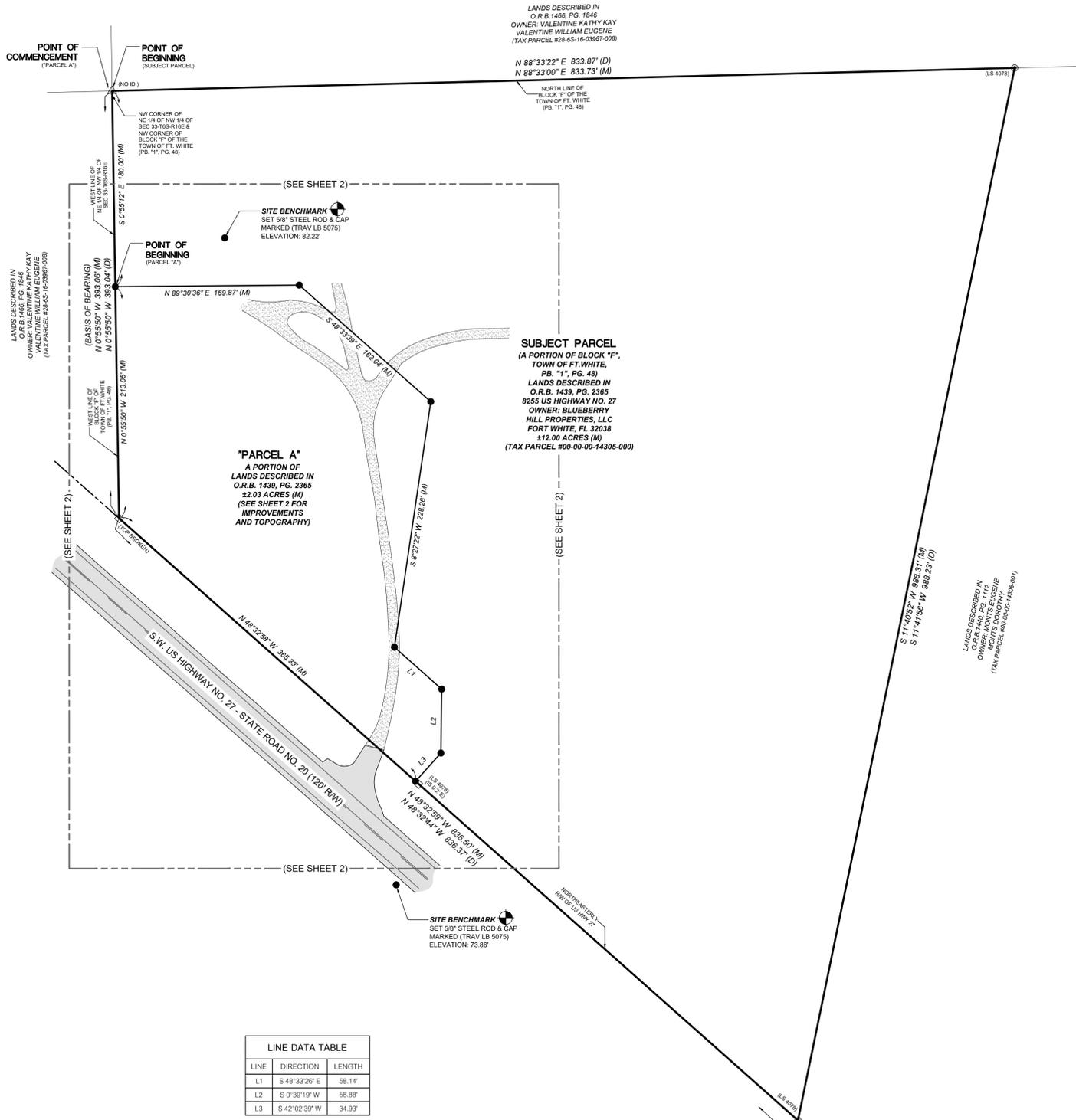
SURVEYOR'S CERTIFICATION:

TO: CONCEPT DEVELOPMENT, INC., A FLORIDA CORPORATION, PROVIDENCE TITLE COMPANY, LLC AND FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 8, 9, 11(a), 13, 14, 16, 17, 18 AND 19, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 24, 2023.

CHAD A COLSON, P.S.M.
 FLORIDA SURVEYOR & MAPPER CERTIFICATE NUMBER 7142
 CHAD@CHW-INC.COM

DATE OF PLAT OR MAP:



LINE	DIRECTION	LENGTH
L1	S 48° 33' 26" E	58.14'
L2	S 0° 39' 19" W	58.88'
L3	S 42° 02' 39" W	34.93'

Tech: chds File Date: 04/25/2023 1:41pm Filename: C:\msdfrs\resurvt\Temp\MapPublic_11313\33-0250 ALTA (PRE-COM).dwg

18001 Research Drive
 Alachua, Florida 32015
 (352) 331-1976
 www.chw-inc.com
 est. 1988 FLORIDA
 CA-5075



SCALE: 1" = 60'
 VERIFY SCALE BY MEASURING ON ORIGINAL DRAWING
 0" MEANS THE MEASUREMENT ON THIS SHEET ADJUST SCALES ACCORDINGLY.

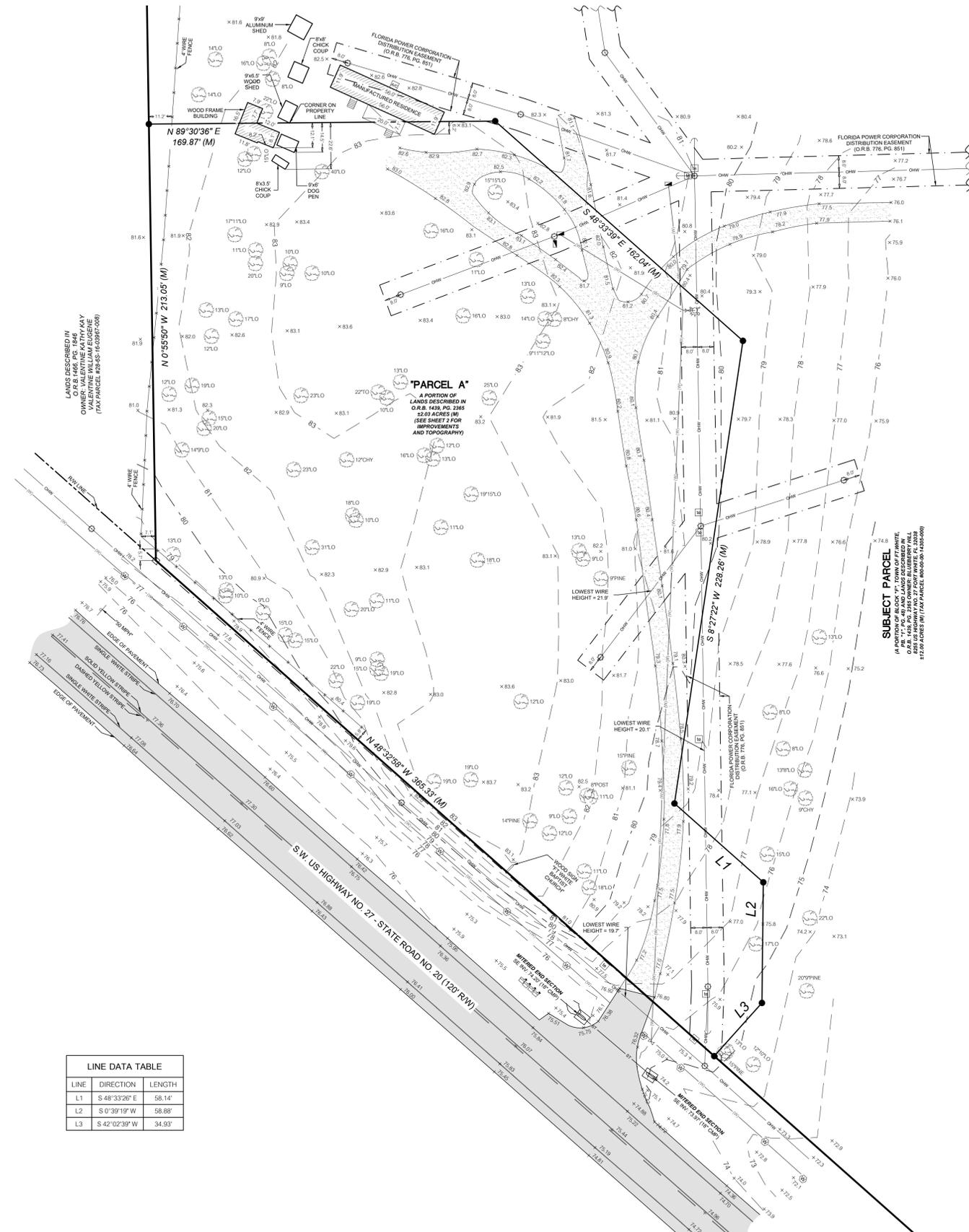
(SEE SURVEYOR'S CERTIFICATION)

CERTIFIED TO:

PERSONAL	SURVEY DATE
NAME: T.J.	05-05-2023
CHECKED BY: KS	07-27-2023
PROJECT NUMBER:	23-0250
FIELD BOOK & PAGE:	678 / 47-51

CHAD A COLSON
 (SEE SURVEYOR'S CERTIFICATION)

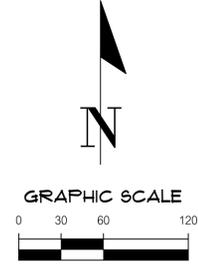
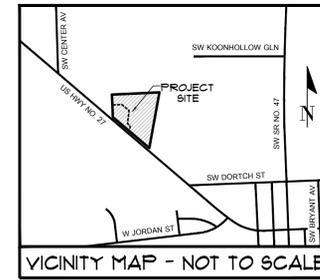
This map prepared by:
 Certificate of Authorization No. LB 5075
 NOT VALID WITHOUT THE ORIGINAL
 SIGNATURE AND SEAL OR ELECTRONIC
 DIGITAL SIGNATURE OF A FLORIDA
 LICENSED SURVEYOR AND MAPPER



LINE DATA TABLE		
LINE	DIRECTION	LENGTH
L1	S 48° 33' 26" E	58.14'
L2	S 0° 39' 19" W	58.88'
L3	S 42° 02' 39" W	34.93'

ALTA/NSPS LAND TITLE SURVEY

LOCATED IN THE NORTHWEST QUARTER (NW 1/4) OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST, TOWN OF FORT WHITE, COLUMBIA COUNTY, FLORIDA



FLOOD ZONE:
 THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM FEMA F.I.R.M. PANEL NO. 490 OF 552, COMMUNITY NUMBER AND PANEL "120023" (490 C, EFFECTIVE DATE: FEBRUARY 4, 2009).

ZONING RESTRICTIONS:
 (AS FURNISHED)
 ZONING: AGRICULTURE
 FUTURE ZONING: GENERAL COMMERCIAL
 MINIMUM SETBACK REQUIREMENTS (GENERAL COMMERCIAL):
 - FRONT: 20' (NORTHWEST)
 - SIDE: 10' (NORTHWEST AND SOUTHEAST)
 - REAR: 15' (NORTHEAST)
 PARKING REQUIREMENTS:
 - 83 SPACES

SURVEYOR'S NOTES:

- BEARINGS SHOWN HEREON ARE REFERRED TO A VALUE OF N 00°55'50" E FOR THE WEST LINE OF THE SUBJECT PARCEL, SAID BEARING IS IDENTICAL WITH THE RECORDED DEED.
- VERTICAL DATUM IS SHOWN IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND IS BASED ON FLORIDA DEPARTMENT OF TRANSPORTATION CONTROL MONUMENT NAMED 2905001BMS, BEING A ROUND CONCRETE MONUMENT WITH FDOT BRASS DISK, STAMPED "2905001BMS" WITH A PUBLISHED ELEVATION 74.00 FEET (NAVD 88). BENCHMARK IS LOCATED APPROXIMATELY NORTH 76°57'52" WEST 263 FEET ± FROM THE SOUTHWEST CORNER OF THE SITE.
- OBSERVED EVIDENCE OF UTILITIES HAS BEEN SHOWN PURSUANT TO SECTION 5 PARAGRAPH E (IV) OF THE ALTA/NSPS MINIMUM STANDARD DETAIL REQUIREMENTS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
- FENCING, SYMBOLS AND MONUMENTATION SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- IN THE OPTION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
- THIS SURVEY WAS PRODUCED WITH THE BENEFIT OF FURNISHED TITLE INFORMATION PER FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: 7222-6318219, COMMITMENT DATE: JANUARY 23, 2023. A SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN PERFORMED BY THE SURVEYOR.
- INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
- THERE WERE NO MARKED PARKING SPACES OBSERVED AT THE TIME OF THIS SURVEY.
- THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS BEING CONDUCTED AT THE TIME OF THIS SURVEY.
- THE NEAREST INTERSECTION IS OF S.W. US HIGHWAY NO. 27 AND S.W. DORTCH STREET AND IS APPROXIMATELY 1000 FEET TO THE SOUTHWEST.
- THERE WAS NO EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES. THERE WAS NO OBSERVED EVIDENCE OF CURRENT STREET CONSTRUCTION OR REPAIRS. THERE WAS NO OBSERVED EVIDENCE OF CURRENT SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A CEMETERY, SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE SV-NODE "L" LAYERS IN THE SUPPLIED DIGITAL FILE.
- TOPOGRAPHIC INFORMATION SHOWN HEREON BASED ON GROUND SURVEY. CONTOURS SHOWN HEREON REFLECT 1-FOOT INTERVALS.
- BOTH THE SUBJECT PARCEL AND "PARCEL A" ARE LOCATED OFF OF THE NORTHERLY RIGHT OF WAY LINE OF S.W. US HIGHWAY NO. 27.
- PROJECT LIMITS ARE PER CLIENT SPECIFICATIONS.
- THIS SURVEY IS A TOTAL OF TWO (2) SHEETS. SEE SHEET ONE (1) FOR OVERALL BOUNDARY INFORMATION FOR THE SUBJECT PARCEL AND PARCEL "A". SEE SHEET TWO (2) FOR DETAILED TOPOGRAPHIC INFORMATION AND IMPROVEMENT LOCATIONS.

LEGEND:

- (D) = DATA BASED ON FURNISHED DESCRIPTION
- (M) = DATA BASED ON FIELD MEASUREMENTS
- FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
- F.I.R.M. = FLOOD INSURANCE RATE MAP
- SEC-W-TA-R# = SECTION, TOWNSHIP, RANGE
- INV = INVERT
- CMP = CORRUGATED METAL PIPE
- RW = RIGHT OF WAY
- O.R.B. = OFFICIAL RECORDS BOOK
- P# = PLAT BOOK
- PG. = PAGE
- LO = LIVE OAK TREE
- LAO = LAUREL OAK TREE
- CHT = CHERRY TREE
- PINE = PINE TREE
- POST = POST OAK TREE
- TO = TURKEY OAK TREE
- = FOUND 5/8" STEEL ROD & CAP (NOTED)
- ⊙ = FOUND 5/8" STEEL ROD & CAP (NOTED)
- △ = TRIANGLE CONCRETE MONUMENT (NO ID.)
- = FOUND 4"x4" CONCRETE MONUMENT (NOTED)
- = SET 5/8" STEEL ROD & CAP (LB 5075)
- = AIR CONDITIONER
- ⊕ = GUY ANCHOR
- ⊞ = MAILBOX
- ⊟ = SIGN
- ⊠ = TELEPHONE PEDESTAL
- ⊡ = FIRE HYDRANT
- ⊢ = WOODEN POWER POLE
- ⊣ = WATER VALVE
- ⊤ = WATER METER
- ⊥ = MITERED END SECTION
- ⊦ = WATER LINE FLAG (BY OTHERS)
- ⊧ = BENCHMARK
- = PARCEL A BOUNDARY LINE
- - - = RIGHT OF WAY LINE
- · - · = ADJOINING BOUNDARY LIEN
- · — · = SUBJECT PARCEL BOUNDARY LINE
- · — · = MATCH LINE
- OHW — = OVERHEAD WIRE
- (W) — = BURIED WATER LINE (PER PLAN)
- X — = 4' HOG WIRE FENCE
- 74. — = CONTOUR LINE
- X 74.5 = SPOT ELEVATION (PREVIOUS)
- X 74.45 = SPOT ELEVATION (IMPERVIOUS)
- ▨ = ASPHALT SURFACE
- ▩ = DIRT/LIMBEROCK SURFACE

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SCALE: 1" = 30'
KEY: ALL DATA ON THIS MAP IS BASED ON ORIGINAL DRAWING
0 INCHES PER FOOT
THIS SHEET ADJUST SCALES ACCORDINGLY.

(SEE SHEET 1 OF 2)

REVISION 10-25-2023: ADDED LOWEST WIRE HEIGHTS.
10-25-2023: ADDED PARCEL LINE INFORMATION.

DATE	05-05-2023
REVISION DATE	10-25-2023
PROJECT NUMBER	23-0250
FIELD BOOK & PAGE	678 / 47-51

CHAD A COLSON
(SEE SHEET 1 OF 2)

Professional Surveyor & Mapper/Pl. License No. 7142

This map prepared by:
Certificate of Authorization No. LB 5075
NOT VALID WITHOUT THE ORIGINAL
SIGNATURE AND SEAL OR ELECTRONIC
DIGITAL SIGNATURE OF A FLORIDA
LICENSED SURVEYOR AND MAPPER

SHEET NO.:
2 OF 2

I. INTRODUCTION

THIS DOCUMENT WAS PREPARED IN ORDER TO ILLUSTRATE COMPLIANCE WITH CHAPTER 62-621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGE OF STORMWATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE USING STANDARD PRACTICE AND BEST MANAGEMENT PRACTICES (BMPs) AND IS ORGANIZED TO CORRESPOND TO 62-621.300(4)(a) GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES FDEP FORM 62-621.300(4)(b) IS TO BE SUBMITTED IN CONJUNCTION WITH THIS DOCUMENT. CONTRACTOR(S) MUST FILL IN THE ACTIVITIES SEQUENCE (SECTION II, B. BELOW) AND SIGN THIS SHEET (REFER TO SIGNATURE TABLE THIS SHEET) AND RETAIN THIS SHEET AND ALL FOLLOWING SWPPP SHEETS ON SITE. ALTERNATIVELY, CONTRACTOR(S) MAY PREPARE AND SIGN THEIR OWN SWPPP PLAN MEETING THE REQUIREMENTS. IF THE SITE OR CONTRACTOR ACTIVITIES REQUIRE ANY BMPs THAT ARE NOT DESCRIBED ON THIS SHEET, THE CONTRACTOR MUST PREPARE AN ALTERNATIVE OR ADDITIONAL SWPPP DOCUMENT CONTAINING THE NECESSARY BMPs.

II. SITE DESCRIPTION

COUNTY: COLUMBIA COUNTY, FLORIDA
SECTION, TOWNSHIP, RANGE: SECTIONS 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST
COUNTY PARCEL NO.: PORTION OF 00-00-00-14305-000
STREET ADDRESS: 8255 US HWY 27
PROJECT AREA: 2.03 ACRES
SITE LOCATION MAP: SEE COVER SHEET OF CONSTRUCTION DRAWINGS

A. NATURE OF CONSTRUCTION ACTIVITY

THE PROPOSED DEVELOPMENT INCLUDES THE CONSTRUCTION OF A ±12,480 SF COMMERCIAL RETAIL STORE, PARKING AREA, STORMWATER MANAGEMENT SYSTEM, AND ASSOCIATED UTILITY INFRASTRUCTURE. THE PROJECT SITE IS LOCATED ALONG THE NORTH SIDE OF HWY 27, DIRECTLY NORTHWEST OF SW DORTCH ST, FORT WHITE, FLORIDA. THE PROJECT SITE TOTAL AREA IS APPROXIMATELY 2.03 ACRES.

B. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES - CONTRACTOR MUST FILL IN DAYS

FROM _____ TO _____ PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION FENCING SHALL BE INSTALLED AND ALL EXISTING STORM DRAINAGE SWALE AND INLETS SHALL BE PROTECTED IN ACCORDANCE WITH THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL, DATED JULY 2013, AND THESE PLANS.
FROM _____ TO _____ THE CONSTRUCTION SERVICE ENTRANCE SHALL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF-SITE TRACKING OF SEDIMENTS.
FROM _____ TO _____ ONLY THE AREA COMPRISING THE PROPOSED STORMWATER MANAGEMENT FACILITY(S) SHALL BE CLEARED AND GRUBBED OF UNWANTED VEGETATION.
FROM _____ TO _____ THE PROPOSED STORMWATER MANAGEMENT FACILITY(S) SHALL BE CONSTRUCTED.
FROM _____ TO _____ IF SUITABLE, THE EXCAVATED SOIL FROM THE FACILITY(S) MAY BE USED AS FILL FOR ON-SITE GRADING THAT IS DEPICTED IN THESE CONSTRUCTION PLANS. THE CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL ON-SITE OR OFF-SITE TO A PERMITTED LOCATION.
FROM _____ TO _____ THE REMAINING PORTION OF THE SITE THAT IS TREATED BY THE CONSTRUCTED STORMWATER MANAGEMENT FACILITY(S) SHALL BE CLEARED AND GRUBBED.
FROM _____ TO _____ THE PERMANENT ROADWAYS/DRIVEWAYS SHALL BE ROUGHLY GRADED.
FROM _____ TO _____ THE UNDERGROUND UTILITIES INFRASTRUCTURE AND STORMWATER PIPING SYSTEM SHALL BE INSTALLED. ANY DE-WATERING (PUMPED) SHALL BE DIVERTED TO THE ASSOCIATED STORMWATER MANAGEMENT FACILITY(S).
FROM _____ TO _____ THE PERMANENT ROADWAY/DRIVEWAY SUBGRADE SHALL BE COMPACTED, A LIMEROCK BASE SHALL BE ESTABLISHED, AND THEN FOLLOWED BY AN OVERLAY OF ASPHALT.
FROM _____ TO _____ UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER PIPING SYSTEM SHALL BE FLUSHED OUT TO REMOVE ACCUMULATED DEBRIS AND SEDIMENT.
FROM _____ TO _____ UPON COMPLETION OF THE DEBRIS AND SEDIMENT REMOVAL FROM THE STORMWATER PIPING SYSTEM, THE PROPOSED STORMWATER MANAGEMENT FACILITY(S) SHALL BE FINE GRADED AND SHALL BE EXCAVATED A MINIMUM OF SIX INCHES BELOW THE DESIGN BOTTOM ELEVATION AND REPLACED WITH FILL HAVING A MINIMUM PERMEABILITY RATE OF 20 FEET/DAY WITH A MAXIMUM OF 5% SOIL FINES PASSING THE NO. 200 SIEVE. THE BOTTOM SHALL BE SCRAPED AND STABILIZED ACCORDING TO THESE PLANS. ONCE COMPLETED, NO HEAVY MACHINERY SHALL BE ALLOWED WITHIN THE STORMWATER MANAGEMENT FACILITY(S).
FROM _____ TO _____ ALL REMAINING DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED AND/OR LANDSCAPED ACCORDING TO THESE PLANS. TURF ESTABLISHMENT SHALL BE PER FDOT STANDARD SPECIFICATIONS SECTION 570. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

C. SITE DEVELOPMENT DATA:

TOTAL PROJECT SITE AREA: 2.03 ACRES
TOTAL SITE AREA TO BE DISTURBED: 2.42 ACRES
TOTAL IMPERVIOUS AREA (AS SHOWN IN CONSTRUCTION DRAWINGS): 0.81 ACRES
TOTAL DETENTION VOLUME: 0.959 ACRE-FEET
TOTAL OPEN AREA: 0.86 ACRES

D. SOIL CONDITIONS AND STORMWATER QUALITY

THE NRCS DATA FOR THE SITE REVEALS THAT THE SITE SOILS ARE COMPRISED OF ALBANY FINE SAND TO 5 PERCENT SLOPE), GSE ENGINEERING & CONSULTING, INC. CONDUCTED A GEOTECHNICAL EXPLORATION OF THE PROPOSED STORMWATER MANAGEMENT FACILITY(S) LOCATION IN MAY OF 2023. THE INVESTIGATION REVEALED THAT THE PROJECT SITE'S SURFACE SOILS HAVE THE FOLLOWING CHARACTERISTICS:

ELEVATION OF EFFECTIVE OR MOBILIZED AQUIFER: 0 FEET (NGVD29)
ELEVATION OF SEASONAL HIGH WATER TABLE: 35 FEET (NGVD29)
HORIZONTAL HYDRAULIC CONDUCTIVITY: 10 FEET/DAY
UNSATURATED VERTICAL INFILTRATION: 7 FEET/DAY

DESIGN PERCOLATION RATES FOR THE STORMWATER MANAGEMENT FACILITY(S) WERE DETERMINED BASED ON LABORATORY PERMEABILITY TEST RESULTS FROM BORING SAMPLES TAKEN WITHIN THE LIMITS OF THE STORMWATER MANAGEMENT FACILITY(S).

THE STORMWATER MANAGEMENT FACILITY(S) WAS DESIGNED TO PROVIDE RATE AND VOLUME CONTROL AND WATER QUALITY TREATMENT OF THE STORMWATER RUNOFF RESULTING FROM THE POST-DEVELOPMENT SITE UNDER 100-YEAR CRITICAL STORM EVENT RAINFALL CONDITIONS. THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) DEPICTS THE POST-DEVELOPMENT WATERSHED(S) LIMITS AND THE TABLE BELOW SUMMARIZES EACH WATERSHED.

Table with 6 columns: WATERSHED ID, POST DEVELOPMENT AREA (ACRES), POST DEVELOPMENT RUNOFF FACTOR (CW), POST DEVELOPMENT IMPERVIOUS AREA (ACRES), STORMWATER MANAGEMENT FACILITY TYPE, FACILITY DETENTION CAPACITY (ACRE-FEET), 100-YEAR FLOOD ELEVATION (FT)

E. SITE MAP

PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) FOR DETAILS.

F. STORMWATER OUTFALL LOCATION AND RECEIVING WATER BODY

PONDS ARE DESIGNED FOR FULL RETENTION

III. CONTROLS TO REDUCE POLLUTION

AS OUTLINED IN THE SUWANNEE RIVER WATER MANAGEMENT DISTRICT (SRWMD) PERMIT, ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN A MANNER AS TO NOT VIOLATE STATE WATER QUALITY STANDARDS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED OTHER THAN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES. THESE MEASURES MUST BE INSPECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE AND UNTIL AS DIRECTED BY THESE PLANS. THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) AND SECTION IV BELOW PROVIDE DETAILS ON THE SPECIFIC CONTROL MEASURES TO REDUCE STORMWATER POLLUTION.

IV. EROSION AND SEDIMENT CONTROLS

A. STABILIZATION PRACTICES

EXISTING TREES AND NATURAL VEGETATION TO REMAIN ON-SITE SHALL BE PROTECTED BY TREE BARRICADE FENCING AS DEPICTED ON THE STORMWATER POLLUTION PREVENTION PLAN (CO.21). TYPE III SILT FENCING SHALL PROTECT ALL DRAINAGE STRUCTURES AND SHALL BUFFER AREAS WITH POTENTIAL TO CONTRIBUTE OFF-SITE RUNOFF AND AS SPECIFICALLY DEPICTED ON THE STORMWATER POLLUTION PREVENTION PLAN (CO.21). STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS, IN PORTIONS OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED. AS SPECIFIED IN SECTION II.B. ABOVE, UPON COMPLETION OF CONSTRUCTION, ALL STORMWATER MANAGEMENT FACILITIES SHALL BE SCRAPED CLEAN OF ACCUMULATED SEDIMENT AFTER THE COMPLETION OF CONSTRUCTION. ALL TURF ESTABLISHMENT SHALL BE PERFORMED MEETING THE REQUIREMENTS OF SECTION 570 OF THE STANDARD SPECIFICATIONS. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RESEAL.

B. STRUCTURE PRACTICES

AS DEPICTED IN THE STORMWATER POLLUTION PREVENTION PLAN (CO.21), A STORMWATER MANAGEMENT SYSTEM WILL BE CONSTRUCTED AND WILL BE COMPRISED OF TWO DRY RETENTION FACILITIES AND A STORM PIPE CONVEYANCE SYSTEM. TO PREVENT EROSION DURING CONSTRUCTION, TYPE III SILT FENCING WILL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLANS. ALL EXISTING AND PROPOSED STORM DRAINS AND DRAINAGE SWALES SHALL BE PROTECTED ACCORDING TO THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL, DATED JULY 2013 OR PER DETAILS PROVIDED ON SHEET CO.21 UNTIL CONSTRUCTION IS COMPLETE. THE STORM PIPE CONVEYANCE SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.

C. DRAINAGE LOCATIONS THAT SERVE AREAS WITH LESS THAN 10 DISTURBED ACRES

AS SPECIFIED IN THE "SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES," THE SMF(S) WILL BE CONSTRUCTED PRIOR TO CLEARING AND GRUBBING OUTSIDE OF THE SMF(S) AREAS AND CONSTRUCTION OF THE PERMANENT PAVED AREAS. THE TOTAL CONTRIBUTING DRAINAGE AREA TO THE STORMWATER MANAGEMENT SYSTEM IS APPROXIMATELY 2.03 ACRES AND WILL CONSIST OF APPROXIMATELY 2.36 ACRES OF DISTURBED CONSTRUCTION AREA. THEREFORE, NO ADDITIONAL SEDIMENT TRAP BASINS ARE NECESSARY TO PROVIDE SEDIMENT STORAGE ON-SITE DURING CONSTRUCTION. AS SHOWN ON THE STORMWATER POLLUTION PREVENTION PLAN (CO.21), THE PROPOSED STORMWATER MANAGEMENT SYSTEM WILL PREVENT OFF-SITE EROSION DURING CONSTRUCTION. SILT FENCES OR EQUIVALENT SEDIMENT CONTROLS SHALL BE INSTALLED AT SIDE SLOPE AND DOWN SLOPE BOUNDARIES, INLET LOCATION, OUTLET LOCATIONS, AND OTHER LOCATIONS AS SHOWN ON THE STORMWATER POLLUTION PREVENTION PLAN, AS REQUIRED. BY COMPLETION OF CONSTRUCTION, THE SIDE SLOPES, SWALES, AND ALL DISTURBED AREAS SHALL BE STABILIZED WITH GRASS AND LANDSCAPING AS SPECIFIED ON THE CONSTRUCTION DRAWINGS.

D. DRAINAGE LOCATIONS THAT SERVE AREAS WITH MORE THAN 10 DISTURBED ACRES

NOT APPLICABLE, SEE SECTION C, ABOVE.

V. STORMWATER MANAGEMENT

A. BEST MANAGEMENT PRACTICES

AFTER CONSTRUCTION, THE STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFIED STORMWATER MAINTENANCE NOTES IN THE INCLUDED CONSTRUCTION DRAWINGS AND/OR RESPECTIVE MAINTENANCE REPORTS. SPECIFICALLY, THE PROPOSED SMF(S) SHALL BE MOWED REGULARLY IN THE SPECIFIED AREAS, STORM PIPES AND STRUCTURES WILL BE INSPECTED SEMI-ANNUALLY AND CLEANED ANNUALLY, SMF(S) SIDE SLOPES SHALL BE MAINTAINED TO PREVENT EROSION, AND LANDSCAPING AND GRASS THAT PREVENTS EROSION SHALL BE MAINTAINED. ADDITIONALLY, REMEDIAL ACTIONS SHALL BE TAKEN SHOULD THE SMF(S) NOT PERFORM AS DESIGNED.

B. VEGETATED SWALES

WHEN VEGETATED SWALES ARE UTILIZED, SILT FENCING OR EQUIVALENT SEDIMENT CONTROLS SHALL BE INSTALLED AT ADEQUATE INTERVALS TO COLLECT SEDIMENT ALONG THE SWALE. THE SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES ONE-THIRD OF THE HEIGHT OF THE SILT FENCING. SEE THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) FOR DETAILS AND LOCATIONS, AS REQUIRED.

C. VELOCITY DISSIPATION DEVICES AT DISCHARGE POINTS

WHEN DISCHARGE POINTS ARE NOT LOCATED UNDER WATER, RIP RAP PADS HAVE BEEN PROVIDED AT LOCATIONS WHERE NECESSARY DUE TO ANTICIPATED DISCHARGE VELOCITIES. PLEASE SEE THE CONSTRUCTION PLANS FOR DETAILS AND LOCATIONS, AS NEEDED.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS

A. WASTE DISPOSAL

THE CONTRACTOR SHALL PROVIDE LITTER COLLECTION CONTAINERS WITHIN THE PROJECT BOUNDARIES DURING CONSTRUCTION. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIALS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.

B. DUST CONTROL

TO PREVENT OFF-SITE VEHICULAR TRACKING OF SEDIMENTS AND DUST GENERATION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE ESTABLISHED BY THE SITE CONTRACTOR. PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) FOR DETAILS AND LOCATIONS.

C. EXISTING VERSUS PROPOSED POTABLE AND SANITARY SEWER SYSTEMS

THERE ARE EXISTING SANITARY SEWER AND POTABLE WATER SYSTEMS LOCATED NEAR THE PROJECT SITE. EXTENSION AND UPGRADES ARE PROPOSED. IF TEMPORARY SANITARY SYSTEMS ARE UTILIZED DURING CONSTRUCTION, THE CONTRACTOR SHALL PROPERLY CONTROL AND DISCHARGE ANY SANITARY WASTE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

D. FERTILIZER & PESTICIDES

THE USE OF FERTILIZERS, HERBICIDES, AND PESTICIDES ON THE PROJECT SITE, WILL BE DIRECTED BY THE LANDSCAPE PLAN AND THE FDOT STANDARD SPECIFICATIONS SECTION 570, TO SUPPORT THE GROWTH OF THE PROPOSED VEGETATION. ESTABLISHING THIS VEGETATION WILL AID IN THE STABILIZATION OF THE PROJECT SITE AND REDUCE EROSION. APPLICATION RATES FOR THE FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO GUARD AGAINST OVER-USE, WHICH CAN LEAD TO VIOLATIONS OF STATE WATER QUALITY STANDARDS.

E. TOXIC MATERIAL

THE CONSTRUCTION SITE WILL BE IN FULL COMPLIANCE WITH STATE AND FEDERAL REQUIREMENTS. A PLASTIC MAT, TAR PAPER, OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED UNDER AREAS WHERE TOXIC LIQUIDS ARE TO BE OPENED AND STORED.

F. HAZARDOUS MATERIALS

ALL HAZARDOUS MATERIALS SHALL BE STORED IN A SECURE LOCATION, UNDER COVER, AND IN APPROPRIATE TIGHTLY, SEALED CONTAINERS WHEN NOT IN USE. ALL PRODUCTS SHALL BE STORED IN AND USED FROM THE ORIGINAL CONTAINER WITH THE ORIGINAL PRODUCT LABEL. CONTAINERS MUST BE STORED IN A MANNER TO PROTECT THEM FROM THE ELEMENTS AND INCIDENTAL DAMAGE. THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS SHALL BE KEPT ON THE JOB SITE AND SCHEDULED FOR DELIVERY AS CLOSE TO TIME OF USE AS PRACTICAL.

ALL PRODUCTS SHALL BE USED IN STRICT COMPLIANCE WITH THE INSTRUCTIONS ON THE PRODUCT LABEL.

SUFFICIENT EQUIPMENT AND/OR MATERIALS SHALL BE KEPT ONSITE TO CONTAIN AND CLEAN UP SPILLS OF HAZARDOUS MATERIALS IN THE AREAS WHERE THESE MATERIALS ARE STORED OR USED. SPILL CONTROL AND CONTAINMENT KIT SUPPLIES SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY GIVEN TIME.

CONTRACTOR TO CONTAIN AND CLEAN UP ANY SPILLS IMMEDIATELY AFTER THEY OCCUR. ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA, STATE, OR LOCAL AGENCY REGULATIONS SHALL BE REPORTED TO THE APPROPRIATE AGENCIES IN THE REQUIRED TIME FRAMES. THE CONTRACTOR SHALL PROVIDE A WRITTEN NOTICE TO THE OWNER IMMEDIATELY UPON IDENTIFICATION OF ANY SPILL.

ALL EXCESS, USED, OR SPILLED PRODUCTS, INCLUDING CONTAMINATED SOIL, SHALL BE DISPOSED OF BY THE CONTRACTOR IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL AND ALL APPLICABLE REGULATIONS.

VII. APPROVED STATE AND LOCAL PLANS

THE CONSTRUCTION DRAWINGS FOR THE PROJECT WERE APPROVED AND PERMITTED BY THE FOLLOWING AGENCIES:

- * TOWN OF FORT WHITE
* SUWANNEE RIVER WATER MANAGEMENT DISTRICT
* FLORIDA DEPARTMENT OF TRANSPORTATION

VIII. CONSTRUCTION ACTIVITY DISCHARGES

IN ACCORDANCE WITH THIS PLAN, THERE ARE NO ANTICIPATED DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

IX. CHANGES TO THE POLLUTION PREVENTION PLAN

THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED TO REFLECT ANY APPLICABLE CHANGE IN A STATE, REGIONAL, OR LOCAL PERMIT FOR WHICH THE PERMITTEE RECEIVES WRITTEN NOTICE. WHEN WRITTEN NOTICE IS RECEIVED, THE PERMITTEE SHALL PROVIDE A RE-CERTIFICATION OF THIS POLLUTION PREVENTION PLAN, WHICH HAS BEEN REVISED TO ADDRESS SUCH CHANGES. AMENDMENTS TO THE PLAN SHALL BE PREPARED, SIGNED, DATED, AND KEPT AS ATTACHMENTS TO THE ORIGINAL PLAN.

X. ALTERNATIVE PERMIT REQUIREMENTS

NO ALTERNATIVE PERMIT REQUIREMENTS ARE REQUESTED.

XI. MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE. IN ADDITION TO THE TIMES MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE SMF(S) DO NOT PERFORM PROPERLY OR IF A SINKHOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM SILT FENCING WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE. UPON FINAL COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY BOTH THE CITY AND OWNER, THE OPERATION AND MAINTENANCE ENTITY WILL BE "CONCEPT DEVELOPMENT, INC."

XII. INSPECTIONS

THE CONTRACTOR SHALL INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR ALL DISTURBED AREAS ON THE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER. FOR POINTS OF DISCHARGE INTO SURFACE WATERS OF THE STATE OR AN MS4, A QUALIFIED INSPECTOR (PROVIDED BY THE OPERATOR) SHALL PERFORM THE REQUIRED INSPECTIONS. THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS 0.50 INCHES OR GREATER. LOCATIONS WHERE THE SITE IS COMPLETELY CONSTRUCTED AND STABILIZED, SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE A MONTH. ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM. THE CONTRACTOR MAY USE THEIR OWN FORM (MEETING FDEP SWPPP REQUIREMENTS) OR A SIMPLE FORM FROM FDEP. A SIMPLE CONSTRUCTION FORM IS AVAILABLE AT: "HTTPS://FLORIDADEP.GOV/WATER/STORMWATER/DOCUMENTS/CONSTRUCTION-SWPPP". MORE SPECIFICALLY, THE INSPECTION SHALL ENSURE THE FOLLOWING CATEGORIES:

A. DISTURBED AREAS

ALL DISTURBED AREAS AND AREAS USED FOR MATERIAL STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.

B. MAINTENANCE PERFORMANCE

BASED ON THE RESULTS OF THE INSPECTION, ALL MAINTENANCE OPERATIONS NEEDED TO ASSURE PROPER COMPLIANCE WITH THIS PLAN SHALL BE DONE IN A TIMELY MANNER, BUT IN NO CASE LATER THAN 7 DAYS FOLLOWING THE INSPECTION.

C. REPORTING REQUIREMENTS

ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM. THIS FORM IS CREATED TO SUMMARIZE THE SCOPE OF THE INSPECTION, THE NAME(S) AND QUALIFICATION OF THE INSPECTOR(S), THE DATE OF INSPECTION, RAINFALL DATA, OBSERVATIONS, THE ACTIONS TAKEN TO CORRECT INCIDENTS OF NON-COMPLIANCE WITH THE PROVISIONS OF THIS PLAN. IF NO INCIDENTS OF NON-COMPLIANCE ARE OBSERVED, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE ASSOCIATED PERMIT.

XIII. NON-STORMWATER DISCHARGES

IN ADDITION TO STORMWATER RUNOFF, THIS PLAN APPLIES TO RUNOFF FROM IRRIGATION OPERATIONS AND CONSTRUCTION PRACTICES. THIS PLAN DOES NOT PERTAIN TO DISCHARGES FROM FIRE FIGHTING ACTIVITIES.

XIV. CONTRACTORS CERTIFICATION

THE CONTRACTORS OR SUB-CONTRACTORS SHALL PHOTOCOPY AND COMPLETE THE FORM ON THIS PAGE. IT SHALL BE PROVIDED TO THE OWNER AND KEPT ON FILE PURSUANT TO SECTION XV REGARDING PROJECT RECORDS.

XV. RETENTION OF RECORDS

THE PERMITTEE SHALL RETAIN COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED.

THE PERMITTEE SHALL RETAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REPORTS, RECORDS, AND DOCUMENTATION REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE, OR AN APPROPRIATE ALTERNATIVE LOCATION AS SPECIFIED IN THE NOTICE OF INTENT, FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

XVI. NOTICE OF TERMINATION

NOTICE OF TERMINATION:

- 1. WHERE A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES AUTHORIZED BY THIS PERMIT ARE ELIMINATED, THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION (DEP FORM 62-621.300(6)), SIGNED IN ACCORDANCE WITH PART VII.C OF DEP DOCUMENT NO. 62-621.300(4)(a), WITHIN 14 DAYS OF FINAL STABILIZATION OF THE SITE TO TERMINATE COVERAGE UNDER THIS PERMIT.
2. ELIMINATION OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY MEANS THAT ALL DISTURBED SOILS AT THE SITE HAVE BEEN FINALLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME, OR THAT ALL STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE SITE THAT ARE AUTHORIZED BY THIS GENERIC PERMIT HAVE OTHERWISE BEEN ELIMINATED.
3. FOR CONSTRUCTION ACTIVITIES WHERE THE OPERATOR CHANGES, THE EXISTING OPERATOR SHALL FILE AN N.O.T. IN ACCORDANCE WITH THIS PART WITHIN 14 DAYS OF RELINQUISHING CONTROL OF THE PROJECT TO A NEW OPERATOR.

THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE FOLLOWING ADDRESS:

NPDES STORMWATER NOTICES CENTER, MS# 2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

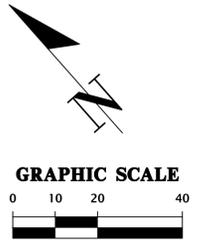
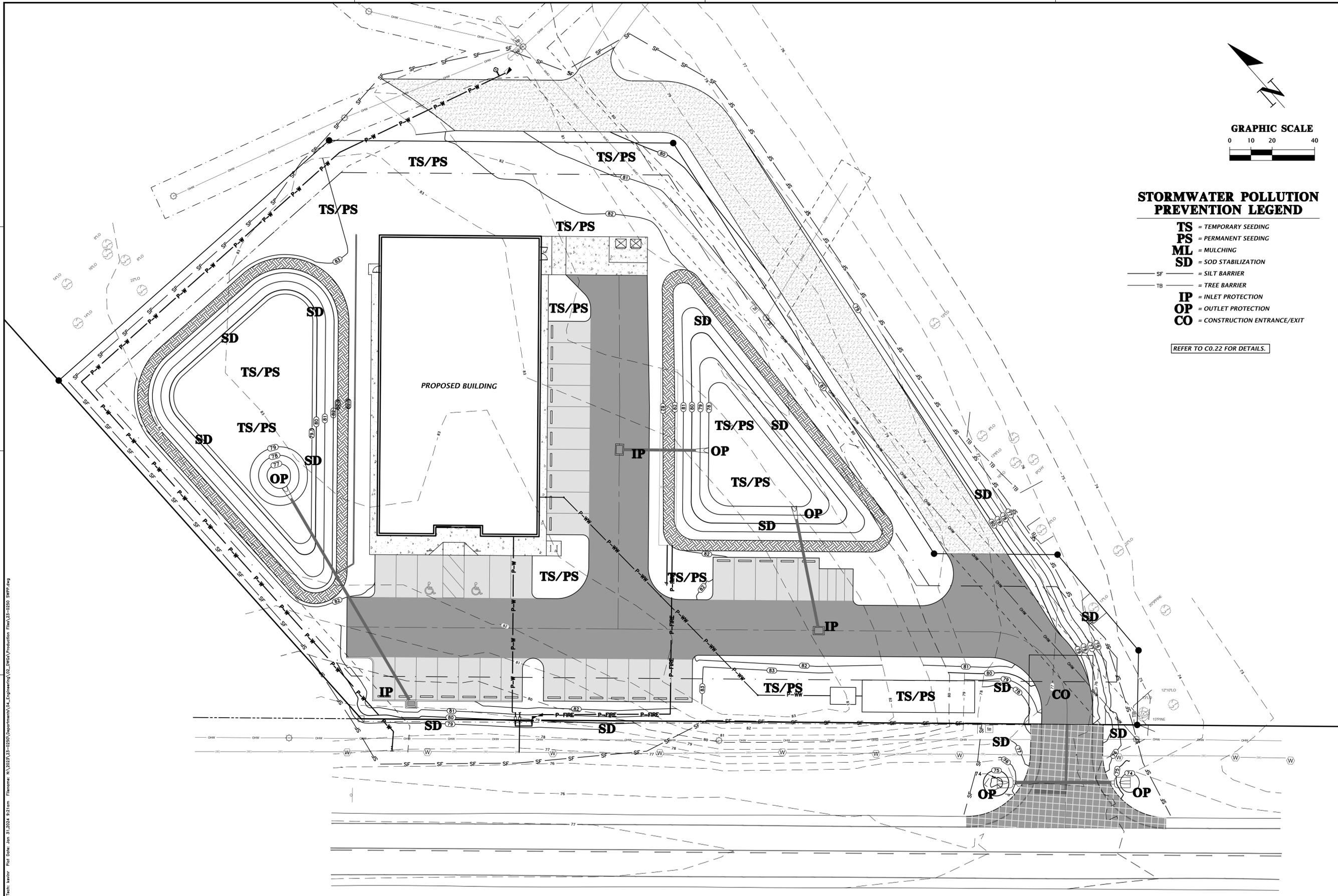
PROJECTS THAT DISCHARGED STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY TO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL SUBMIT A COPY OF THE N.O.T. TO THE OPERATOR OF THE MS4.

Contractor/Subcontractor Certification Statement
Stormwater Pollution Prevention Plan
Site Name: CRS Fort White
Site Location: 8255 US Highway 27, Fort White, Florida
THE CONTRACTOR(S) OR SUB-CONTRACTOR(S) RESPONSIBLE FOR COMPLYING WITH THIS STORMWATER POLLUTION PREVENTION PLAN SHALL SIGN THE CERTIFICATION STATEMENT BELOW. MULTIPLE COPIES OF THIS CERTIFICATION STATEMENT MAY BE NECESSARY DEPENDING ON THE NUMBER OF SUB-CONTRACTORS ASSOCIATED WITH THE PROJECT.
I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

Table with 5 columns: DATE, RESPONSIBLE INDIVIDUAL'S NAME, RESPONSIBLE INDIVIDUAL'S SIGNATURE, TITLE, COMPANY NAME, ADDRESS, AND PHONE NUMBER

File Name: N:\2023\13-0250\04\Drawings\02_DWG\Production\Plan\13-0250_C020.dwg
Title: Stormwater Pollution Prevention Plan
Date: Jan 31, 2024 8:21 am
User: mcfarlane

18001 Research Drive
Alachua, Florida 32615
(352) 351-1976
www.chiwa-inc.com
Professional Consultants
CHIWA
Professional Consultants
SCALE: N/A
VERIFY SCALE: BAR IS ONE INCH ON DRAWING. BAR IS ONE INCH ON PLOT. IF NOT ONE INCH ON PLOT, SCALE ACCORDINGLY.
SUBMITTALS: 08-24-23 FDOT ACCESS - WHITE
09-05-23 FDOT DRAINAGE
11-13-23 TOWN OF FORT WHITE, FDOT ACCESS - FOOT DRAINAGE
12-14-23 FDOT ACCESS
01-31-24 TOWN OF FORT WHITE
CLIENT: CONCEPT DEVELOPMENT, INC.
PROJECT: COMMERCIAL RETAIL STORE FORT WHITE
SHEET TITLE: STORMWATER POLLUTION PREVENTION NOTES
SHEET NUMBER: 23-0250
TECHNICAL: G. WADZINSKI
DESIGNER: N. COWAP, P.E.
QUALITY CONTROL: T. HASTAY, P.E.
FILE NO. 91233
SHEET NO. C0.20



STORMWATER POLLUTION PREVENTION LEGEND

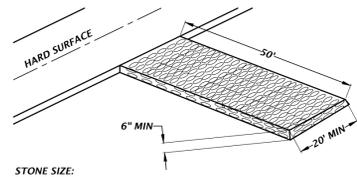
- TS** = TEMPORARY SEEDING
- PS** = PERMANENT SEEDING
- ML** = MULCHING
- SD** = SOD STABILIZATION
- SF** = SILT BARRIER
- TB** = TREE BARRIER
- IP** = INLET PROTECTION
- OP** = OUTLET PROTECTION
- CO** = CONSTRUCTION ENTRANCE/EXIT

REFER TO C0.22 FOR DETAILS.

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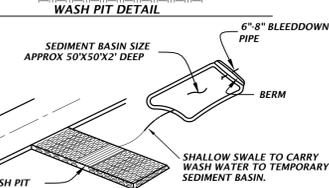
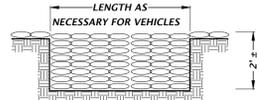
11801 Research Drive Alachua, Florida 32615 (352) 351-1976 www.chwa-inc.com est. 1988 FLORIDA CA-5075	
SCALE: 1"=20' VERIFY SCALE BAR IS ONE INCH ON DRAWING IF NOT ONE INCH ON SCALES ACCORDINGLY	
SUBMITTALS: 08-24-23 FDOT ACCESS - WHITE 09-05-23 FDOT DRAINAGE 11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE 12-14-23 FDOT ACCESS - WHITE, FDOT ACCESS 01-31-24 TOWN OF FORT WHITE	
CLIENT: CONCEPT DEVELOPMENT, INC. PROJECT: COMMERCIAL RETAIL STORE FORT WHITE SHEET TITLE: STORMWATER POLLUTION PREVENTION PLAN	
TECHNICIAN: G. WADZINSKI DESIGNER: N. COWAP, P.E. QUALITY CONTROL: T. HASTAY, P.E.	PROJECT NUMBER: 23-0250
FL PE No. 91233 C0.21	

NOTE:
 1. CONSTRUCTION EXIT INSTALLATION SHALL REMOVE MUD/SOILS FROM TIRES TO PREVENT TRACKING ONTO PUBLIC ROADS.
 2. TOP DRESSING WITH 2" STONE MAY BE REQ'D AS DETERMINED BY THE USE AND FUNCTION OF THE SYSTEM.
 3. THE WASH PIT SHOULD BE INSTALLED IF THE STANDARD CONSTRUCTION EXIT DOES NOT SUFFICIENTLY REMOVE SOILS AND WASHING IS REQ'D.



STONE SIZE:
 ASTM D448 SIZE #1 (1-1/2" TO 3-1/2" DIA)
 STANDARD CONSTRUCTION EXIT

TEMPORARY CONSTRUCTION EXIT DETAIL

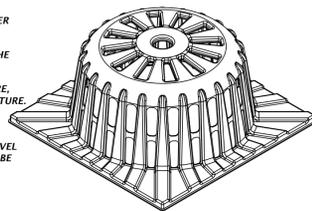


CONSTRUCTION EXIT WITH WASH PIT

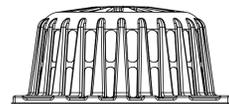
NTS

TYPICAL INSTALLATION SEQUENCE FOR SILT-SAVER FRAME AND FILTER

- EXCAVATE APPROXIMATELY 4" TO 6" BELOW THE TOP OF THE INLET STRUCTURE, ENSURING PROPER SEATING OF FRAME TO STRUCTURE.
- PLACE THE FRAME ONTO THE INLET STRUCTURE, ENSURING PROPER SEATING OF FRAME TO STRUCTURE.
- SLIDE THE FILTER OVER THE FRAME.
- FILL THE FILTER POCKETS WITH SOIL, #57 GRAVEL OR EQUIVALENT. THE FILTER POCKETS SHOULD BE COMPLETELY FILLED TO ENSURE A GOOD SEAL BETWEEN THE GROUND AND INLET STRUCTURE.
- BACK FILL AROUND THE FRAME AND FILTER ASSEMBLY IS NOT REQUIRED TO COMPLETE INSTALLATION; HOWEVER, BACK FILLING MAY BE NECESSARY TO COMPLETE EXCAVATION REQUIREMENTS FOR THE SITE.



BASE OF FRAME SHAPED & SIZED TO FIT INLET TOP

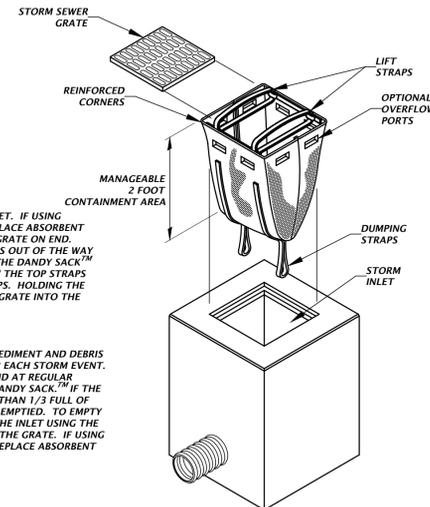


SILT-SAVER® DETAIL

NTS

INSTALLATION:
 REMOVE THE GRATE FROM INLET. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY SACK™ SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE:
 REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY SACK™. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.

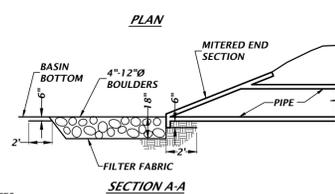
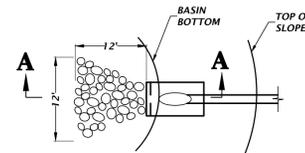


DANDY SACK™ DETAIL

NTS

INLET PROTECTION OPTIONS DETAIL

NTS

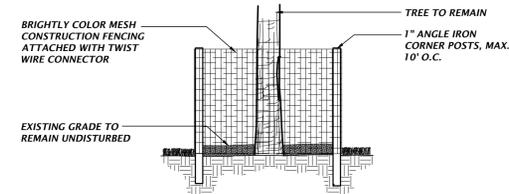


NOTES:

- ANCHOR FILTER FABRIC BY EXTENDING BEYOND RIPRAP AND BACKFILLING AS SHOWN ON DETAIL.
- RIPRAP SHALL NOT EXTEND ONTO SIDE SLOPES.
- ADJUST SHAPE OF APRON WHERE REQUIRED TO MATCH TOE OF SLOPE.
- BROKEN SLOPE IS NOT ACCEPTABLE.

RIPRAP EROSION PROTECTION

NTS

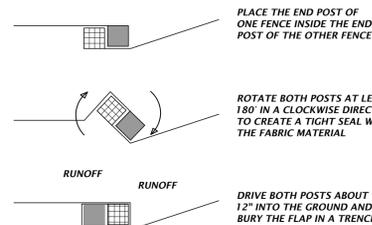


TREE PROTECTION DETAIL

NTS

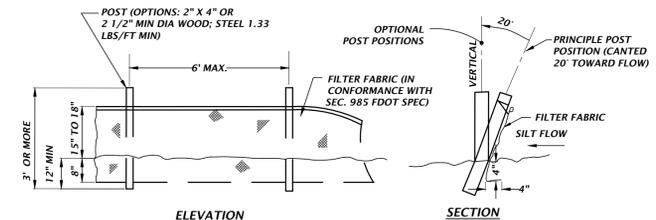
TREE PROTECTION NOTES

- PROTECTIVE BARRIERS SHALL BE CONSTRUCTED, AS NECESSARY, TO PREVENT THE DESTRUCTION OR DAMAGING OF REGULATED TREES THAT ARE LOCATED WITHIN 50 FEET OF ANY CONSTRUCTION ACTIVITY OR STORAGE OF EQUIPMENT AND MATERIALS.
- PROTECTIVE BARRIERS SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCROACHMENT BY MACHINERY, VEHICLES OR STORED MATERIALS.
- NO TRENCHING ALLOWED WITHIN THE PROTECTIVE BARRIER ZONE. HAND DIG TO INSTALL UTILITY IF APPROVED BY CITY MANAGER OR DESIGNER. WHERE ROOTS GREATER THAN ONE INCH IN DIAMETER ARE DAMAGED OR EXPOSED, THEY SHALL BE CUT CLEANLY AND RECOVERED WITH SOIL WITHIN ONE HOUR OF DAMAGE OR EXPOSURE.
- PROTECTIVE BARRIERS SHALL REMAIN IN PLACE AND INTACT UNTIL SUCH TIME AS LANDSCAPE OPERATIONS BEGIN.
- LANDSCAPE PREPARATION IN THE PROTECTED AREA SHALL BE LIMITED TO SHALLOW DISCING OF THE AREA. DISCING SHALL BE LIMITED TO A DEPTH OF 4 INCHES.
- NO BUILDING MATERIALS, MACHINERY OR HARMFUL CHEMICALS SHALL BE PLACED WITHIN PROTECTIVE BARRIERS.
- THE AMERICAN NATIONAL STANDARDS INSTITUTE A-300 PART V: MANAGEMENT OF TREES AND SHRUBS DURING SITE PLANNING, SITE DEVELOPMENT, AND SITE CONSTRUCTION OR OTHER NATIONALLY RECOGNIZED ARBORICULTURAL STANDARDS SHALL BE USED AS GUIDELINES FOR TREE PROTECTION, PLANTING, PRUNING AND CARE DURING DEVELOPMENT AND CONSTRUCTION.



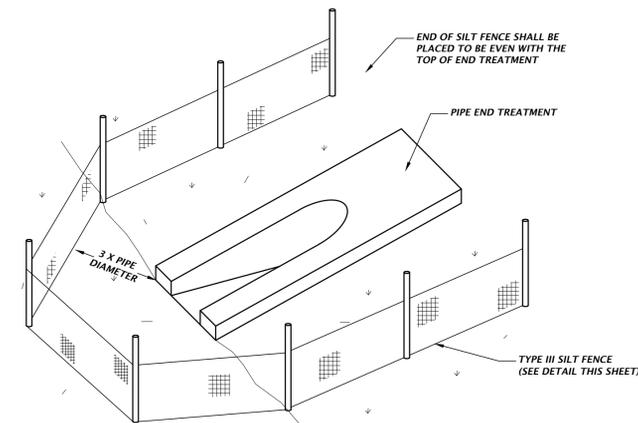
TYPE III SILT FENCE WRAPPING DETAIL

NTS



TYPE III SILT FENCE DETAIL

NTS



OUTFALL PROTECTION DETAIL

NTS

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 Alachua, Florida 32615
 (352) 351-1976
 www.chw-inc.com
 est. 1988 FLORIDA
 CA-5075

CHW
 Professional Consultants

SCALE: N/A
 VERIFY SCALE
 BAR IS ONE INCH ON
 ORIGINAL DRAWING
 IF NOT ONE INCH ON
 SCALES ACCORDINGLY.

CONSTRUCTION REVISIONS

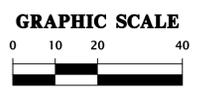
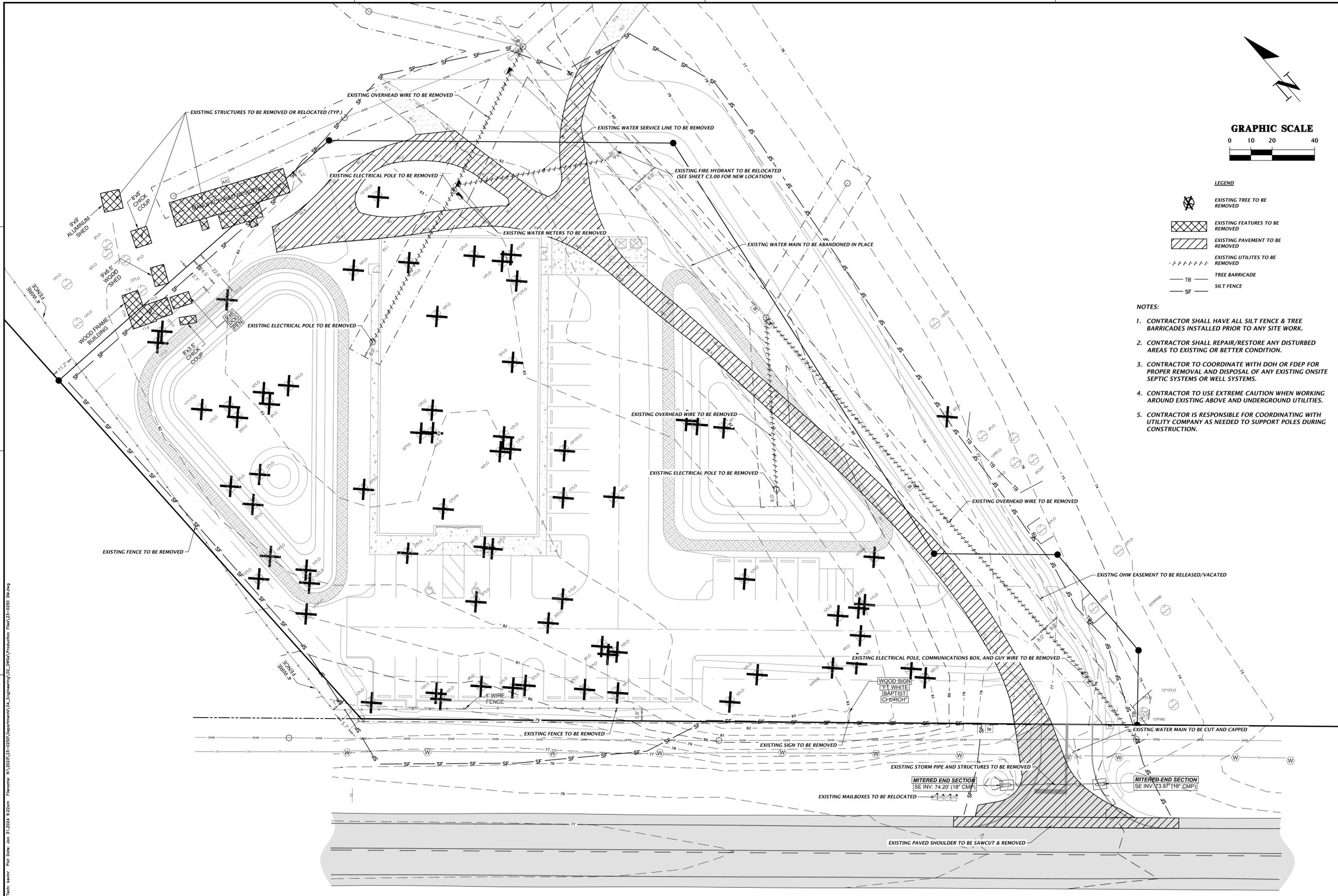
SUBMITTALS:
 08-24-23 FDOT ACCESS - WHITE
 09-05-23 FDOT DRAINAGE
 11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE
 12-14-23 FDOT ACCESS - WHITE, FDOT ACCESS
 01-31-24 TOWN OF FORT WHITE

CLIENT:
 CONCEPT DEVELOPMENT, INC.
 PROJECT:
 COMMERCIAL RETAIL STORE
 FORT WHITE
 SHEET TITLE:
 STORMWATER POLLUTION
 PREVENTION DETAILS

TECHNICIAN:
 G. WADZINSKI
 DESIGNER:
 N. COWAP, P.E.
 QUALITY CONTROL:
 T. HASTAY, P.E.
 PROJECT NUMBER:
 23-0250

FL PE No. 91233
 SHEET NO.
C0.22

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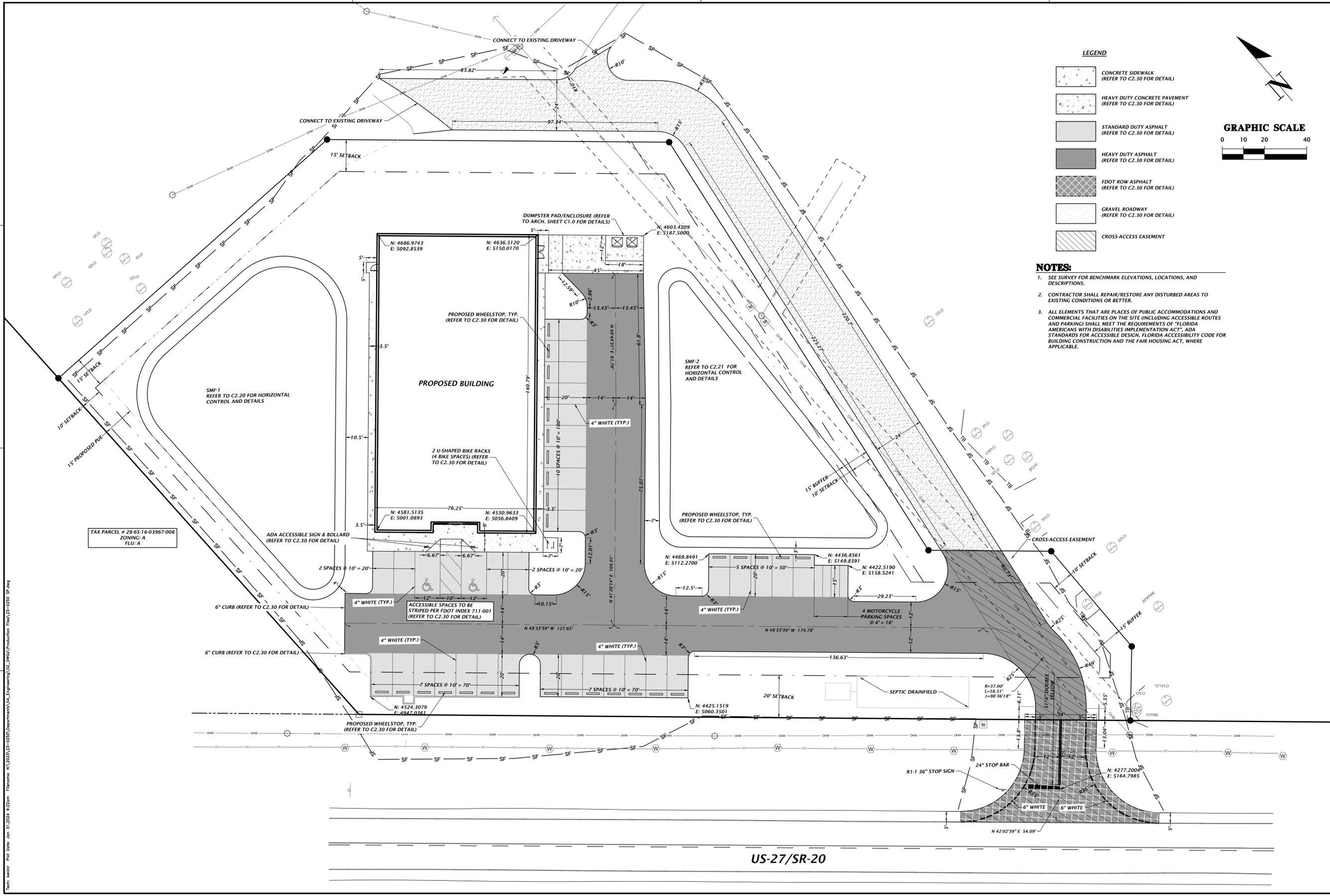
- LEGEND**
- EXISTING TREE TO BE REMOVED
 - EXISTING FEATURES TO BE REMOVED
 - EXISTING PAVEMENT TO BE REMOVED
 - EXISTING UTILITIES TO BE REMOVED
 - TREE BARRICADE
 - SILT FENCE

- NOTES:**
1. CONTRACTOR SHALL HAVE ALL SILT FENCE & TREE BARRICADES INSTALLED PRIOR TO ANY SITE WORK.
 2. CONTRACTOR SHALL REPAIR/RESTORE ANY DISTURBED AREAS TO EXISTING OR BETTER CONDITION.
 3. CONTRACTOR TO COORDINATE WITH DOH OR FDEP FOR PROPER REMOVAL AND DISPOSAL OF ANY EXISTING ONSITE SEPTIC SYSTEMS OR WELL SYSTEMS.
 4. CONTRACTOR TO USE EXTREME CAUTION WHEN WORKING AROUND EXISTING ABOVE AND UNDERGROUND UTILITIES.
 5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY COMPANY AS NEEDED TO SUPPORT POLES DURING CONSTRUCTION.



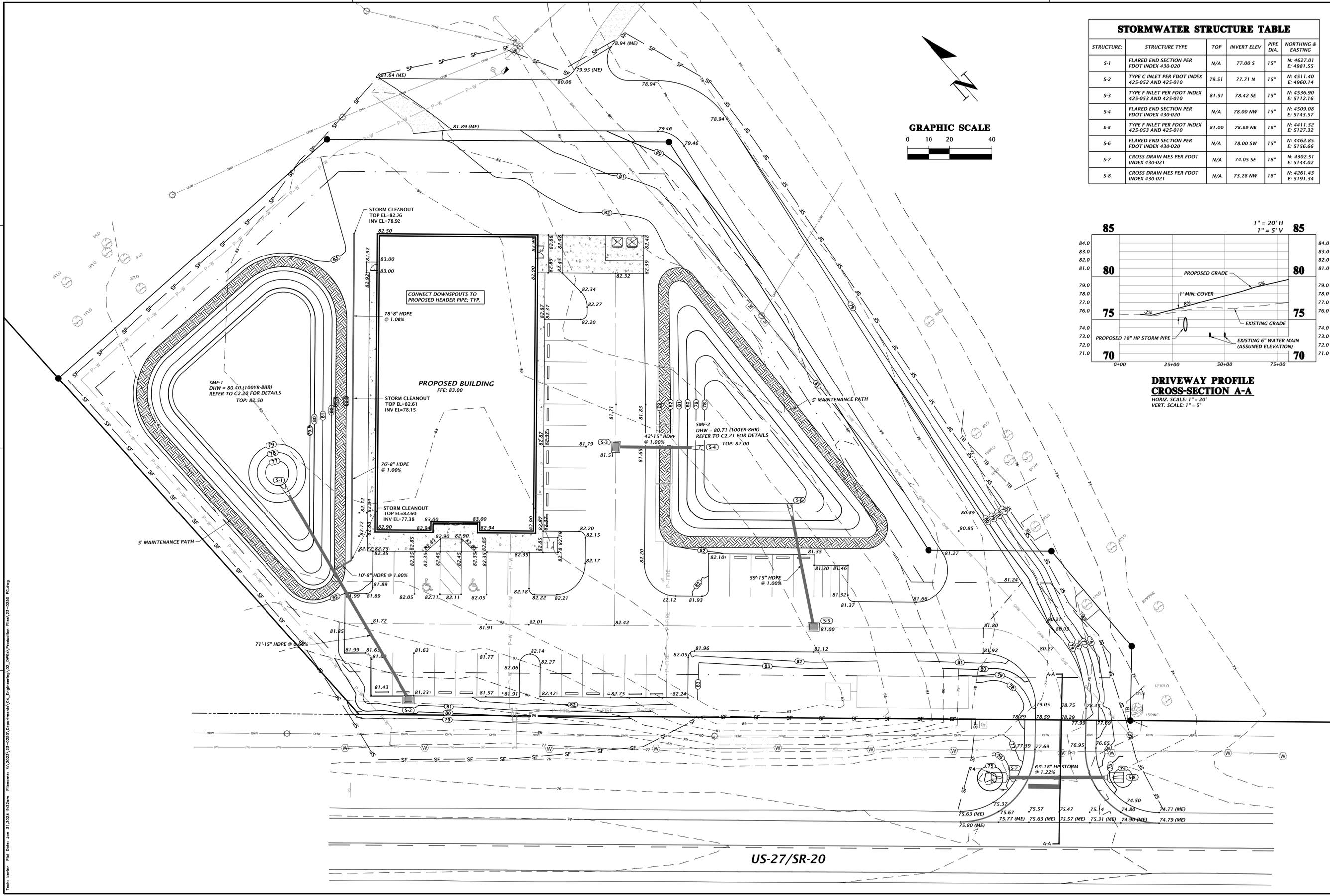
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	<p>11801 Research Drive Alachua, Florida 32615 (352) 351-1976 www.chwa-inc.com est. 1988 FLORIDA CA-5075</p>
<p>1"=20'</p> <p>VERIFY SCALE BAR IS ONE INCH ON DRAWING IF NOT ONE INCH ON SCALES ACCORDINGLY.</p>	
<p>CONSTRUCTION DIVISION</p>	
<p>CLIENT: CONCEPT DEVELOPMENT, INC.</p> <p>PROJECT: COMMERCIAL RETAIL STORE FORT WHITE</p> <p>SHEET TITLE: DEMOLITION PLAN</p>	
<p>TECHNICIAN: G. WADZINSKI</p> <p>DESIGNER: N. COWAP, P.E.</p> <p>QUALITY CONTROL: T. HASTAY, P.E.</p> <p>PROJECT NUMBER: 23-0250</p>	
<p>FL PE No. 91233</p> <p>SHEET NO. C0.30</p>	

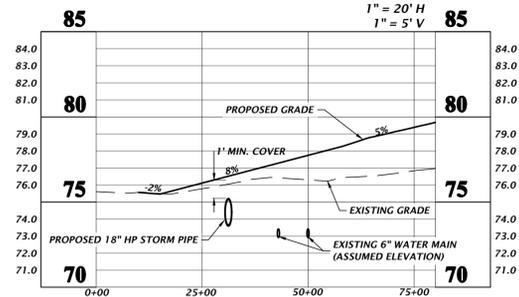
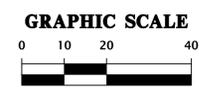


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<p>11801 Research Drive Alachua, Florida 32615 (352) 351-1976 www.chw-inc.com est. 1988 FLORIDA CA-5075</p>	<p>CHW Professional Consultants</p>	<p>1"=20' VERIFY SCALE BAR IS ONE INCH ON DRAWING, BAR IS ONE INCH ON SCALES ACCORDINGLY.</p>	<p>CONSTRUCTION DIVISION</p> <p>08-24-23 FDOT ACCESSIBLE ROUTES - WHITE 09-05-23 FDOT DRAINAGE 11-13-23 TOWN OF FORT WHITE, FDOT ACCESS - FDOT DRAINAGE 12-14-23 FDOT ACCESSIBLE ROUTES - WHITE, FDOT ACCESS 01-31-24 TOWN OF FORT WHITE</p> <p>CLIENT: CONCEPT DEVELOPMENT, INC. PROJECT: COMMERCIAL RETAIL STORE FOR FORT WHITE SHEET TITLE: HORIZONTAL CONTROL AND SITE PLAN</p> <p>TECHNICIAN: G. WADZINSKI DESIGNER: N. COWAP, P.E. QUALITY CONTROL: T. HASTAY, P.E. PROJECT NUMBER: 23-0250</p> <p>FL PE No. 91233 SHEET NO. C1.00</p>
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STORMWATER STRUCTURE TABLE					
STRUCTURE	STRUCTURE TYPE	TOP	INVERT ELEV	PIPE DIA.	NORTHING & EASTING
S-1	FLARED END SECTION PER FDOT INDEX 430-020	N/A	77.00 S	15"	N: 4627.01 E: 4981.55
S-2	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	79.51	77.71 N	15"	N: 4511.40 E: 4960.14
S-3	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	81.51	78.42 SE	15"	N: 4536.90 E: 5112.16
S-4	FLARED END SECTION PER FDOT INDEX 430-020	N/A	78.00 NW	15"	N: 4509.08 E: 5143.57
S-5	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	81.00	78.59 NE	15"	N: 4411.32 E: 5127.32
S-6	FLARED END SECTION PER FDOT INDEX 430-020	N/A	78.00 SW	15"	N: 4462.85 E: 5156.66
S-7	CROSS DRAIN MES PER FDOT INDEX 430-021	N/A	74.05 SE	18"	N: 4302.51 E: 5144.02
S-8	CROSS DRAIN MES PER FDOT INDEX 430-021	N/A	73.28 NW	18"	N: 4261.43 E: 5191.34



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 Alachua, Florida 32615
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 CA-5075

CH2M HILL

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1" = 20'
 VERIFY SCALE
 BAR IS ONE INCH ON
 ORIGINAL DRAWING
 IF NOT ONE INCH ON
 SCALES ACCORDINGLY

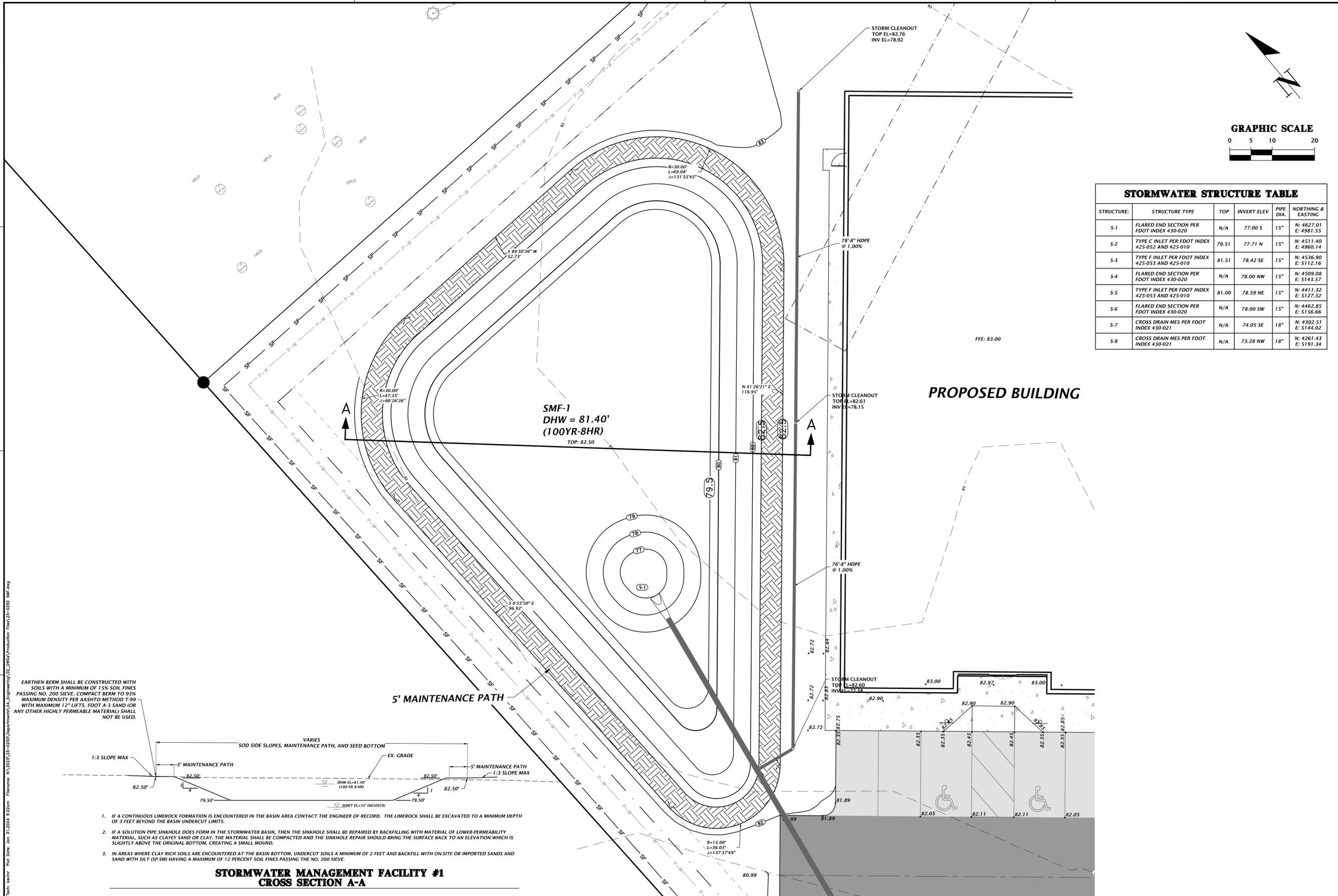
SUBMITTALS:
 08-24-23 FDOT ACCESS - WHITE
 09-05-23 FDOT DRAINAGE
 11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE
 12-14-23 FDOT ACCESS, FDOT DRAINAGE
 01-31-24 TOWN OF FORT WHITE

CLIENT:
 CONCEPT DEVELOPMENT, INC.
 PROJECT:
 COMMERCIAL RETAIL STORE
 FORT WHITE
 SHEET TITLE:
 GRADING AND DRAINAGE PLAN
 PROJECT NUMBER:
 23-0250

DESIGNER:
 N. COWAP, P.E.
 QUALITY CONTROL:
 T. HASTAY, P.E.
 PROJECT NUMBER:
 23-0250

FL PE No. 91233
C2.00

Title: Motor Plot Date: Jan 31, 2024 9:22am Filename: N:\2023\23-0250\Drawings\04_Engineering\02_DWG\Production\Plan\23-0250_P2.dwg



STORMWATER STRUCTURE TABLE

STRUCTURE:	STRUCTURE TYPE	TOP	INVERT ELEV	PIPE DIA.	NORTHING & EASTING
S-1	FLARED END SECTION PER FDOT INDEX 430-020	N/A	77.00 S	15"	N: 4527.01 E: 4981.55
S-2	TYPE C INLET PER FDOT INDEX 425-032 AND 425-010	79.51	77.71 N	15"	N: 4511.40 E: 4960.14
S-3	TYPE F INLET PER FDOT INDEX 425-033 AND 425-010	81.51	78.42 SE	15"	N: 4536.90 E: 5112.16
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S-8	CROSS DRAIN MES PER FDOT INDEX 430-021	N/A	73.28 NW	18"	N: 4261.43 E: 5191.34

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Alachua, Florida 32615
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www.ch2m-hill.com
est. 1988 FLORIDA
CA-5075

CH2M HILL
Professional Consultants

SCALE: 1"=10'
VERIFY SCALE
BASE IS ONE INCH ON
DRAWING BOARD.
IF NOT ONE INCH ON
SHEETS ACCORDINGLY.

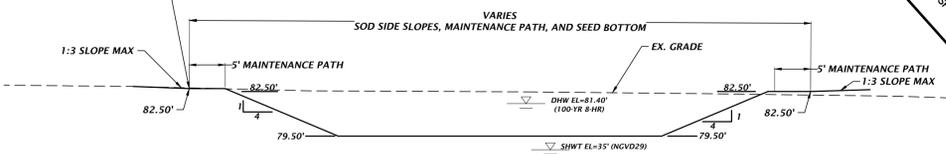
CONSTRUCTION NOTES:
08-24-23 FDOT ACCESS - WHITE
09-05-23 FDOT DRAINAGE
11-11-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE
12-14-23 FDOT ACCESS - WHITE, FDOT ACCESS
01-31-24 TOWN OF FORT WHITE

CLIENT: CONCEPT DEVELOPMENT, INC.
PROJECT: COMMERCIAL RETAIL STORE
FOR FORT WHITE
SHEET TITLE: STORMWATER MANAGEMENT
FACILITY PLAN AND DETAILS
PROJECT NUMBER: 23-0250

TECHNICIAN: G. WADZINSKI
DESIGNER: N. COWAP, P.E.
QUALITY CONTROL: T. HASTAY, P.E.
PROJECT NUMBER: 23-0250

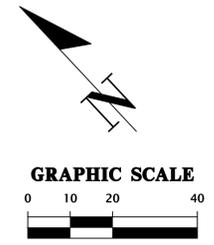
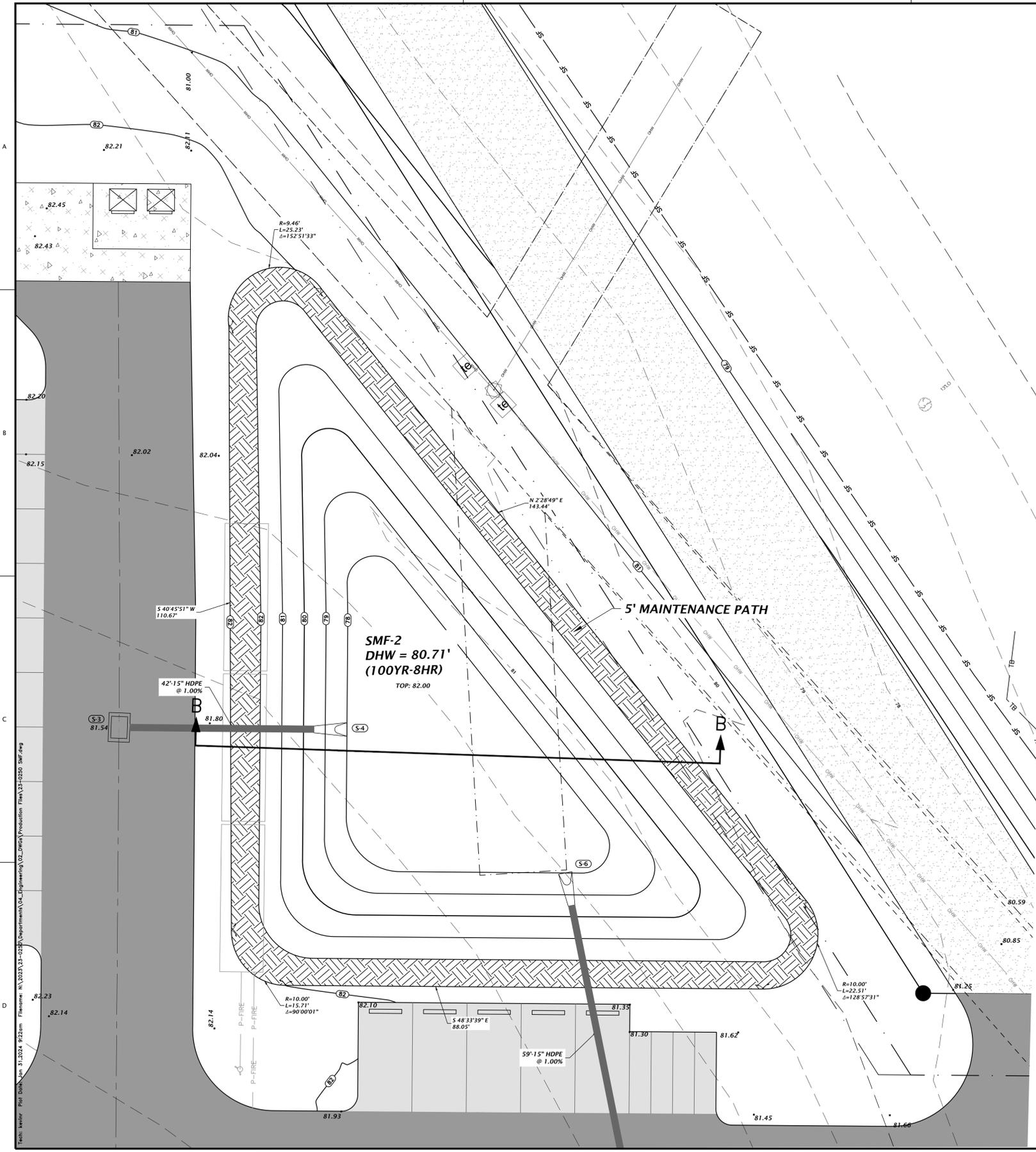
FL PE No. 91233
SHEET NO.: **C2.20**

EARTHEN BERM SHALL BE CONSTRUCTED WITH SOILS WITH A MINIMUM OF 15% SOIL FINES PASSING NO. 200 SIEVE. COMPACT BERM TO 95% MAXIMUM DENSITY PER AASHTO METHOD T-99 WITH MAXIMUM 12" LIFTS. FDOT A-3 SAND (OR ANY OTHER HIGHLY PERMEABLE MATERIAL) SHALL NOT BE USED.



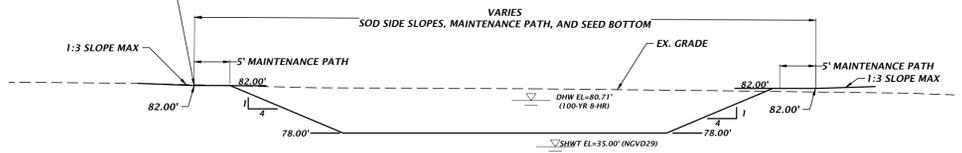
- IF A CONTINUOUS LIMEROCK FORMATION IS ENCOUNTERED IN THE BASIN AREA CONTACT THE ENGINEER OF RECORD. THE LIMEROCK SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 3 FEET BEYOND THE BASIN UNDERCUT LIMITS.
- IF A SOLUTION PIPE SINKHOLE DOES FORM IN THE STORMWATER BASIN, THEN THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH MATERIAL OF LOWER PERMEABILITY MATERIAL, SUCH AS CLAYEY SAND OR CLAY. THE MATERIAL SHALL BE COMPACTED AND THE SINKHOLE REPAIR SHOULD BRING THE SURFACE BACK TO AN ELEVATION WHICH IS SLIGHTLY ABOVE THE ORIGINAL BOTTOM, CREATING A SMALL MOUND.
- IN AREAS WHERE CLAY RICH SOILS ARE ENCOUNTERED AT THE BASIN BOTTOM, UNDERCUT SOILS A MINIMUM OF 2 FEET AND BACKFILL WITH ON-SITE OR IMPORTED SANDS AND SAND WITH SILT (SP-SM) HAVING A MAXIMUM OF 12 PERCENT SOIL FINES PASSING THE NO. 200 SIEVE.

**STORMWATER MANAGEMENT FACILITY #1
CROSS SECTION A-A**



STORMWATER STRUCTURE TABLE					
STRUCTURE	STRUCTURE TYPE	TOP	INVERT ELEV	PIPE DIA.	NORTHING & EASTING
S-1	FLARED END SECTION PER FDOT INDEX 430-020	N/A	77.00 S	15"	N: 4627.01 E: 4981.55
S-2	TYPE C INLET PER FDOT INDEX 425-052 AND 425-010	79.51	77.71 N	15"	N: 4511.40 E: 4960.14
S-3	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	81.51	78.42 SE	15"	N: 4536.90 E: 5112.16
S-4	FLARED END SECTION PER FDOT INDEX 430-020	N/A	78.00 NW	15"	N: 4509.08 E: 5143.57
S-5	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	81.00	78.59 NE	15"	N: 4411.32 E: 5127.32
S-6	FLARED END SECTION PER FDOT INDEX 430-020	N/A	78.00 SW	15"	N: 4462.85 E: 5156.66
S-7	CROSS DRAIN MES PER FDOT INDEX 430-021	N/A	74.05 SE	18"	N: 4302.51 E: 5144.02
S-8	CROSS DRAIN MES PER FDOT INDEX 430-021	N/A	73.28 NW	18"	N: 4261.43 E: 5191.34

EARTHEN BERM SHALL BE CONSTRUCTED WITH SOILS WITH A MINIMUM OF 15% SOIL FINES PASSING NO. 200 SIEVE. COMPACT BERM TO 95% MAXIMUM DENSITY PER AASHTO METHOD T-99 WITH MAXIMUM 12" LIFTS. FDOT A-3 SAND (OR ANY OTHER HIGHLY PERMEABLE MATERIAL) SHALL NOT BE USED.



- IF A CONTINUOUS LIMESTONE FORMATION IS ENCOUNTERED IN THE BASIN AREA CONTACT THE ENGINEER OF RECORD. THE LIMESTONE SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 3 FEET BEYOND THE BASIN UNDERCUT LIMITS.
- IF A SOLUTION PIPE SINKHOLE DOES FORM IN THE STORMWATER BASIN, THEN THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH MATERIAL OF LOWER PERMEABILITY MATERIAL, SUCH AS CLAYEY SAND OR CLAY. THE MATERIAL SHALL BE COMPACTED AND THE SINKHOLE REPAIR SHOULD BRING THE SURFACE BACK TO AN ELEVATION WHICH IS SLIGHTLY ABOVE THE ORIGINAL BOTTOM, CREATING A SMALL MOUND.
- IN AREAS WHERE CLAY RICH SOILS ARE ENCOUNTERED AT THE BASIN BOTTOM, UNDERCUT SOILS A MINIMUM OF 2 FEET AND BACKFILL WITH ON-SITE OR IMPORTED SANDS AND SAND WITH SILT (SP-SM) HAVING A MAXIMUM OF 12 PERCENT SOIL FINES PASSING THE NO. 200 SIEVE.

**STORMWATER MANAGEMENT FACILITY #2
CROSS SECTION B-B**

CHWA
Professional Consultants
11801 Research Drive
Alachua, Florida 32615
(352) 351-1976
www.chwa-inc.com
est. 1988 FLORIDA CA-5075

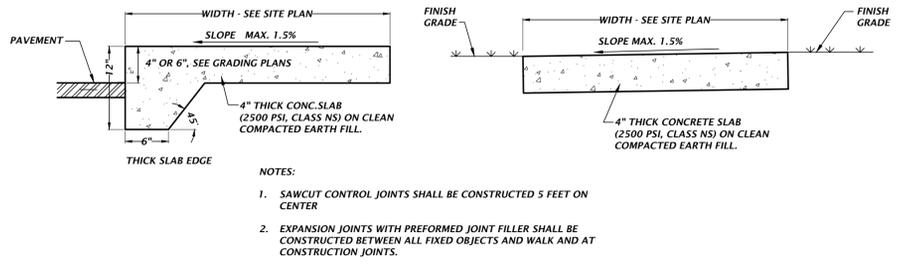
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CONSTRUCTION DIVISIONS

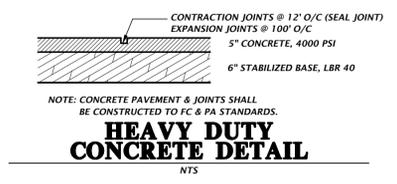
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PROJECT: COMMERCIAL RETAIL STORE FOR WHITE
SHEET TITLE: STORMWATER MANAGEMENT FACILITY PLAN AND DETAILS
PROJECT NUMBER: 23-0250

TECHNICAL: G. WADZINSKI
DESIGNER: N. COWAP, P.E.
QUALITY CONTROL: T. HASTAY, P.E.
NICOLA R. COWAP

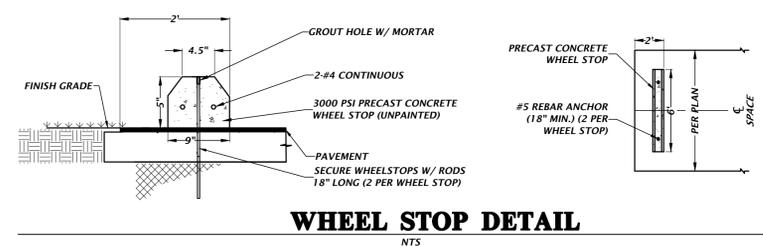
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C2.21



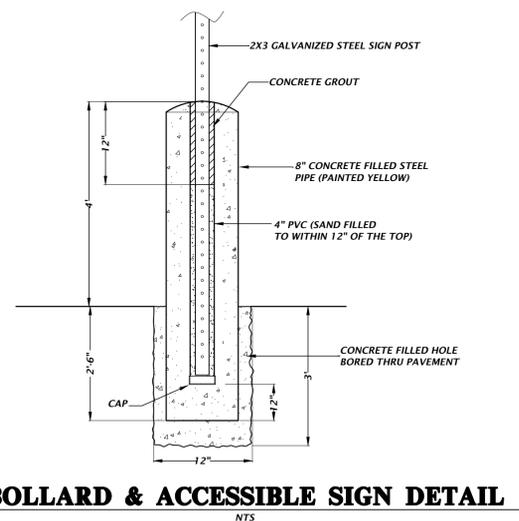
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NOT ADJACENT TO PAVEMENT NTS
CONCRETE SIDEWALK DETAILS



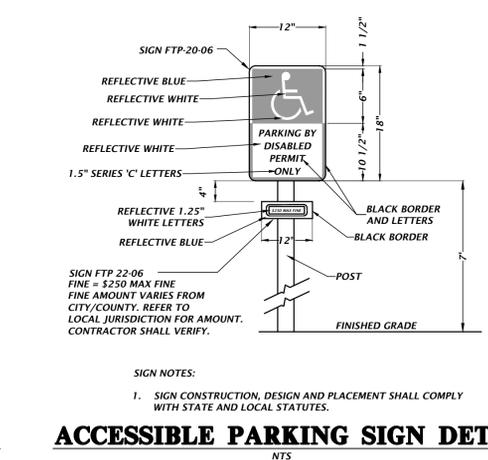
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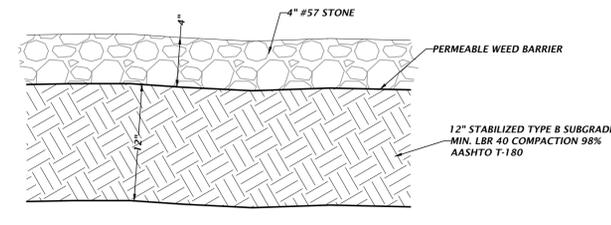
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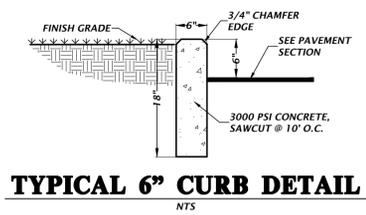
BOLLARD & ACCESSIBLE SIGN DETAIL NTS



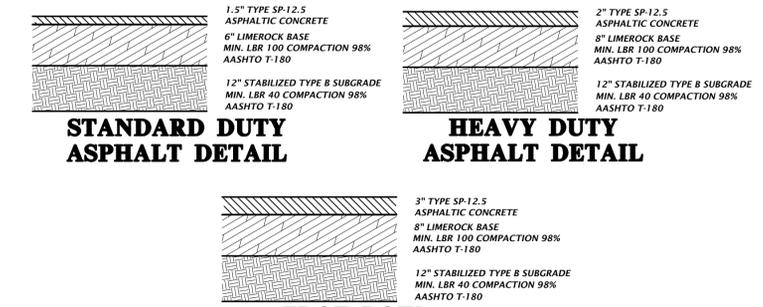
ACCESSIBLE PARKING SIGN DETAIL NTS



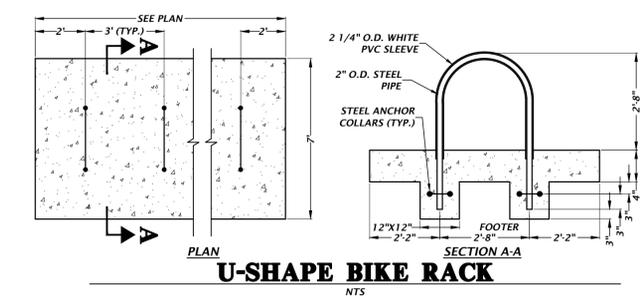
GRAVEL ROADWAY DETAIL NTS



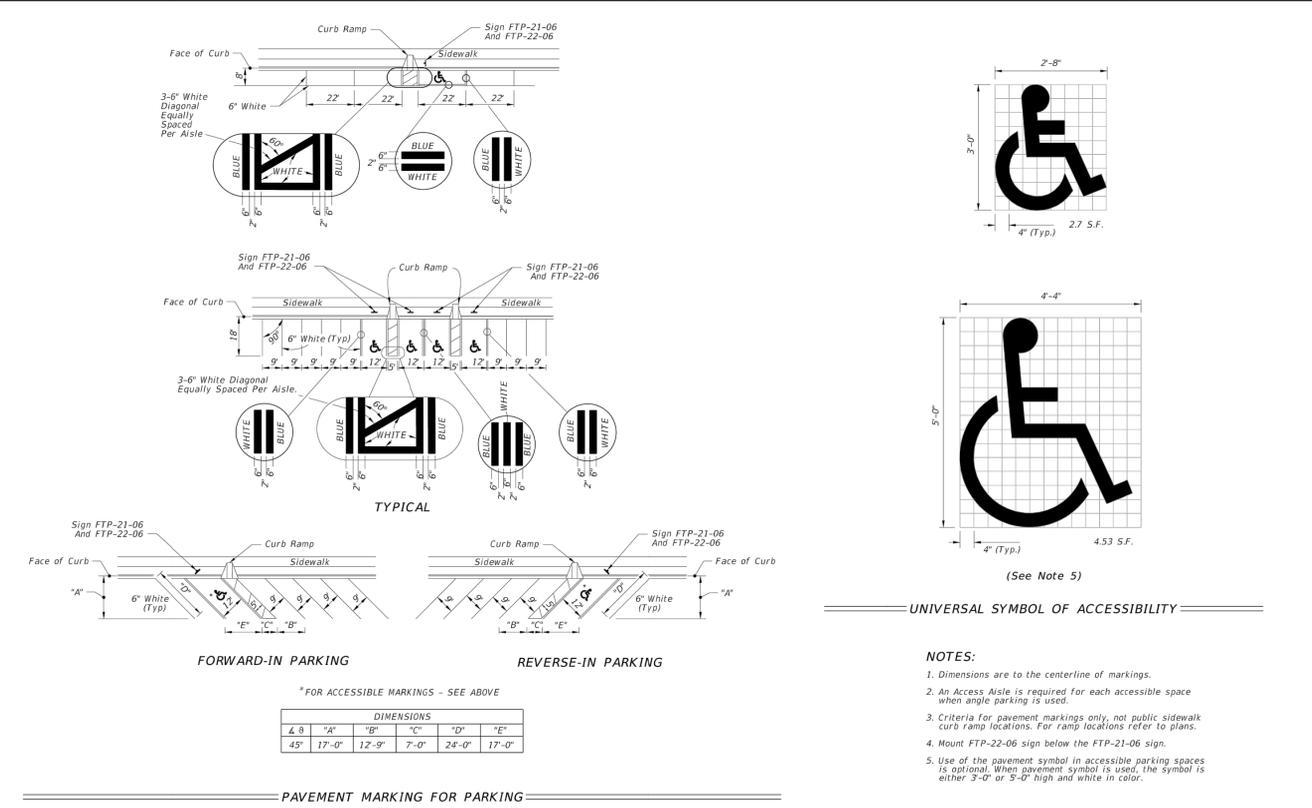
TYPICAL 6" CURB DETAIL NTS



STANDARD DUTY ASPHALT DETAIL
HEAVY DUTY ASPHALT DETAIL
FDOT ROW ASPHALT DETAIL
ASPHALT PAVEMENT DETAILS NTS



U-SHAPE BIKE RACK NTS



UNIVERSAL SYMBOL OF ACCESSIBILITY
PAVEMENT MARKING FOR PARKING
NOTES:
 1. Dimensions are to the centerline of markings.
 2. An Access Aisle is required for each accessible space when angle parking is used.
 3. Criteria for pavement markings only, not public sidewalk curb ramp locations. For ramp locations refer to plans.
 4. Mount FTP-22-06 sign below the FTP-21-06 sign.
 5. Use of the pavement symbol in accessible parking spaces is optional. When pavement symbol is used, the symbol is either 3'-0" or 5'-0" high and white in color.

LAST REVISION 11/01/21	DESCRIPTION: REVISION	FDOT FY 2023-24 STANDARD PLANS	INDEX 711-001	SHEET 11 of 13
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 16/07/2022 2:50:31 PM

11801 Research Drive
 Alachua, Florida 32615
 (352) 351-1976
 www.ch2m-hill.com
 est. 1988 FLORIDA
 CA-5075

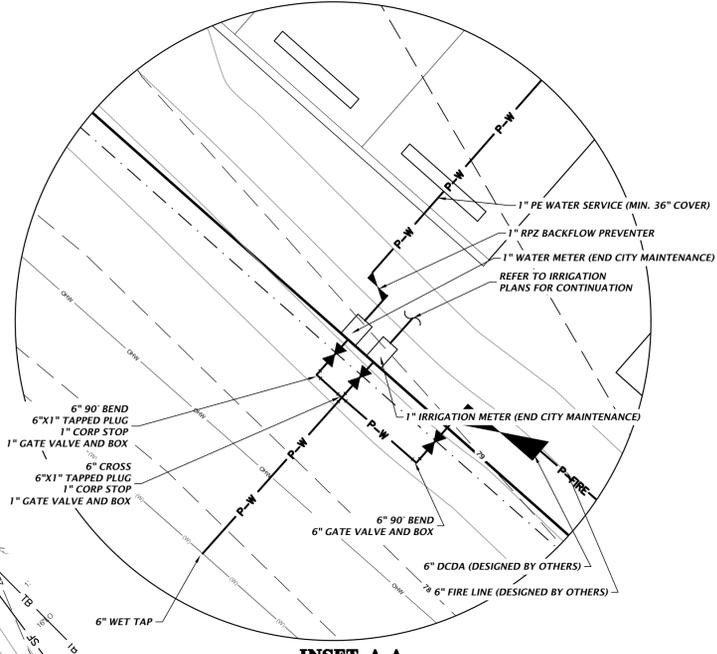
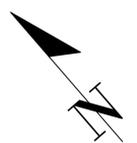
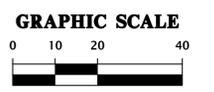
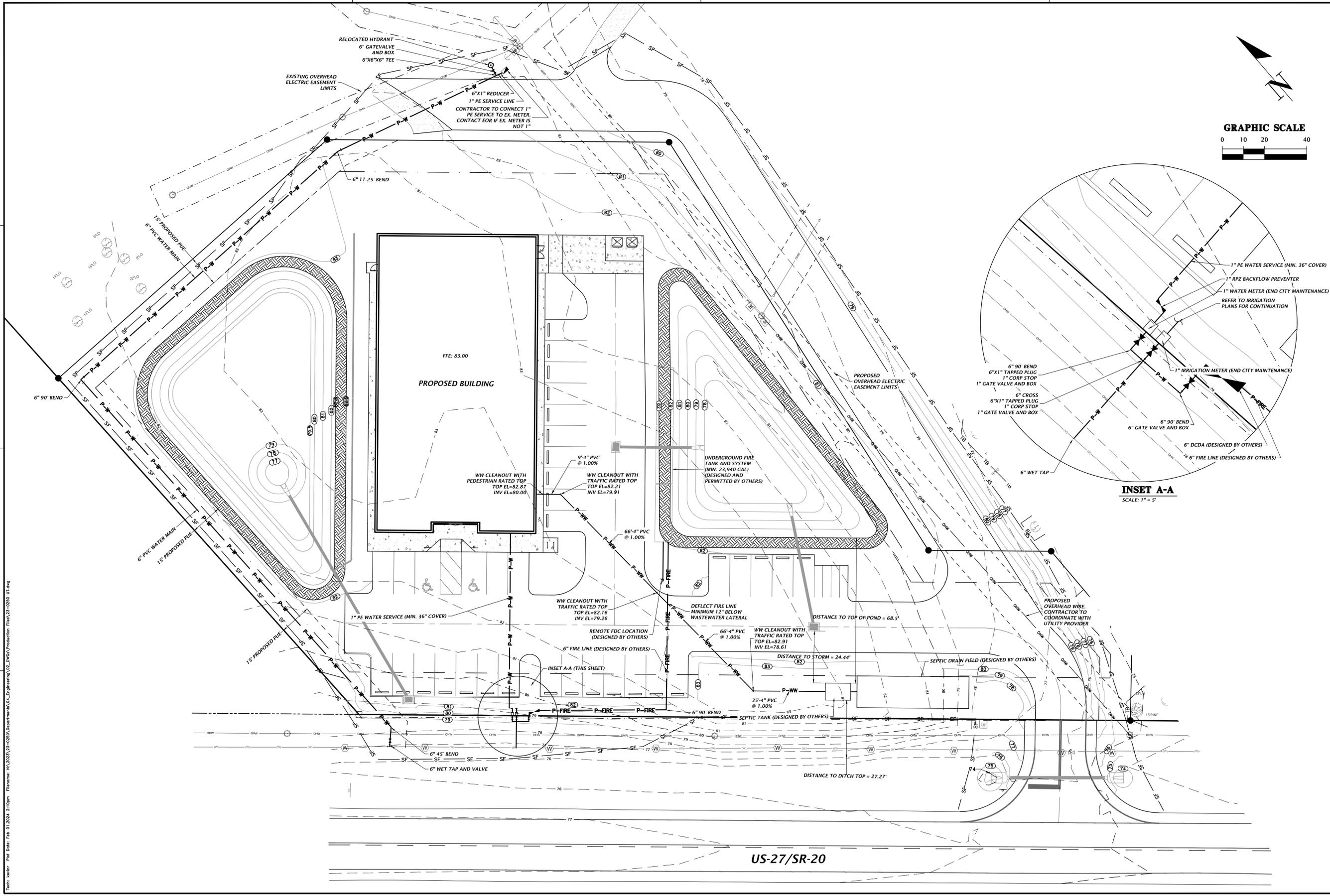
CH2M HILL
 Professional Consultants

SCALE: N/A
 VERIFY SCALE
 BAR IS ONE INCH ON
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 IF NOT ONE INCH ON
 1" SCALES ACCORDINGLY.

SUBMITTALS:
 08-24-23 FDOT ACCESS - WHITE
 09-05-23 FDOT DRAINAGE
 11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE
 12-14-23 FDOT ACCESS - WHITE, FDOT ACCESS
 01-31-24 TOWN OF FORT WHITE

CLIENT: CONCEPT DEVELOPMENT, INC.
 PROJECT: COMMERCIAL RETAIL STORE
 FOR WHITE
 SHEET TITLE: CONSTRUCTION DETAILS
 PROJECT NUMBER: 23-0250

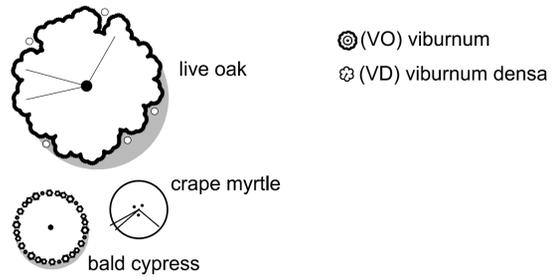
DESIGNER: G. WADZINSKI
 N. COWAP, P.E.
 QUALITY CONTROL: T. HASTAY, P.E.
 NICOLA R. COWAP
 FL PE No. 91233
C2.30



11801 Research Drive Alachua, Florida 32615 (352) 351-1976 www.chw-inc.com est. 1988 FLORIDA CA-5075	
 Professional Consultants	
SCALE: 1"=20' VERIFY SCALE BAR IS ONE INCH ON DRAWING IF NOT ONE INCH ON SCALES ACCORDINGLY	CONSTRUCTION DIVISIONS
SUBMITTALS: 08-24-23 FDOT ACCESS - WHITE 09-05-23 FDOT DRAINAGE 11-13-23 TOWN OF FORT WHITE, FDOT ACCESS, FDOT DRAINAGE 12-14-23 FDOT ACCESS, WHITE, FDOT ACCESS 01-31-24 TOWN OF FORT WHITE	CLIENT: CONCEPT DEVELOPMENT, INC. PROJECT: COMMERCIAL RETAIL STORE FORT WHITE SHEET TITLE: UTILITY PLAN
TECHNICAL: G. WADZINSKI DESIGNER: N. COWAP, P.E. QUALITY CONTROL: T. HASTAY, P.E. PROJECT NUMBER: 23-0250	SHEET NO.: C3.00 FL PE No. 91233

Title: Utility Plan Date: Feb 01, 2024 2:10pm Filename: N:\2023\23-0250\Drawings\02_DWG\Production\Flw\23-0250_UF.dwg

Tree/shrub Identification Key



General Notes

- Contractor shall provide proposed soil amendment quantities on bid form to ensure healthy vigorous growth of plant material, lateral movement of irrigation water within soil, & soil nutrient holding capacity.
- Any vegetation planted adjacent to a parking stall where it may interfere with a vehicles door opening shall be offset 2' from back of curb. Trim plant material as needed to keep a 6" clearance from back of curb in these areas.
- ALL mulched areas adjacent to edge of curb, pavement, shall be composed of a compressed 3" thick layer of mulch. Top of mulch shall be 1/2" below edge of adjacent surface so mulch has a containment edge.
- ALL proposed sod areas adjacent to edge of curb/pavement shall be excavated so the sod does not impede water runoff into the pervious areas.
- All revisions shall be submitted to Columbia County for review and approval prior to installation.

Trees

Quantity	Abbr.	Botanical Name /	Size / Caliper	Spacing	Comments
5		<i>Quercus virginiana</i> live oak	4'HT	per plan	
2		<i>Taxodium distichum</i> bald cypress	4'HT	per plan	
6	see tree id key	<i>Lagerstroemia indica</i> 'Natchez' crape myrtle	4'HT	per plan	

Shrubs

142	VO	<i>Viburnum odoratissimum</i> sweet viburnum	4"ht. X 4"spr.	6'o.c.	
115	VD	<i>Viburnum suspensum</i> sandankwa viburnum	18"ht.	3'o.c.	

Groundcovers

1,266SF x 3" thick		<i>Pine Bark Nuggets</i> 3" layer
9,100SF		<i>Paspalum notatum</i> 'Argentine' bahia grass 4:1 or greater
39,813SF		<i>Paspalum notatum</i> 'Argentine' bahia grass seed on basin bottom covered in pinestraw



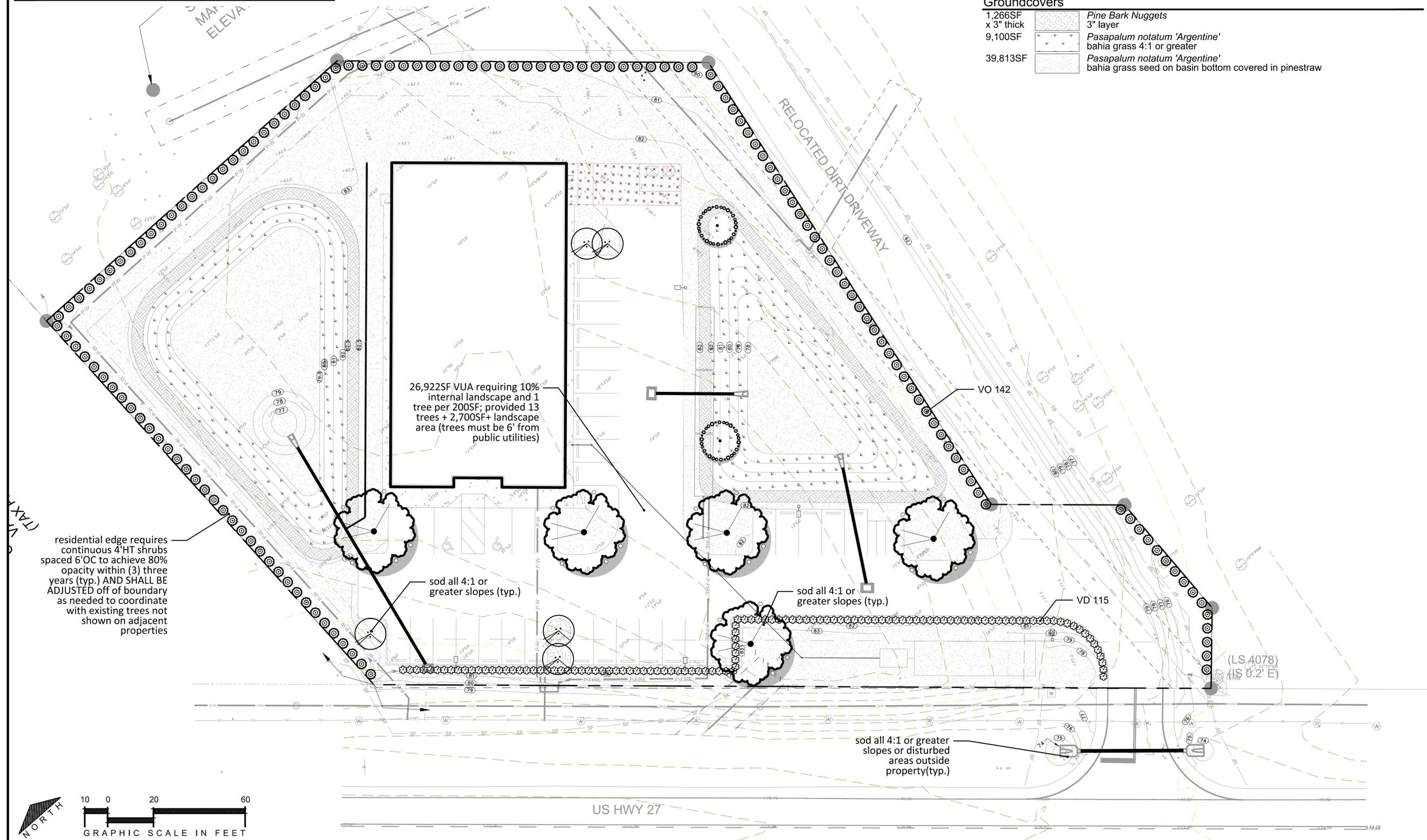
REVISIONS:

LANDSCAPE PLAN

COMMERCIAL RETAIL STORE - FORT WHITE
PREPARED FOR
CONCEPT COMPANIES

BDI NO. 23310
DRAWN BY: BDB
DESIGNED BY: BDB
CHECKED BY: BDB
DATE: 1/30/2024

PLANS PREPARED BY
BRIAN DAVID BORTON FL.
NO. LA667028





REVISIONS:

IRRIGATION PLAN
COMMERCIAL RETAIL STORE - FORT WHITE
PREPARED FOR
CONCEPT COMPANIES

BDI NO. 23310
DRAWN BY: BDB
DESIGNED BY: BDB
CHECKED BY: BDB
DATE: 1/30/2024

PLANS PREPARED BY
BRIAN DAVID BORTON FL.
NO. LA667028

LS-02

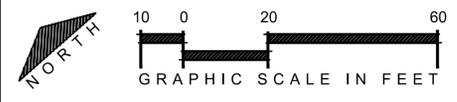
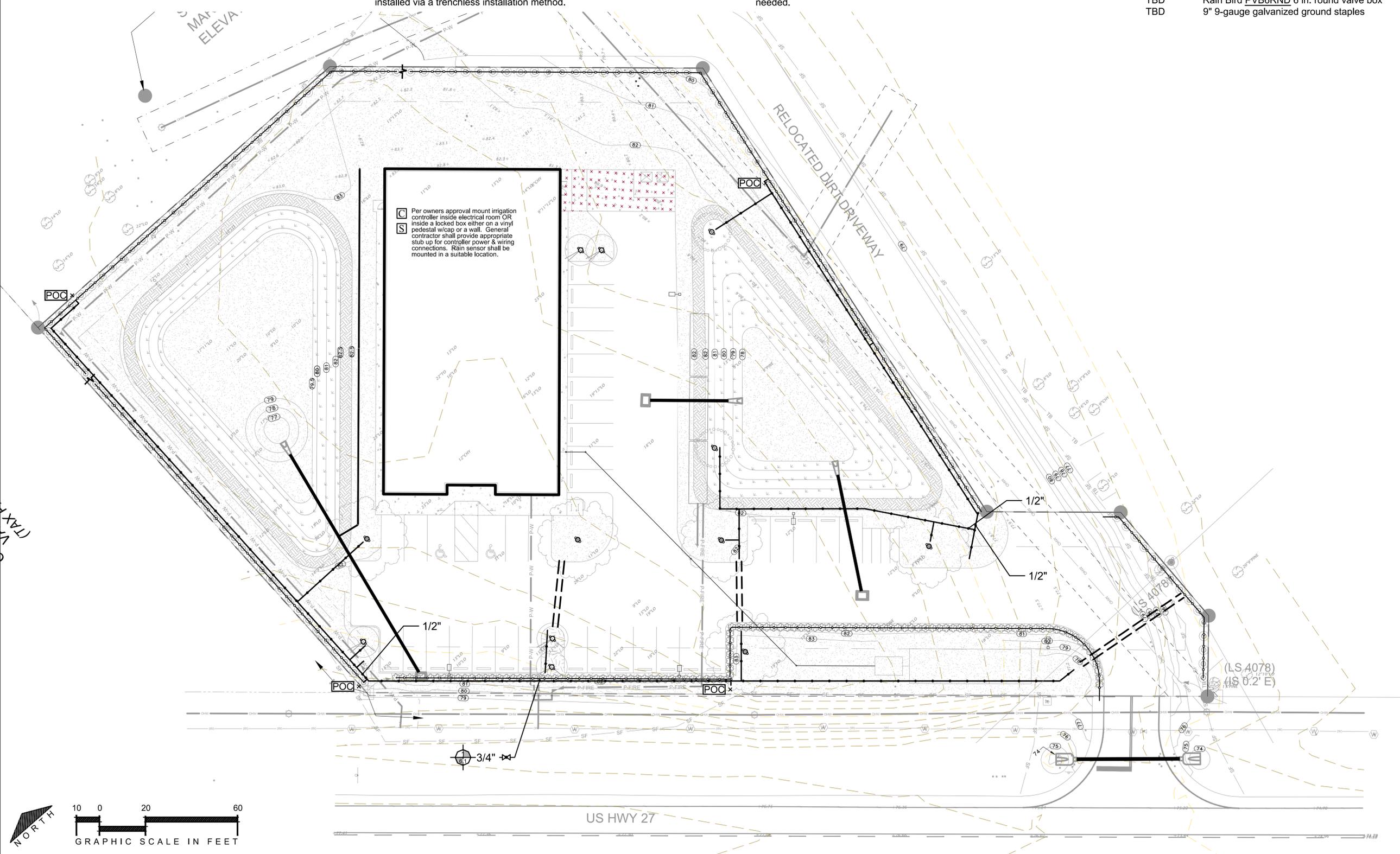
Legend	
	sleeve ^{1,2}
	lateral:
	blank poly tubing
	controller
	rain sensor
	control valves
	1/2" drip shut-off valve
	zone # and flow rate in gallons per minute
	irrigation drip break
	POC lateral/drip point of connection

- Irrigation Notes**
- Dripline. Drip shall be installed on top of soil and covered with mulch.
 - Control Valves & Regulators. Control valves shall be installed and set 5% over proposed flow.
 - Pipe. 1/2" pipe shall be Class 315 PVC. Piping larger than 1/2" shall use Class 200 PVC.
 - Irrigation materials not identified on irrigation schedule or in specifications as to brand and model # shall be either Rainbird, Nelson, or Hunter and sized appropriately by contractor to meet requirements by the manufacturer. Contractor shall include all materials including quantity, model, size, and installed price for each item on bid form.
 - All irrigation revisions shall be submitted to Columbia County for review and approval prior to installation.
 - No irrigation to be provided at sod. Contractor shall irrigate with a water truck as needed for the first two weeks.
 - Pipe shall not be installed within 50% of any existing tree dripline UNLESS piping is installed via a trenchless installation method.

Watering Schedule for Zone 1 & 2
Water all plants listed once per day for (120) one hundred and twenty minutes during the first (30) thirty days and every other day for the next (30) thirty days; thereafter, follow water restrictions per jurisdiction until established. Shrub drip valves may be shut-off after (3) three months. After (1) one year trees should be sufficiently rooted into existing soil for shutdown; however, it is recommended that a review be performed by a certified arborist before shutting off the system. After establishment irrigation should be turned on IF a drought occurs. Bahia grass shall be temporarily watered via hand moved sprinklers for two weeks if rainfall is not occurring as needed.

Number of emitters per tree/shrub	
live oak	1-2gph emitters
bald cypress	1-2gph emitters
crape myrtle	1-2gph emitters
sandankwa vib.	1-.5gph emitter
sweet vib.	1-2gph emitter

Irrigation Schedule	
Quantity	Description
0'	Rainbird XFD blank tubing
1	Rainbird ESP-RZX Series Controller
1	Rainbird WR2 - RC sensor
0	Rainbird 100-DV
0	Rainbird PSI-M50X-100
0	Rainbird QKCHK100 drip filters
0	Netafim 01WPCJL1.2 drip emitter .32GPH
0	Rainbird XB-05PC drip emitter .5GPH
0	Rainbird XB-10PC drip emitter 1GPH
0	Rainbird XB-20PC drip emitter 2GPH
0	Rainbird PC-05 drip emitter 5GPH
TBD	Rainbird BVAL50-1S139 drip valve
TBD	1/2" Perma-Loc EndCap w/ Flush Valve
TBD	Rain Bird PVB6RND 6 in. round valve box
TBD	9" 9-gauge galvanized ground staples



C Per owners approval mount irrigation controller inside electrical room OR inside a locked box either on a vinyl pedestal w/cap or a wall. General contractor shall provide appropriate stub up for controller power & wiring connections. Rain sensor shall be mounted in a suitable location.

S

LANDSCAPE PART 1 GENERAL NOTES

Scope. This section includes all planting of shrubs, trees, ground covers, and other landscape supplementary work shown on the drawings and specified herein, complete.

Applicable Documents. The following publications, specifications, and standards of the issues listed in this paragraph (including the amendments and addenda designated), but referred to hereinafter by basic designation only, form a part of this specification to the extent required by the references thereto.

Publication of Reference. Publications as herein listed shall be held in basic reference: Grades and Standards for Nursery Plants, Parts I and II, State Department of Agriculture and/or State Plant Board of Florida, Seagle Building, Gainesville, Florida. State of Florida Fertilizer Law, Office of the Secretary of State, Tallahassee, Florida. American Standard for Nursery Stock (ANSIZ60.1-), American Association of Nurserymen. Standards for Tree Care Operations (ANSI A300) Guideline Specifications to Sodding, America Sod Producers Association (ASPA) Plant Quantities. All plant quantities shown in the plans are approximate based on the plan locations. The Contractor shall be fully responsible for determining all final plant quantities and shall submit a revised plant schedule with final plant quantities as part of the contract and prior to construction.

Substitutions of Plant Material. If a plant is found to be unavailable, submit proof of non-availability and a proposal for use of equivalent material. When authorized, adjustment of contract amount will be made. No substitutions will otherwise be authorized. To prove non-availability, The Contractor must provide at least eight (8) letters from growers or dealers from the States of Florida and Georgia explaining the non-Availability of the plant material.

On-Site Conditions and Adjustments. The locations of plants, as shown on the plans, are fairly accurate. Planting shall be adjusted only when necessary to accommodate actual as-built conditions on the site and any changes in locations caused thereby shall be made without additional cost to the Owner, Owner's Representative, or Landscape Architect. The Contractor shall immediately notify the Owner's Representative when conditions detrimental to plant growth are encountered, such as rubble fill, lime rock, or obstructions; and when field conditions are different than portrayed on the plans prior to planting. The owner or Owner's Representative may adjust the layout or location of specified plant materials to avoid these areas without additional costs.

Coordination of Plantings. Coordinate all landscape work with the Owner's Representative and other contractors. Plant trees and shrubs after final grades are established and prior to planting of lawns, unless otherwise directed by the Owner's Representative.

Fine Grading. Provide fine grading necessary to establish finish grade in all landscape areas. Fine grading shall include only minor grading to correct random or infrequent grade irregularities of 1/2" or less, unless otherwise noted on plans.

Liability of Contractor. The Contractor shall be liable for any and all damages to property that result from his performance. He shall, without extra cost, restore to original condition any areas and/or construction damaged, defaced, disturbed, or destroyed by him or his workmen.

Tree Tagging. A tree tagging trip may be requested by Owner's Representative prior to approval of plant material. Contractor shall be responsible for providing transportation and accommodations if necessary.

Inferior Materials. Contractor shall reject inferior materials. The Owner's Representative reserves the right to reject any or all materials not meeting the criteria specified herein or determined to be damaged or unhealthy.

Onsite Debris. Contractor shall be responsible for removing and disposing of offsite all stones over 1" in diameter, sticks, roots, and other extraneous matter in planted areas to a depth of 2'. If debris is excessive and results from construction waste please contact Owner's Representative for appropriate actions.

LANDSCAPE PART 2 SUBMITTALS

Soil Testing for Plant Material. The Contractor shall be responsible for testing soils in planted areas to confirm that soil is suitable for healthy plant growth and shall submit a report to the Owner's Representative prior to construction showing test data and any conflicts determined by the contractor.

Seed Certification. All seed must comply with regulatory agencies for fertilizer and herbicide composition.

Inspection Certificates, Manufacturer's Data. Upon request of Representative copies of inspection certificates or manufacturer's data shall be provided for any material used onsite or for existing materials found onsite.

LANDSCAPE PART 3 MATERIALS

General Plant Material Requirements. Provide state inspected, nursery grown plants, and according to the plant schedule unless otherwise specified. Conform to the, "Florida Department of Agriculture Grades and Standards For Nursery Plants", local landscape ordinance, and, where applicable, to ANSI Z60.1 All plant materials shall be Nursery grown, Florida No. 1 stock. All materials shall be healthy, vigorous, free of diseases and insects, pruned for best shape without appearance of "de-horning", and without symptoms of nutritional deficiency. Furnish plants grown under climatic conditions must measure according to sizing required detailed on the drawings. Plants must be naturally bushy, dense, in good foliage, well branched, and of good appearance. The nursery/nurseries from which plants are derived shall be under regulatory inspection by the Florida State Department of Agriculture and/or the Florida State Plant Board, or an equivalent agency if derived from outside the State of Florida. Plants entering from outside the State of Florida must bear the entry certificate of the State Department of Agriculture of the State of Florida. All plant materials will be subject to approval of the Owners or Owner's Representative for quality, size and color.

Soil Additives. Contractor shall be responsible for adding peat, humus, fertilizer, manure, pH adjusters or any other commercially accepted soil additive to ensure normal, healthy plant growth or as noted on the plans.

Balled and Bur lapped Trees. Ensure that field ground material follows local industry standards for root pruning, digging, balling and bur lapping, etc. All balled and bur lapped materials must be hardened off before shipment. All materials are subject to approval by the Owner's Representative prior to shipping to project site. The top 5 inches of natural burlap shall be removed and completely remove any synthetic burlap wrapping or wire cages before installation.

Spaded Trees. Trees shall have been spaded from a commercial nursery field that has been inspected by the Department of Agriculture and Consumer Services within the last 9 months. The Contractor shall provide a copy of the most recent Nursery, Stock dealer and Special Inspection Report for verification upon Owner's Representative request. Ball size shall be at least one size greater than recommended by ANSI Z60.1, American Standard for Nursery Stock, unless otherwise specified. Spaded material is subject to approval and tagging by the Owner's Representative prior to shipping to project site.

Container Plants. Provide container-grown plants with sufficient roots to hold the container soil together after removal from the container. Root bound plants and plants with inadequate root systems are not acceptable.

Surface Mulch. Use mulch type specified in plans. Mulch shall be in a non-decomposed state; not more than one (1) season old.

Herbicides, Insecticides. Chemical sprays, dusts, or gaseous compounds used on or around plant materials, including but not limited to trees, shall be approved for such uses by the Environmental Protection Agency and the Florida Department of Agriculture, and Consumer Services. Such materials as may be used shall not constitute a hazard to human health or interfere with site working conditions and habitation.

Seed Requirements General. Where seeding may be required on the plans, the seed required shall comply with all minimum provisions of the Florida Seed Certification and Testing Law. Noxious weed seeds shall be non-existent and foreign materials shall not exceed two percent.

Sod Requirements General. See plan for specified sod. All sod shall be healthy, strongly rooted and not less than two (2) years old, free of weeds and undesirable native grasses in 16" x 24" pads, 1-1/2" thick. Sod shall conform to "Nursery Grown" grade as established by American Sod Producers Association (ASPA). Sod shall be considered free of weeds if less than 5 weeds are found per 100 square feet of area. Brown, dry irregularly smooth, and/or unrefresh sod will be rejected.

LANDSCAPE PART 4 PLANTING PROCEDURES

General. Prior to commencement of any work, the Landscape Contractor shall inspect the site, locate planting areas, placement of guying devices, locate electrical cables, conduits, and other underground and above utilities so that proper precautions and procedures may be followed during and throughout construction. The Contractor shall become familiar with other job trade activity which has an impact upon his work or upon which his work has an impact and shall arrange to carefully coordinate his work with other trades through the Owner's Representative. All planting practices listed herein shall ensure healthy plant growth.

Layout. The location of plants, planting beds and plant quantities, are approximate. The locations and bed lines shall be staked on the project site by the Contractor and approved by the Owner's Representative before any plant pits or beds are dug. The Owner's Representative may adjust plant material locations to meet field conditions. Contractor shall make minor adjustment without additional cost to the Owner.

Finish Grades. The Landscape Contractor is responsible for all fine grading and preparation for planting. Finish grades (top of soil) for all sod areas after settlement shall be one-half inch below the top of abutting curbs, walks, walls and abutments. The finish grade of all plant beds prior to mulching shall be three inches below finish grade of sod, abutting curbs, walks and walls. Three inches of mulch shall be added to all plant beds after planting.

Planting Seasons/Times. The planting of plant materials and lawns may proceed at any time, period, or season agreed upon by the Contractor and Owner or Owner's Representative Plant Installation. All plants existing roo ball top shall be 0-1" above finished grade. Area surrounding tree shall excavated/loosened to 3X the width and 1X depth prior to installation. Plants shall be set plumb and straight. When backfilling lightly tamp layers in 6" lifts. Do not over compact. A 1/2" probe should be able to penetrate to a depth of the rootball with hand pressure. A 3" mulch layer shall be applied over rootball excluding the area 6" from the trunk/stem. Stake and install trees according to details. Trees shall be secured loosely and allow trunk to sway. Sod. All areas to be seeded, sprigged, or sodded shall be prepared in a manner to ensure normal, vigorous and healthy growth.

Fine grade lawn areas to smooth, even surface with with loose, uniformly fine texture. Roll, rake and drag lawn areas, remove ridges and fill depressions with topsoil as required to meet finish grades. In areas to be sodded, allow for sod thickness. Sod Installation. Lay sod in straight, parallel rows to form a solid mass with tightly fitted joints, without overlap. Stagger strips to offset joints. Work topsoil into minor cracks. On 1:3 slopes or greater, lay sod with long dimension of pads parallel to contours and stake sod as necessary to stabilize. Drive sod stakes flush with top of sod. Sprigging and Seeding. Sprigging/seeding shall be done in a manner to ensure a quick growth-period achieving a uniform green lawn prior to final acceptance.

LANDSCAPE PART 5 MAINTENANCE

Plant Material. Maintain all plant materials until Final Acceptance. Maintenance shall include all required watering, cultivation, weeding, mowing, pruning, wound dressing, immediate replacement of dead and unacceptable material, straightening plants which lean or sag, adjustment of plants which are planted too low, and any other procedure consistent with good horticultural practice necessary to ensure normal, vigorous and healthy growth of all planting under the Contract.

Lawn. Maintain lawns until Final Acceptance. Reseed settled or eroded sod areas to proper grade. Fill open joints with topsoil. Keep sod free of insects and disease.

LANDSCAPE PART 6 FINAL INSPECTION AND ACCEPTANCE

Final Cleanup. Upon final completion of work and before inspection and acceptance, all aspects of the project site shall be thoroughly and completely cleaned of debris, stains, materials, defacements, and temporary facilities. Likewise, any repairs which are the obligation of this Contractor shall be completed.

Initial Inspection and Acceptance. Inspection shall be made by the Owner or Owner's Representative within (10) ten days of written notification from the Contractor that installation is complete. If all work and materials meet specifications, project will be accepted as is. Materials and work not in compliance with specifications shall be rejected by Owner's Representative and replaced by the contractor within (15) fifteen days of notification by Owner's Representative. Notification will graphically depict all rejected material on plans. Upon replacement of all rejected work and materials by the Contractor, the Owner's Representative shall conduct a final inspection within ten (10) days of written notification from the Contractor that all rejected work has been replaced according to specifications. Approval will be granted upon the acceptance of all replaced material noted on plans. After final acceptance, the Contractor will not be responsible for damage to work resulting from: neglect by Owner; conditions such as floods, excessive wind, severe freezing or abnormal rains; or other activities clearly beyond the Landscape Contractor's control.

LANDSCAPE PART 7 GUARANTEE

Guarantee. All plant materials and trees installed by the Contractor shall be guaranteed for 365 days from the date of final acceptance. The Contractor shall replace at no additional cost to the Owner, all plant materials which die and/or which are not healthy and in a good growing condition during the guarantee period. Replacement of such material shall occur within ten (10) days from Owner's written notification to the Contractor. The 365-day guarantee period for replaced plant materials shall commence on the date of acceptance of the replaced item or items of plant material. The Contractor shall not be required to replace, repair, or restore any portion of the work that is damaged, defaced, disturbed, improperly maintained, and/or destroyed by others after final acceptance.

IRRIGATION PART 1 GENERAL NOTES

Scope. This section includes irrigation and supplementary work shown on the drawings and specified herein, complete.

Applicable Documents. The following publications, specifications, and standards of the issues listed in this paragraph (including the amendments and addenda designated), but referred to hereinafter by basic designation only, form a part of this specification to the extent required by the references thereto.

Publication of Reference. Publications as herein listed shall be held in basic reference:

- HANDBOOK OF TECHNICAL IRRIGATION INFORMATION by Hunter Industries Inc. - 1996
- THE COMPLETE IRRIGATION WORKBOOK by Larry Keesen - 1995
- PUBLICATIONS, NOTES, AND PAPERS by The Center of Irrigation Technology, California State University - Fresno, California
- PUBLICATIONS and STANDARDS by The Florida Irrigation Society - Orlando, Florida
- PUBLICATIONS by The Irrigation Association - Falls Church, Virginia INSTALLATION GUIDE FOR PVC

Irrigation Quantities. All irrigation material quantities shown in the plans are approximate. The Contractor shall be fully responsible for determining all quantities. The Contractor shall submit a revised irrigation schedule with final irrigation quantities as part of the contract and prior to construction.

On-Site Conditions and Adjustments. Irrigation equipment shown on the plans is approximate. Irrigation shall be adjusted to fit actual as-built conditions on the site and any changes in locations caused thereby shall be made without additional cost to the Owner, Owner's Representative, or Landscape Architect.

Liability of Contractor. The Contractor shall be liable for any and all damages to property that result from his performance. He shall, without extra cost and by licensed contractors, restore to original condition any areas and/or construction damaged, defaced, disturbed, or destroyed by him or his workmen.

Substitution of Materials. Any substitution from the specified brands, models or sizes shall be submitted to the owner or the owner's representative for approval. Material substitutions or design changes must be shown to comply with the system design intent and rectify any necessary performance changes and be in compliance with all city, state, and federal regulations.

IRRIGATION PART 2 INSTALLATION PROCEDURES

General. Prior to commencement of any work the Irrigation Contractor shall obtain all necessary permits and licenses, inspect the site and locate electrical cables, conduits, and other underground and above utilities so that proper precautions and procedures may be followed during and throughout construction. The Contractor shall become familiar with other job trade activity which has an impact upon his work or upon which his work has an impact and shall arrange to carefully coordinate his work with other trades through the Owner's Representative.

Backflow Prevention. Backflow preventer shall be installed according to manufacturer's recommendations. Filters and Strainers. Filter/Strainers shall be installed per manufacturer's recommendations.

Irrigation Controller. The irrigation controller shall be UL listed, conform to the provisions of the National Electric Code, and properly grounded in accordance with manufacturer's recommendations.

Rainfall Shutoff Device. A rain sensor shall be installed as close as possible to the control equipment and per manufacturer's recommendations. Install the first 18 inches of rain sensor wire below ground level and all wire above ground in conduit. When systems are pressurized by a pump, provision shall be made to ensure shutoff device does not allow pump to activate.

Pipe. 1. Pipe shall be installed at sufficient depth below ground to protect it from hazards such as vehicular traffic. Landscape vehicular traffic areas are those landscape areas subject to vehicular use such as traffic crossings, parking areas, etc. Depths of cover shall conform to NRCS-FL-430-OD, Water Conveyance, as follows:

a. Landscaped Vehicle Traffic Areas - Landscaped areas subject to routine automotive or heavy equipment traffic.

Pipe Size (Inches)	Depth of Cover* (inches)
1/2" - 2-1/2"	18"
3"-5"	24"
6" and larger	36"

b. Non-Traffic and Non-Cultivated Areas

Pipe Size (Inches)	Depth of Cover* (inches)
1/2" - 1-1/2"	6"
2"-3"	12"
4"-6"	18"
More than 6"	24"

2. The trench bottom must be uniform, free of debris, and of sufficient width to properly place pipe and support it over its entire length. Make all pipe joints and connections according to the material manufacturer's recommendations. Perform all solvent-weld connections in accordance with ASTM D-2855. Contractor shall install all piping and related materials in accordance with the manufacturer's specifications and the following standards: ASTM D-1785-99, ASTM D-2241-00, ASTM D-2466-01, ASTM D-2464-99, ASTM D-2239-99, ASTM D-2564-96a, ASTM F-656-96a, ASAE S435.

3. Thrust blocks are required on all fittings at dead ends and whenever the line changes direction of 30

degrees or more. Thrust blocks shall be installed in a manner to ensure no pipe shifting occurs. Size thrust blocks in accordance with ASAE Standard S-376.2.

4. Contractor shall flush irrigation system installation at the appropriate stages based on commercially accepted methods.

5. After installation, flushing, and inspection or testing, contractor shall backfill the pipe trench with soil free from rocks or stones larger than 1-inch in diameter in a commercially accepted manner.

Pipe Sleeving. Pipe sleeves shall be at least two pipe sizes larger than the carrier pipe or twice the diameter of the wire bundle to be placed under the paving or roadway, and extending a distance at least equal to its installed depth beyond the paved area. Schedule 40 PVC pipe shall be used for sleeves.

Valves. Valve installation shall allow enough clearance for proper operation and maintenance. Where valves are installed underground, they shall be provided with a valve box with cover extending from grade to the body of the valve. The top of the valve body should have a minimum of 6 inches of cover in non-traffic and non-cultivated areas and 18 inches of cover in traffic areas.

Locate manually operated control valves so they can be operated without wetting the operator.

Valve Boxes. Contractor shall install valve boxes according to the manufacturer's recommendations.

Wire. Electrical control wire shall be sized in accordance with the valve manufacturer's specifications. Install only UL listed direct burial low voltage wire (30 volts or less) with a minimum depth of cover of 12 inches. Provide a sufficient length of wire at each connection to allow for thermal expansion/shrinkage. As a minimum, provide a 12-inch diameter loop at all splices and connections. Terminations at valves will have 24" minimum free wire. Provide common wires with a different color than the power wires (white shall be used for common wires). Use wire connectors that are approved for direct burial. A valve box shall be used for all underground wire splices. Install all above-ground wire runs and wire entries into buildings in conduit.

Sprinklers. Install sprinklers plumb unless they are installed on slopes where they can be tilted as required to prevent erosion. Sprinklers shall be adjusted to avoid unnecessary discharge on pavements and structures. Provide a minimum separation of 4 inches between sprinklers and pavement and 12 inches between sprinklers and vertical structures or as local codes dictate. Riser-mounted sprinklers shall be supported. Swing joints shall be constructed to provide a flexible, leak-free connection between the sprinkler and lateral pipeline to allow movement in any direction and to prevent equipment damage.

Micro Irrigation. Micro-irrigation equipment shall be installed according to the manufacturer's recommendations for the specific application. Stake all surface tubing every three to six feet depending on site conditions and manufacturer's recommendations with eight inch staples.

IRRIGATION PART 3 TESTING, SUBMITTALS, FINAL INSPECTION AND ACCEPTANCE

Testing. All mainlines and laterals shall be tested to be free of leaks. Rainfall shutoff device shall be tested to ensure proper shut-off of control equipment.

Cleanup. Upon final completion of work and before inspection and acceptance, all aspects of the project site shall be thoroughly and completely cleaned of debris, stains, materials, defacements, and temporary facilities. Likewise, any repairs which are the obligation of this Contractor shall be completed.

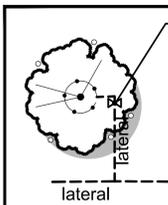
Inspections and Acceptance. Inspection shall be made by the Owner or Owner's Representative within (10) ten days of written notification from the Contractor that installation is complete. If all work and materials meet specifications, project will be accepted as is. Materials and work not in compliance with specifications shall be rejected by Owner's Representative and replaced by the contractor within (15) fifteen days of notification by Owner's Representative. Notification will graphically depict all rejected material on plans.

Upon replacement of all rejected work and materials by the Contractor, the Owner's Representative shall conduct a final inspection within ten (10) days of written notification from the Contractor that all rejected work has been replaced according to specifications. Approval will be granted upon the acceptance of all replaced material noted on plans.

Post Construction Documentation & Instruction. The Contractor shall provide manufacturer's product literature, operation manuals, testing and inspection certificates, and record drawings to the owner or owner's representative. Record drawings shall show all changes in the design to indicate the actual installation sizes, types, and locations of all equipment and materials with the application for final payment. Contractor shall provide minimal instruction to owner, if applicable, describing any need to know information regarding the daily operation of the system.

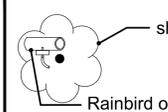
IRRIGATION PART 4 GUARANTEES

The irrigation system contractor shall assume full responsibility for the proper installation of the system. Contractor shall guarantee the installation workmanship for a minimum period of one (1) year from date of final acceptance. The irrigation system contractor shall make all necessary, reasonable efforts to handle any warranty claims within the guarantee period in a reasonable time period. The Contractor shall not be required to replace, repair, or restore any portion of the work without additional service fees that are damaged, defaced, disturbed, and/or destroyed by others after final acceptance. Repairs made by other licensed contractors during the guarantee period shall not void the guarantee.



Install Rainbird BVAL50-1S139 or equal shut-off valve at all trees. Install Rainbird or equal XFD blank tubing around each tree with appropriate amount of equally spaced drip emitters. Quantity of Rainbird XB-#PC or equal emitters per tree are specified on the irrigation sheet. Drip shall encircle tree and be offset 2" from edge of rootball. Terminate drip encircling each tree with a compression hose end cap. Secure all emitter locations with ground staples.

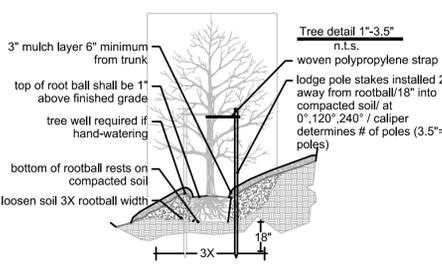
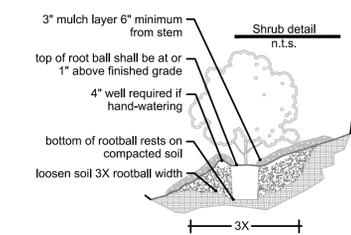
Detail for individual tree drip
Not To Scale



Rainbird or equal XFD blank tubing with Rainbird XB-#PC or equal emitter at same precipitation rate installed overtop of rootball or attach 1/4" tubing to emitter with bug cap to reach plant rootball off of 1/2" tubing when applicable. Use ground staples to secure emitter locations. Start all drip runs with a Rainbird BVAL50-1S139 shut-off valve. Terminate all drip runs with a compression hose end flush cap. Secure all emitter locations with ground staples.

Detail for shrub emitters
Not To Scale

Use ground staples to secure ALL emitter locations. Pressure regulators shall be used in appropriate locations so all emitters receive pressures between 20-50 psi.



REVISIONS:

LANDSCAPE PLAN
Specifications/Details
COMMERCIAL RETAIL STORE - FORT WHITE
PREPARED FOR
CONCEPT COMPANIES

BDI NO.	23310
DRAWN BY:	BOB
DESIGNED BY:	BOB
CHECKED BY:	BOB
DATE:	1/30/2024

PLANS PREPARED BY
BRYAN DAVID BORTON FL
NC: LA667028

GENERAL NOTES

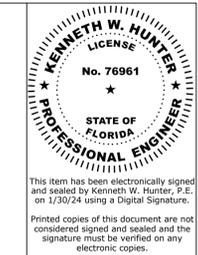
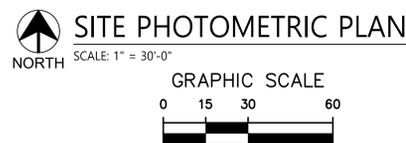
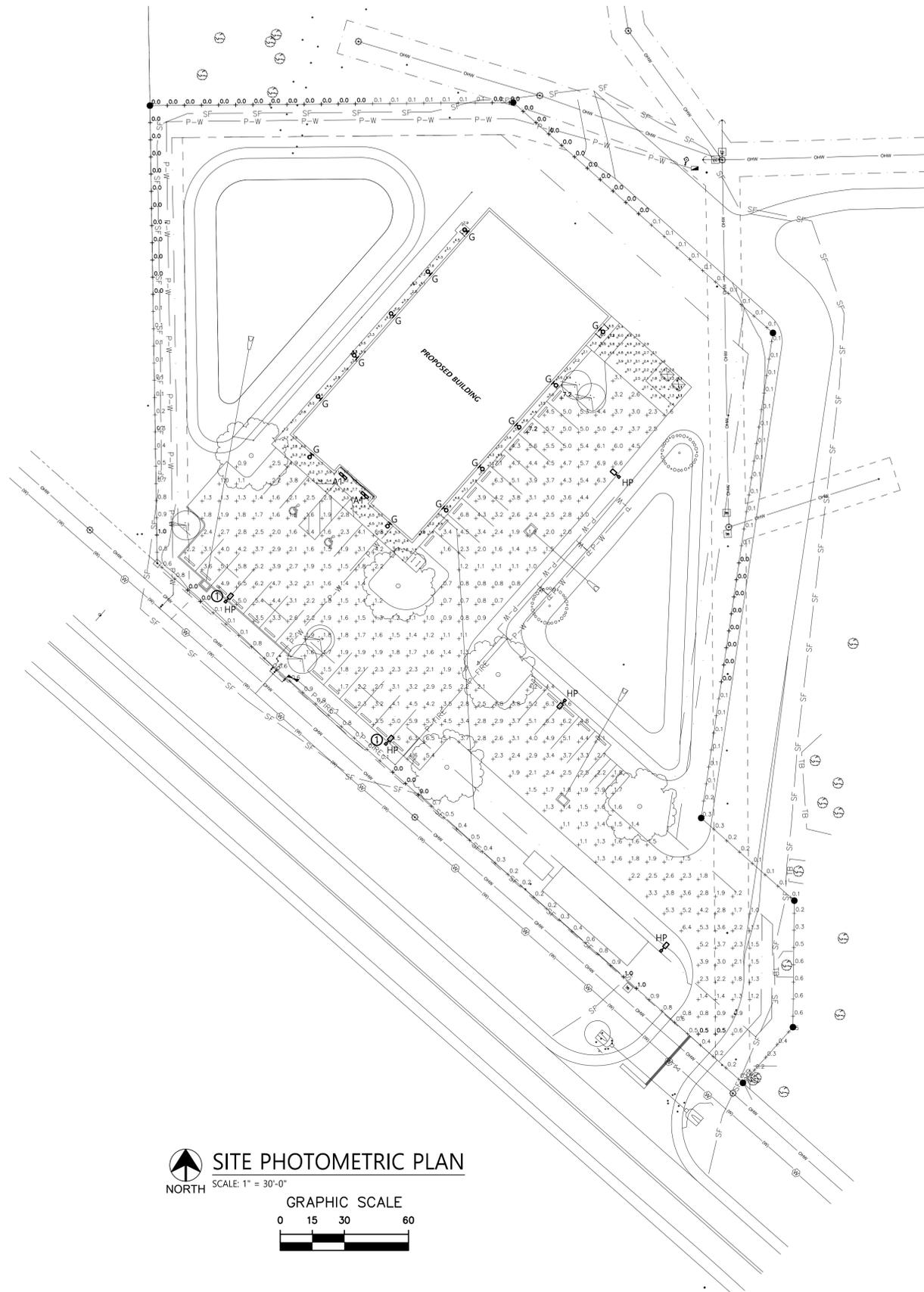
- HIGHLIGHTED POINTS REPRESENT MAXIMUM/MINIMUM VALUE FOR EACH AREA.
- FIXTURES WILL BE CONTROLLED WITH PHOTOCELL AND OPERATE DUSK-TO-DAWN.
- POLES SHALL BE LOCATED MINIMUM 24" BEHIND CURB AND SHALL BE PROVIDED WITH CONCRETE POLE BASE.
- THIS DRAWING IS NOT INTENDED TO CONSTITUTE A CONSTRUCTION DOCUMENT AND SHALL BE USED FOR PERMITTING PURPOSES ONLY.

PLAN NOTES

- ① FIXTURE TO BE SUPPLIED WITH HOUSE SIDE SHIELD.

Photometric Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DUMPSTER AREA	+	3.0 fc	7.2 fc	1.1 fc	6.5:1	2.7:1
BUILDING WALKWAY	+	5.0 fc	8.3 fc	1.0 fc	8.3:1	5.0:1
PARKING LOT	+	2.5 fc	7.2 fc	0.5 fc	14.4:1	5.0:1
PROPERTY LINE	+	0.2 fc	1.0 fc	0.0 fc	N/A	N/A

Luminaire Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Mounting Height
☐	A1	2	LEDS	VFRC4F	4FT LED VAPORTIGHT LIGHT	1	5200	0.81	CANOPY
♀	G	12	LEDS	WP4053/WP-40-52-MV	LED WALL PACK	1	5200	0.81	12FT
♂	HP	5	LEDS	TS-SL0415-150W-5000K	LED POLE MOUNT AREA LIGHT	1	13632	0.81	25FT



HUNTER DESIGN AND CONSULTING, INC.
 696 1ST AVE N, STE 200
 ST. PETERSBURG, FL 33701
 352-238-6366
 FLORIDA CA #31946, PE #76961

CRS FT WHITE
 SITE PHOTOMETRIC PLAN
 COLUMBIA COUNTY, FLORIDA

PROJECT INFORMATION	
PROJECT NUMBER:	23031
DRAFTED:	K. HUNTER
DESIGNED:	K. HUNTER
REVIEWED:	K. HUNTER
ISSUE DATE:	01/30/24
REVISIONS	

SHEET NUMBER
E-1

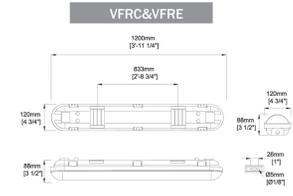
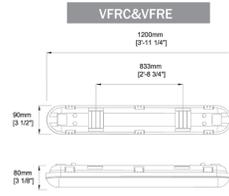


LED Vapor Tight Fixture



FEATURES

The vapor tight fixture is a cost effective and energy efficient alternative to traditional fluorescent tubes or strip light fixtures. Featuring a full-length, casketed polycarbonate lens and single piece non-corrosive polycarbonate body, this vapor tight led is protected with IP65 rating, sealed and casketed against dust, dirt, and humidity, making it ideal for both indoor and outdoor harsh environments applications, including utility lighting, parking garages, freezers and cold storage facilities, food processing, car washes, stairwell lighting and low bay lighting. Additionally, ceiling or surface mounted, this led tri proof light has an initial lumen range of 105-150LPW, and features 0-10V dimming standards. As well, this model comes with a motion sensor for maximum energy savings as well as 90 mins emergency battery backup options.



FEATURES

- UL/cUL listed for wet locations, IP65 rated
- DLC 4.4 Premium certified
- 105-150 lumens per watt
- 100-277VAC universal voltage
- 0-10V dimming optional
- Microwave Motion Sensor for Bi-Level control
- 90 mins Emergency Battery Backup

APPLICATIONS

- Wet areas
- Outside walkways
- Warehouses
- Storage areas
- Industrial units
- Farm buildings (Non-corrosive atmosphere)
- Garages
- Workshops
- Car parks
- Changing rooms
- Resistant to impace and many chemical agents, but for suitability in specific environments please take specialist advice



LEDS LLC
N8774 Firelane 1
Menasha, WI 54952
P: 920-840-6054
F: 920-840-6424
www.leds-llc.com



LED Full Cut Wall Pack



WALL PACK

Wall pack light is one of the most dependable lights for security lighting luminaire. Applications include perimeter, security, stripmalls, entrance ways, and any general outdoor surface. The high performance optics are specifically designed to produce a Type III distribution.

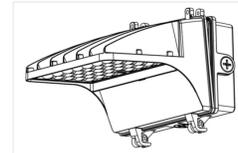
DESCRIPTION

- Energy Saving 40 Watt Integrated LED
- Lasts 45 years* or 50,000 Hours Continuous Use
- Maintenance Free — No Bulb Replacements
- 5 Year Limited Warranty



WP4053/WP-40-52-MV

Input Voltage	120-277V
Wattage	40W
Dimmability	Dimmable
Lumens	5200lm
CCT	5000K
Avg Rated Life	50,000 hours
Power Factor	0.9
IP Rating	Wet Location
CRi	>80Ra
Working Temp.	Min -4°F (-20° C) Max 104°F (40° C)
Product Dimensions	9.3 x 7.1 x 8.9 in
Product Weight	1.8lbs
Master Carton Weight	19.8lbs
Case Pack	4 pc



- 1 Hours lifetime with 70% lumen maintenance
- 2 Thermally stable typical lumens (±10%)
- 3 Thermally stable CCT (±10%)
- 4 Color rendering index/Ra



LEDS LLC
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FIXTURE TYPE: HP

NOTE: HORIZONTAL POSITION ONLY FOR FULL CUT-OFF OPERATION.



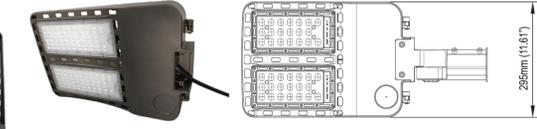
Area Lights



Front View



Back View



- Structure Features**
- Shell materials: Aluminum & PC
 - Finish: Dark Bronze/White
 - Net Weight: 2.9Kg (6.4 lbs)
 - Product Size: 631.5mm*295mm*88mm
 - Carton Size: 390mm*267mm*185mm

Area Light Series (Parking Lot)

Order Code	Part Number	Watts	Lumens	CCT	Input	Voltage
AL1210	AL-G4-15050-MV	150	18000	5000	>80	120-277
AL1112	AL-24050-MV	240	28000	5000	>80	120-277

There are 5 optional brackets for this fixture. The following is shoebox fixtures with different brackets.

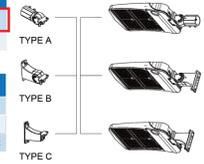


Glare Shield
AL150SH

Simple 4 screw attachment

150 / 240W MOUNTING BRACKETS:

Mount Type	Order Code	Part #
Slip Fitter (A)	AL6660	AL-SF-002
Square Pole Mount (B)	AL6661	AL-SP-002
Round Pole Mount (C)	AL6662	AL-RP-002



Area Light Series:

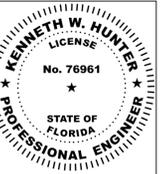
The LEDS Area Lights are perfect for new construction, retrofit and lighting upgrade solutions. High output and top of the line specifications. Available in multiple wattage and lumen output configurations to meet any lighting application. Type 4 & 5 available.

Features:

- Lumileds LEDs: High efficacy, long life
- High efficiency driver: 120V - 277V
- Die-cast aluminum construction for superior thermal management.
- Premium optics for even light distribution, Utilization and control.
- 5-Year warranty



N8774 Firelane 1 • Menasha, WI 54952
Phone: 920-840-6054 • Fax: 920-840-6424 • www.leds-llc.com



This Item has been electronically signed and sealed by Kenneth W. Hunter, P.E. on 1/30/24 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

HUNTER DESIGN AND CONSULTING, INC.
696 1ST AVE N, STE 200
ST. PETERSBURG, FL 33701
352-238-6366
FLORIDA CA #31946, PE #76961

CRS FT WHITE
FIXTURE INFORMATION
COLUMBIA COUNTY, FLORIDA

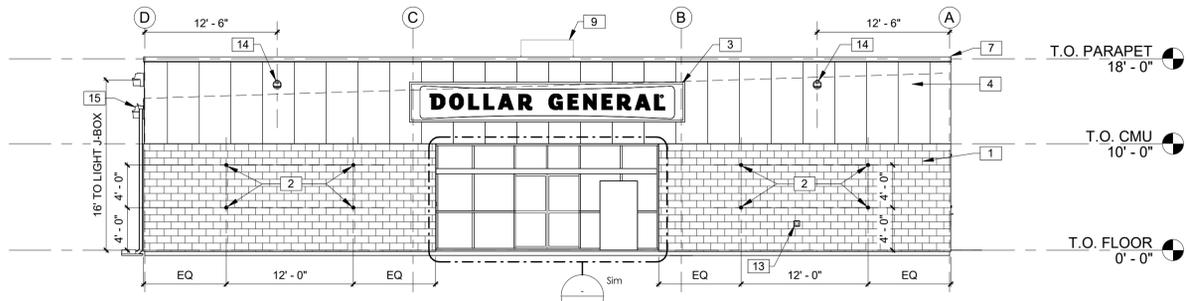
PROJECT INFORMATION	
PROJECT NUMBER:	23031
DRAFTED:	K. HUNTER
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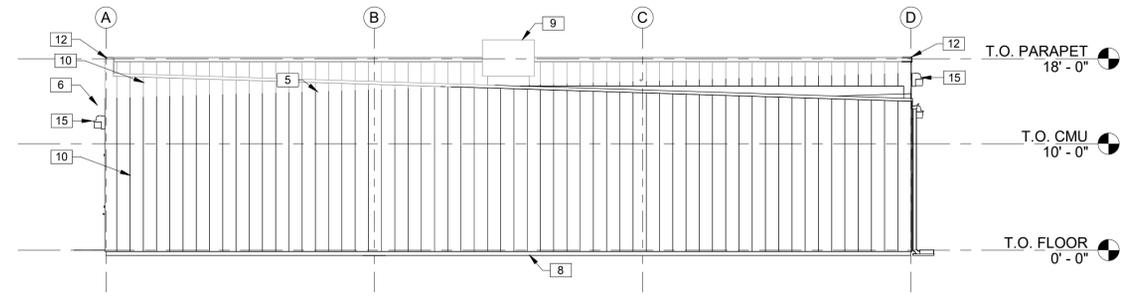
E-2

THESE DRAWINGS ARE NOT FOR CONSTRUCTION AND ARE FOR REVIEW ONLY AND ARE NOT TO BE REPRODUCED OR PERMITTED WITHOUT THE APPROPRIATE SIGNATURE AND SEAL.

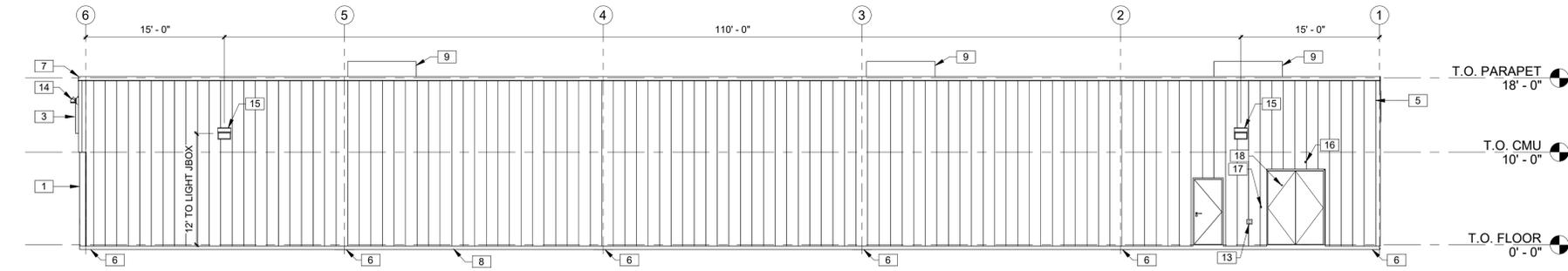
TO THE BEST OF THE ARCHITECT'S OR THE ENGINEER'S KNOWLEDGE, THERE ARE NO CONFLICTS WITH THE APPLICABLE MINIMUM BUILDING CODES & THE APPLICABLE LOCAL AUTHORITY IN ACCORDANCE WITH THE SECTION 483 B, STATUTES.



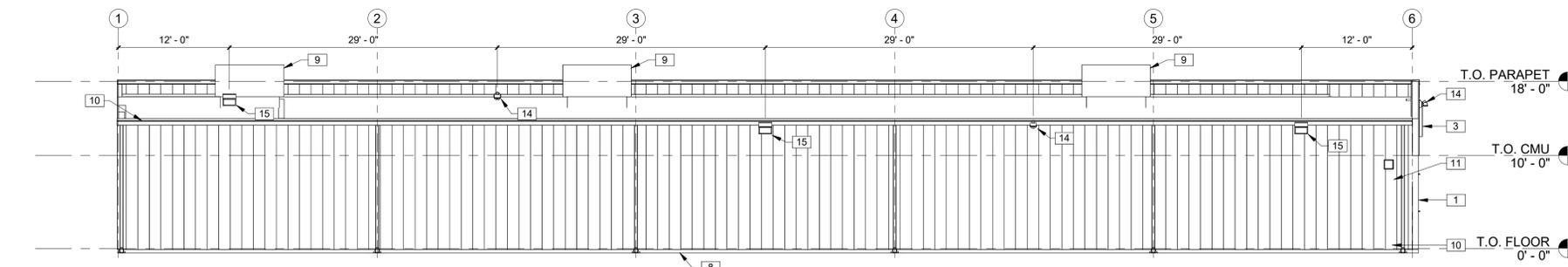
1 EXTERIOR ELEVATION
1/8" = 1'-0"



2 EXTERIOR ELEVATION
1/8" = 1'-0"



3 EXTERIOR ELEVATION
1/8" = 1'-0"



4 EXTERIOR ELEVATION
1/8" = 1'-0"

KEYNOTES	
1	8" SPLIT FACE CMU PAINTED SW #7037 BALANCED BEIGE. ALIGN FACE OF BLOCK WITH STEEL GIRT. PROVIDE PROPER ANCHORAGE TO STRUCTURE. CMU WALL TO BE REINFORCED W/#5 VERT. @ 48" O.C. TYP. DUROWALL 2 16" O.C. BOND BEAMS TO HAVE (2)#5s FLASHING ONLY BETWEEN GROUTED CELLS. PAN FLASHING IS AN ACCEPTABLE ALTERNATE. MORTAR SHALL BE TYPE 'M' OR 'N' FOR ALL MASONRY UNITS. TOP COURSE TO BE SMOOTH. GROUT CELL @ ANCHOR BOLT LOCATIONS. MESH AT BASE OF CMU TO CONFINE GROUT. SEE STRUCTURAL DRAWINGS.
2	1/2" DIA x 6" LONG STAINLESS STEEL EYE BOLTS (CLOSED) WITH 1" DIA OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. (4) BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY. (8) TOTAL BOLTS.
3	SIGN FURNISHED AND SUPPLIED BY TENANT WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF THE CANOPY. COORDINATE THE PROPER SIGNAGE TO BE USED WITH TENANT.
4	PRE-FINISHED METAL WALL PANELS FOR THE FASCIA AND PARAPET OVER THE ENTRANCE. REVERSE RIB PROFILE.
5	STANDING SEAM METAL ROOF BY PEMB MANUFACTURER, GALVALUME FINISH.
6	PRE-FINISHED GUTTER AND DOWNSPOUT. PROVIDE LEAF GUARDS IF LOCATED WITHIN 25'-0" OF A TREE. WHERE NO SIDEWALK EXISTS, MIN. 5' 4" PERFORATED LANDSCAPE PIPE, STRAPPED TO A 12"x24" CONCRETE SPLASHBLOCK. SEE EXTERIOR FINISH SCHEDULE FOR COLOR.
7	PRE-FINISHED METAL COPING.
8	CONCRETE SLAB AND FOUNDATION WITH STRUCTURAL MIN 6x6xW1.4 WELDED WIRE MESH OVER POLYETHYLENE VAPOR BARRIER (MIN. 10 MM THICK) OVER CRUSHED STONE BASE, TYPICAL, OR EQUIVALENT. PROVIDE CONTROL JOINTS AT 14'-0" ON CENTER EACH WAY MAX. SEE STRUCTURAL DRAWINGS.
9	ROOFTOP HVAC UNIT. SEE MECHANICAL DRAWINGS.
10	PRE-FINISHED METAL WALL PANELS FOR THE SIDES AND REAR. PROVIDE TAMPER RESISTANT FASTENERS FOR BOTTOM 8'-0".
11	VENT FOR BATHROOM EXHAUST. SEE MECHANICAL DRAWINGS.
12	PARAPET BEYOND.
13	WALL HYDRANT, EXACT LOCATION TO BE FIELD VERIFIED. SEE PLUMBING DRAWINGS.
14	FLOOD LIGHT. ATTACH LIGHTS PER MANUFACTURER'S STANDARDS, TYP. SEE ELECTRICAL DRAWINGS.
15	LED WALL PACK. ATTACH LIGHTS PER MANUFACTURER'S STANDARDS, TYP. SEE ELECTRICAL DRAWINGS.
16	OUTSIDE AIR TEMPERATURE SENSOR MOUNTED ABOVE RECEIVING DOORS.
17	RECEIVING DOOR BUZZER. SEE ELECTRICAL DRAWINGS.
18	2" DOOR SCOPE.

EXTERIOR FINISHES	PRE-ENGINEERED METAL BUILDING VENDOR	VP BUILDINGS DAVID ENGLISH (901)-568-4537	STAR BUILDING SYSTEMS RODNEY BURT (800)-879-7827	NUCOR BUILDING SYSTEMS BOB BARRY (315)-622-4440 (260)-837-7891	BIG BEE STEEL BUILDINGS, INC. KEVIN BUSLER (800)-633-3378	CHIEF BUILDINGS ERIN SULLIVAN (800)-845-1767	PREFERRED COLORS IF EXTERIOR MATERIALS ARE NOT METAL PANELS
EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO VP METAL BUILDING SYSTEM'S FINISH SELECTION UNLESS AUTHORITY HAVING JURISDICTION DOES NOT ALLOW.							
GUTTERS		COOL EGYPTIAN WHITE COOL DARK BRONZE BRONZE COOL COTTON WHITE GALVALUME	LIGHTSTONE MEDIUM BRONZE KYNAR 500 BRONZE POLAR WHITE GALVALUME	LIGHTSTONE MEDIUM BRONZE KYNAR 500 BRONZE POLAR WHITE GALVALUME	SANDSTONE BURNISHED SLATE BRONZE POLAR WHITE GALVALUME	PARCHMENT ANTIQUE BRONZE BRONZE POLAR WHITE GALVALUME	SHERWIN WILLIAMS #7037 - "BALANCED BEIGE" SHERWIN WILLIAMS #7041 - "VAN DYKE" BROWN BRONZE WHITE BY PEMB MANUFACTURER GALVALUME
DOWN SPOUTS							
SIDE AND REAR METAL WALL PANELS & TRIM, RECEIVING & EMERGENCY EXIT DOORS (EXTERIOR OF DOORS TO BE PAINTED, REFER TO DOOR SCHEDULE)							
ARCHITECTURAL BLOCK AT BUILDING FACADE TO BE PRE-FINISHED OR PAINTED (2 COATS-LOXON XP MASONRY COATING A24W400 SERIES) TO MATCH THE SIDE AND REAR METAL WALL PANELS							
FLAT METAL SOFFIT AT STOREFRONT VESTIBULE AREA							
BUILDING FASCIA WALL, PARAPET OVER ENTRANCE, AND CANOPY							
STOREFRONT SYSTEM							
STANDING SEAM METAL ROOF PANELS							
LINER PANELS (INTERIOR SALES AND RECEIVING FLOOR)							

NOTE:
1. REFER TO SHEET T1.0 FOR ADDITIONAL INFORMATION ON RECOMMENDED NATIONAL ACCOUNT VENDORS.
2. NATIONAL ACCOUNT AND CONTACT INFORMATION SUBJECT TO CHANGE.

DOLLAR GENERAL

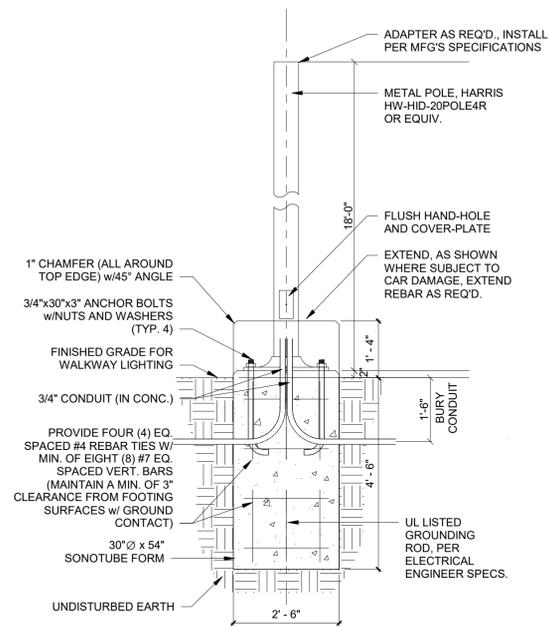
T.B.D. US HWY 27
FORT WHITE, FL 32038

STORE #
2019 PROTOTYPE - PLAN 'DGP-B' - 10,640 SQ. FT.

REVISIONS		
NO.	DATE	BY:

ORIG. ISSUE DATE:
12.22.2023
DRAWN BY: CHECKED BY:
MV JM
PROJECT NUMBER:
21048
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO.
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DATE/TIME STAMP:
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NOTES

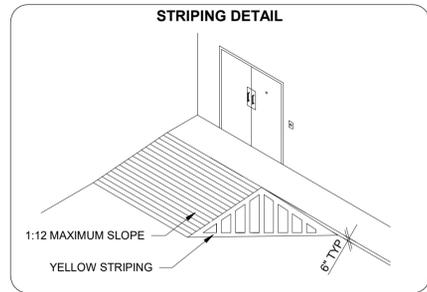
DESIGN COMPLIES WITH 2014 FLORIDA BUILDING CODE, 5TH EDITION, SECTION 1609 AND OTHER REFERENCED CODES AND SPECIFICATIONS. ALL CODES AND SPECIFICATIONS SHALL BE THE LATEST EDITION AT THE TIME OF PERMIT APPLICATION.

ALL EXPOSED CONCRETE TO HAVE RUBBED FINISH.

LIGHT FIXTURE: AS SELECTED BY OWNER (SEE CIVIL/PHOTOMETRIC DRAWINGS)

LIGHT POLE: HARRIS HW-HID-20POLE4R (OR EQUIV., INSTALL PER MANUFACTURER'S SPECIFICATIONS)

DESIGN WIND LOAD: RISK CATEGORY 2, EXPOSURE B BASED ON ANS/ASCE 7-10 1609.3.1 = WIND SPEED CONVERSIONS: V=120MPH

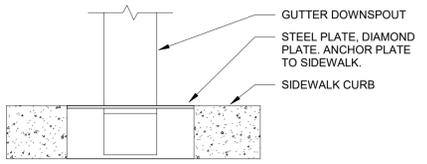


STRIPING LEGEND

YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY, AND METAL SURFACES FREE OF HEAVY RUST. TWO COATS SHERWIN WILLIAMS KEIM4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55Y300.
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS PROMAR TRAFFIC MARKING PAINT YELLOW TMS495.
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS PROMAR TRAFFIC MARKING PAINT "H.C." BLUE.

CONTRACTOR IS RESPONSIBLE FOR ALL PUBLIC UTILITY CONNECTIONS (ELECTRIC, WATER, GAS, SEPTIC, SEWER) AS WELL AS PROVIDING ALL INFRASTRUCTURES REQUIRED BY UTILITY COMPANY.

FOR REFERENCE ONLY. SEE SIGNED AND SEALED CIVIL ENGINEERING PLANS.



Harris Lighting
Innovative Efficient Solutions

Premium Steel Pole HW-HID-20POLE4R

Application
Premium square steel pole offer the ultimate in strength and reliability for outdoor lighting.

General Description
Non-tapered steel poles are supplied with welded base with cover, four galvanized anchor bolts, masonry mounting template, and a pole cap (except tenon mount). Each bolt is provided with two washer and two nuts. Steel pole base has slotted holes. Per National Electrical Code requirements, pole is standard with a 2" x 6" (51 x 152 mm) hand hole, located 18" (457 mm) above bottom of pole base. A #10-32 stainless-steel weld stud with grounding lug is located inside pole, opposite hand hole, a hand hole cover is supplied but shipped separately.

Warranty
Harris standard terms and conditions apply.

Features

- Crown-Weld pole base
- Bronze Finish
- Exact Pole to Fixture finish color match
- Steel pole base cover and pole cap with matching finish
- 2"x6" hand hole near base
- Masonry bolt template

Ordering Information
Use the Flow chart below to configure the part number. Actual part number may vary due to configuration.

Catalog No.	Length (feet) x Width (inches) x Wall (inches)	Bolt Circle Range (inches)	Bolt Pattern Range (inches)	Bolt Size (inches)	Weight (lbs)
HW-HID-20POLE4R	20 x 4.0 x .125	105.5-111	6.6-7.7	3/4	150

Wind Specifications

Wind Specification	EPA Rating
50 MPH	3.1
60 MPH	3.7
70 MPH	4.2
80 MPH	4.7
90 MPH	5.2
100 MPH	5.8

Weight
3 lbs. 13 oz.

4035 REYNOLDS BLVD. GREEN COVE SPRINGS. FL 32043. (800) 331-2216. HARRISLIGHTING.COM

FOR REFERENCE ONLY. SEE CIVIL PLANS.

1 CIVIL SITE PLAN

2 LIGHT POLE BASE
1/2" = 1'-0"

3 DOWNSPOUT AT SIDEWALK
1 1/2" = 1'-0"

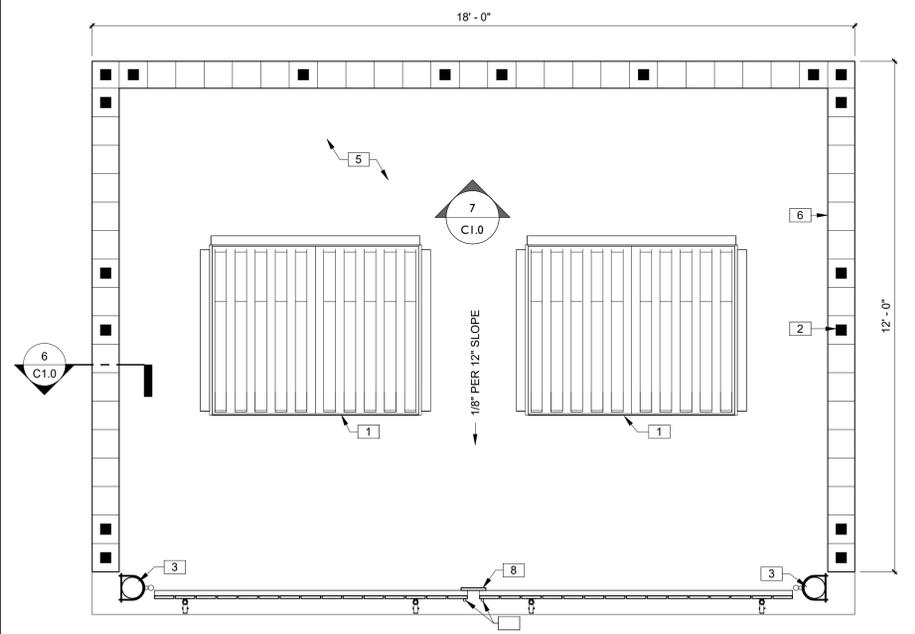
KEYNOTES

- 3/4" DIAMETER BY 1-1/2" DEEP RECESSES FOR GATE CANE BOLTS. PROVIDE TWO FOR EACH GATE IN CLOSED AND OPEN POSITION. FIELD VERIFY EXACT LOCATIONS.
- DUMPSTER (NIC).
- SOLID POURED CELL EVERY 48" W/(1)#5 CONT. DRILLED AND EPOXIED FROM TOP TO BOTTOM W/12" HOOK EACH END AND MIN. 30" SPLICE.
- 6" BOLLARD, POUR SOLID. PAINT TO MATCH BUILDING/CMU. SEE CIVIL PLANS FOR EMBEDMENT.
- TOP OF WALL, BOND BEAM SOLID POURED CONT. W/(2)#5 REBAR.
- 4" THICK FINISHED SLAB WITH FOOTING. DESIGN CONCRETE PAD TO WITHSTAND 10,000# SINGLE WHEEL LOADS.
- 8" SPLIT-FACED CMU W/(1)#5 AT 48" O.C. TYP. MORTAR SHALL BE TYPE 'M' OR 'N' FOR ALL MASONRY UNITS. PAINT BLOCK TO MATCH BUILDING.
- 3/4" DIAMETER BY 1-1/2" DEEP RECESSES FOR GATE CANE BOLTS. PROVIDE TWO FOR EACH GATE IN CLOSED AND OPEN POSITION. FIELD VERIFY EXACT LOCATIONS.
- PRESSURE TREATED (P.T.) GATE, ON MIN. 1-1/2" DIAMETER PIPE FRAME WITH ROLLER WHEELS TO PREVENT SAGGING.
- (2)#5 CONT. W/12" STANDARD HOOK.

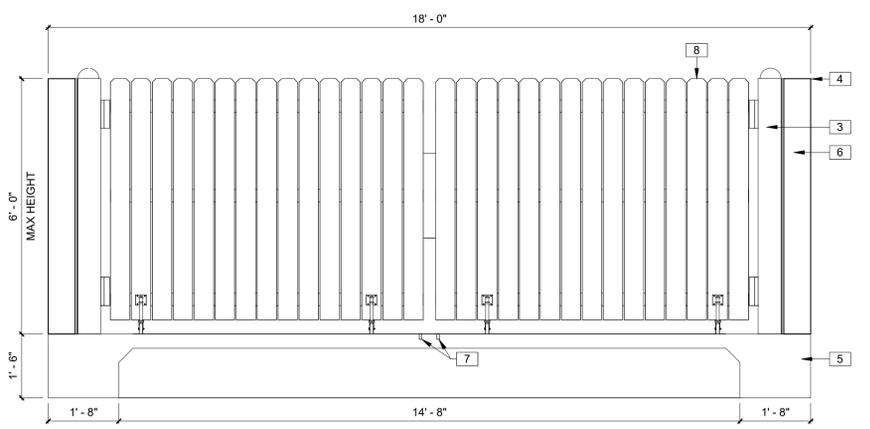
CONCRETE SHALL BE STANDARD MIX F_c=3000 PSI FOR ALL FOOTINGS AND SLABS OR SHALL BE STANDARD PUMP MIX F_c=3000 PSI. STRENGTH SHALL BE ATTAINED WITHIN 28 DAYS OF PLACEMENT. MIXING, PLACING, AND FINISHING SHALL BE PER ACI STANDARDS.

CONCRETE SHALL BE PER MANUFACTURER'S PRODUCT GUIDE ASTM C-90 REQUIREMENTS WITH MEDIUM SURFACE FINISH.

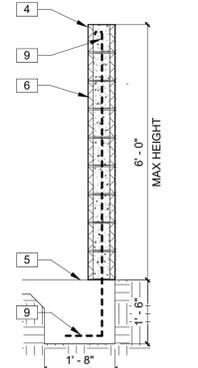
MORTAR SHALL BE TYPE 'M' OR 'N' FOR ALL MASONRY UNITS.



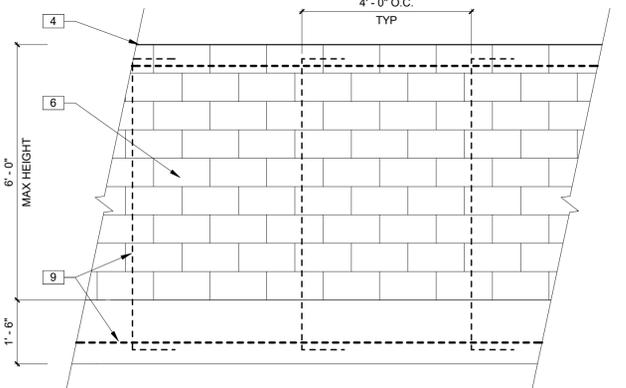
4 DUMPSTER ENCLOSURE PLAN
1/2" = 1'-0"



5 DUMPSTER ELEVATION
1/2" = 1'-0"



6 DUMPSTER SECTION
1/2" = 1'-0"



7 REBAR ELEVATION
1/2" = 1'-0"

JAMES BLYTHE

THESE DRAWINGS ARE NOT FOR CONSTRUCTION AND REBAR REVIEW ONLY AND ARE NOT TO BE REPRODUCED OR PERMITTED WITHOUT THE APPROPRIATE SIGNATURE AND SEAL.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THERE ARE NO CONFLICTS WITH THE APPLICABLE MUNICIPAL BUILDING CODES & THE APPLICABLE LOCAL AUTHORITY IN ACCORDANCE WITH THE 618 B.C. STATUTES.

DOLLAR GENERAL

T.B.D. US HWY 27
FORT WHITE, FL 32038

STORE #
2019 PROTOTYPE - PLAN 'DGP-B' - 10,640 SQ. FT.

REVISIONS

NO.	DATE	BY:

ORIG. ISSUE DATE:
12.22.2023

DRAWN BY: MV
CHECKED BY: JM

PROJECT NUMBER:
21048

DRAWING TITLE:
SITE PLAN AND DETAILS

SHEET NO.
C1.0

DATE/TIME STAMP:
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