

DATE 05/03/2006

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000024459

APPLICANT ROBERT MINNELLA PHONE 352.486.0016

ADDRESS 1451 NE 83RD TERRACE BRONSON FL 32621

OWNER BEULAH BAPTIST ASSOC., INC. PHONE 386.365.8928

ADDRESS 162 SW CURIOUS COURT LAKE CITY FL 32024

CONTRACTOR LETCHER F.WORLEY,III. PHONE 352.378.2453

LOCATION OF PROPERTY 90-W TO C-247,TL TO C-242,TR GO APPROX. .7 MILE TO CURIOUS CT, TR LAST DRIVEWAY ON L.

TYPE DEVELOPMENT MODULAR/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00

HEATED FLOOR AREA TOTAL AREA HEIGHT 15.00 STORIES 1

FOUNDATION CONC WALLS ROOF PITCH FLOOR CONC

LAND USE & ZONING A-3 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 20-4S-16-03077-101 SUBDIVISION WEST MEADOW

LOT 1 BLOCK PHASE UNIT TOTAL ACRES 5.01

CGC060228

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor

PRIVATE 06-0373-N BLK JTH N

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: 1 FOOT ABOVE ROAD.

Check # or Cash 3437

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by

Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by

Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by

Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by

Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by

M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by

Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by

M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 275.00

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only		Application # <u>0604-27</u>	Date Received <u>4-12-06</u>	By <u>LH</u>	Permit # <u>24459</u>
Application Approved by - Zoning Official <u>see next page</u>		Date <u>5-1-06</u>	Plans Examiner <u>DKJH</u>		Date <u>5-1-06</u>
Flood Zone <u>X</u>	Development Permit <u> </u>	Zoning <u> </u>	Land Use Plan Map Category <u> </u>		
Comments <u>Private road</u>					

Applicants Name Robert Minnella Phone (352) 426-0016
 Address 11451 NE 83 Terr, Bronson, FL 32621
 Owners Name Berkah Baptist Assoc. Inc Phone (386) 365-8928
 * 911 Address 162 SW Curious Ct, Lake City, FL 32024
 Contractors Name Letcher F Worley III Phone (352) 378-2453
 Address PO Box 74, Island Grove, FL 32654
 Fee Simple Owner Name & Address n/a
 Bonding Co. Name & Address n/a
 Architect/Engineer Name & Address n/a
 Mortgage Lenders Name & Address n/a
 Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
 Property ID Number 20-45-16-03077-101 Estimated Cost of Construction \$136,800
 Subdivision Name West Meadow Lot 1 Block Unit Phase
 Driving Directions 90 East to C-247 (TL) to C-249 (TR) Go approx. 7 mile to Curious Ct (Rt side) (TR) 1st Driveway on left

Type of Construction DCA - MODULAR Number of Existing Dwellings on Property 0 Purple
 Total Acreage 5.01 Lot Size 330x60 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing One
 Actual Distance of Structure from Property Lines - Front 16.7 Side 431 Side 87 Rear 200
 Total Building Height 15' Number of Stories 1 Heated Floor Area 2128 Roof Pitch

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
 this 4/19/06 day of April 2006
 Personally known ✓ or Produced Identification

x [Signature]
 Contractor Signature
 Contractors License Number CSL060228
 Competency Card Number
 NOTARY STAMP/SEAL

Notary Signature

Marlene C. Phillips
 Commission # DD134068
 Expires Sep. 1, 2006
 Bonded Thru
 Atlantic Bonding Co., Inc.



JW Called Robert Minnella
5.2.06

0604-27

3437

Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0604-27 Date Received 4-12-06 By LH Permit # _____
 Application Approved by - Zoning Official BLK Date 18.04.06 Plans Examiner _____ Date _____
 Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A3
 Comments _____

Private Road

Applicants Name Robert Minnello Phone (352) 486-0016
 Address 11451 NE 83 Terr, Bronson, FL 32621
 Owners Name Beulah Baptist Assoc Inc Phone (386) 365-8928
 911 Address 1
 Contractors Name Letcher F Worley III Phone (352) 378-2453 ³⁵²⁻³⁷¹⁻¹⁵⁶⁹
 Address PO Box 74, Island Grove, FL 32654
 Fee Simple Owner Name & Address n/a
 Bonding Co. Name & Address n/a
 Architect/Engineer Name & Address n/a
 Mortgage Lenders Name & Address n/a
 Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
 Property ID Number 20-45-16-03077-101 Estimated Cost of Construction \$ 136,800
 Subdivision Name West Meadow Lot 1 Block _____ Unit _____ Phase _____
 Driving Directions 90 East to C-247 (TL) to C-249 (TR) Go approx 27 mile to Curious Ct (Rt side) (TR) 1st Driveway on left
 Type of Construction DCA Number of Existing Dwellings on Property 0
 Total Acreage 5.01 Lot Size 330X660 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive
 Actual Distance of Structure from Property Lines - Front 167 Side 431 Side 87 Rear 200
 Total Building Height 15' Number of Stories 1 Heated Floor Area 2128 Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

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Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me

this _____ day of _____ 20____

Personally known _____ or Produced Identification _____

Contractor Signature

Contractors License Number _____

Competency Card Number _____

NOTARY STAMP/SEAL

Notary Signature

Received Sending Signed Copy

LYNCH WELL DRILLING, INC.

173 SW Tustenuggee Ave
Lake City, FL. 32025
Phone 386-752-6677
Fax 386-752-1477

Building Permit # _____ Owner's Name David Cho

Well Depth _____ Ft. Casing Depth _____ Ft. Water Level _____ Ft.

Casing Size 4 inch Steel Pump Installation: Deep Well Submersible

Pump Make Aeromator Pump Model 520-106 HP 1

System Pressure (PSI) _____ On 30 Off 50 Average Pressure 40

Pumping System GPM at average pressure and pumping level 20 (GPM)

Tank Installation: Bladder/Galvanized Make Challenger
Model PC 244 Size 81

Tank Draw-down per cycle at system pressure 25.1 gallons

I HEREBY VERIFY THAT THIS WATER WELL SYSTEM HAS BEEN
INSTALLED AS PER THE ABOVE INFORMATION.

Linda Newcomb
Signature

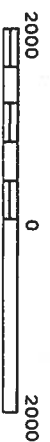
2609
License Number

Linda Newcomb
Print Name

4-28-06
Date



APPROXIMATE SCALE IN FEET



NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

COLUMBIA
COUNTY,
FLORIDA
(UNINCORPORATED AREAS)

PANEL 175 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER

120070 0175 B

EFFECTIVE DATE:

JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at www.fema.gov/nifm



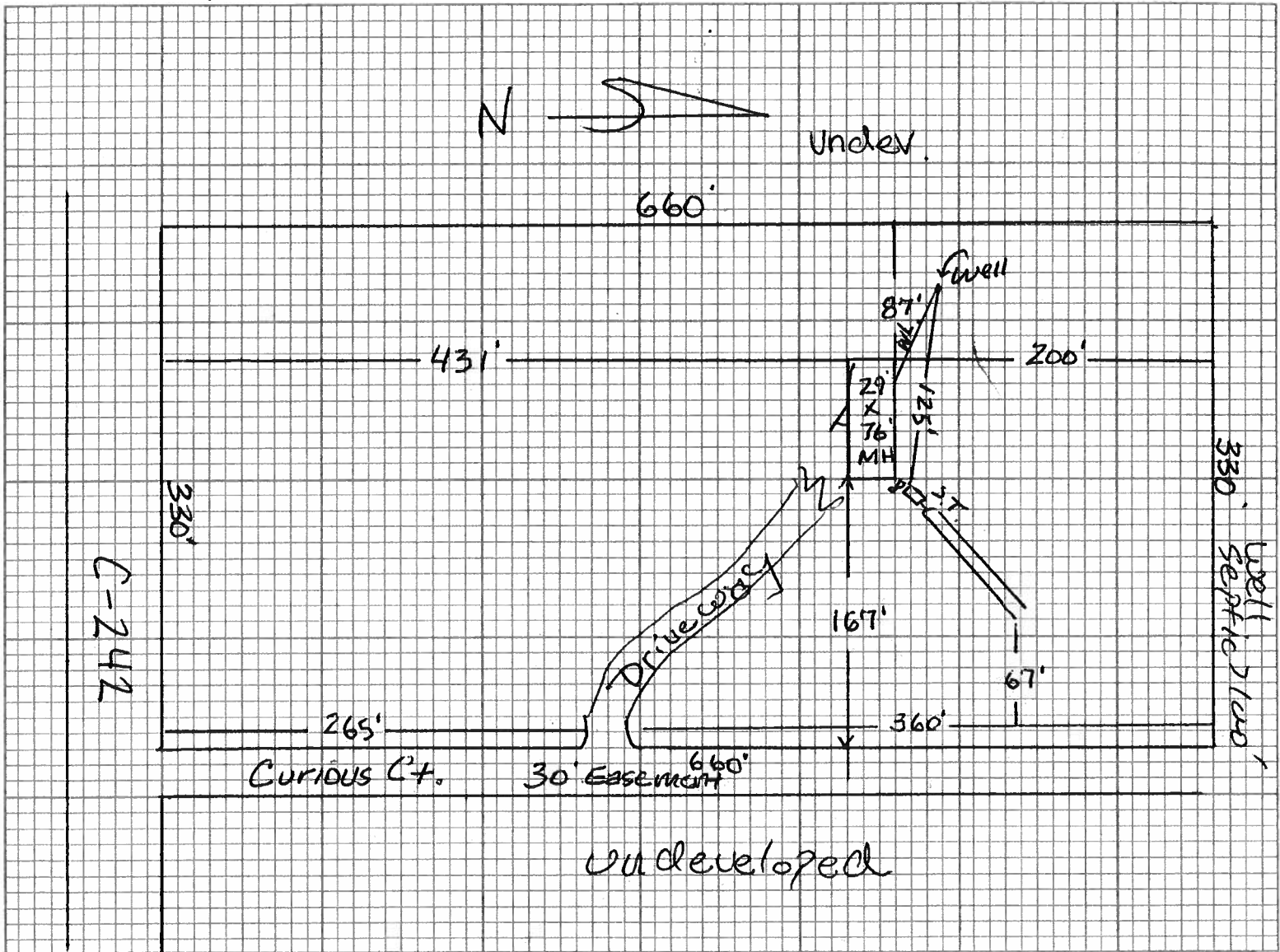
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number _____

David Cho PART II - SITE PLAN

Scale: Each block represents $\frac{10}{5}$ feet and $\frac{100}{50}$ feet.



Notes: Modular Home

Site Plan submitted by: Robert G. Marshall Signature

Agent Title

Plan Approved _____

Not Approved _____

Date 4-12-06

By _____ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

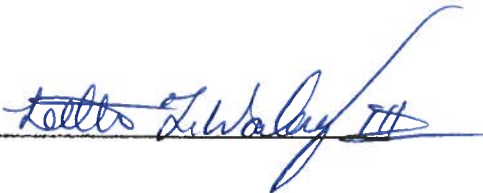
CONTRACTOR AUTHORIZATION

DATE: 4/8/06

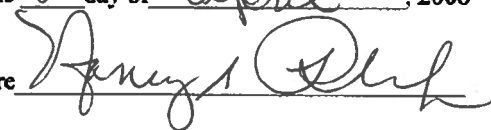
TO: Columbia Co

License No. CGC060228

I, Letcher F. Worley III give full consent to Robert Minnella to pull any and all necessary permits on my behalf for a DCA home in Columbia County for Lot 1 in West Meadow subdivision parcel 20-4S-16-03077-101.

Signed 

Sworn to me this 8 day of April, 2006

Notary Signature 

NANCY S. PHELPS
NOTARY PUBLIC - STATE OF FLORIDA
COMMISSION # DD183088
EXPIRES 05/10/2007
BONDED THRU 1-888-NOTARY1

Inst:2005018042 Date:07/28/2005 Time:16:34
Doc Stamp-Deed : 0.70
MLK DC, P. DeWitt Cason, Columbia County B:1053 P:736

Prepared by George R. Dekle, FBN 161381
289 S.W. Loblolly Place, Lake City, FL 32024

Return to Grantee

QUITCLAIM DEED

This quitclaim deed made this 30 day of July, 2005, by LAKE CITY KOREAN BAPTIST CHURCH, INC., a Florida not-for-profit corporation whose address is 189 NW Calide, Lake City, FL 32055, hereinafter called the "Grantor", to BEULAH BAPTIST ASSOCIATION, INC., a Florida not-for-profit corporation whose address is 189 N.W. Cali Drive, Lake City, FL 32055, hereinafter called the "Grantee":

WITNESSETH: that the Grantor, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS, and other good and valuable consideration to the Grantor in hand paid by the Grantee, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained and sold to the Grantee and Grantee's heirs, successors, and assigns forever, the following described land together with all improvements thereon, situate, lying, and being in Columbia county, Florida: to wit:

Lot 1 of WEST BAY MEADOW SUBDIVISION, according to the Plat thereof as recorded in Plat Book 6, Page 208, of the Public Records of Columbia County, Florida. (Parcel Identification Number R03077-101).

Subject to all reservations, covenants, conditions, restrictions and easements of record and to all taxes and assessments for A.D. 2005 and subsequent years.

To have and to hold in fee simple forever.

IN WITNESS WHEREOF Grantor has hereunto caused these presents to be executed the day and year first above written.

David K. Cho
Print Name: David K. Cho
Witness as to Grantor

LAKE CITY KOREAN BAPTIST CHURCH, INC.

Jung Ja Kim
Print Name: Jung Ja Kim
Witness as to Grantor

TONG S. BRIDGES
By: Tong S. Bridges
President

STATE OF FLORIDA, COUNTY OF COLUMBIA

The foregoing instrument was acknowledge before me this 30 day of June, 2005, by Tong S. Bridges, as President of and on behalf of LAKE CITY KOREAN BAPTIST CHURCH, INC., who is ☐ personally known to me or has ☒ produced the following identification:
Driver License



Jane MacManus
NOTARY PUBLIC
My commission expires: 7/7/2008



STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Baulah Baptist

Permit Application Number 06-0373-N

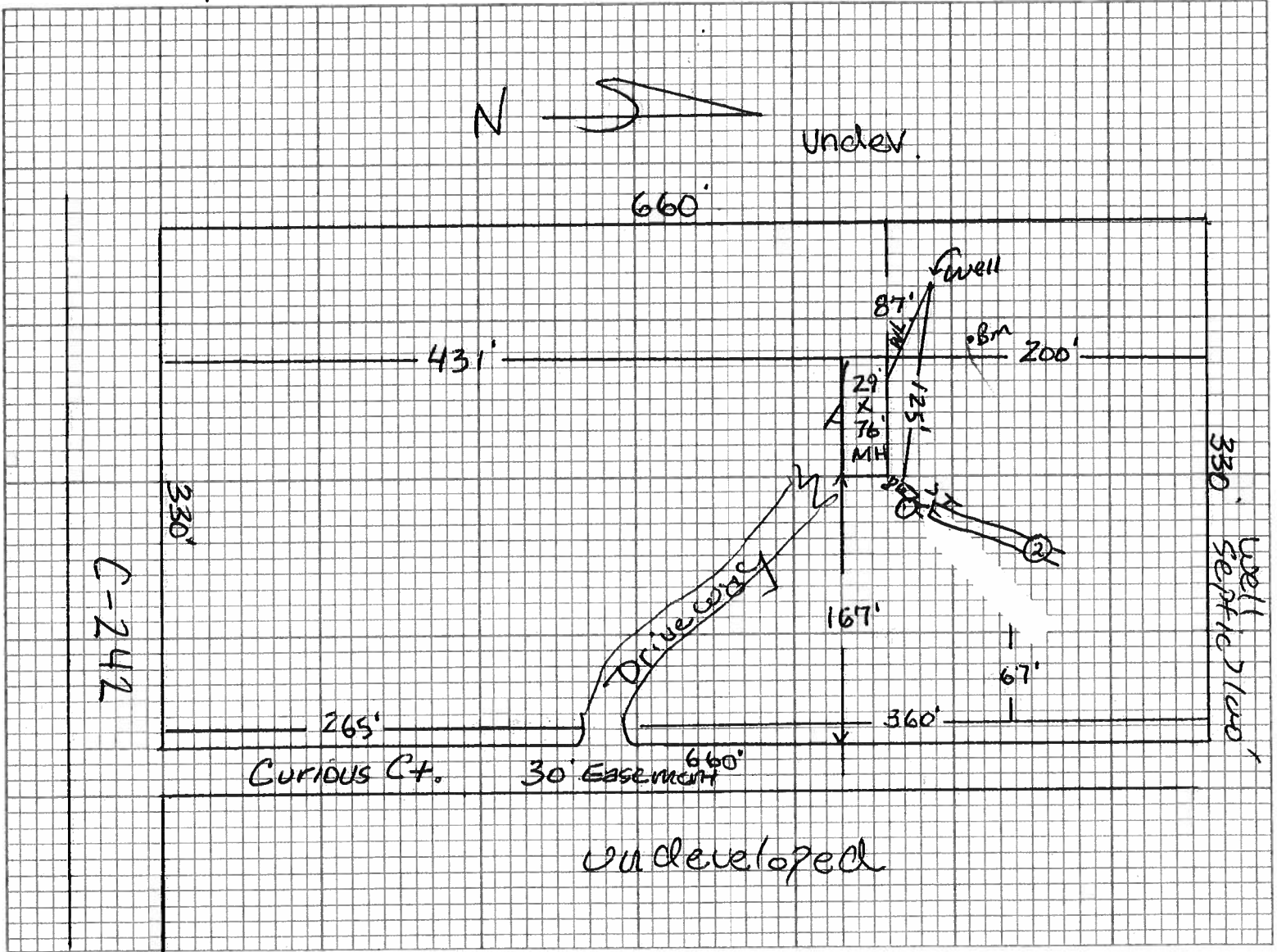
David Cho

PART II - SITE PLAN

10

100

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: Modular Home

Site Plan submitted by:

Robert Y. Smith
Signature

Agent
Title

Plan Approved ☒

APPROVED

Not Approved

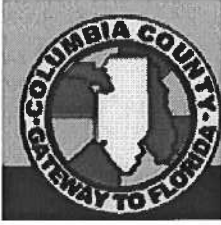
Columbia CHD

Date 4-12-06

By Robert Y. Smith

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



From: The Columbia County Building & Zoning Department
Plan Review
135 NE Hernando Av.
P.O. Box 1529
Lake City Florida 32056-1529

Reference to a building permit application Number: **0604-27**
Letcher Worley Owner Beulah Baptist Association

On the date of April 13, 2006 application 0604-27 and plans for placement of a DCA C138 modular single family dwelling were reviewed and the following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

Please include application number 0604-27 when making reference to this application.

- / 1. Please provide a copy of a signed released site plan from the Columbia County Environmental Health Department which confirms approval of the waste water disposal system.
- / 2. Foundation Plans (page nine of plans) for the off frame modular DCA C138 dwelling manufactured by Homes of Merit Inc. require that the minimum soil bearing capacity equal 2000 PSF. Therefore please follow the prescribed testing

methods to reveal the soil load bearing capacities. Please have a registered professional conduct subsurface explorations at the project site upon which foundations are to be constructed, a sufficient number (not less than four, one boring on each corner of the building foundation) borings shall be made to a depth of not less than 10 feet (3048 mm) below the level of the foundations to provide assurance of the soundness of the foundation bed and its load-bearing capacity.

As an attachment to the modular DCA C138 plans are Florida typical plans page 6 Section A-A alternate footing for soil conditions less than 2000 PSF (minimum 1000 PSF) This foundation detail may be used in lieu of the above required for subsurface explorations of the soils.

Please so indicate in writing to the Columbia County Building Department as to which foundation detail will be employed for the placement of this DCA C138 modular single family dwelling

3. Please submit a recorded (with the Columbia County Clerk Office) notice of commencement before any inspections can be preformed by the Columbia County Building Department.

Thank you,



Joe Haltiwanger
Plan Examiner
Columbia County Building Department

NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA***** THIS DOCUMENT MUST BE RECORDED AT THE COUNTY CLERKS OFFICE BEFORE YOUR FIRST INSPECTION. *****

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 20451603077-101PERMIT NUMBER 24459

1. Description of property: (legal description of the property and street address or 911 address)

Lot 1 West Meadow S/D
1102 SW Curious Ct, Lake City, FL 32024

2. General description of improvement:
- modular home

3. Owner Name & Address
- Reulah Baptis Accac 3202 Atlantic Blvd
-
- Jacksonville, FL 32207
- Interest in Property
- owner

4. Name & Address of Fee Simple Owner (if other than owner):
- N/A

5. Contractor Name
- Letcher F Worley III
- Phone Number
- (352) 378-2453
-
- Address
- PO Box 74, Island Grove, FL 32654

6. Surety Holders Name
- N/A
- Phone Number _____

Address _____

Amount of Bond _____

7. Lender Name
- N/A
- Phone Number _____

Address _____

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name N/A Phone Number _____

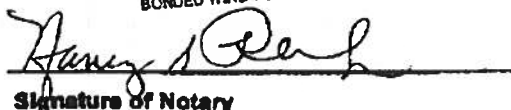
Address _____

9. In addition to himself/herself the owner designates
- N/A
- of _____
-
- to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -
-
- (a) 7. Phone Number of the designee _____

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording,
-
- (Unless a different date is specified)
- N/A

NOTICE AS PER CHAPTER 713, Florida Statutes:

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.


Signature of OwnerSworn to (or affirmed) and subscribed before
day of 12 April, 2006NANCY S. PHELPS
NOTARY STATE OF FLORIDA
COMMISSION # DD193088
EXPIRES 05/10/2007
BONDED THRU 1-000-NOTARY1
Signature of Notary

Inst:2006010783 Date:05/03/2006 Time:13:50

DC, P. DeWitt Cason, Columbia County B:1082 P:1565



STATE OF FLORIDA
DEPARTMENT OF COMMUNITY AFFAIRS

"Dedicated to making Florida a better place to call home"

JEB BUSH
Governor

THADDEUS L. COHEN, AIA
Secretary

Certification Number: MFT-37

Attention: Mr. Howard Blakely
Manufacturer: Homes of Merit, Inc. - LC
Address: P O Box 2097
Lake City, Florida, 32056

Expiration: November 04, 2007

Certified for Manufacturing: Residential & Commercial Buildings and Add-a-Rooms

This will confirm that Homes of Merit, Inc. - LC is certified to manufacture manufactured (modular) buildings, as defined by Rule Chapter 9B-1, FAC, and Chapter 553, Part I, FS, for location or sale in the State of Florida. The condition of this certification is limited to authorization specified in the above references. Each building shall bear a State Insignia located on the electrical panel box cover. A copy of this letter must accompany applications for local building permits.

This certification renewal shall be for a period of three years, as indicated above. The manufacturer will receive a renewal notice by E-mail, generated by the Building Code Information System (BCIS) 90 days prior to expiration of this notice. The manufacturer must submit the information required in s. 553.381 F.S. and Rule Chapter 9B-1.007 FAC online at www.floridabuilding.org.

If you have questions regarding licensing requirements for site-related permits for installation of manufactured buildings, you may contact us, your local building department or the Department of Business and Profession Regulations at (850) 487-1395.

Sincerely,

Michael Ashworth
Michael D. Ashworth
Program Manager
Manufactured Buildings Program
Building Codes & Standards
Phone: 850-922-6075
FAX: 850-414-8436

cc:HWC

2555 SHUMARD OAK BOULEVARD • TALLAHASSEE, FLORIDA 32399-2100
Phone: 850.488.8466/Suncom 278.8466 FAX: 850.921.0781/Suncom 291.0781
Internet address: <http://www.dca.state.fl.us>

CRITICAL STATE CONCERN FIELD OFFICE
2796 Overseas Highway, Suite 212
Marathon, FL 33050-2227
(305) 289-2402

COMMUNITY PLANNING
2555 Shumard Oak Boulevard
Tallahassee, FL 32399-2100
(850) 488-2356

EMERGENCY MANAGEMENT
2555 Shumard Oak Boulevard
Tallahassee, FL 32399-2100
(850) 413-9969

HOUSING & COMMUNITY DEVELOPMENT
2555 Shumard Oak Boulevard
Tallahassee, FL 32399-2100
(850) 488-7956

DEED 1001

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name:	2201-0146 F C138	Builder:	HOMES OF MERIT
Address:		Permitting Office:	
City, State:	, FL	Permit Number:	
Owner:	HOMES OF MERIT	Jurisdiction Number:	
Climate Zone:	Central		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 48.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 11.00
4. Number of Bedrooms	4	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft²)	2204 ft²		
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)		13. Heating systems	
a. U-factor:	Description Area	a. Electric Heat Pump	Cap: 42.0 kBtu/hr
(or Single or Double DEFAULT)	7a. (Dble, U=0.3) 15.0 ft²		HSPF: 7.00
b. SHGC:		b. N/A	
(or Clear or Tint DEFAULT)	7b. (Clear) 35.5 ft²	c. N/A	
8. Floor types		14. Hot water systems	
a. Raised Wood, Stem Wall	R=11.0, 2204.0ft²	a. Electric Resistance	Cap: 50.0 gallons
b. N/A			EF: 0.90
c. N/A		b. N/A	
9. Wall types		c. Conservation credits	
a. Frame, Wood, Exterior	R=19.0, 1609.0 ft²	(HR-Heat recovery, Solar	
b. N/A		DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	
d. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		HF-Whole house fan,	
10. Ceiling types		PT-Programmable Thermostat,	
a. Under Attic	R=22.0, 2228.0 ft²	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
11. Ducts(Leak Free)			
a. Sup: Unc. Ret: Unc. AH(Sealed):OutdoorsSup. R=6.0, 235.0 ft			
b. N/A			

Glass/Floor Area: 0.12

Total as-built points: 28180

Total base points: 31648

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]DATE: APPROVED MAR 24 2006

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: Date _____ Plan No. _____
Approved By JAMES A. LYONS

DATE: _____



¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

1D 478

FORM 600A-2004

Tested sealed ducts must be certified in this house.

EnergyGauge® 4.0

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: 2201-0146 F C138	Builder: HOMES OF MERIT
Address:	Permitting Office:
City, State: , FL	Permit Number:
Owner: HOMES OF MERIT	Jurisdiction Number:
Climate Zone: North	

1. New construction or existing New <input type="checkbox"/>	12. Cooling systems
2. Single family or multi-family Single family <input type="checkbox"/>	a. Central Unit Cap: 48.0 kBtu/hr
3. Number of units, if multi-family 1 <input type="checkbox"/>	SEER: 11.00
4. Number of Bedrooms 4 <input type="checkbox"/>	b. N/A <input type="checkbox"/>
5. Is this a worst case? Yes <input type="checkbox"/>	c. N/A <input type="checkbox"/>
6. Conditioned floor area (ft²) 2204 ft² <input type="checkbox"/>	13. Heating systems
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)	a. Electric Heat Pump Cap: 42.0 kBtu/hr
a. U-factor: Description Area	HSPF: 7.00
(or Single or Double DEFAULT) 7a. (Dble, U=0.3) 15.0 ft² <input type="checkbox"/>	b. N/A <input type="checkbox"/>
b. SHGC:	c. N/A <input type="checkbox"/>
(or Clear or Tint DEFAULT) 7b. (Clear) 35.5 ft² <input type="checkbox"/>	14. Hot water systems
8. Floor types	a. Electric Resistance Cap: 50.0 gallons
a. Raised Wood, Stem Wall R=11.0, 2204.0ft² <input type="checkbox"/>	EF: 0.90
b. N/A <input type="checkbox"/>	b. N/A <input type="checkbox"/>
c. N/A <input type="checkbox"/>	c. Conservation credits
9. Wall types	(HR-Heat recovery, Solar
a. Frame, Wood, Exterior R=19.0, 1609.0 ft² <input type="checkbox"/>	DHP-Dedicated heat pump)
b. N/A <input type="checkbox"/>	15. HVAC credits
c. N/A <input type="checkbox"/>	(CF-Ceiling fan, CV-Cross ventilation,
d. N/A <input type="checkbox"/>	HF-Whole house fan,
e. N/A <input type="checkbox"/>	PT-Programmable Thermostat,
10. Ceiling types	MZ-C-Multizone cooling,
a. Under Attic R=22.0, 2228.0 ft² <input type="checkbox"/>	MZ-H-Multizone heating)
b. N/A <input type="checkbox"/>	
c. N/A <input type="checkbox"/>	
11. Ducts(Leak Free)	
a. Sup: Unc. Ret: Unc. AH(Sealed):OutdoorsSup. R=6.0, 235.0 ft <input type="checkbox"/>	
b. N/A <input type="checkbox"/>	

Glass/Floor Area: 0.12

Total as-built points: 28850

Total base points: 33238

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *[Signature]*DATE: APPROVED MAR 24 2006

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: Date Plan No.
Approved By **JAMES A. LYONS**
DATE: *[Signature]*



¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

SEE MANUFACTURER'S CONTRACT WITH FLORIDA DCA.

Modular Building Plans Examiner
Florida License No. SMP-12

10478

FORM 600A-2004

Tested sealed ducts must be certified in this house.

EnergyGauge® 4.0

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: **2201-0146 F C138**
Address:
City, State: **, FL**
Owner: **HOMES OF MERIT**
Climate Zone: **South**

Builder: **HOMES OF MERIT**
Permitting Office:
Permit Number:
Jurisdiction Number:

1. New construction or existing New ☐
2. Single family or multi-family Single family ☐
3. Number of units, if multi-family 1 ☐
4. Number of Bedrooms 4 ☐
5. Is this a worst case? Yes ☐
6. Conditioned floor area (ft²) 2204 ft² ☐
7. Glass type¹ and area: (Label reqd. by 13-104.4.5 if not default)
 - a. U-factor: Description Area
(or Single or Double DEFAULT) 7a. (Dble, U=0.3) 15.0 ft² ☐
 - b. SHGC:
(or Clear or Tint DEFAULT) 7b. (Clear) 35.5 ft² ☐
8. Floor types
 - a. Raised Wood, Stem Wall R=11.0, 2204.0ft² ☐
 - b. N/A ☐
 - c. N/A ☐
9. Wall types
 - a. Frame, Wood, Exterior R=19.0, 1609.0 ft² ☐
 - b. N/A ☐
 - c. N/A ☐
 - d. N/A ☐
 - e. N/A ☐
10. Ceiling types
 - a. Under Attic R=22.0, 2228.0 ft² ☐
 - b. N/A ☐
 - c. N/A ☐
11. Ducts(Leak Free)
 - a. Sup: Unc. Ret: Unc. AH(Sealed):OutdoorsSup. R=6.0, 235.0 ft ☐
 - b. N/A ☐

12. Cooling systems
 - a. Central Unit Cap: 48.0 kBtu/hr ☐
SEER: 11.00 ☐
 - b. N/A ☐
 - c. N/A ☐
13. Heating systems
 - a. Electric Heat Pump Cap: 42.0 kBtu/hr ☐
HSPF: 7.00 ☐
 - b. N/A ☐
 - c. N/A ☐
14. Hot water systems
 - a. Electric Resistance Cap: 50.0 gallons ☐
EF: 0.90 ☐
 - b. N/A ☐
 - c. Conservation credits
(HR-Heat recovery, Solar
DHP-Dedicated heat pump) ☐
15. HVAC credits
(CF-Ceiling fan, CV-Cross ventilation,
HF-Whole house fan,
PT-Programmable Thermostat,
MZ-C-Multizone cooling,
MZ-H-Multizone heating) ☐

Glass/Floor Area: 0.12

Total as-built points: 31680

Total base points: 35730

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *[Signature]*DATE: APPROVED MAR 24 2006

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: _____

DATE: _____



Date: _____ Plan No: _____
Approved By **JAMES A. LYONS**

[Signature]
Modular Building Plans Examiner

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

EnergyGauge® (Version: FLRCSB v4.0)

SEE MANUFACTURER'S CONTRACT
WITH FLORIDA DCA

SUMMER CALCULATIONS**Residential Whole Building Performance Method A - Details**

ADDRESS: , , FL,

PERMIT #:

BASE				AS-BUILT						
GLASS TYPES										
.18 X	Conditioned	X BSPM =	Points	Type/SC	Overhang Ornt Len Hgt	Area X	SPM X	SOF =	Points	
Floor Area										
.18	2204.0	20.04	7950.3	Double,U=0.35,SHGC=0.4	E 1.3 7.0	135.0	25.77	0.96	3323.8	
				Double,U=0.35,SHGC=0.4	W 1.3 5.0	9.0	23.66	0.90	191.9	
				Double,U=0.35,Clear	N 1.0 8.0	60.0	22.16	0.99	1317.7	
				Double,U=0.35,Clear	S 1.0 6.7	5.5	38.56	0.96	203.6	
				Double,U=0.35,Clear	W 1.3 7.0	60.0	41.27	0.96	2367.3	
				As-Built Total:		269.5			7404.4	
WALL TYPES				Type	R-Value	Area X	SPM	=	Points	
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	19.0	1609.0	0.90		1448.1	
Exterior	1609.0	1.70	2735.3							
Base Total:	1609.0		2735.3	As-Built Total:		1609.0			1448.1	
DOOR TYPES				Type		Area X	SPM	=	Points	
Adjacent	0.0	0.00	0.0	Exterior Insulated		40.0	4.10		164.0	
Exterior	40.0	6.10	244.0							
Base Total:	40.0		244.0	As-Built Total:		40.0			164.0	
CEILING TYPES				Type	R-Value	Area X	SPM X	SCM =	Points	
Under Attic	2204.0	1.73	3812.9	Under Attic	22.0	2228.0	2.11 X 1.00		4701.1	
Base Total:	2204.0		3812.9	As-Built Total:		2228.0			4701.1	
FLOOR TYPES				Type	R-Value	Area X	SPM	=	Points	
Slab	0.0(p)	0.0	0.0	Raised Wood, Stem Wall	11.0	2204.0	-1.90		-4187.6	
Raised	2204.0	-3.99	-8794.0							
Base Total:			-8794.0	As-Built Total:		2204.0			-4187.6	
INFILTRATION						Area X	SPM	=	Points	
	2204.0	10.21	22502.8			2204.0	10.21		22502.8	

SUMMER CALCULATIONS**Residential Whole Building Performance Method A - Details**

ADDRESS: , , FL,

PERMIT #:

BASE				AS-BUILT						
Summer Base Points: 28451.4				Summer As-Built Points: 32032.8						
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component (System - Points)	X Cap Ratio (DM x DSM x AHU)	X Duct Multiplier (1.09 x 1.000 x 1.02)	X System Multiplier 0.310	X Credit Multiplier 1.000	=	Cooling Points 11050.1
28451.4	0.4266		12137.4	(sys 1: Central Unit 48000 btuh ,SEER/EFF(11.0) Ducts:Unc(S),Unc(R),Out(AH),R6.0(INS) 32033	1.00	1.112	0.310	1.000		11050.1
				32032.8	1.00					

WINTER CALCULATIONS**Residential Whole Building Performance Method A - Details**

ADDRESS: , , FL,

PERMIT #:

BASE				AS-BUILT								
GLASS TYPES												
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Omt Len Hgt		Area X WPM X WOF = Points					
.18	2204.0	12.74	5054.2	Double,U=0.35,SHGC=0.4	E	1.3	7.0	135.0	7.32	1.02	1009.0	
				Double,U=0.35,SHGC=0.4	W	1.3	5.0	9.0	8.41	1.03	77.8	
				Double,U=0.35,Clear	N	1.0	8.0	60.0	8.98	1.00	538.8	
				Double,U=0.35,Clear	S	1.0	6.7	5.5	-1.96	1.01	-10.9	
				Double,U=0.35,Clear	W	1.3	7.0	60.0	5.19	1.01	315.2	
				As-Built Total:				269.5				1929.8
WALL TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points					
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	19.0		1609.0	2.20	3539.8			
Exterior	1609.0	3.70	5953.3									
Base Total: 1609.0 5953.3				As-Built Total:		1609.0		3539.8				
DOOR TYPES Area X BWPM = Points				Type	Area X WPM = Points							
Adjacent	0.0	0.00	0.0	Exterior Insulated			40.0	8.40	336.0			
Exterior	40.0	12.30	492.0									
Base Total: 40.0 492.0				As-Built Total:		40.0		336.0				
CEILING TYPES Area X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points					
Under Attic	2204.0	2.05	4518.2	Under Attic	22.0		2228.0	2.45 X 1.00	5458.6			
Base Total: 2204.0 4518.2				As-Built Total:		2228.0		5458.6				
FLOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points					
Slab	0.0(p)	0.0	0.0	Raised Wood, Stem Wall	11.0		2204.0	1.20	2644.8			
Raised	2204.0	0.96	2115.8									
Base Total: 2115.8				As-Built Total:		2204.0		2644.8				
INFILTRATION Area X BWPM = Points				Area X WPM = Points								
2204.0 -0.59 -1300.4				2204.0 -0.59 -1300.4								

WINTER CALCULATIONS**Residential Whole Building Performance Method A - Details**

ADDRESS: , , FL,

PERMIT #:

BASE				AS-BUILT						
Winter Base Points:		16833.2		Winter As-Built Points:			12608.7			
Total Winter Points	X	System Multiplier	= Heating Points	Total Component (System - Points)	X Cap Ratio (DM x DSM x AHU)	X Duct Multiplier	X System Multiplier	X Credit Multiplier	= Heating Points	
16833.2		0.6274	10561.1	(sys 1: Electric Heat Pump 42000 btuh ,EFF(7.0) Ducts:Unc(S),Unc(R),Out(AH),R6.0 12608.7 1.000 (1.069 x 1.000 x 1.07) 0.487 1.000 7025.7 12608.7 1.00 1.144 0.487 1.000 7025.7						

WATER HEATING & CODE COMPLIANCE STATUS**Residential Whole Building Performance Method A - Details**

ADDRESS: , , FL,

PERMIT #:

BASE				AS-BUILT						
WATER HEATING				Tank Volume	EF	Number of Bedrooms	X	Tank X Ratio	Multiplier X Credit	= Total
Number of Bedrooms	X	Multiplier	= Total							
4		2635.00	10540.0	50.0	0.90	4		1.00	2693.56	1.00 10774.2
				As-Built Total:						10774.2

CODE COMPLIANCE STATUS												
BASE							AS-BUILT					
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	Cooling Points	+	Heating Points	+	Hot Water Points	= Total Points
12137		10561		10540		33238	11050		7026		10774	28850

PASS

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: , , FL,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

Tested sealed ducts must be certified in this house.

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 85.8

The higher the score, the more efficient the home.

HOMES OF MERIT, , , FL,

1. New construction or existing	New	___	12. Cooling systems	
2. Single family or multi-family	Single family	___	a. Central Unit	Cap: 48.0 kBtu/hr
3. Number of units, if multi-family	1	___		SEER: 11.00
4. Number of Bedrooms	4	___	b. N/A	___
5. Is this a worst case?	Yes	___	c. N/A	___
6. Conditioned floor area (ft ²)	2204 ft ²	___		___
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)		___	13. Heating systems	
a. U-factor:	Description Area		a. Electric Heat Pump	Cap: 42.0 kBtu/hr
(or Single or Double DEFAULT)	7a. (Dble, U=0.3)	15.0 ft ² ___		HSPF: 7.00
b. SHGC:			b. N/A	___
(or Clear or Tint DEFAULT)	7b. (Clear)	35.5 ft ² ___	c. N/A	___
8. Floor types				___
a. Raised Wood, Stem Wall	R=11.0, 2204.0ft ²	___	14. Hot water systems	
b. N/A		___	a. Electric Resistance	Cap: 50.0 gallons
c. N/A		___		EF: 0.90
9. Wall types			b. N/A	___
a. Frame, Wood, Exterior	R=19.0, 1609.0 ft ²	___	c. Conservation credits	___
b. N/A		___	(HR-Heat recovery, Solar	
c. N/A		___	DHP-Dedicated heat pump)	
d. N/A		___	15. HVAC credits	
e. N/A		___	(CF-Ceiling fan, CV-Cross ventilation,	
10. Ceiling types			HF-Whole house fan,	
a. Under Attic	R=22.0, 2228.0 ft ²	___	PT-Programmable Thermostat,	
b. N/A		___	MZ-C-Multizone cooling,	
c. N/A		___	MZ-H-Multizone heating)	
11. Ducts(Leak Free)				
a. Sup: Unc. Ret: Unc. AH(Sealed):OutdoorsSup. R=6.0, 235.0 ft		___		
b. N/A		___		

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____

Date: _____

Address of New Home: _____

City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.
EnergyGauge® (Version: FLRCSB v4.0)

Energy Code Compliance

Duct System Performance Report

Project Name: 2201-0146 F C138 Address: City, State: , FL Owner: HOMES OF MERIT Climate Zone: North	Builder: HOMES OF MERIT Permitting Office: Permit Number: Jurisdiction Number:
--	---

Total Duct System Leakage Test Results

CFM25 Total Duct Leakage Test Values			
Line	System	Duct Leakage Total	Duct Leakage to Outdoors
1	System1	_____ cfm25(tot)	_____ cfm25(out)
2	System2	_____ cfm25(tot)	_____ cfm25(out)
3	System3	_____ cfm25(tot)	_____ cfm25(out)
4	System4	_____ cfm25(tot)	_____ cfm25(out)
5	Total House Duct System Leakage	Sum lines 1-4 _____ Divide by _____ (Total Conditioned Floor Area) = _____ (Q _{n,tot}) <input type="checkbox"/> Receive credit if Q _{n,tot} ≤ 0.03	Sum lines 1-4 _____ Divide by _____ (Total Conditioned Floor Area) = _____ (Q _{n,out}) <input type="checkbox"/> Receive credit if Q _{n,out} ≤ 0.03 AND Q _{n,tot} ≤ 0.09

I hereby certify that the above duct testing performance results demonstrate compliance with the Florida Energy Code requirements in accordance with Section 610.1.A.1, Florida Building Code, Building Volume, Chapter 13 for leak free duct system credit.

Signature: _____
Printed Name: _____
Florida Rater Certification #: _____
DATE: _____

Florida Building Code requires that testing to confirm leak free duct systems be performed by a Class 1 Florida Energy Gauge Certified Energy Rater. Certified Florida Class 1 raters can be found at: <http://energygauge.com/search.htm>



BUILDING OFFICIAL: _____
DATE: _____

Summary Energy Code Results

Residential Whole Building Performance Method A

HOMES OF MERIT

, FL

Project Title:
2201-0146 F C138

Class 3 Rating
Registration No. 0
Climate: South

3/24/2006

Building Loads			
Base		As-Built	
Summer:	60317 points	Summer:	63622 points
Winter:	1445 points	Winter:	1018 points
Hot Water:	8365 points	Hot Water:	8365 points
Total:	70127 points	Total:	73005 points

Energy Use			
Base		As-Built	
Cooling:	25731 points	Cooling:	21798 points
Heating:	906 points	Heating:	589 points
Hot Water:	9092 points	Hot Water:	9294 points
Total:	35730 points	Total:	31680 points

PASS
e-Ratio: 0.89

Summary Energy Code Results

Residential Whole Building Performance Method A

HOMES OF MERIT

, FL

Project Title:
2201-0146 F C138

Class 3 Rating
Registration No. 0
Climate: North

3/24/2006

Building Loads			
Base		As-Built	
Summer:	28451 points	Summer:	32033 points
Winter:	16833 points	Winter:	12609 points
Hot Water:	9697 points	Hot Water:	9697 points
Total:	54981 points	Total:	54338 points

Energy Use			
Base		As-Built	
Cooling:	12137 points	Cooling:	11050 points
Heating:	10561 points	Heating:	7026 points
Hot Water:	10540 points	Hot Water:	10774 points
Total:	33238 points	Total:	28850 points

PASS
e-Ratio: 0.87

GERBANY COMPANY
OF

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 20-4S-16-03077-101

Building permit No. 000024459

Use Classification MODULAR/UTILITY

Fire: 0.00

Permit Holder LETCHER F. WORLEY, III.

Waste: _____

Owner of Building BEULAH BAPTIST ASSOC., INC.

Total: 0.00

Location: 162 SW CURIOUS COURT(WEST MEADOW, LOT 1)

Date: 06/09/2006

Harry Dicker

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)





HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

DCA C138
FLORIDA
INDEX PAGE

TOTAL HEATED 2204 SQ. FT.

14.7 SQUARE FEET NET FREE AREA OF
ATTIC VENTILATION TO BE PROVIDED
BY SOFFIT AND RIDGE VENTS/ROOF VENTS.
14.7 SQUARE FEET NET FREE AREA OF
CRAWL SPACE VENTILATION TO BE
PROVIDED BY FOUNDATION CONTRACTOR.

TRUSS PACKAGE
UNIVERSAL FOREST PRODUCTS
14'-6" WIDE MODULES
C367802 (3/12 VAULT)
HC90603 (6/12 VAULT)
HMS94501 (6/12 FLAT)

ATTIC ACCESS IS REQUIRED
WITH 4/12 ROOF PITCH OR
GREATER ONLY.

PAGE 1.	COVER PAGE
PAGE 2.	ELECT. PANEL SPEC.
PAGE 3.	ELEVATIONS
PAGE 3A.	ELEVATIONS
PAGE 4.	FLOOR PLAN
PAGE 4A.	FLOOR PLAN
PAGE 5.	COLUMNS
PAGE 6.	HVAC DUCTS
PAGE 7.	DRAIN LINES
PAGE 8.	ON FRAME FOUNDATION LAYOUT
PAGE 9.	OFF FRAME FOUNDATION LAYOUT

NOTES:
SEE THE STATE APPROVED CONSTRUCTION PACKAGE FOR
ROOF CONSTRUCTION DETAILS, FOUNDATION DETAILS AND
TYPICAL CONSTRUCTION DETAILS.

FLORIDA TYPICALS MUST ACCOMPANY THESE
PLANS UPON SUBMITTAL. ADDITIONAL HINGED ROOF
DETAILS MUST BE INCLUDED WHEN HOME IS BUILT
WITH HINGED ROOF.

ACTUAL CONSTRUCTION METHOD AND PRODUCTS MAY VARY FROM
DETAILS CONTAINED IN THIS DOCUMENT PROVIDED THE METHOD OF
CONSTRUCTION AND PRODUCTS ARE ADDRESSED IN THE MASTER
CONSTRUCTION MANUAL LOCATED AT THE MANUFACTURING FACILITY.

THIS BUILDING IS ON A PERMANENT FOUNDATION AND IS NOT A
HUD UNIT.

PLAN REVIEW AND INSPECTION REQUIRED BY CHAPTER 633 F.S., TO BE HANDLED BY LOCAL FIRE SAFETY INSPECTOR.	
BUILDING INSULATION VALUES:	
WALLS	R-11
FLOOR	R-19
CEILING	R-22
WINDOWS:	U = 0.35

Date: 3-24-06 Plan No. 2201-0146F
Approved by JAMES A. LYONS

James A. Lyons
Modular Building Plans Examiner
Florida License No. SLP-12

FLORIDA
STRUCTURAL LOAD LIMITATIONS:

FLOOR LIVE LOAD:
1. 40 PSF.
2. 20 PSF.
ROOF LIVE LOAD:
1. 130 MPH WIND SPEED. WIND IMPORTANCE FACTOR.
2. Iw = 1.0 BLDG. CAT. II ENCLOSED.
3. C WIND EXPOSURE CATEGORY.
4. Gcpi=0.18 INTERNAL PRESSURE COEFFICIENT.
5. D.W.P. FOR C/C PSF
Pr = ROOF COMPONENT & CLADDING LOAD.
ZONE 1 = -31.5 PSF
ZONE 2,3 = -55.8 PSF
ROOF OVERHANG
ZONE 2 = -68.6PSF
ZONE 3 = -115.3 PSF
Pw = WALL COMPONENT & CLADDING LOAD.
WALL : (WINDOWS, DOORS)
ZONE 4 = -40.0 PSF
ZONE 5 = -49.0 PSF
6. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON
THE UPPER HALF OF A HILL OR ESCARPMENT
EXCEEDING 15 FEET IN HEIGHT.
7. THE MODULAR STRUCTURE MAY BE LOCATED IN AN
(AE) FLOOD ZONE PROVIDED THAT THE STRUCTURE IS
LOCATED ABOVE THE BASE FLOOD ELEVATION.

ROBERT E. GREGG
REGISTERED ARCHITECT
830 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX : (727)-791-6942

USING AGENCY APPROVAL THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILD- ING ACT OF 1979 CONSTRUCTION CODE AND ARE SUBJECT TO THE 196- LOADING CRITERIA.	
CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	130
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2201-0146F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	3-24-06
MANUFACTURER HOMES OF MERIT	
HIGH VELOCITY HURRICANE ZONE	NO



THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056



Date: 3-16-06	Revisions	Cad#: C138-01
Dr'n FP		
Scale: N.T.S.		
Code: D (06)		
FLORIDA	DCA: DCA C138 76x29 4BR 2B STUDY APPROVED MAR 24 2006	INDEX PAGE 1

ELECTRICAL SCHEDULE				PANEL SIZING	
BRKR.	NO.	NOMENCLATURE	VOLTS	WIRE CU. NM	KVA
20	1	PORTABLE APPLIANCE	120	12/2 GFCI	6.61
20	2	PORTABLE APPLIANCE	120	12/2 GFCI	3.0
20	3	GFCI RECEPTACLES	120	12/2 GFCI	
15	4	GENERAL LIGHTING	120	14/2 AFCI	
15	5	GENERAL LIGHTING	120	14/2 AFCI	8.0
15	6	GENERAL LIGHTING	120	14/2 AFCI	5.5
15	7	GENERAL LIGHTING	120	14/2	1.4
15	8	GENERAL LIGHTING	120	14/2 AFCI	1.5
15	9	GENERAL LIGHTING	120	14/2	5.0
20	10	EXT. GFI RECEPT	120	12/2 GFCI	
30 (2P)	11	WATER HEATER	240	10/2	1.9
20	12	WASHER	120	12/2	1.2
30 (2P)	13	DRYER	240	10/3	1.5
20	14	DISHWASHER	120	12/2	
40 (2P)	15	RANGE	240	8/3	35.61
40 (2P)	16	COOK TOP	240	8/3	10.0
40 (2P)	17	BUILT-IN OVEN	240	8/3	10.24
20	18	GARBAGE DISPOSAL	120	12/2	15.8
	19	HVAC COMPRESSOR	SIZED PER MFR. SPECS.		
	20	HVAC BLOWER	SIZED PER MFR. SPECS.		36.04
15	21	SMOKE DETECTOR	120	14/3 AFCI	150.17
20	22	WHIRLPOOL TUB	120	12/2 GFI	
20	23	FREEZER	120	12/2	
20	24	MICROWAVE	120	12/2	

DESCRIPTION

FLOOR AREA 2204 SF X 3 VA ÷ 1000 =

2 SMALL APPLIANCES AT 1500 VA. ÷ 1000 =

BUILT-IN OVEN AT 4.8 KW. =

COUNTER MOUNTED COOK TOP AT 7.4 KW =

RANGE AT 8.0 KW. =

WATER HEATER AT 5.5 KW =

OPT. DISHWASHER AT 1.4 KW. =

WASHER AT 1500 VA./1000 =

DRYER AT 5.0 KW. =

OPT. FREEZER AT 1.9 KW. =

OPT. GARBAGE DISPOSAL AT 1.9 KW. =

OPT. WHIRLPOOL TUB AT 1.2 KW. =

OPT. MICROWAVE AT 1.5 KW. =

TOTAL LOAD

FIRST 10 KVA AT 100%

REMAINDER AT 40%

HVAC AT 100%

TOTAL

TOTAL X 1000
240

INSTALL 200 AMP PANEL

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33766
PHONE (727)-798-8774
FAX (727)-791-6942

LISTING
AGENCY APPROVAL
THESE PRINTS COMPLY WITH THE
FLORIDA MANUFACTURED BUILD-
ING CODE AND ADHERE TO THE FOL-
LOWING CRITERIA.

CONST. TYPE VB
OCCUPANCY R-3
ALLOWABLE NO. OF FLOORS 1
WIND VELOCITY 130
FIRE RATING OF EXT. WALLS 0
PLAN NO. 2201-0146F
ALLOW. FLOOR LOAD 40

APPROVAL DATE 3-24-06
MANUFACTURER HOMES OF MERIT
HIGH VELOCITY HURRICANE ZONE NO

WWE
COA # 1025

THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756



HOMES OF MERIT, INC.
P.O. BOX 205
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 03-16-06
Dr'n FP
Scale: N.T.S.
Code: D (06)

Revisions

Cad#: C138-02

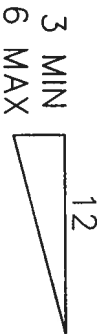
FLORIDA

DCA:

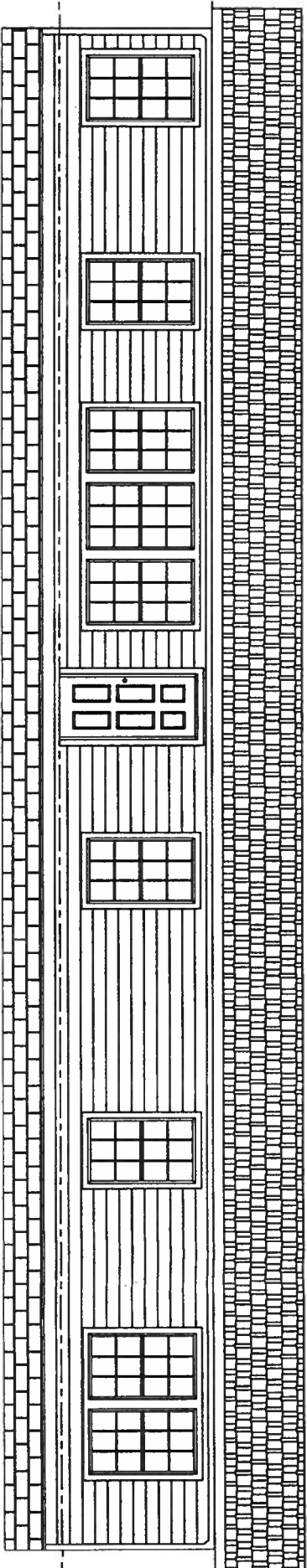
DCA C138

APPROVED MAR 24 2006

PAGE 2
ELECTRIC PANEL



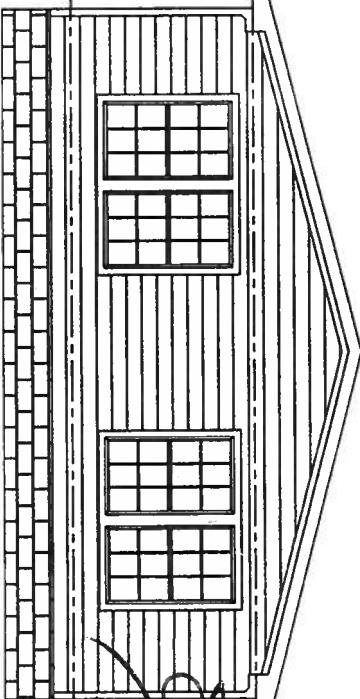
FRONT ELEVATION



90" MIN. WALL HEIGHT
108" MAX. WALL HEIGHT

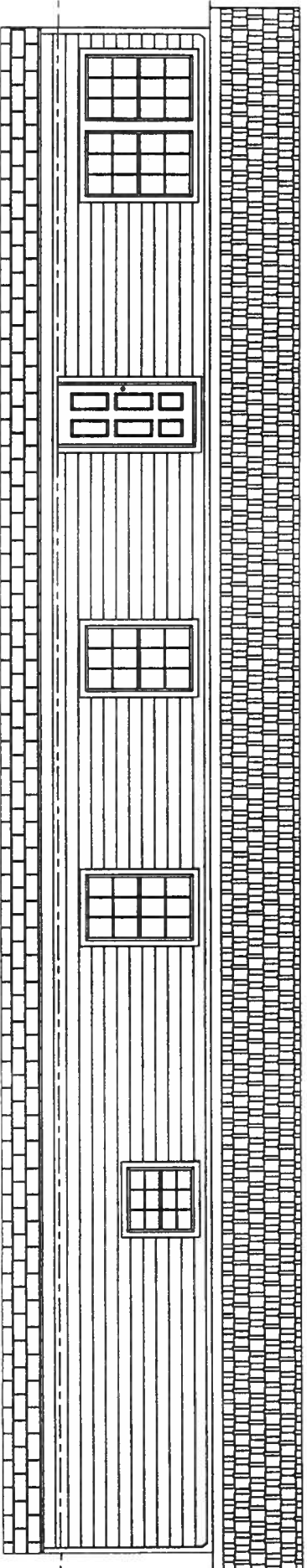
FINISH FLOOR

RIGHT ELEVATION



APPROVED MAR 24 2006

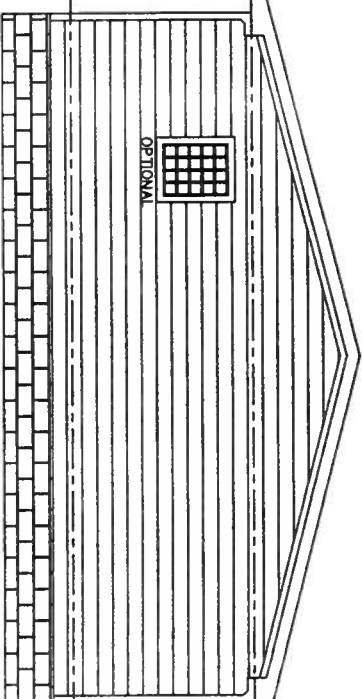
REAR ELEVATION



90" MIN. WALL HEIGHT
108" MAX. WALL HEIGHT

FINISH FLOOR

LEFT ELEVATION



ELEVATION NOTES:

SEE CROSS-SECTION FOR METHOD OF ROOF VENTILATION.

NOTE: UNDERPINNING AND STOOPS ON SITE
BY OTHERS TYPICAL ONLY.

FOUNDATION ENCLOSURE (WHEN PROVIDED) MUST HAVE 1-SQUARE
FOOT NET VENT AREA 1/150th OF THE FLOOR AREA, AND A
18"x24" MINIMUM CRAWL SPACE ACCESS, SITE INSTALLED BY
OTHERS AND SUBJECT TO LOCAL JURISDICTION.

STAR(S) AND HANDRAILS ARE SITE INSTALLED, DESIGNED
BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX: (727)-791-6842

THIRD PARTY
HARRISON, WERNER, CARTER
& ASSOCIATES
1627 SOUTH WINDLE AVE.
CLEARWATER, FL 33756

LISTING
AGENCY APPROVAL
THESE PRINTS COMPLY WITH THE
FLORIDA WATERPROOFING BOARD
REQUIREMENTS FOR SUBMITTAL
DOES NOT WARRANT ANY
LIABILITY OR ENDORSEMENT
UNLESS OTHERWISE NOTED
CONTRACT TYPE R-3
OCCUPANCY
ALTERNATE NO. 1
WIND VELOCITY 130
TIME BUILDING OF 0
PLAN NO. 2201-0146F
ALLOW FLOOR LOAD 40
APPROVAL DATE 3-24-06
MANUFACTURED HOME INSPECTION
HIGH VELOCITY HAZARDOUS ZONE NO



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 3-16-06

Revisions

Cod#: C138-03

Dr'n: CP /FP

Scale: 1/8"=1'

Code: D (06)

2201-0146F

FLORIDA

DCA:

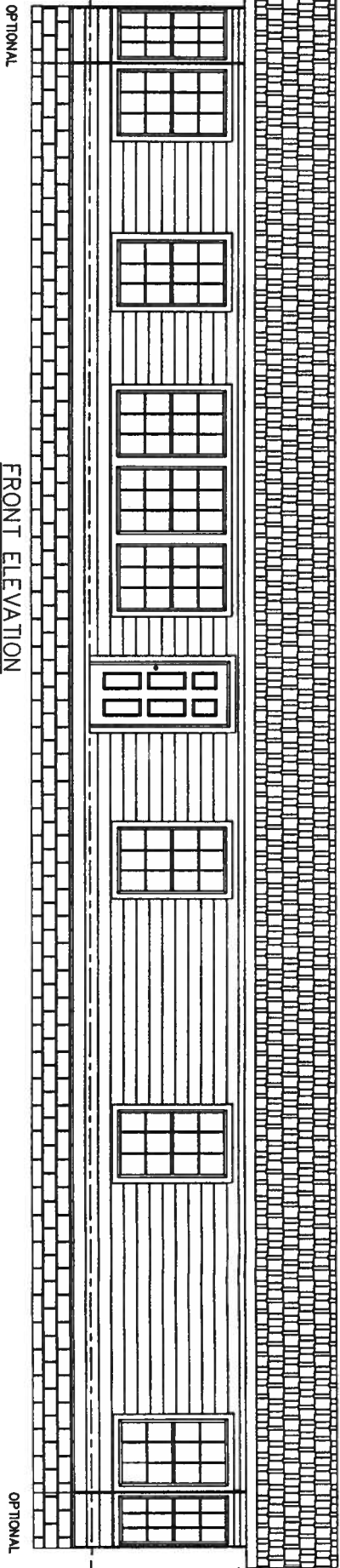
DCA C138

Print:

PAGE 3
ELEVATIONS

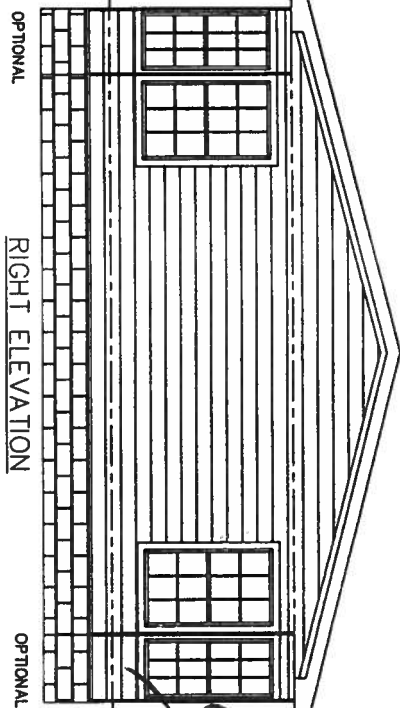
3 MIN
6 MAX

12

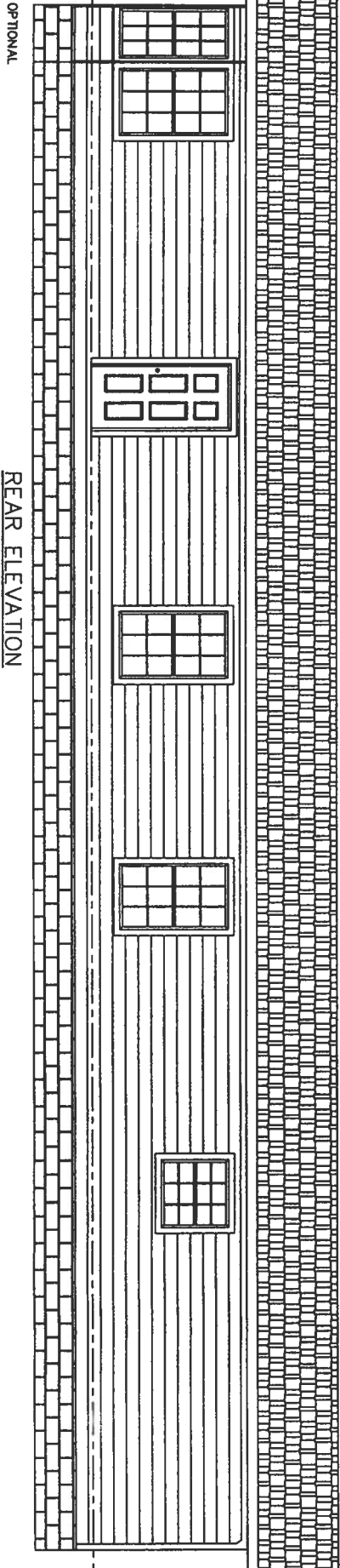


90" MIN. WALL HEIGHT
108" MAX. WALL HEIGHT

FINISH FLOOR

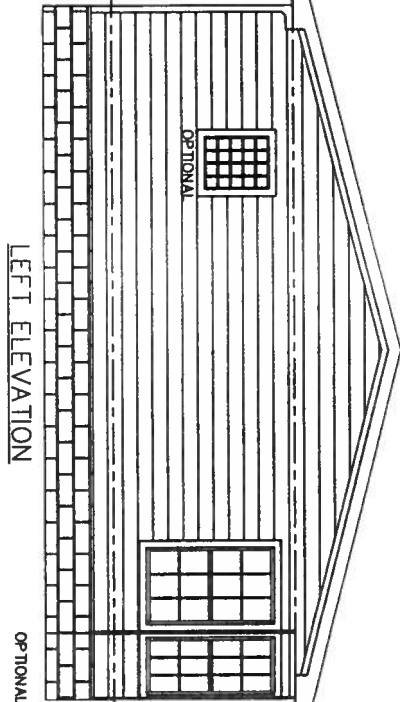


APPROVED MAR 24 2006



90" MIN. WALL HEIGHT
108" MAX. WALL HEIGHT

FINISH FLOOR



ELEVATION NOTES:

SEE CROSS-SECTION FOR METHOD OF ROOF VENTILATION.

NOTE: UNDERPINNING AND STOOPS ON SITE BY OTHERS TYPICAL ONLY.

FOUNDATION ENCLOSURE (WHEN PROVIDED) MUST HAVE 1-SQUARE FOOT NET VENT AREA 1/150th OF THE FLOOR AREA, AND A 18"x24" MINIMUM CRAWL SPACE ACCESS, SITE INSTALLED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.

STAR(S) AND HANDRAILS ARE SITE INSTALLED, DESIGNED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.

THIRD PARTY
HARRISON, WERNER, CARTER
1827 SOUTH MARTE AVE.
CLEARWATER, FL 33756

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX: (727)-791-6942

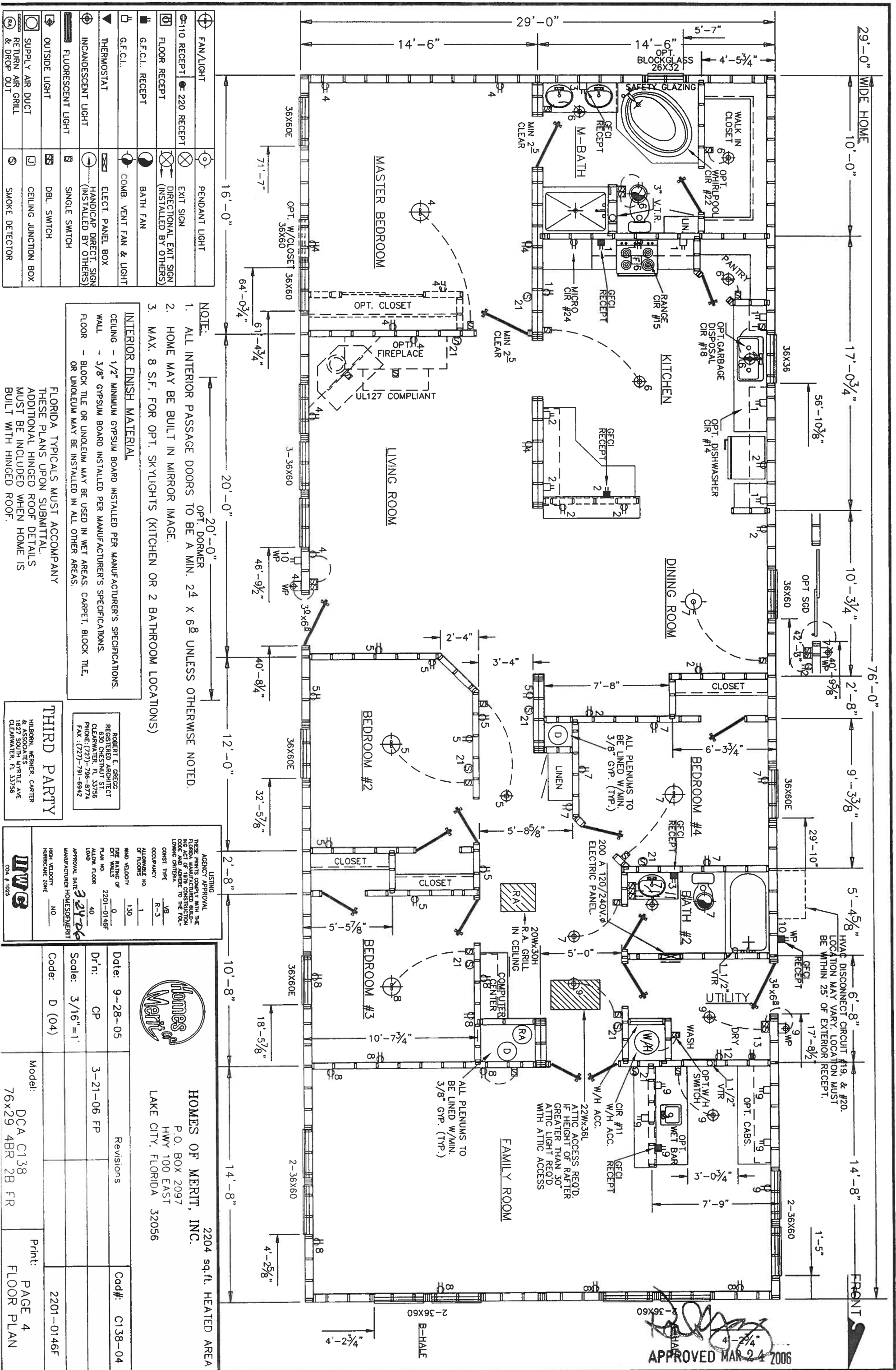
LISTING
THESE PRINTS COMPLY WITH THE
FLORIDA MANUFACTURED BUILD-
ING CODE AND ARE SUBJECT TO THE
LOCAL ORDINANCES.
CONST. TYPE: VB
OCCUPANCY: R-3
AUTOMATIC NO. OF FLOORS: 1
WIND VELOCITY: 130
SEISMIC RATING OF: 0
PLAN NO.: 2201-0146F
ALLOW FLOOR LOAD: 40
APPROVAL DATE: 3-16-06
MANUFACTURER'S SIGNATURE: [Signature]
HIGH VELOCITY WINDZONE: NO

DWG
CON # 1025



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date:	3-16-06	Revisions	Cod#:	C138-03A
Dr'n:	CP/FP			
Scale:	1/8"=1'			
Code:	D (06)			2201-0146F
FLORIDA	DCA	DCA C138	Print:	PAGE 3A ELEVATIONS



FAN/LIGHT	PENDANT LIGHT
110 RECEPT	220 RECEPT
FLOOR RECEPT	DIRECT. EXIT SIGN (INSTALLED BY OTHERS)
G.F.C.I. RECEPT	BATH FAN
G.F.C.I.	COMB. VENT FAN & LIGHT
THERMOSTAT	ELECT. PANEL BOX
INCANDESCENT LIGHT	HANDICAP DIRECT. SIGN (INSTALLED BY OTHERS)
FLUORESCENT LIGHT	SINGLE SWITCH
OUTSIDE LIGHT	DBL. SWITCH
SUPPLY AIR DUCT	CEILING JUNCTION BOX
RETURN AIR GRILL	SMOKE DETECTOR

NOTE:

- ALL INTERIOR PASSAGE DOORS TO BE A MIN. 2'4" X 6'8" UNLESS OTHERWISE NOTED.
- HOME MAY BE BUILT IN MIRROR IMAGE.
- MAX. 8 S.F. FOR OPT. SKYLIGHTS (KITCHEN OR 2 BATHROOM LOCATIONS)

INTERIOR FINISH MATERIAL

CEILING - 1/2" MINIMUM GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
WALL - 3/8" GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
FLOOR - BLOCK TILE OR UNOLEUM MAY BE USED IN WET AREAS. CARPET, BLOCK TILE, OR UNOLEUM MAY BE INSTALLED IN ALL OTHER AREAS.

THIRD PARTY

HILBORN, WERNER, CARTER & ASSOCIATES
1827 SOUTH WYRTLE AVE
CLEARWATER, FL 33756

AGENCY APPROVAL

THESE PLANS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1978 CONSTRUCTION CODES AND TO THE FOLLOWING CRITERIA:

CONST. TYPE	1-A
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	130
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2201-0146F
ALLOW. FLOOR LOAD	40

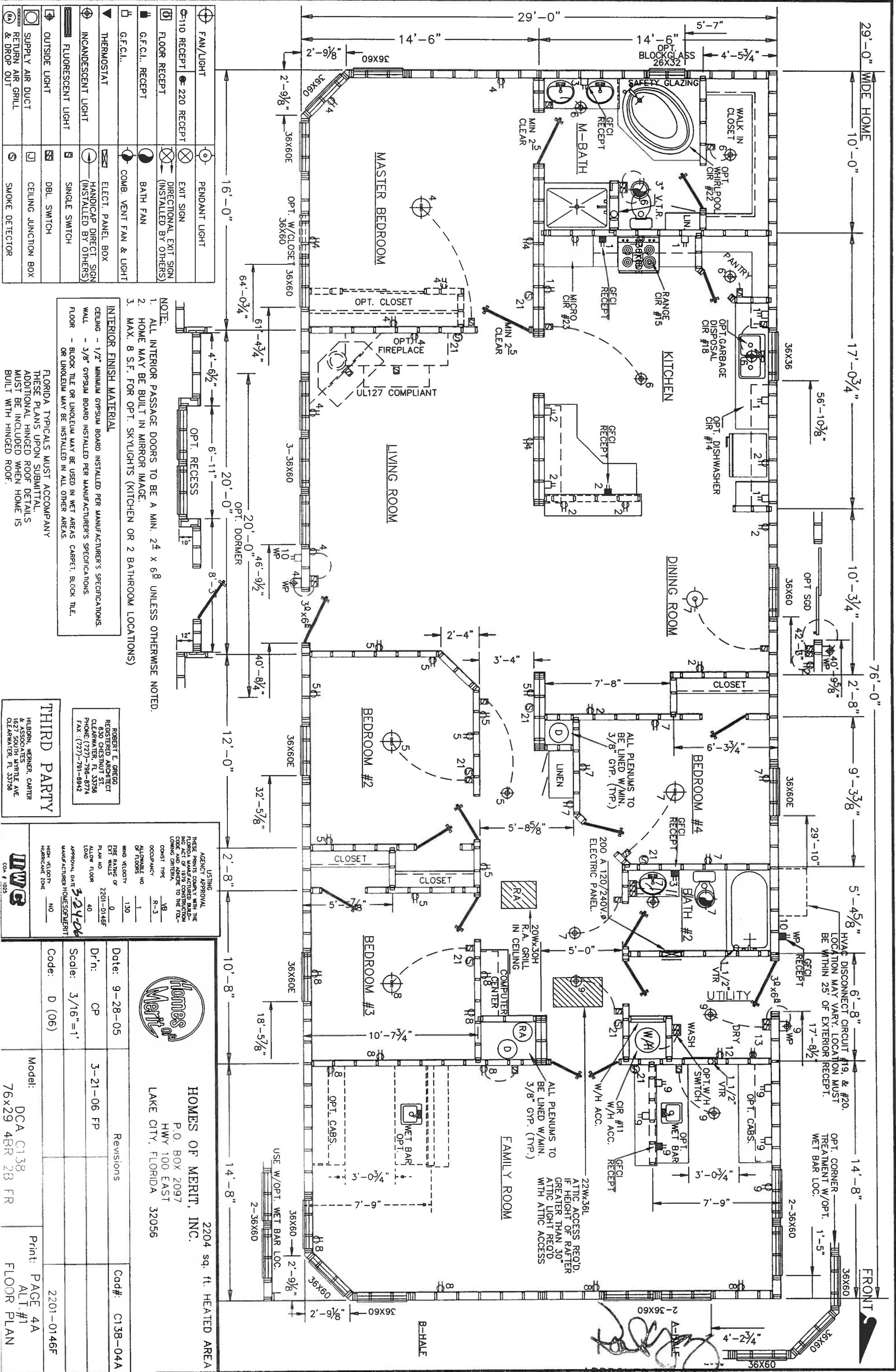
APPROVAL DATE: 3-24-06
MANUFACTURER: HOMES OF MERIT

HOMES OF MERIT

2204 sq. ft. HEATED AREA
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 9-28-05	Revisions	Cod#: C138-04
Dr'n: CP	3-21-06 FP	
Scale: 3/16"=1'		
Code: D (04)		
Model: DCA C138 76x29 4BR 2B FR		
Print: PAGE 4 FLOOR PLAN		

APPROVED MAR 24 2006



	FAN/LIGHT
	110 RECEPT
	220 RECEPT
	FLOOR RECEPT
	G.F.C.I. RECEPT
	G.F.C.I.
	THERMOSTAT
	INCANDESCENT LIGHT
	FLUORESCENT LIGHT
	OUTSIDE LIGHT
	SUPPLY AIR DUCT
	RETURN AIR GRILL
	SMOKE DETECTOR
	PENDANT LIGHT
	EXIT SIGN
	DIRECTIONAL EXIT SIGN (INSTALLED BY OTHERS)
	BATH FAN
	COMB. VENT FAN & LIGHT
	ELECT. PANEL BOX
	HANDICAP DIRECT SIGN (INSTALLED BY OTHERS)
	SINGLE SWITCH
	DBL. SWITCH
	CEILING JUNCTION BOX

NOTE:
1. ALL INTERIOR PASSAGE DOORS TO BE A MIN. 2 1/4" X 6 1/8" UNLESS OTHERWISE NOTED.
2. HOME MAY BE BUILT IN MIRROR IMAGE.
3. MAX. 8 S.F. FOR OPT. SKYLIGHTS (KITCHEN OR 2 BATHROOM LOCATIONS)

INTERIOR FINISH MATERIAL
CEILING - 1/2" MINIMUM GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
WALL - 3/8" GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
FLOOR - BLOCK TILE OR LINOLEUM MAY BE USED IN WET AREAS CARPET, BLOCK TILE, OR LINOLEUM MAY BE INSTALLED IN ALL OTHER AREAS.

THIRD PARTY
HILSON, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE
CLEARWATER, FL 33756

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE (727)-796-8774
FAX (727)-791-8942

AGENCY APPROVAL	LISTING
THESE PLANS COMPLY WITH THE FLORIDA BUILDING CODE AND THE FLORIDA MECHANICAL, PLUMBING AND ELECTRICAL CODES AND ADHERE TO THE FOLLOWING LOCAL ORDINANCES:	CONTRACT NO. 18
CONTRACT TYPE	R-3
OCCUPANCY	1
ALTERNATE NO.	130
WIND VELOCITY	0
FIRE RATING OF EXT. WALLS	2201-0146F
ALLOW FLOOR LOAD	40
APPROVAL DATE	3-24-06
MANUFACTURER'S HOMES	NO
HIGH VELOCITY HURRICANE ZONE	NO

Date: 9-28-05	Revisions	Cod#: C138-04A
Dr'n: CP	3-21-06 FP	
Scale: 3/16"=1'		
Code: D (06)		
Model: DCA C138 76x29 4BR 2B FR		
Print: PAGE 4A ALT #1 FLOOR PLAN		

HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

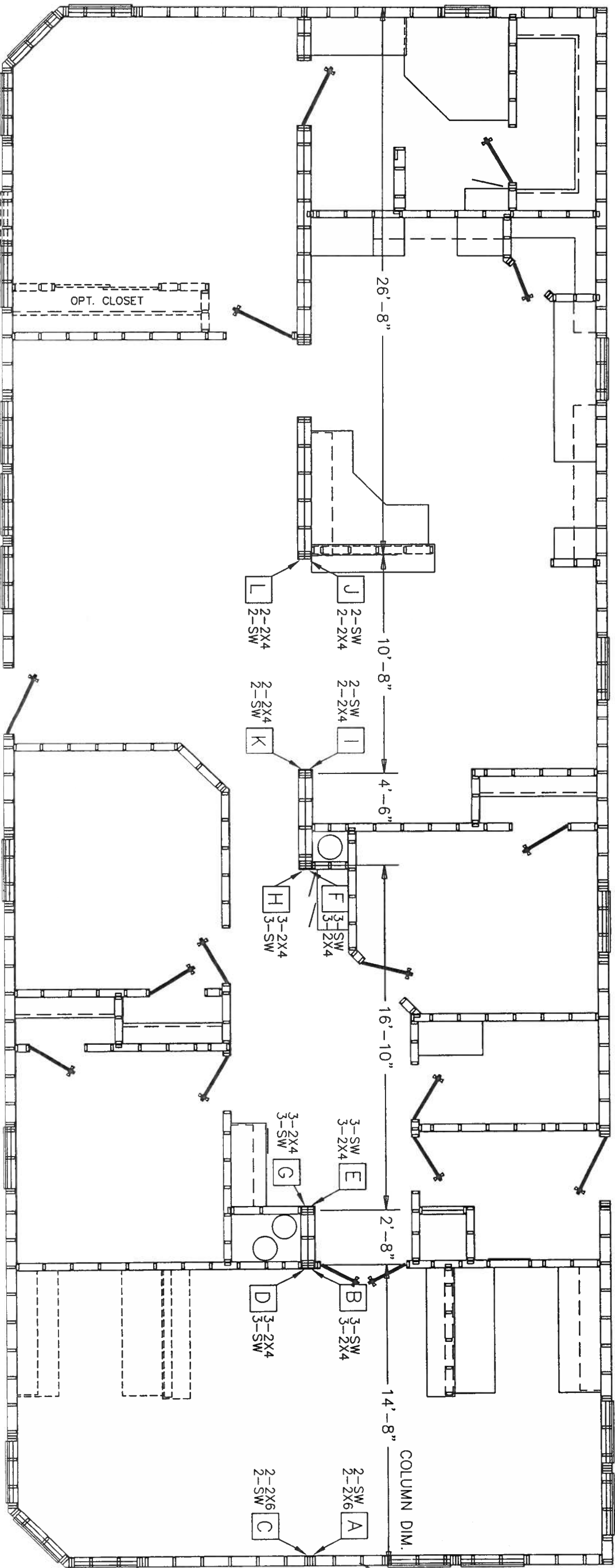
2204 sq. ft. HEATED AREA

APPROVED MAR 24 2016

29'-0" WIDE HOME

FRONT

38 37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 16" O.C.



NOTE:

1. ALL COLUMN STUDS TO BE #3 SPF AND SHALL BE GLUED & NAILED TOGETHER.
2. COLUMN STUDS SHALL NOT BE NOTCHED OR BORED.
3. INSTALL SW STRAP ON EACH STUD OF EACH COLUMN. 1- S20 STRAP MAY REPLACE SW STRAP AT FLOOR.
4. MARRIAGE WALL STRAPPING REQ'D. 16" O.C.

RIDGE BEAM

MATERIAL: MICROLAM
SIZE: 1 1/2" WIDE x 11 7/8" DEEP
FOR SPANS A TO B & C TO D

MATERIAL: MICROLAM
SIZE: 1 1/2" WIDE x 14" DEEP
FOR SPANS E TO F & G TO H

MATERIAL: MICROLAM
SIZE: 1 1/2" WIDE x 9 1/4" DEEP
FOR SPANS I TO J & K TO L



OPT. RECESS



ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-798-8774
FAX: (727)-791-6942

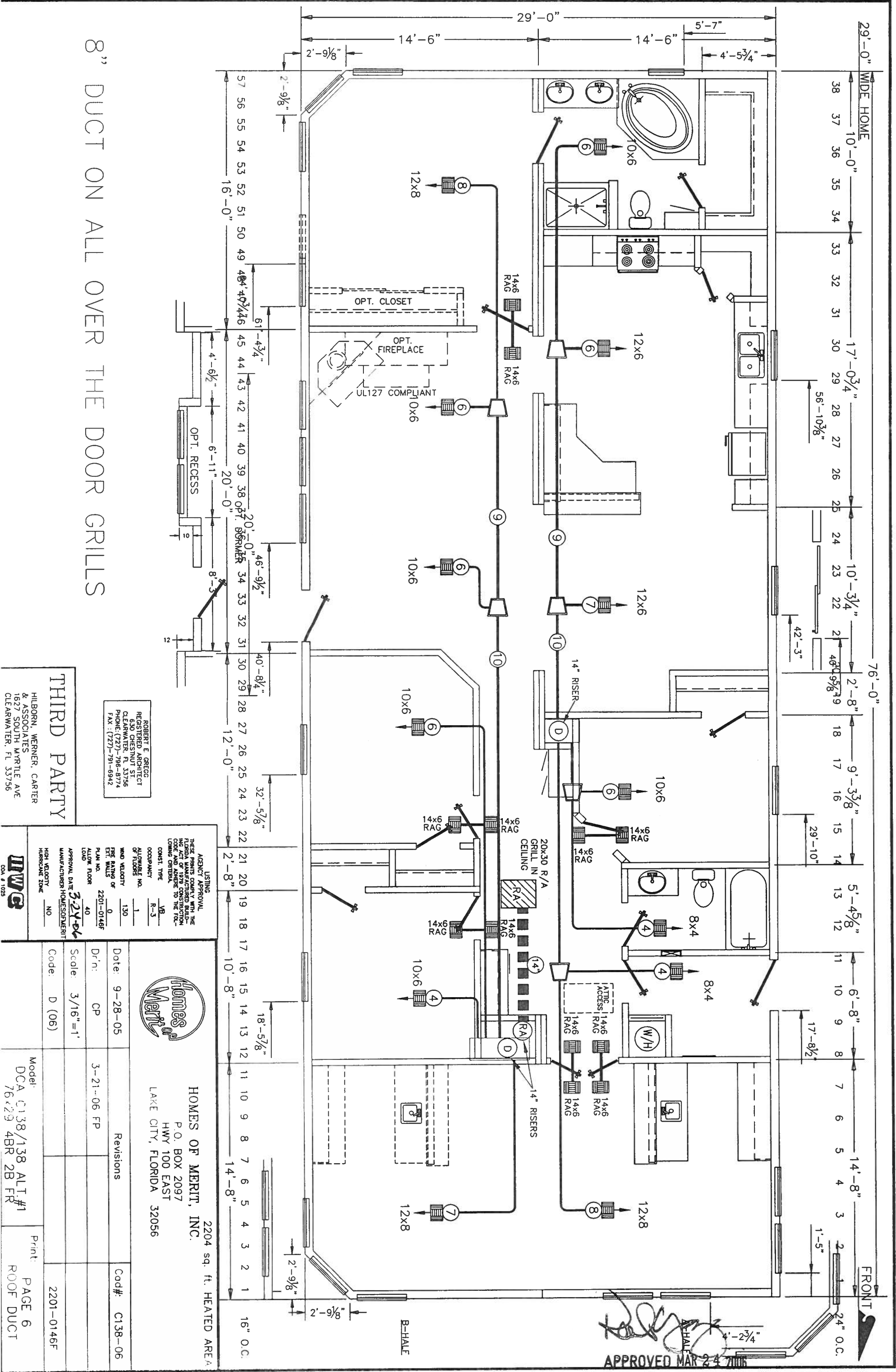
THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

LISTING	
THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1978 CONSTRUCTION CODES AND ARE SUBJECT TO THE FOLLOWING CRITERIA:	
CONSTR. TYPE	___ R-3
OCCUPANCY	___ 130
WIND VELOCITY	___ 130
FIRE RATING OF EXTER. WALLS	___ 0
PLAN NO.	2201-0146F
ALLOW. FLOOR LOAD	___ 40
APPROVAL DATE	3-24-06
MANUFACTURER HOMES OF MERIT	
HIGH VELOCITY WIND HURRICANE ZONE	___ NO

HOMES OF MERIT, INC. P.O. BOX 2097 HWY 100 EAST LAKE CITY, FLORIDA 32056	
2204 sq. ft. HEATED AREA	
Date: 9-28-05	Revisions
Dr'n: CP	3-21-06 FP
Scale: 3/16"=1'	
Code: D (06)	
Model: DCA C138/138 ALT #1 76x29 4BR 2B FR	Print: PAGE 5 COLUMNS
	Cod #: C138-05

APPROVED MAR 24 2006



8" DUCT ON ALL OVER THE DOOR GRILLS

ROBERT E. GREGG
REGISTERED ARCHITECT
6300 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX: (727)-791-6942

THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE
CLEARWATER, FL 33756

LISTING AGENCY APPROVAL
THESE PRINTS COMPLY WITH THE
FLORIDA BOARD OF ARCHITECTURE
AND ENGINEERING REGISTRATION
CODE AND ADHERE TO THE FOL-
LOWING CRITERIA:

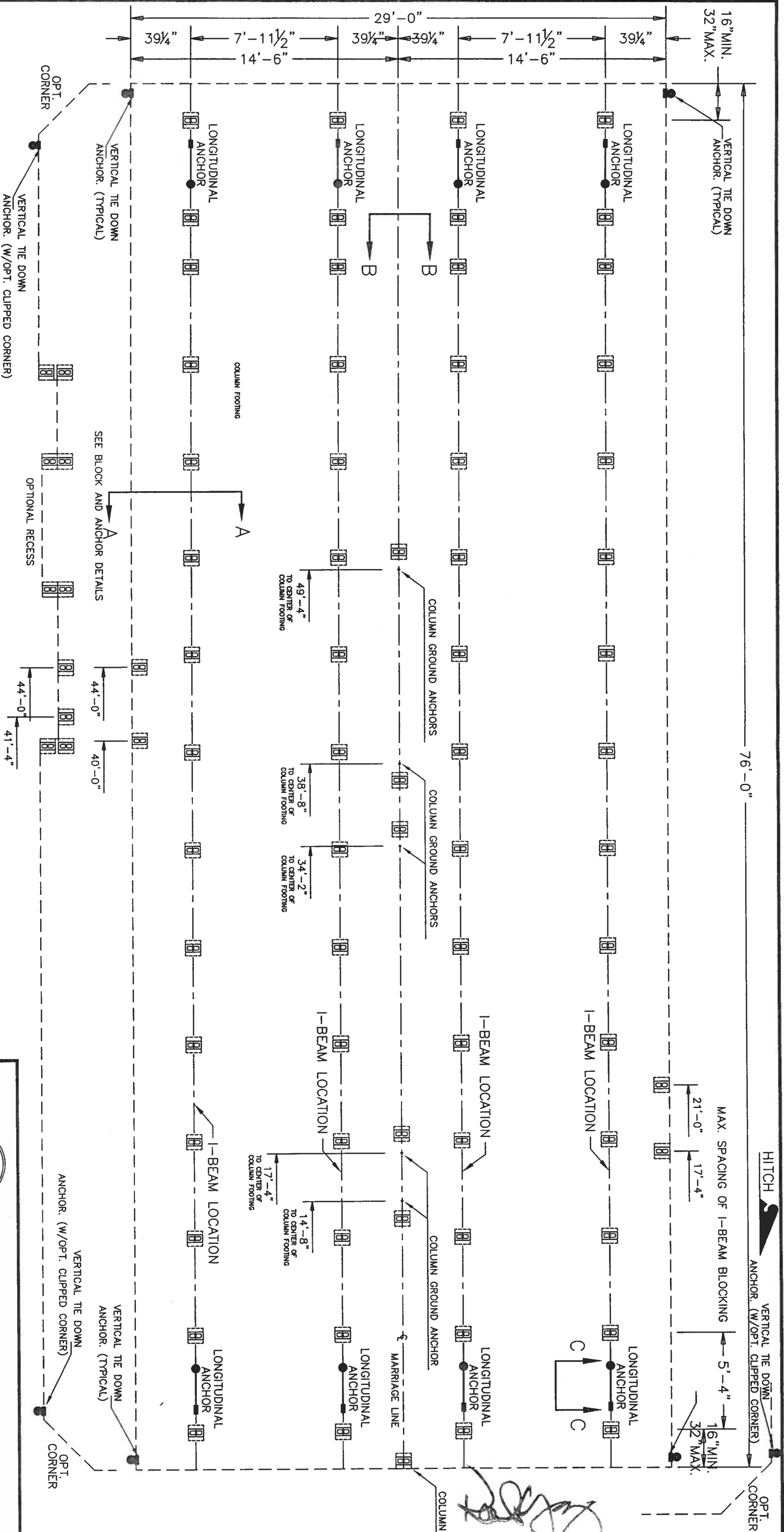
CONST. TYPE	VR
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	130
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2201-0146F
LOAD	40
APPROVAL DATE	3-21-06
MANUFACTURER	HOMES OF MERIT
HIGH VELOCITY HURRICANE ZONE	NO

HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

2204 sq. ft. HEATED AREA

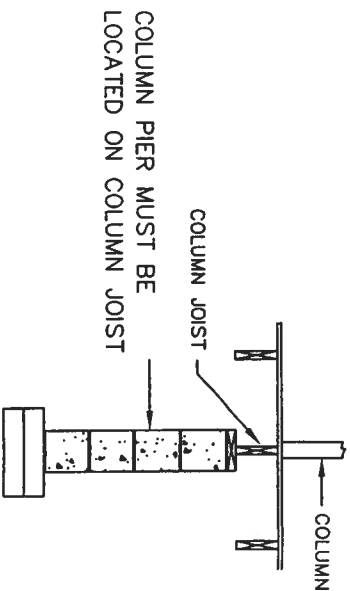
Date:	9-28-05	Revisions	Cod#:	C138-06
Dwn:	CP	3-21-06 FP		
Scale:	3/16"=1'			
Code:	D (06)			
Model:	DCA C138/138 ALT #1			
	76x29 4BR 2B FR			
Print:	PAGE 6			
	ROOF DUCT			

APPROVED MAR 24 2006



1. TYP. 8X16 CONCRETE BLOCK UNLESS OTHERWISE NOTED.
2. FOUNDATION SHOWN IS FOR MIN. SOIL BEARING CAPACITY 2000 PSF.
3. CONCRETE COMPRESSIVE STRENGTH 2500 PSI IN 28 DAYS.
4. SOIL BEARING CAPACITY SHOWN ON THIS PLAN IS 2,000 PSF. IF THE ACTUAL SOIL BEARING CAPACITY IS LESS THAN 2,000 PSF, A ARCHITECT/ENGINEER MUST BE CONSULTED FOR REQUIRED ALTERNATE FOUNDATION DESIGN. FOOTINGS SHALL BE PLACED ON NON-EXPANSIVE SOILS ONLY.

NOTE:



ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX: (727)-791-8942



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 3-21-06

Dr'n: CP/FP

Scale: 3/16"=1'

Code: D (06)

Revisions

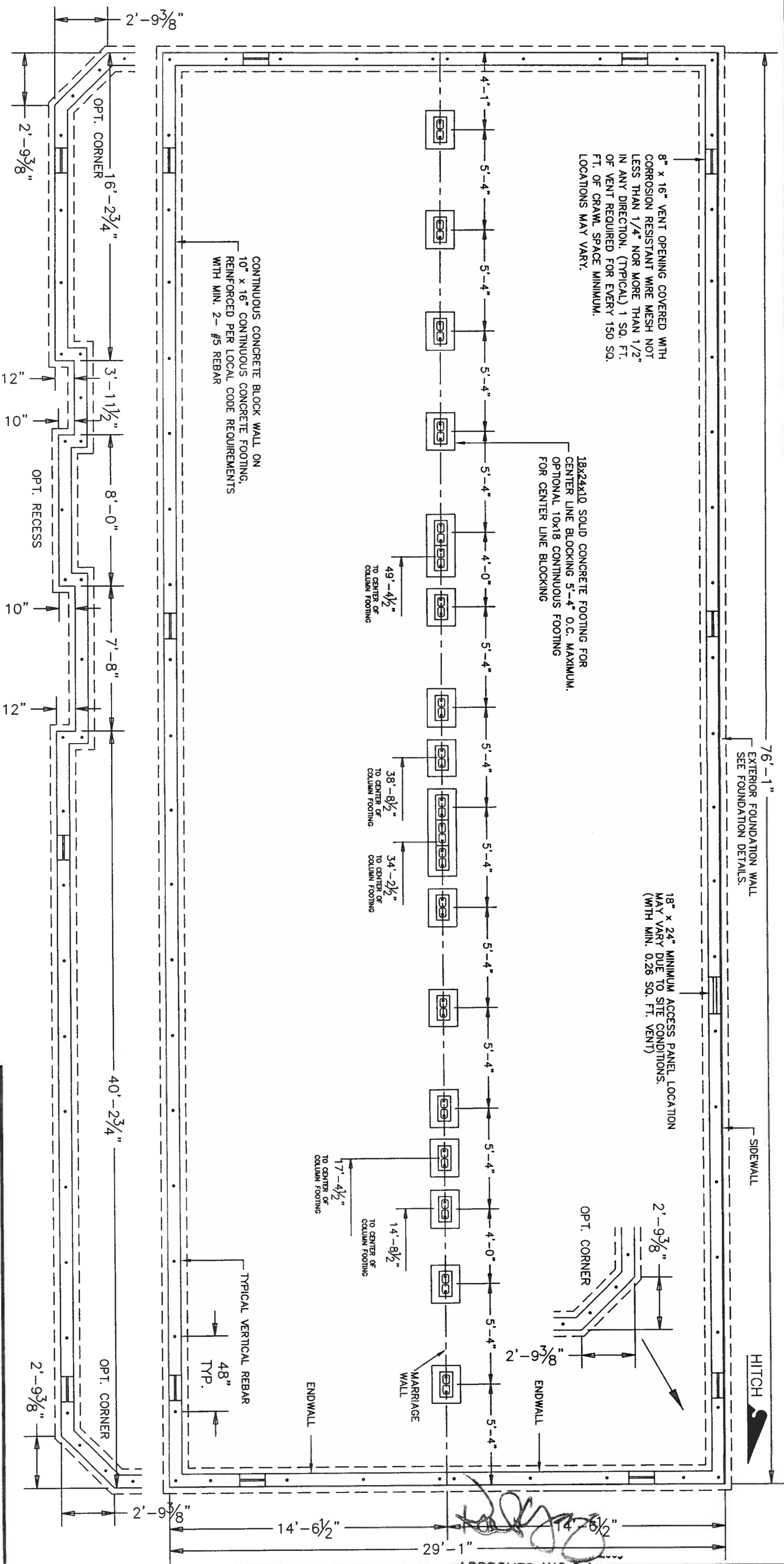
Cod#: C138-08

FLORIDA

Model: DCA C138/C138-ALT.#1

Print: PAGE 8
FOUNDATION LAYOUT

APPROVED MAR 24 2006



- NOTES:
- 1.) THE FOUNDATION DESIGN IS BASED ON 130 MPH WIND.
 - 2.) FOUNDATION SHOWN IS THE MINIMUM REQUIRED BY STANDARD BUILDING CODE ALL FOUNDATIONS SHALL BE DESIGNED FOR ACTUAL SITE CONDITIONS.
 - 3.) MINIMUM SOIL BEARING CAPACITY 2000 PSF. CONCRETE COMPRESSIVE STRENGTH 2500 PSI IN 28 DAYS.
 - 4.) FOOTING SHALL BE PLACED ON NON-EXPANSIVE SOILS ONLY, MIN. 12" BELOW FROST LINE.
 - 5.) TYP. 8X16 CONCRETE BLOCK UNLESS OTHERWISE NOTED.
 - 6.) ALL FOUNDATION CONSTRUCTION, MATERIALS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
 - 7.) ALL REINFORCEMENT BARS SHALL COMPLY WITH ASTM A615, GRADE 60 REINFORCEMENT BARS SHALL BE EQUALLY SPACED WITH 3" CLEARANCE FROM BOTTOM AND SIDES OF THE FOOTING. LAP SPLICES TO BE 48 BAR DIAMETERS.

- 8.) MASONRY UNITS SHALL COMPLY WITH ASTM C90.
- 9.) MORTAR SHALL BE TYPE M OR S.
- 10.) FOUNDATION MAY BE 29'-1 1/2" WIDE FOR EASE OF INSTALLATION
- 11.) PROVIDE APPROVED TERMITES PROTECTION.
- 12.) FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE.
- 13.) A VAPOR BARRIER CONSISTING OF 6 MIL VISQUEEN SHALL BE INSTALLED OVER THE GROUND SURFACE WITHIN THE CRAWL SPACE.
- 14.) THE MODULAR STRUCTURE MAY BE LOCATED IN AN (AE) FLOOD ZONE PROVIDED THAT THE STRUCTURE IS LOCATED ABOVE THE BASE FLOOD ELEVATION.

** IF SOIL CONDITIONS INDICATE DIFFERENTIAL SETTLEMENT IS LIKELY, A SOIL ENGINEER SHOULD BE CONSULTED TO DESIGN REMEDIAL MEASURES.

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727) 796-8774
FAX: (727) 791-8942

		HOMES OF MERIT, INC. P.O. BOX 2097 HWY 100 EAST LAKE CITY, FLORIDA 32056	
Date: 3-21-06	Revisions	Cod#: C138-09	
Dr'n: CP/FP			
Scale: 3/16"=1'			
Code: D (06)		2201-0146F	
FLORIDA	Model: DCA C138/C138-ALT.#1	Print: PAGE 9	FOUNDATION LAYOUT



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

FLORIDA TYPICAL
COVER PAGE

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PAGE 8.	FOUNDATION DETAILS
PAGE 9.	ENDWALL CROSS SECTION
PAGE 10.	TYPICAL POTABLE WATER SUPPLY LINES



ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX : (727)-791-6942

THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

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FLORIDA	DCA: DCA TYPICAL PACKAGE	APPROVED: JAN 24 2006 PAGE 1 INDEX	

HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056



GENERAL NOTES: 2004 FBC, RES. WITH 2005 SUPPLEMENTS

1. ALL GLAZING WITHIN 24" ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED OR ACRYLIC PLASTIC SHEET.
2. FLOOR DESIGN LIVE LOAD -- 40 PSF.
3. MAXIMUM WIND SPEED -- 130 MPH - EXP.C
4. OCCUPANCY IS RESIDENTIAL (R-3).
5. OCCUPANT LOAD IS BASED ON 1 PERSON PER 200 Sq Ft OF FLOOR AREA.
6. 1.5" x 26ga. WITH 7-15 ga. x 7/16" CROWN x 1-1/8" STAPLES EACH END OF STRAP OR EQUIVALENT FROM RIDGE BEAM TO COLUMN, AND COLUMN TO FLOOR.
7. CONSTRUCTION IS TYPE VB, UNPROTECTED.
8. CEILING FANS SHALL BE 80" MIN. FROM BOTTOM OF BLADES TO FINISH FLOOR.
9. MIN. CORRIDOR WIDTH IS 36".
10. ALL MATERIALS COMPROMISING THE BUILDING ENVELOPE SHALL HAVE FLORIDA PRODUCT APPROVALS PER FL. BUILDING COMMISSION 98-72 RULES.

SITE INSTALLED ITEMS:

NOTE: THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL.

1. THE COMPLETE FOUNDATION SUPPORT AND TIE DOWN SYSTEM.
2. RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.
3. PORTABLE FIRE EXTINGUISHER(S).
4. BUILDING DRAINS, CLEANOUTS, AND HOOK-UP TO PLUMBING SYSTEM.
5. ELECTRICAL SERVICE HOOK-UP (INCLUDING FEEDERS) TO THE BUILDING.
6. THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS (MULTI-UNITS ONLY).
7. CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODULE MATING LINE(S) - (MULTI-UNITS ONLY).
8. STRUCTURAL AND AESTHETIC INTERCONNECTIONS BETWEEN MODULES (MULTI-UNITS ONLY).
9. DORMERS, AND ANY OTHER AESTHETIC CONNECTIONS.
10. FOUNDATION SILL PLATE ANCHORAGE.
11. FLOOR INSULATION MAY BE SITE INSTALLED
12. POTABLE WATER SERVICE, MAIN SHUT OFF VALVE.
13. OPENING PROTECTION IN WIND DEBRIS REGIONS I.E. WINDOWS, DOORS, SHUTTERS.
14. PLAN REVIEW AND INSPECTION REQUIRED BY CHAPTER 633 F.S., TO BE HANDLED BY LOCAL FIRE SAFETY INSPECTOR.
15. ROOFING MATERIAL, METAL ROOF, EYE DRIP.

MECHANICAL NOTES: 2004 FBC, RES. WITH 2005 SUPPLEMENTS

1. ALL SUPPLY AIR REGISTERS ARE ADJUSTABLE, EXCEPT WHERE OTHERWISE SPECIFIED.
2. INTERIOR DOORS SHALL BE UNDERCUT 1.5" ABOVE FINISHED FLOOR FOR AIR RETURN AND/OR AS NOTED ON FLOOR PLAN.
3. BATHROOM VENT FANS SHALL PROVIDE A MINIMUM OF 50 CFM.
4. VENT FANS SHALL BE DUCTED TO THE EXTERIOR AND TERMINATE AT AN APPROVED VENT CAP.
5. HVAC EQUIPMENT SHALL BE EQUIPPED WITH OUTSIDE FRESH AIR INTAKES PROVIDING 15 CFM FOR EACH OCCUPANT, OR 50 CFM FOR EACH WATER CLOSET AND EACH URINAL, WHICHEVER IS GREATER.

RIDGE BEAM CONSTRUCTION NOTES

1. LVL Fb = 2800 PSI
2. LVL OR OTHER SIMILAR MATERIAL MUST BE CONTINUOUS OVER CLEARSPAN(S).
3. BEAMS SUPPORTED BY ENDWALL COLUMNS MUST EXTEND CONTINUOUS OVER COLUMNS TO EXTERIOR FACE OF ENDWALL.
4. INSTALL (2x4) x 20" SPF #3 RIDGE BEAM BEARING STIFFENER OVER SUPPORT COLUMNS WHEN SPECIFIED ON FLOOR PLAN: FASTEN THE FACE OF THE STIFFENER TO THE RIDGE BEAM WITH 100% GLUE COVERAGE AND 8-15 ga x 2 1/2" STAPLES.
5. FASTEN ROOF SHEATHING INTO TOP EDGE OF BEAM TO PROVIDE CONTINUOUS

ELECTRICAL NOTES: 2002 NEC

1. ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE NATIONAL ELECTRICAL CODE (NEC).
2. WHEN LIGHT FIXTURES ARE INSTALLED IN CLOSETS THEY SHALL BE SURFACE MOUNTED OR RECESSED. INCANDESCENT FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12" AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 6" FROM STORAGE AREA AS DEFINED BY NEC 410-8(a).
3. WHEN WATER HEATERS ARE INSTALLED THEY SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATERS SERVED. THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO SERVE AS THE DISCONNECTING MEANS ONLY WHERE THE SWITCH OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
4. HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS A PART OF THE HVAC EQUIPMENT AND DISCONNECTS ALL UNDERGROUND CONDUCTORS SHALL BE PERMITTED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
5. PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-9 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.
6. THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS, SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
7. SMOKE DETECTORS SHALL BE WIRED SO THAT THE OPERATION OF ANY ONE SMOKE DETECTOR WILL CAUSE SIMULTANEOUS ACTIVATION OF ALL OTHERS.
8. ALL CIRCUITS CROSSING OVER MODULE MATING LINE(S) SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES OR CABLE CONNECTORS.
9. 20 AMP WITH 12/2 WIRE MAY REPLACE 15 AMP 14/2 WIRE GENERAL LIGHTING CIRCUITS, AND 20 AMP 12/3 WIRE MAY REPLACE 15 AMP 14/3 WIRE, ON SMOKE DETECTOR CIRCUITS
10. ARC-FAULT CIRCUIT INTERRUPTERS LISTED FOR PROTECTION OF THE ENTIRE BRANCH CIRCUIT INSTALLED ON ALL BEDROOM CIRCUITS.
11. RECEPT. INSTALLED IN A WET EXTERIOR LOCATIONS SHALL BE IN A WEATHER PROOF ENCLOSURES, THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN THE ATTACHMENT PLUG IS INSERTED OR REMOVED.

PLUMBING NOTES: 2004 FBC, RES. WITH 2005 SUPPLEMENTS

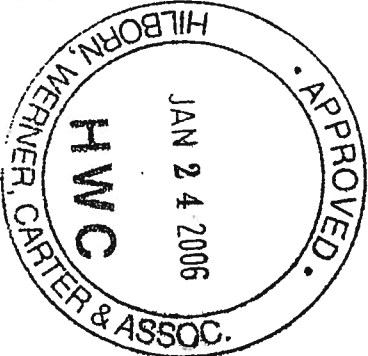
1. ALL PLUMBING FIXTURES SHALL HAVE SEPARATE SHUT-OFF VALVES.
2. WATER HEATER SHALL HAVE SAFETY PAN WITH 1" DRAIN TO EXTERIOR, T & P RELIEF VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 3'-0" ON A COLD WATER SUPPLY LINE.
3. WATER PIPES INSTALLED IN A WALL EXPOSED TO THE EXTERIOR SHALL BE LOCATED ON THE HEATED SIDE OF THE WALL INSULATION. WATER PIPING INSTALLED IN AN UNCONDITIONED ATTIC SHALL BE INSULATED WITH AN INSULATION OF R-6.5 MIN.
4. DWV SYSTEM SHALL BE EITHER ABS OR PVC - DWV.
5. WATER SUPPLY LINES SHALL BE POLYBUTYLENE, CPVC, OR COPPER. WHEN POLYBUTYLENE SUPPLY LINES ARE INSTALLED THE MAX. WATER HEATER TEMPERATURE SETTING IS 180° F. THE POLYBUTYLENE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS LIMITATIONS AND INSTRUCTIONS.
6. TUB ACCESS PROVIDED UNDER HOME, UNLESS OTHERWISE NOTED.
7. SHOWER STALLS SHALL BE COVERED WITH NONABSORBENT MATERIAL TO A HEIGHT OF 70" ABOVE FINISH FLOOR.
8. THERMAL EXPANSION DEVICE, IF REQUIRED BY WATER HEATER INSTALLED, AND IF NOT SHOWN ON PLUMBING PLAN, IS DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL APPROVAL.

FOUNDATION:

IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF COMMUNITY AFFAIRS, THESE BUILDING PLANS CONTAIN FOUNDATION SUPPORT AND TIE DOWN SYSTEM DETAILS AND SPECIFICATIONS TO SITE CONDITIONS STATED. IF ACTUAL SITE CONDITION DIFFERS FROM THESE DESIGN PLANS THEN THE ARCHITECT / ENGINEER OF BUILDING PLANS SHOULD BE CONTACTED TO OBTAIN APPROPRIATE FOUNDATION PLANS. IF FOUNDATION PLANS ARE DESIGNED BY OTHERS, THE ARCHITECT / ENGINEER OF BUILDING PLANS SHALL NOT BE HELD RESPONSIBLE OR LIABLE FOR THE FOUNDATION DESIGN AND THE CONSEQUENTIAL PERFORMANCE OF THE SUPERSTRUCTURE'S STRUCTURAL COMPONENTS AND SYSTEMS RELATING THERE TO.

THIS BUILDING IS ON A PERMANENT FOUNDATION AND IS NOT A HUD UNIT.

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX : (727)-791-6942



THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1827 SOUTH WYTHE AVE.
CLEARWATER, FL 33756

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HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056



HOMES OF MERIT
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

FLORIDA
HOME WITH STEEL FRAME

NOTES:

1. THE STEEL FRAME LOCATED UNDER THIS HOME IS FOR PERMANENT SET-UP AND NOT INTENDED FOR RELOCATING THE HOME AFTER INITIAL SET-UP.
2. ALL FOUNDATION CONSTRUCTION, MATERIALS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
3. TIE-DOWN STRAPS TO BE 1-1/4" X .035" TYPE-1, FINISH B, GRADE 1 ZINC COATED STEEL STRAPPING CONFORMING WITH ASTM D3953-91. TIE-DOWN STRAPS AND CONNECTING HARDWARE SHALL HAVE 3150# MINIMUM WORKING CAPACITY.
4. GROUND ANCHORS SHALL HAVE 3150# MINIMUM WORKING, CAPACITY, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. DESIGN OF GROUND ANCHOR, INCLUDING SHAFT LENGTH, NUMBER AND DIAMETER OF HELIXES, ETC., TO BE AS SPECIFIED BY THE GROUND ANCHOR MANUFACTURER FOR THE ACTUAL SOIL TYPE ENCOUNTERED. IF THE HOLDING OR PULLOUT CAPACITIES OF GROUND ANCHORS ARE BELOW THE VALUES SPECIFIED ABOVE A ARCHITECT/ENGINEER MUST BE CONSULTED FOR AN ALTERNATE ANCHORAGE DESIGN.
5. I-BEAM SUPPORT PIERS MAY BE INSTALLED Laterally (90° FROM THE ORIENTATION SHOWN ON THE FOUNDATION PLAN). MUST BE LOCATED DIRECTLY BELOW THE I-BEAM CENTERLINE.
6. INSTALL BLOCK PIER ON EACH SIDE OF ALL EXTERIOR DOOR OPENINGS. (MANUFACTURER'S RECOMMENDATION ONLY - OPTIONAL WHEN NOT SHOWN) SLIGHT ADJUSTMENT MAY BE REQUIRED TO INSURE OPENABILITY AFTER INSTALLATION OF BUILDING IS COMPLETE.
7. THE FIRST TIE-DOWN STRAP FROM ENDWALL SHALL NOT EXCEED 1/2 THE MAXIMUM SPACING INDICATED.
8. ALL PIERS SHALL BE CONSTRUCTED OF 8" X 8" X 16" CONCRETE MASONRY UNITS CONFORMING TO ASTM C90. MASONRY UNITS SHALL BE LAID IN TYPE M OR S MORTAR. PIER FOOTINGS SHALL BE DESCRIBED AS ABOVE.
9. ALL PIERS SHALL BE CAPPED WITH 2X8 SYP PRESSURE TREATED SILL PLATES, FULL LENGTH OF PIER.

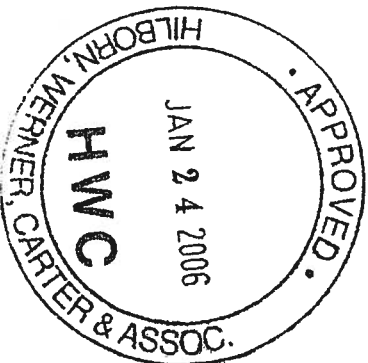
THE FOLLOWING PRINTS ARE TO ONLY BE USED WHEN STEEL FRAME REMAINS ON HOME.

CROSS SECTION PAGE 4

BLOCK AND ANCHOR PAGE 5

FOUNDATION (SEE HOUSE PACKAGE FOUNDATION PAGE)

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX : (727)-791-6942



THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

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HOMES OF MERIT
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056



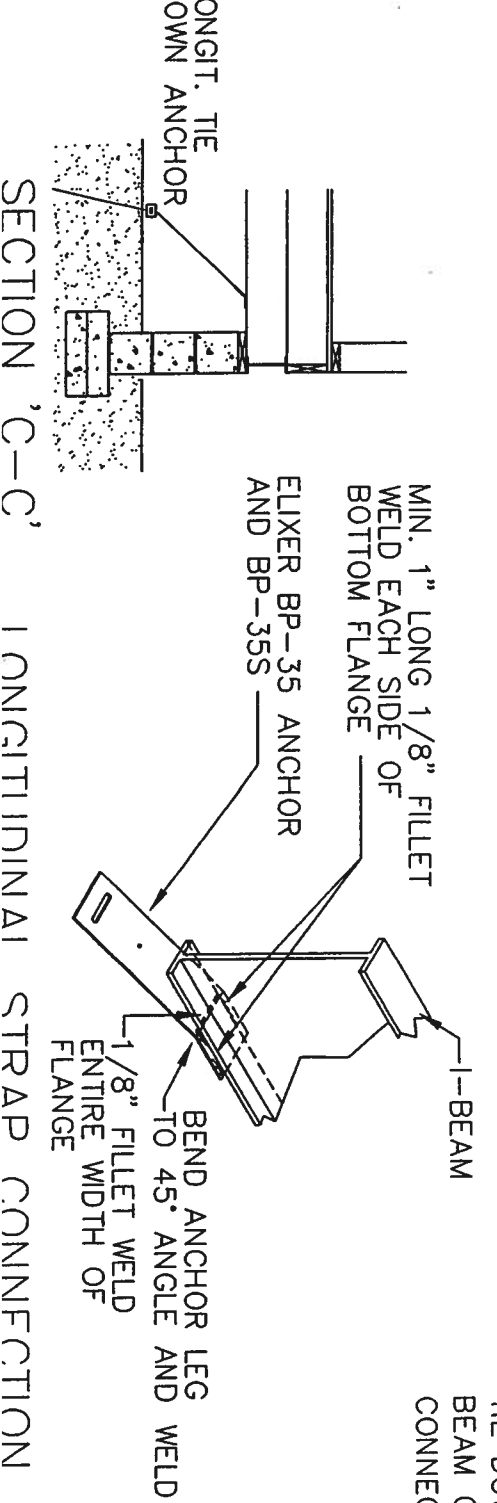
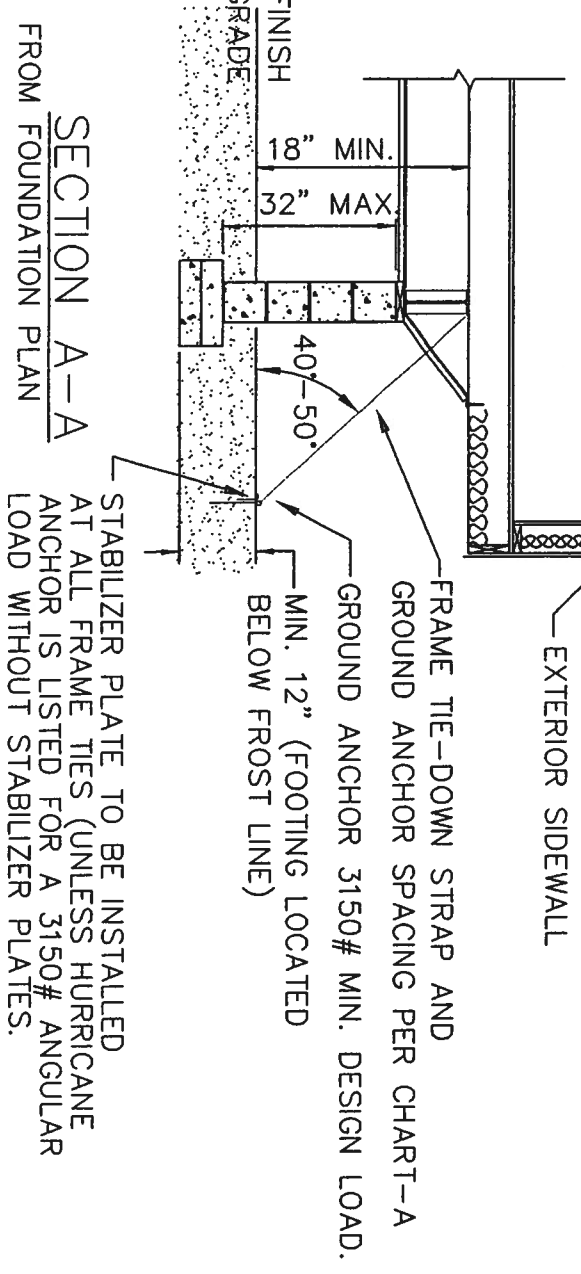
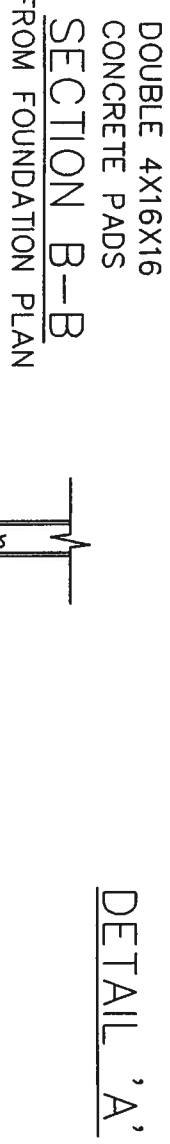
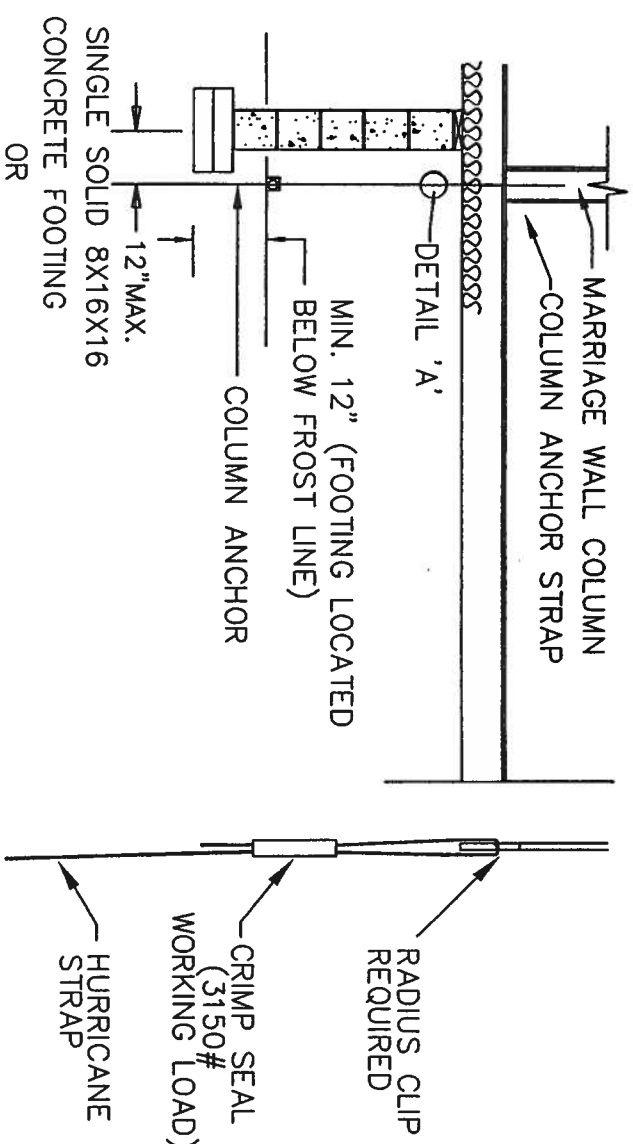
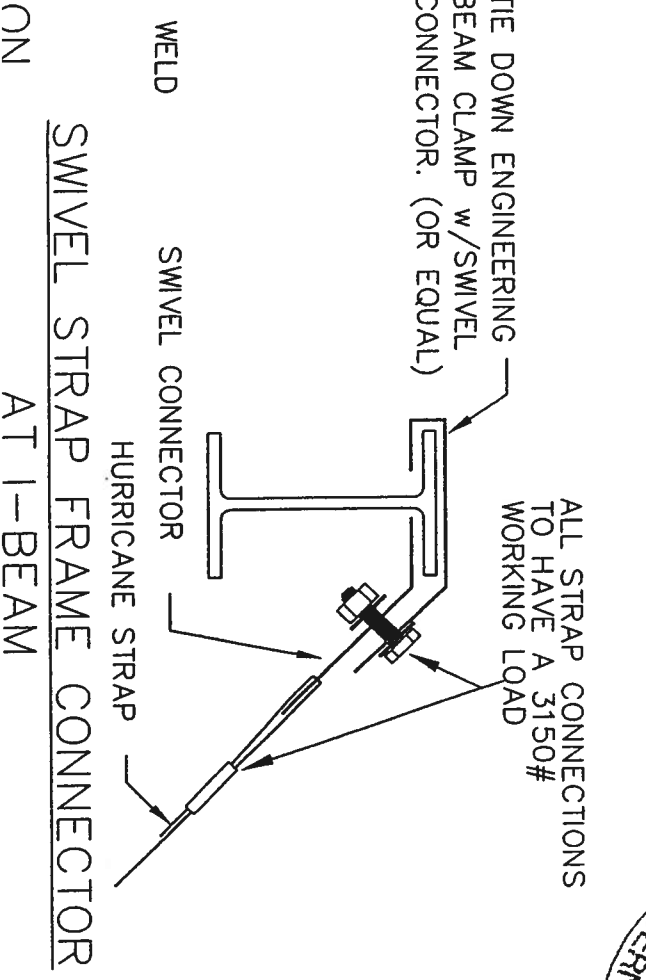
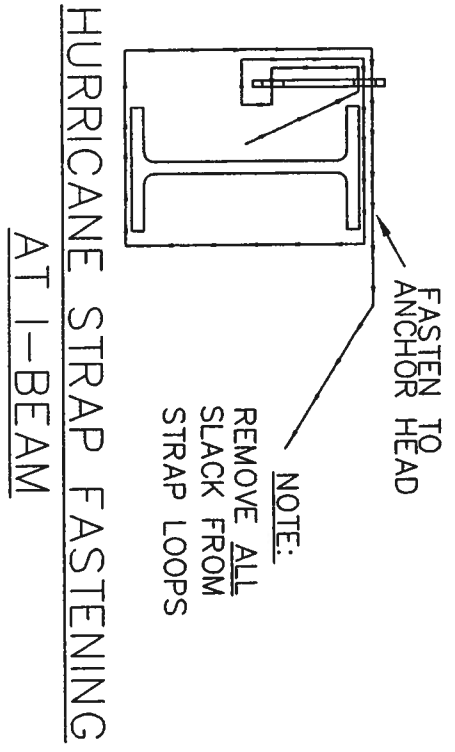
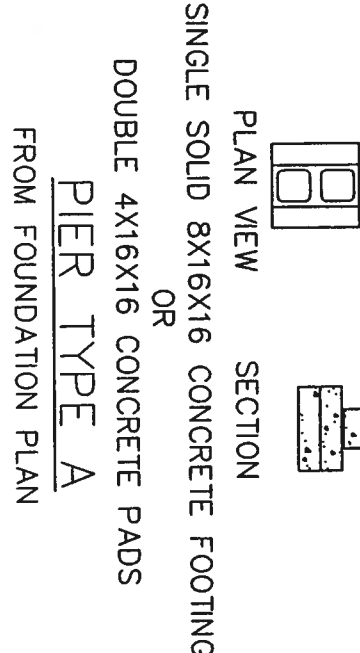
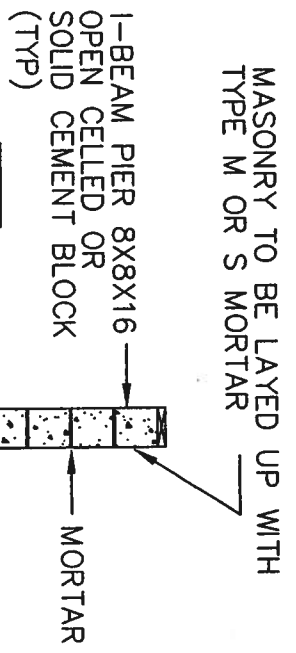


CHART-A

WIND SPEED (ZONE/END/INT)	ROOF PITCH					
	UP TO 4/12	INT	END	UP TO 7/12	INT	END
130 MPH	4'-0"	6'-7"	4'-4"	5'-6"	2'-11"	3'-8"
120 MPH	5'-0"	8'-2"	5'-1"	6'-6"	3'-5"	4'-4"
110 MPH	6'-4"	10'-3"	6'-2"	7'-11"	4'-1"	5'-2"
100 MPH	8'-0"	12'-0"	7'-7"	9'-9"	5'-0"	6'-4"



ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX : (727)-791-6942

THIRD PARTY
HILBORN, WERNER, CARTER & ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

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HOMES OF MERIT
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

HOME WITHOUT STEEL FRAME

NOTES:

1. ALL FOUNDATION CONSTRUCTION, MATERIALS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
2. SOIL BEARING CAPACITY SHOWN ON THIS PLAN IS 2,000 PSF. IF THE ACTUAL SOIL BEARING CAPACITY IS LESS THAN 2,000 PSF. AN ARCHITECT/ENGINEER MUST BE CONSULTED FOR REQUIRED ALTERNATE FOUNDATION DESIGN. FOOTINGS SHALL BE PLACED ON NON-EXPANSIVE SOILS ONLY.

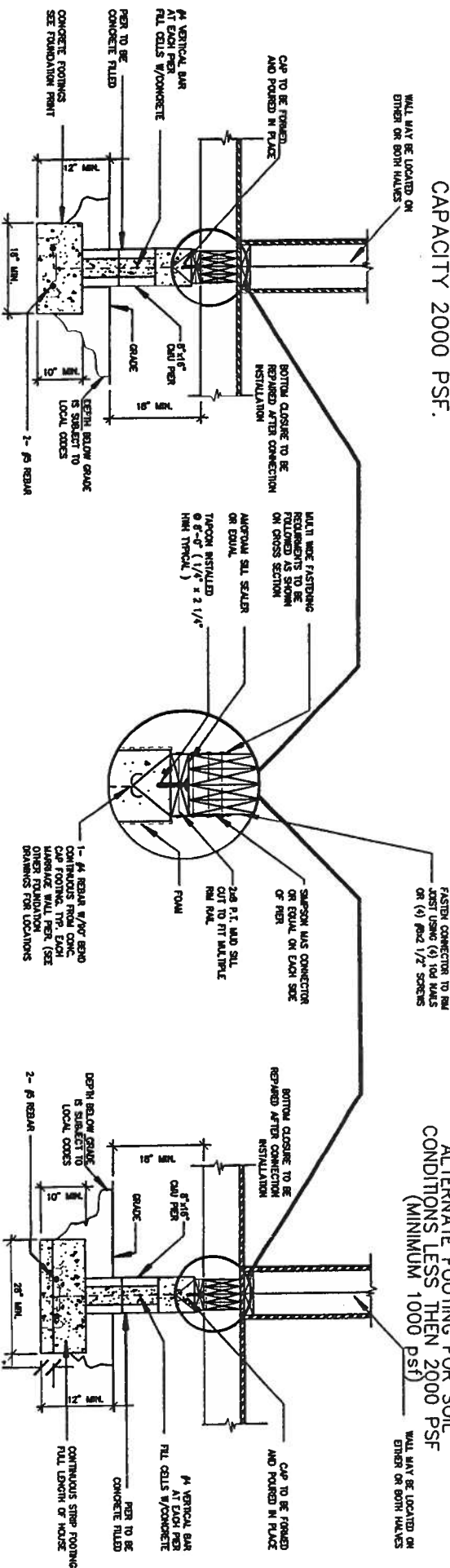
3. MINIMUM CONCRETE FOOTING COMPRESSIVE STRENGTH 2,500 PSI AT 28 DAYS.

4. ALL REINFORCEMENT BARS SHALL COMPLY WITH ASTM A615, GRADE 60. REINFORCEMENT BARS SHALL BE EQUALLY SPACED AND PLACED WITH 3" CLEARANCE FROM BOTTOM AND SIDES OF THE FOOTING. LAP SPLICES TO BE 48 BAR DIAMETERS.

5. MASONRY UNITS SHALL COMPLY WITH ASTM C90
6. MORTAR SHALL BE TYPE M OR S.

STANDARD
MINIMUM SOIL BEARING
CAPACITY 2000 PSF.

SECTION A-A
ALTERNATE FOOTING FOR SOIL
CONDITIONS LESS THEN 2000 PSF
(MINIMUM 1000 psf)



FOUNDATION NOTE:
THE FOLLOWING PRINTS ARE TO BE USED ONLY
WHEN STEEL FRAME IS REMOVED FROM HOME.

CROSS SECTION PAGE 7
DETAIL PAGE 8

FOUNDATION (SEE HOUSE PACKAGE PAGE 10)

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT STREET
FL = 9927
CLEARWATER, FL 33759
PHONE: (727)-796-8774
FAX : (727)-791-6942



THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

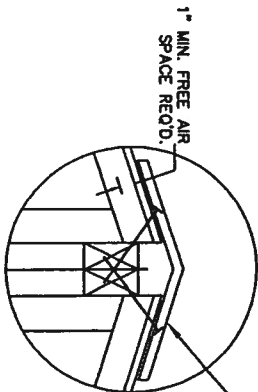


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GENERAL CROSS SECTION NOTES

1. ALL LAG SCREWS AND BOLTS MUST COMPLY WITH ASTM A307, ANSI/ASME B 18.2.1
2. SEE FOUNDATION PLAN FOR PIER, FOUNDATION WALL, AND TIE DOWN ANCHORAGE LOCATIONS, ORIENTATIONS, AND SPECIFICATIONS.
3. SKY LITE OPTIONS, SEE FL ENERGY CALC'S FOR MAX ALLOWABLE.

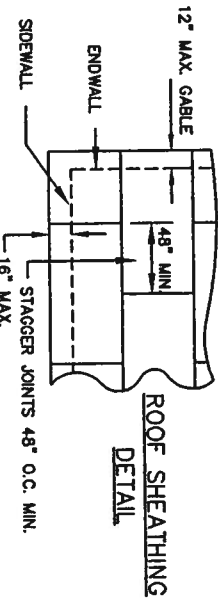
DETAIL B



INSTALL TRIMLINE RIDGE VENTS ALONG CENTER LINE OF RIDGE (PER MANUFACTURER'S INSTRUCTIONS) OR EQUIVALENT.

SITE INSTALL MIN. 3/8" x 6" LAG SCREWS STAGGERED FROM SIDE TO SIDE AT 24" O.C. MAXIMUM. LAG SCREWS MUST PENETRATE 1" MINIMUM INTO ADJACENT MODULE TRUSS.

TRUSS PACKAGE	
UNIVERSAL FOREST PRODUCTS	
15'-4" WIDE MODULES	14'-6" WIDE MODULES
SEE HOUSE PACKAGE	
ATTIC VENTILATION	
SEE HOUSE PACKAGE	

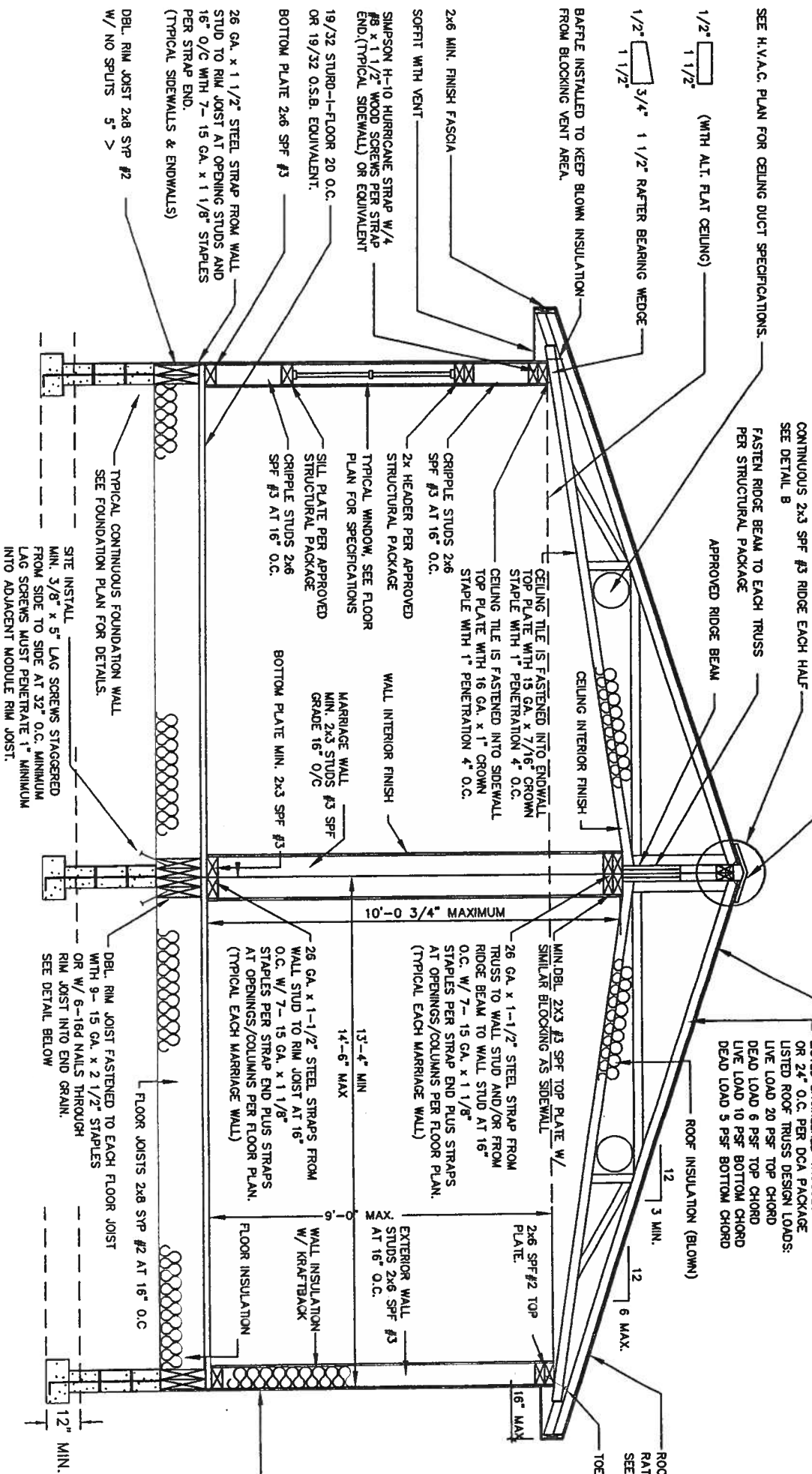


7/16" ORIENTED STRAND BOARD (OSB), RATED SHEATHING EXP. 1-24/16 TO BE FASTENED TO TRUSSES WITH 15 GA. 7/16" CROWN STAPLE x 1 1/2" LEG OR EQUIVALENT AT 4" O.C. ON EDGES AND 8" O.C. IN FIELD.

THIRD PARTY

HILBORN, WERNER, CARTER & ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX: (727)-791-6942



INTERIOR FINISH MATERIAL

CEILING - 1/2 INCH, HIGH STRENGTH, REINFORCED TYPE GYPSUM BOARD, APP. FOR WET FINISH APPLICATION, FINISH PER MANUFACTURER'S SPECS.

WALL - 3/8 INCH MINIMUM GYPSUM BOARD

3/8 INCH MINIMUM VINYL COVER GYPSUM BOARD IN BATHROOMS, 3/8\"/>

FLOOR - BLOCK TILE OR UNCLEM IN BATHROOM AND OTHER WET AREAS, CARPET, BLOCK TILE, OR UNCLEM IN ALL OTHER AREAS, FLOOR FINISH MAY BE FIELD INSTALLED

EXTERIOR FINISH MATERIAL

ROOF - CERTAINTED FIRESCREEN +2000 SHINGLES ASTM D3462, U/L 790, 997, ACCEPTED, MIAMI DADE ACCEPTED, (NO. 940516.15), TYPE 1, CLASS A, (OR EQUIVALENT) INSTALLED PER MANUFACTURER'S SPECS. SHINGLES SHALL BE INSTALLED OVER 15# FELT, 2 LAYERS FOR PITCHES UP TO 4/12 AND 1 LAYER FOR 4/12 AND STEEPER.

WALL - 5/8\"/>

OPTION: FASTEN INNER 2x8 RIM TO JOIST W/3-16d NAILS OR 5-15ga. x 2 1/2\"/>

2x8 JOIST (MIN.)

INSTALL SIMPSON H-10 TIES TRUSS TO TOP PLATE OR EQUIVALENT

TRUSSES AT 24\"/>

DOUBLE TOP PLATE

NOTE: ANY REFERENCE 2x8 SYP #2 FLOOR JOIST MAY BE REPLACED WITH 2x10 SYP #2.

EXTERIOR MATERIAL: ALL EXTERIOR MATERIALS MUST MEET REQUIREMENTS OF SECTION R301, INCLUDING LARGE MISSILE TEST

FIELD.

BRACING MATERIAL: 3/8\"/>

EXTERIOR WALL FRAMING.

ENDWALLS: BRACING INSTALLATION: STRUCTURAL SHEATHING SHALL EXTEND CONTINUOUS FROM TOP OF TRUSS TOP CHORD TO 3/4\"/>

EXTERIOR WALL STRUCTURAL BRACING

SIDEWALLS:

BRACING INSTALLATION: STRUCTURAL SHEATHING SHALL EXTEND CONTINUOUSLY FROM TOP TO BOTTOM PLATE WITH ALL SHEATHING EDGES EXTENDING 3/4\"/>

SEE ROOF SHEATHING DETAIL.

TOE SCREWED WITH 3-#8x3\"/>

ROOF COVERING OVER 7/16\"/>

RATED SHEATHING, MINIMUM EXP.-1 24/16 -

SEE ROOF SHEATHING DETAIL.



HOMES OF MERIT

P.O. BOX 2097
HWY 100 EAST

LAKE CITY, FLORIDA 32056

Date: 10-14-05

Dr'n STAFF

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APPROVED JAN 24 2006

Print:

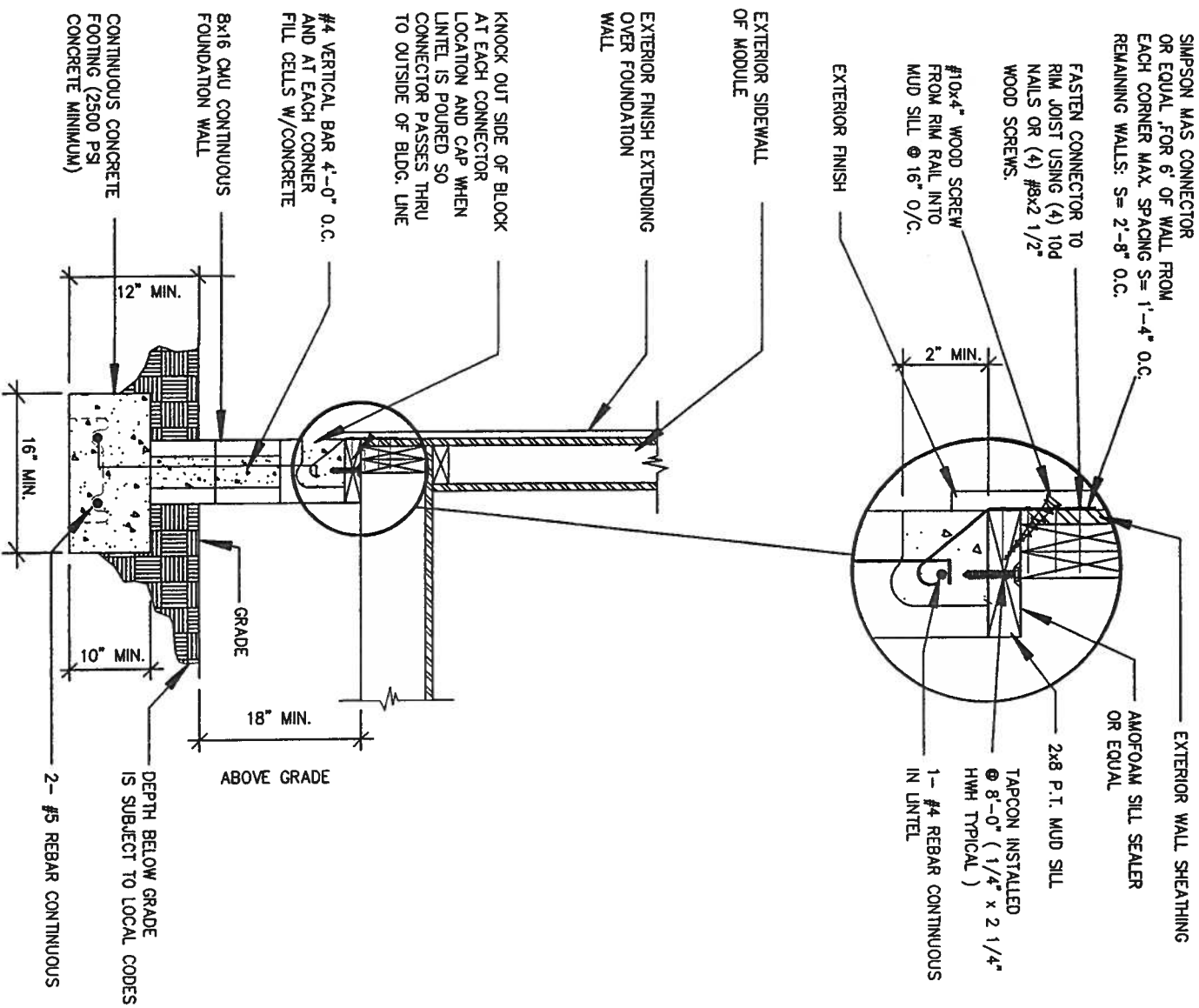
CROSS SECTION OFF STEEL FRAME

Cad#: FL-TYP7

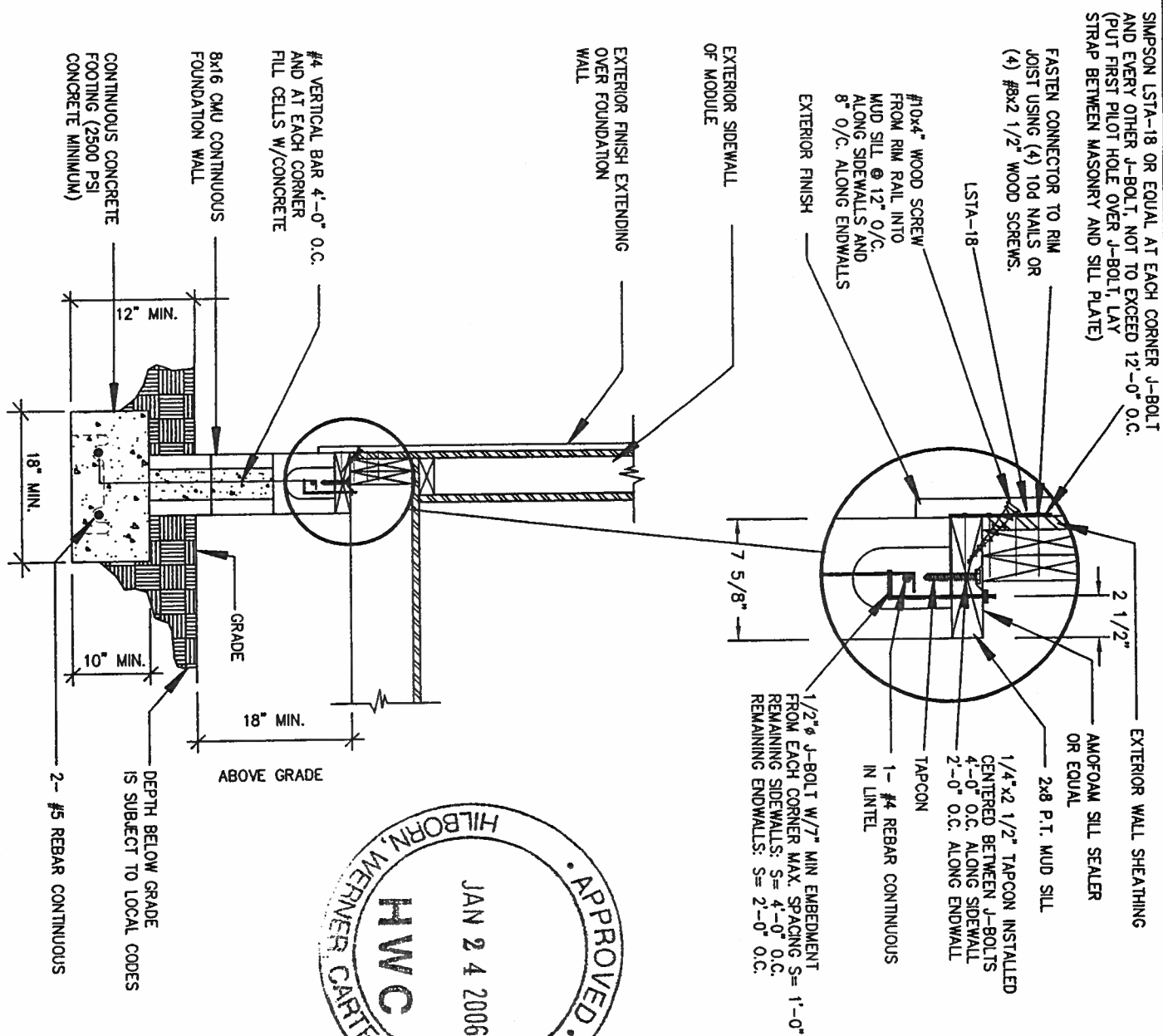


*** OR EQUIVALENT**

FLUSH SIDE WALL AND FOUNDATION WALL DETAILS



OPTION 1 USING SIMPSON*AS MUDDSILL



OPTION 2 USING 1/2" Ø ANCHOR BOLTS & SIMPSON* LSTA-18

THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT STREET
FL = 9927
CLEARWATER, FL 33759
PHONE: (727) - 796-8774
FAX : (727) - 791-6942

Cad#: FL-TYP8

Revisions

Date: 5-5-04

Dr'n CP

Scale: N.T.S.

D (04)

FLORIDA

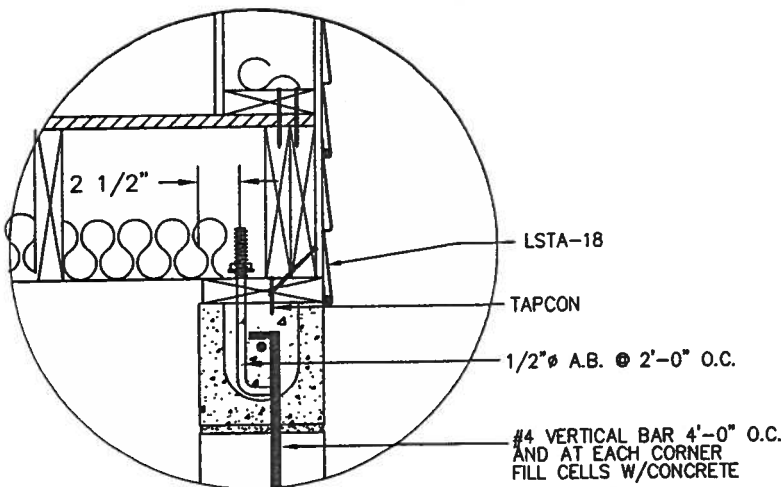
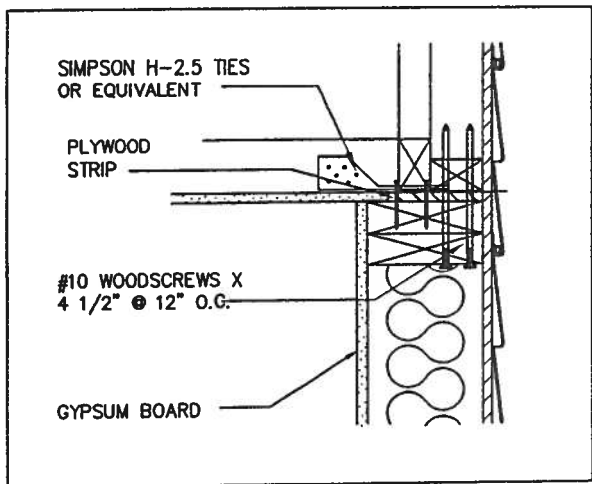
DCA: DCA TYPICAL PACKAGE

Print: PAGE 8
FOUNDATION DETAILS

APPROVED JAN 24 2006

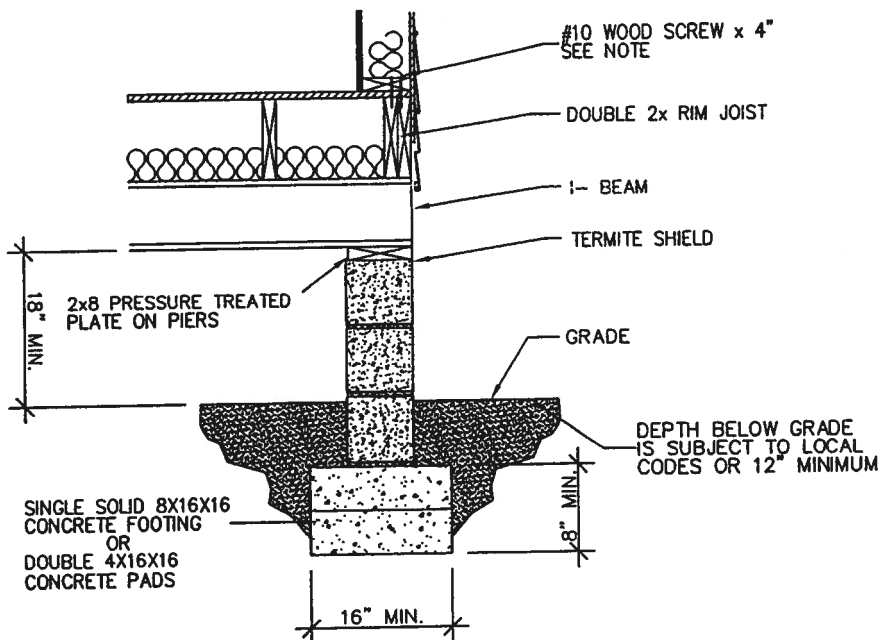


HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

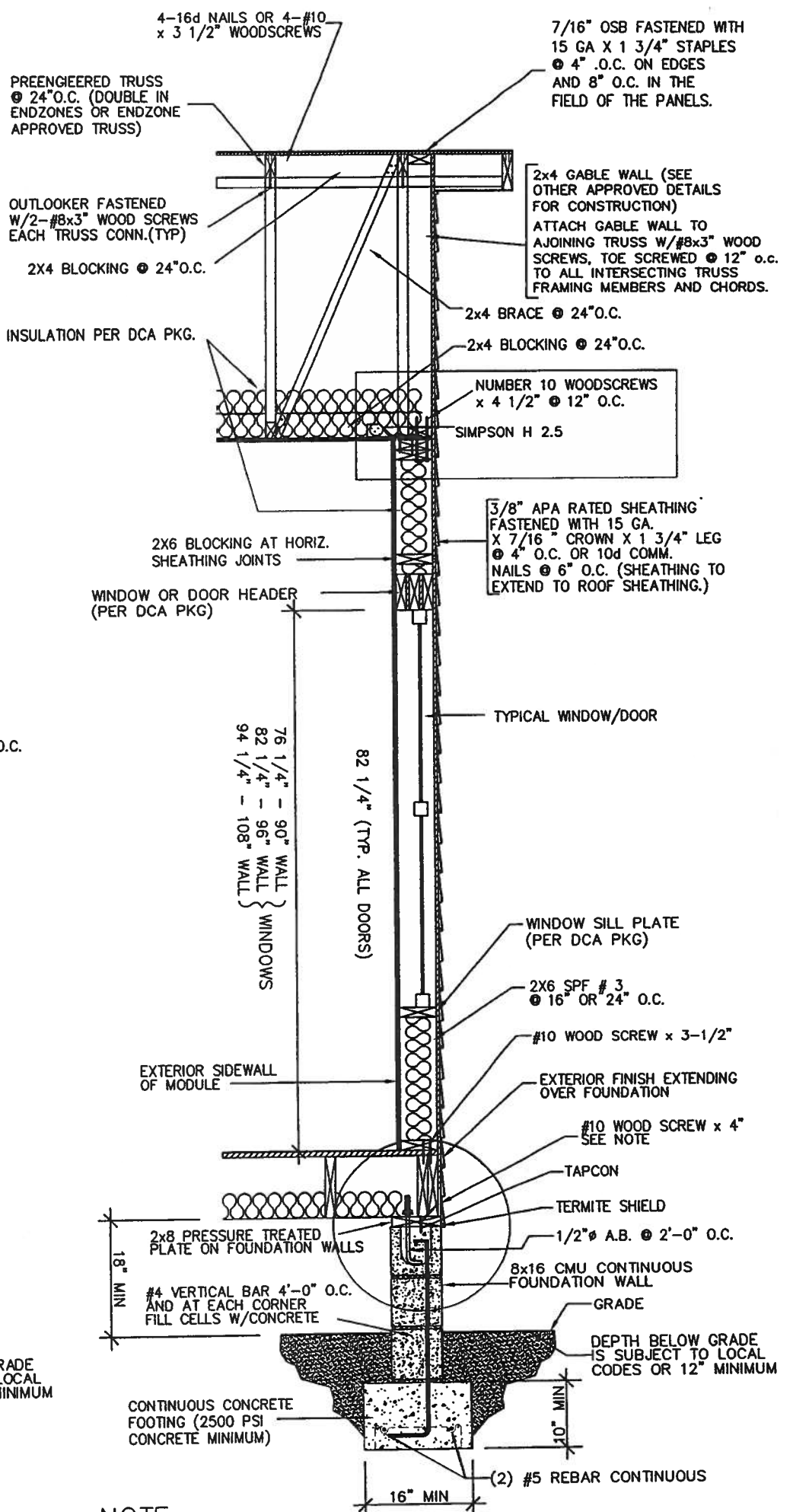


NOTE:
J-BOLT WITH LSTA MAY BE REPLACED WITH MUDSILL ANCHORS. SEE FOUNDATION PAGE FOR DETAILS ON OPTION #1 OR OPTION #2.

ENDWALL SECTION DETAILS



ENDWALL SECTION W/FRAME

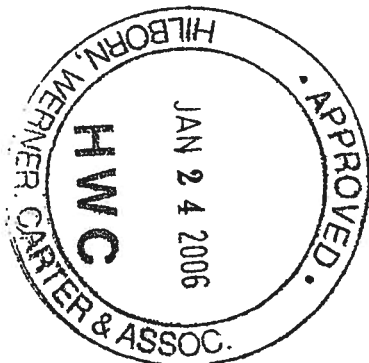


NOTE:
#10 WOOD SCREW x 4" (MIN. 1" PENETRATION INTO SILL PLATE) SPACED 6" O.C. ALONG PERIMETER OF HOME. TOE SCREW FROM FLOOR RIM RAIL TO SILL PLATE.

ENDWALL SECTION W/O FRAME

THIRD PARTY

HILBORN, WERNER, CARTER & ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756



ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX: (727)-791-6942

Date: 5-5-04	Revisions	Cad#: FL-TYP9
Dr'n ROB	10-17-05 FP	
Scale: N.T.S.		
Code: D (06)	APPROVED JAN 24 2006	
FLORIDA	Model: DCA TYPICAL PACKAGE	Print: PAGE 9 ENDWALL SECTION DETAILS

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LAKE CITY, FLORIDA 32056



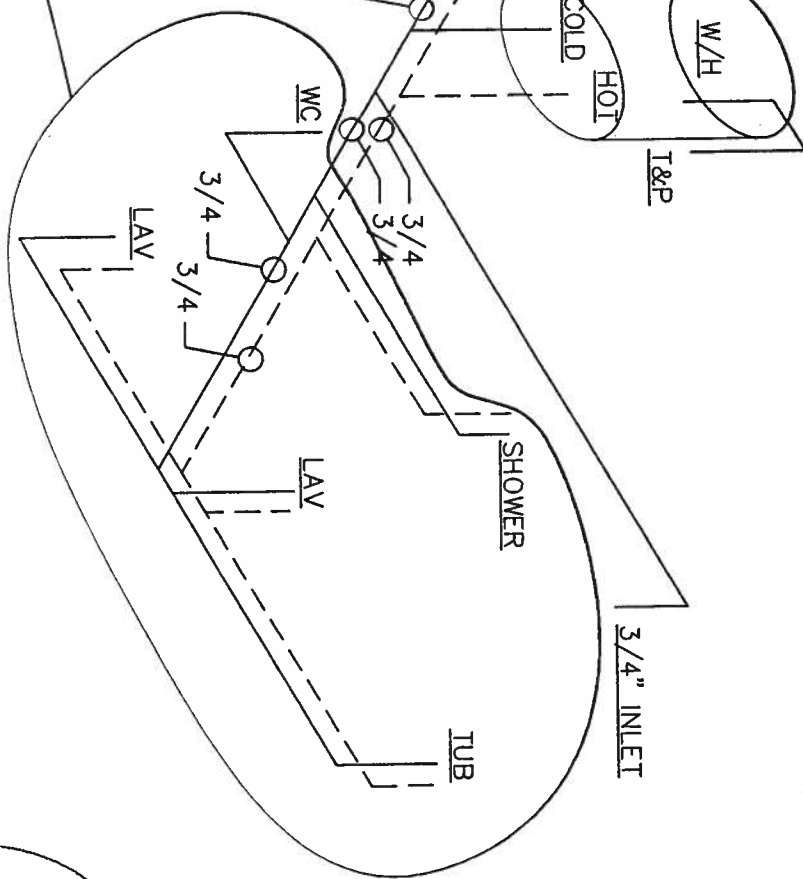
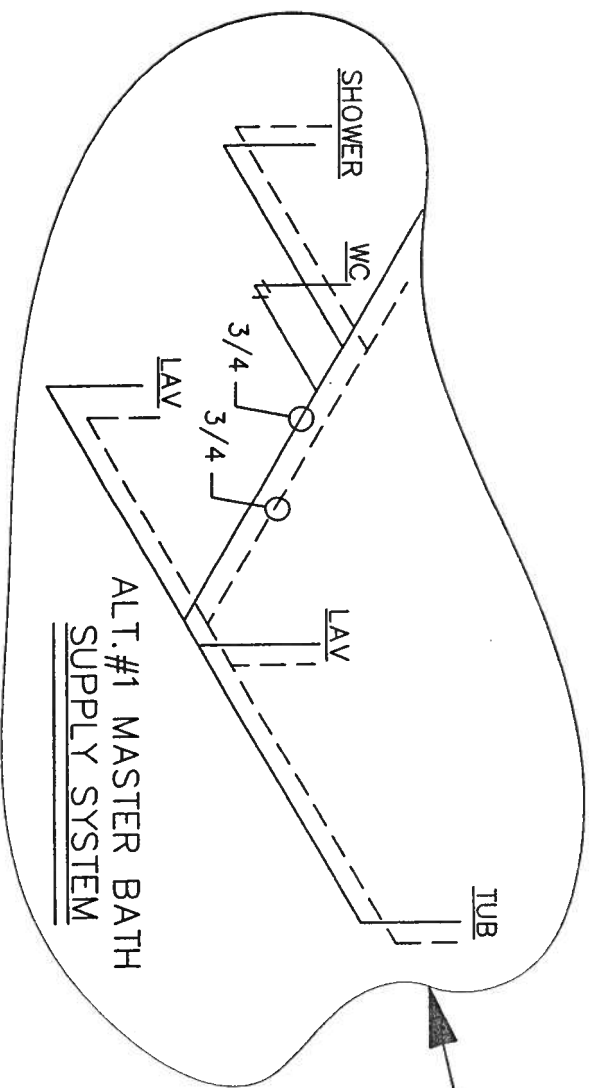
HOT WATER SUPPLY IS ON LEFT SIDE OF FIXTURE

SUPPLY LINE SIZING IS BASED ON AN ASSUMED AVAILABLE PRESSURE OF 46 TO 60 PSI AT MAIN INLET, AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.

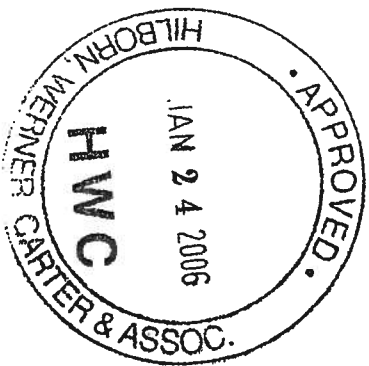
ALL SUPPLY LINE SHALL BE 3/4". ALL STUB-UPS SHALL BE 1/2" UNLESS OTHERWISE SPECIFIED.

HOT
COLD

SUPPLY SYSTEM



ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX : (727)-791-6942



THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

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P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

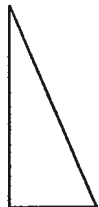


Date: 5-5-04	Revisions	Cad#: FL-TYP10
Dr'n CP		
Scale: 3/16"=1'		
Code: D (06)		
FLORIDA	DCA: DCA TYPICAL PACKAGE	Print: TYP SUPPLY POTABLE WATER



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LAKE CITY, FLORIDA 32056

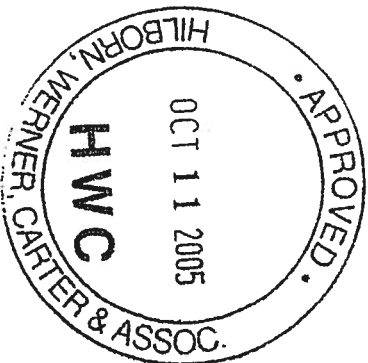
FLORIDA
29W HINGED ROOF RAFTER



MAX. 6/12 ROOF PITCH

THE FOLLOWING PRINTS ARE TO BE USED
WITH OPTIONAL MAX. 6/12 ROOF PITCH

HINGED ROOF RAFTER PAGE 2
HINGED ROOF OUTLOOKER DETAIL PAGE 3
ENDWALL DETAIL PAGE 4

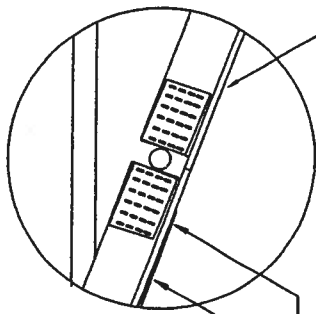
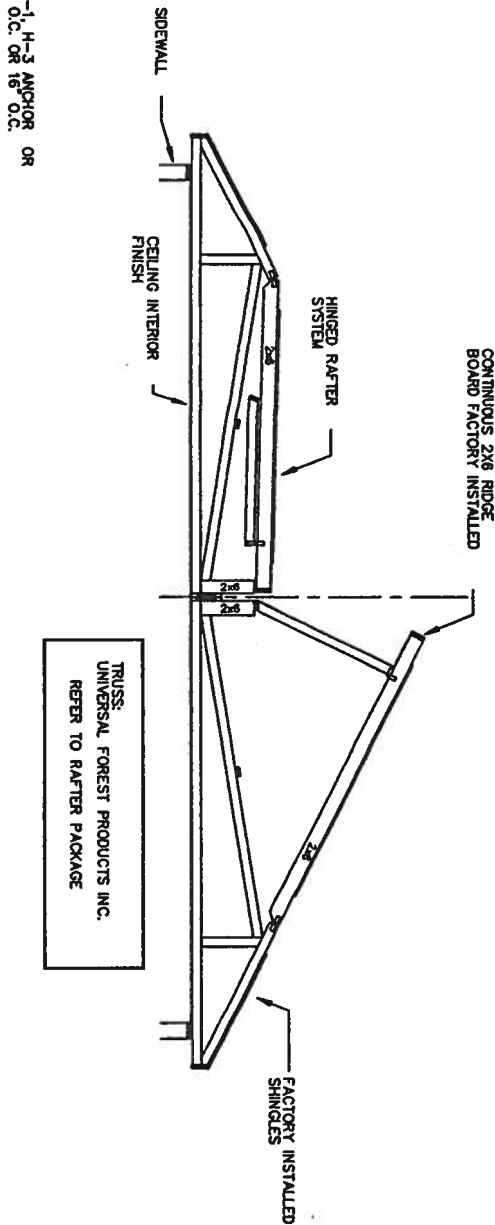
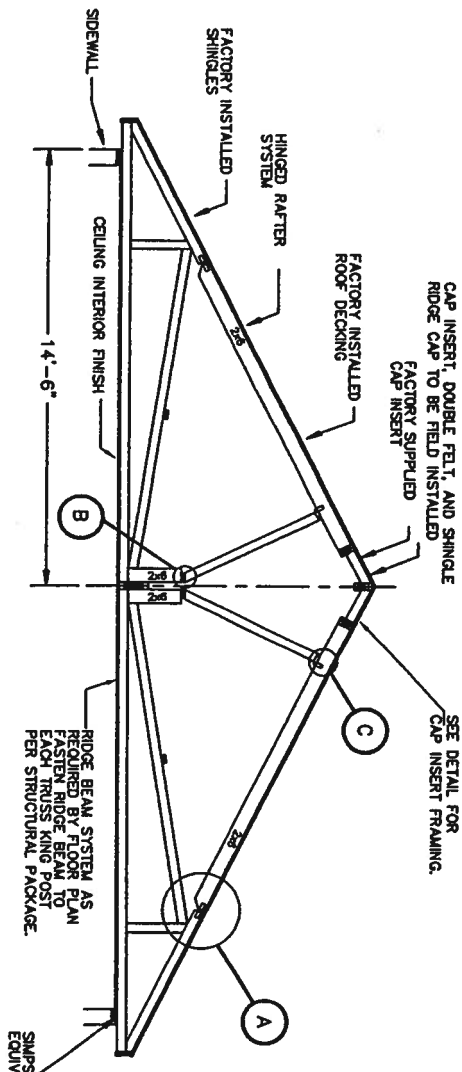


ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX : (727)-791-6942

THIRD PARTY
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& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

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P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

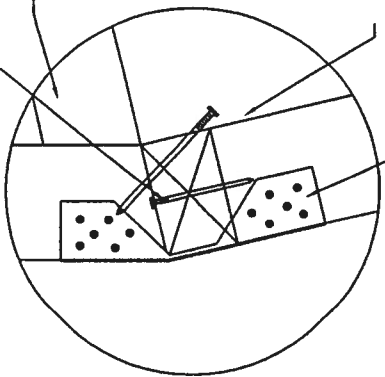
Date: 4-15-05	Revisions	Cad#: 6-12 29HG1
Dr'n CP		
Scale: N.T.S.		
Code: D (05)		APPROVED OCT 11 2005
FLORIDA	Model: DCA TYPICAL HINGED RAFTER	Print: PAGE 1 HINGED ROOF



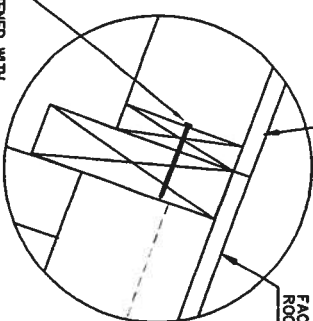
2x3 SPF #3 MIN CONTINUOUS STRINGER ATTACHED WITH 2-15 GA. 7/16\"/>

CHORD OF RAFTER.

VIEW 'B'

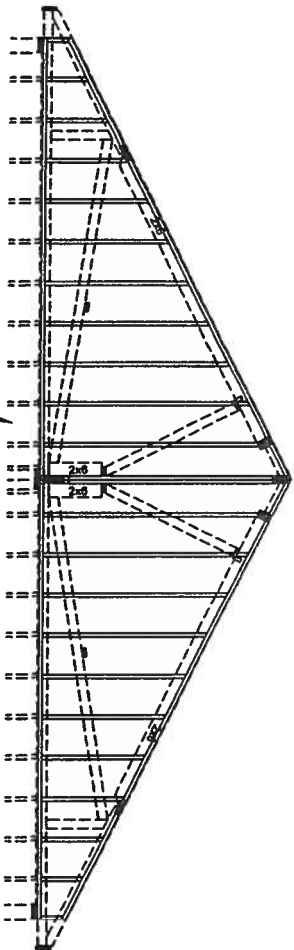


AFTER KING POST IS HINGED DOWN, FASTEN TO BOTTOM CHORD OF TRUSS WITH ALUM. HA-2 CONNECTOR W/ 2 #8 SCREWS. OR TRUSS COMPANY'S END OF CONNECTOR OR OTHER CONNECTOR SYSTEM CAPABLE OF WITHSTANDING 321# PER CONNECTOR MAX. SPACING 24\"/>

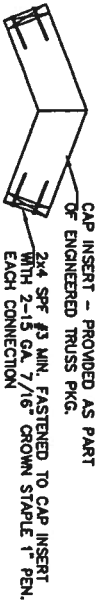
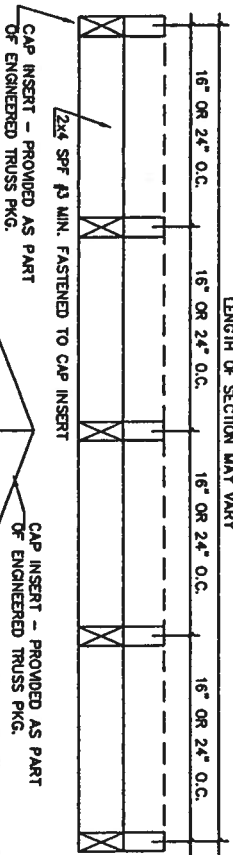


CAP INSERT ASSEMBLY FASTENED WITH 15 GA. 7/16\"/>

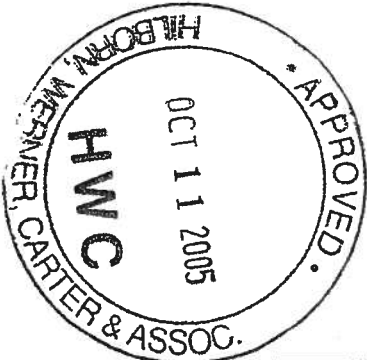
VIEW 'C'



CABLE END WALL



CAP INSERT DETAIL



ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX: (727)-791-6942

THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 4-15-05
Dr'n CP
Scale: N.T.S.
Code: D (05)

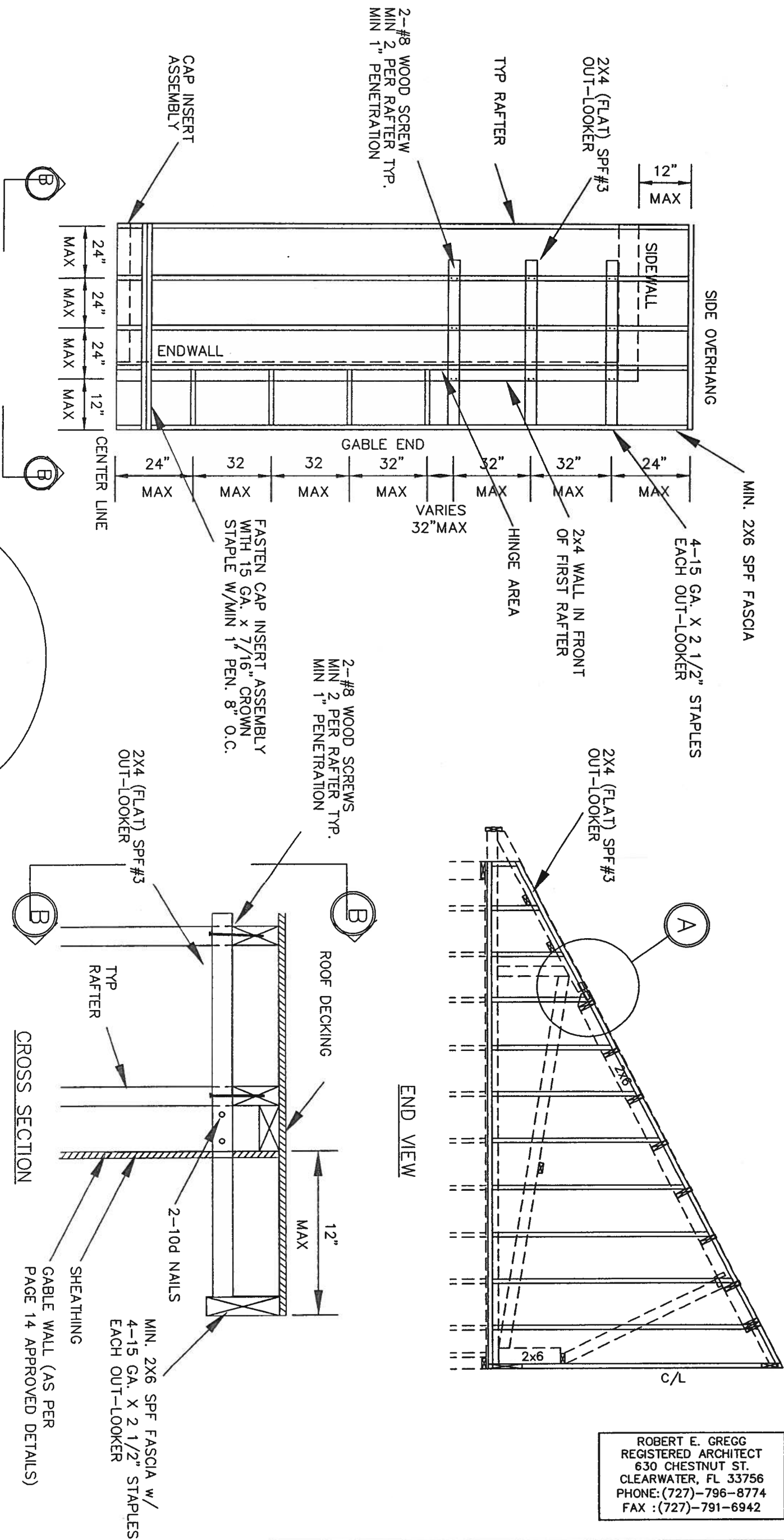
FLORIDA

Model: DCA TYPICAL
HINGED RAFTER

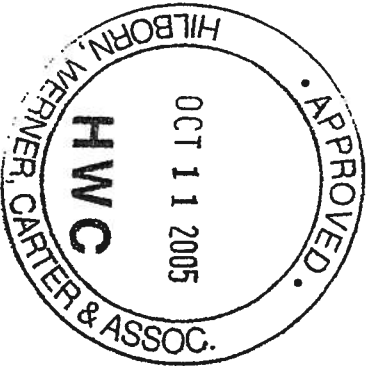
Print: PAGE 2
HINGED RAFTER

Cad#: 6-12 29HG2

APPROVED OCT 11 2005



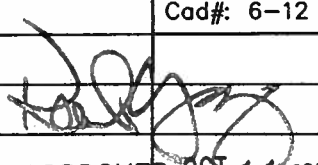
ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX : (727)-791-6942

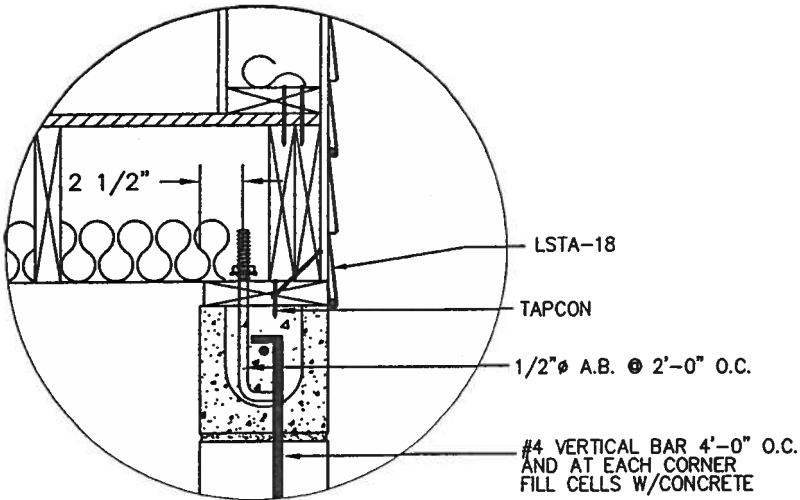


THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

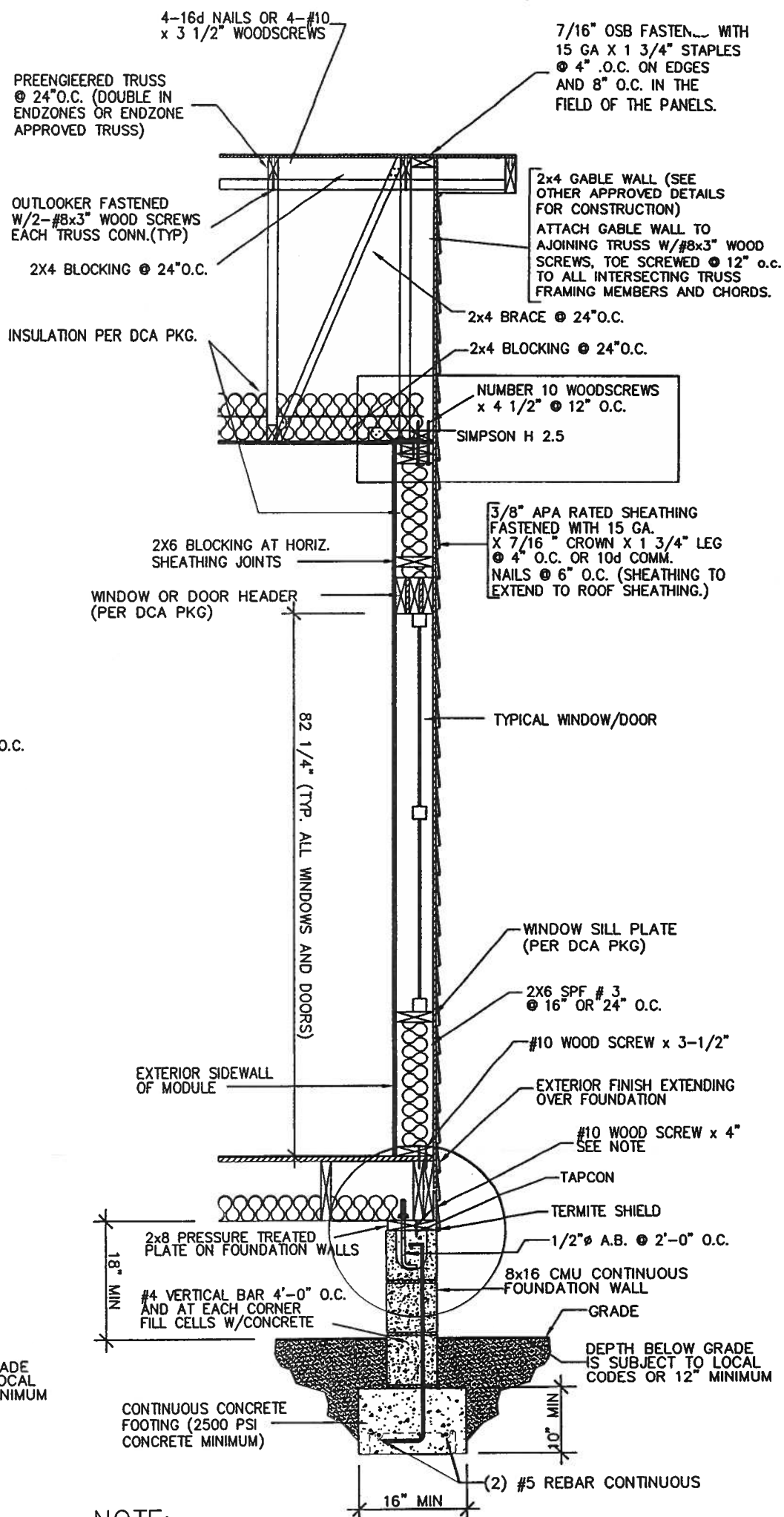


HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 4-15-05	Revisions		Cad#: 6-12 29HG3
Dr'n CP			
Scale: N.T.S.			
Code: D (05)			
FLORIDA	Model: DCA TYPICAL HINGED RAFTER	Print:  APPROVED OCT 11 2005 PAGE 3 OUTLOOKER DETAIL	

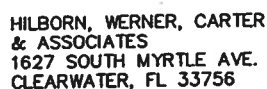


ENDWALL SECTION DETAILS



NOTE:
#10 WOOD SCREW x 4" (MIN. 1" PENETRATION INTO SILL PLATE)
SPACED 6" O.C. ALONG PERIMETER OF HOME.
TOE SCREW FROM FLOOR RIM RAIL TO SILL PLATE.

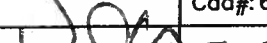
ENDWALL SECTION W/O FRAME



ROBERT E. GREGG
REGISTERED ARCHITECT
420 PARK PLACE, BLVD.
SUITE 100
CLEARWATER, FL 33759
PHONE: (727)-796-8774
FAX: (727)-791-6942



HOMES OF MERIT
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 5-5-04	Revisions	Cad#: 6-12 29HG-4
Dr'n ROB		
Scale: N.T.S.		
Code: D (04)		
FLORIDA	Model: DCA TYPICAL HINGED RAFTER	APPROVED OCT 11 2005 Print: PAGE 4 ENDWALL SECTION DETAILS