

DATE 06/25/2008

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000027116

APPLICANT ERNEST OGDEN PHONE 386.752.1561
ADDRESS 211 SW JUSTIN GLEN LAKE CITY FL 32024
OWNER ERNEST & TRACY OGDEN PHONE 386.752.1561
ADDRESS 211 SW JUSTIN WAY LAKE CITT FL 32024
CONTRACTOR OWNER BUILDER PHONE 386.752.1561
LOCATION OF PROPERTY 90-W TO SR.247-S,TL TO JUTSTIN GLN,TL, 2ND DRIVE ON L.

TYPE DEVELOPMENT WORKSHOP/UTILITY ESTIMATED COST OF CONSTRUCTION 30000.00
HEATED FLOOR AREA TOTAL AREA HEIGHT 14.00 STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH FLOOR CONC
LAND USE & ZONING RSF-2 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 10-4S-16-02866-009 SUBDIVISION LAUREL MEADOWS
LOT 8 BLOCK PHASE UNIT TOTAL ACRES 1.45

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 08-0273-R RTJ BLK N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE.

Check # or Cash 3883

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 150.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 225.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 0806-13 Date Received 6/6/08 By CH Permit # 27116
 Zoning Official BK Date 20.06.08 Flood Zone X Land Use Res. Low Den. Zoning RSF-2
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner ry Date 6/20/08
 Comments _____
☒ NOC ☒ EH ☒ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter _____
 IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
 School _____ = TOTAL CKL 3883

Septic Permit No. 08-0273-R Fax _____
 Name Authorized Person Signing Permit Ernest Ogden Phone 386-752-1561
 Address 211 S.W. Justin Yln 33024
 Owners Name Ernest & Tracy Ogden Phone 386-752-1561
 911 Address 211 S.W. Justin Yln 33024
 Contractors Name Owens Phone 386-752-1561
 Address 211 S.W. Justin Yln
 Fee Simple Owner Name & Address N/A
 Bonding Co. Name & Address N/A
 Architect/Engineer Name & Address N/A
 Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 10-45-16-02866-009 Estimated Cost of Construction 30,000.00
 Subdivision Name Larch Meadows Estate Lot 8 Block _____ Unit _____ Phase _____
 Driving Directions SR 247 South to Justin Yln Turn left second drive on left.

Number of Existing Dwellings on Property 1
 Construction of work shop Total Acreage 1.449 Lot Size 1.449
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 14'
 Actual Distance of Structure from Property Lines - Front 35' Side 10' Side _____ Rear 15'
 Number of Stories 1 Heated Floor Area _____ Total Floor Area 2400 Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.



Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.



Contractor's Signature (Permitee)

Contractor's License Number _____
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20____.
Personally known _____ or Produced Identification _____

State of Florida Notary Signature (For the Contractor)

SEAL:



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Office: 386-758-1008 Fax: 386-758-2160

NOTARIZED DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$75,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved for yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that if I am not physically doing the work or physically supervising free labor from friends or relatives, that I must hire licensed contractors, i.e. electrician, plumber, mechanical (heating & air conditioning), etc. I further understand that the violation of not physically doing the work, and the use of unlicensed contractors at the construction site, will cause the project to be shut down by the inspection staff of the Columbia County Building Department. Additionally, state statutes allows for additional penalties. I also understand that if this violation does occur, that in order for the job to proceed, I will have a licensed contractor come in and obtain a new permit as taking the job over. I understand that if I hire subcontractors under a contract price, that they must be licensed to work in Columbia County, i.e. masonry, drywall, carpentry. Contractors licensed by the Columbia County Contractor Licensing Section or the State of Florida are required to have worker's compensation and liability coverage.

E.O.

TYPE OF CONSTRUCTION

☒ Single Family Dwelling

☐ Two-Family Residence

☐ Farm Outbuilding

☐ Other work shop

☐ Addition, Alteration, Modification or other Improvement

I Ernest H. Ogden, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number _____

Ernest H. Ogden
Owner Builder Signature

6-6-08
Date

FLORIDA NOTARY

The above signer is personally known to me or produced identification FL DL

Notary Signature Laurie Hodson

Date 6-6-08



FOR BUILDING DEPARTMENT USE ONLY

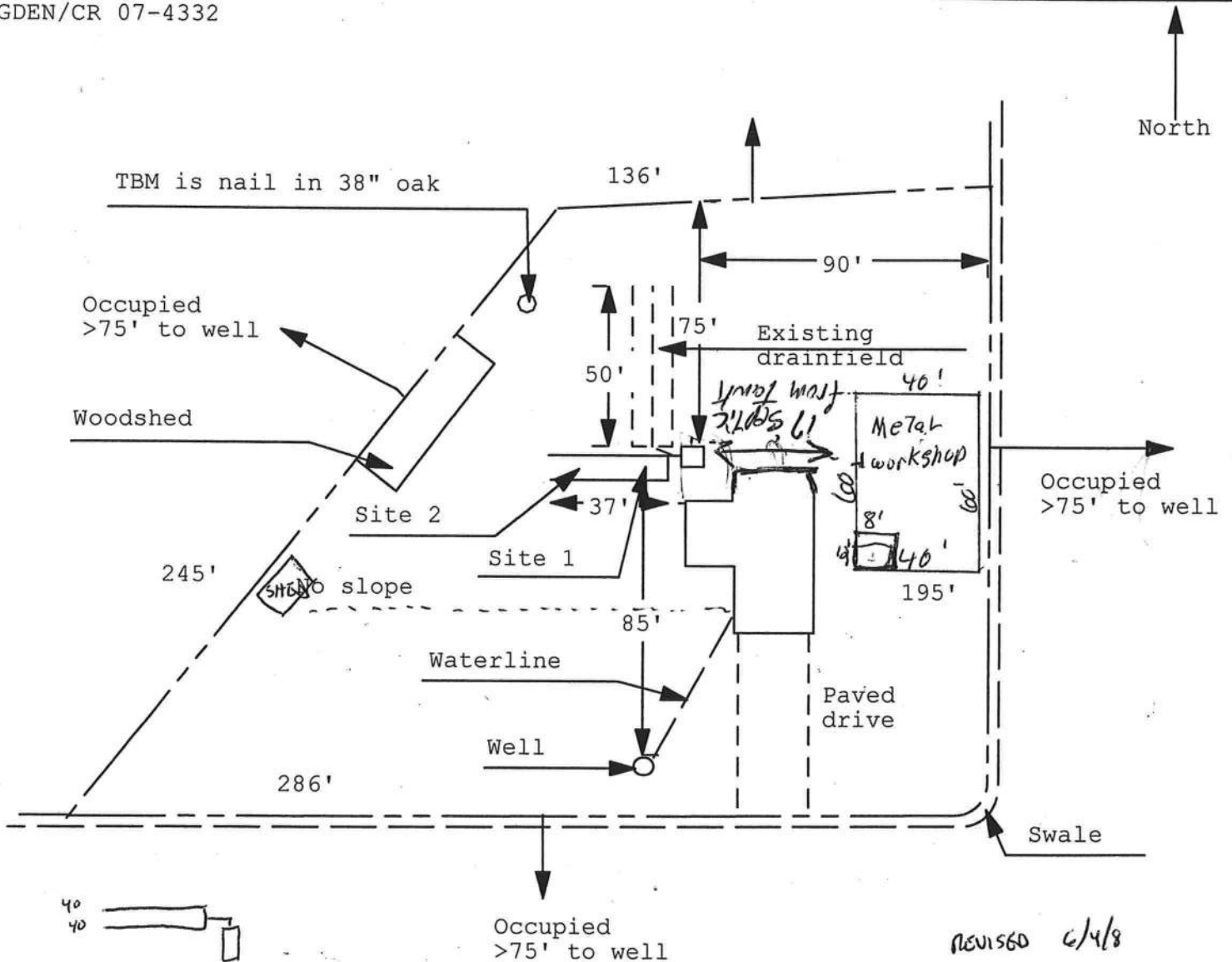
I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7). Date 6-6-08 Building Official/Representative Laurie Hodson

Application for Onsite Sewage Disposal System Construction Permit. Part II Site Plan

Permit Application Number: 08-0073-C

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

OGDEN/CR 07-4332



REVIS60 6/4/8

Ernest Ogden

1 inch = 50 feet

Site Plan Submitted By Paul Llop

Plan Approved ☒ Not Approved

Date 6/4/08

By *[Signature]*

APPROVED

Columbia CHD

CPHU

Notes: _____

Columbia County Property Appraiser

DB Last Updated: 4/15/2008

2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 10-4S-16-02866-009 HX

Owner & Property Info

Owner's Name	OGDEN ERNEST H & TRACY B		
Site Address	JUSTIN		
Mailing Address	211 SW JUSTIN GLEN LAKE CITY, FL 32024		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	10416.04	Tax District	3
UD Codes	MKTA06	Market Area	06
Total Land Area	1.449 ACRES		
Description	COMM SE COR OF N1/2 OF SE1/4 OF SE1/4, RUN N 669.61 FT, W 308.82 FT, SW 214.95 FT FOR POB, CONT SW 245.13 FT TO N R/W JUSTIN ST, E ALONG R/W 286.67 FT, N ALONG R/W 195.24 FT, W 136 FT TO POB. (AKA LOT 8 LAUREL MEADOWS ESTATE S/D UNREC) ORB 392-374, 836-148, 927-2276,		

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GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$34,000.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$110,998.00
XFOB Value	cnt: (5)	\$3,296.00
Total Appraised Value		\$148,294.00

Just Value	\$148,294.00
Class Value	\$0.00
Assessed Value	\$99,877.00
Exempt Value	(code: HX) \$25,000.00
Total Taxable Value	\$74,877.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
5/29/2001	927/2276	WD	I	Q	99	\$103,000.00
3/11/1997	836/148	WD	I	Q		\$79,000.00
4/1/1987	620/506	WD	I	Q		\$58,500.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1977	Common BRK (19)	1628	2888	\$110,998.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	1993	\$150.00	1.000	0 x 0 x 0	(.00)
0296	SHED METAL	1993	\$500.00	1.000	0 x 0 x 0	(.00)
0252	LEAN-TO W/	1993	\$154.00	128.000	8 x 16 x 0	AP (40.00)
0252	LEAN-TO W/	1993	\$192.00	160.000	8 x 20 x 0	AP (40.00)

0180	FPLC 1STRY	1993	\$2,300.00	1.000	0 x 0 x 0	(.00)
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Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	1.000 LT - (1.449AC)	1.00/1.00/1.00/1.00	\$34,000.00	\$34,000.00

Columbia County Property Appraiser

DB Last Updated: 4/15/2008

<< Prev

3 of 17

Next >>

Disclaimer

This information was derived from data which was compiled by the Columbia County Property Appraiser's Office solely for the government purpose of property assessment. The information shown is a **work in progress** and should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's Office. The assessed values are **NOT CERTIFIED** values and therefore are subject to change before finalized for ad-valorem assessment purposes.

Notice:

Under Florida Law, e-mail addresses are public record. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead contact this office by phone or in writing.

[Scroll to Top](#)

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NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 10-45-16-02866-009 HX

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): LOT 8 Laurel Meadows Estate

a) Street (job) Address: 211 S.W. Justin Glen

2. General description of improvements: Workshop

3. Owner Information

a) Name and address: Ernest & Tracy Ogden

b) Name and address of fee simple titleholder (if other than owner) 211 S.W. Justin Glen L.C. 32024

c) Interest in property owner

4. Contractor Information

a) Name and address: Ernest & Tracy Ogden

b) Telephone No.: 386-752-1561 Fax No. (Opt.) Owner Builder 211 S.W. Justin Glen L.C. 32024

5. Surety Information

a) Name and address: _____

b) Amount of Bond: _____

c) Telephone No.: _____

Inst: 200812010851 Date: 6/6/2008 Time: 3:55 PM

DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1151 P: 2637

6. Lender

a) Name and address: _____

b) Phone No.: _____

7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:

a) Name and address: _____

b) Telephone No.: _____ Fax No. (Opt.) _____

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:

a) Name and address: _____

b) Telephone No.: _____ Fax No. (Opt.) _____

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Ernest H. Ogden
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Ernest Ogden
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 6 day of June, 2008, by:
Ernest Ogden as Owner (type of authority, e.g. officer, trustee, attorney
fact) for Ernest Ogden (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification _____ Type _____

Notary Signature Laurie Hodson Notary Stamp or Seal:



—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Laurie Hodson
Signature of Natural Person Signing (in line #10 above.)

27116

NOTICE OF COMMENCEMENT

Inst 200812023051 Date 12/29/2008 Time 10:05 AM
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B.1164 P.1344Tax Parcel Identification Number 10-45-16-02866-009

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes the following information is provided in this NOTICE OF COMMENCEMENT.

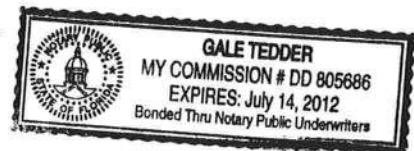
1. Description of property (legal description): Laurel Meadows LOT 8
a) Street (job) Address: 261 SW JUSTIN AVE
2. General description of improvements: WORKSHOP/UTILITY
3. Owner Information
a) Name and address: Ernest Ogden
b) Name and address of fee simple titleholder (if other than owner)
c) Interest in property
4. Contractor Information
a) Name and address: Ernest Ogden
b) Telephone No.: Fax No. (Opt.)
5. Surety Information
a) Name and address: N/A
b) Amount of Bond:
c) Telephone No.: Fax No. (Opt.)
6. Lender
a) Name and address: N/A
b) Phone No.: Fax No. (Opt.)
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served
a) Name and address: Same
b) Telephone No.: Fax No. (Opt.)
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes:
a) Name and address: N/A
b) Telephone No.: Fax No. (Opt.)
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Ernest Ogden
Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager
Ernest Ogden
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 29th day of Dec., 2008, by:
Ernest Ogden as owner (type of authority, e.g. officer, trustee, attorney fact) for _____ (name of party on behalf of whom instrument was executed).

Personally Known _____ OR Produced Identification ☒ Type DLNotary Signature Gale Tedder Notary Stamp or Seal

-AND-

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief

Ernest Ogden
Signature of Natural Person Signing (in line #10 above.)

NOTICE

Be advised that all shipments are via outside trucking companies and are signed for in good condition and completeness at the pick-up location by the driver.

"No claim will be honored" unless the following procedures have been followed:

EXTERNAL:

At the delivery point the driver is required to provide you with a bill of lading which lists and illustrates all bulk items to be received. Any "external" damage or shortage must be noted on all copies of the bill of lading and one copy is to be retained for your records. Failure to do so will make it impossible for the factory to honor any claim.

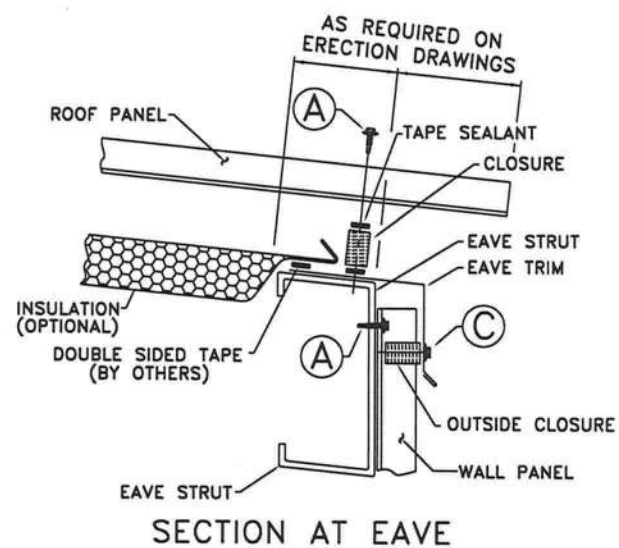
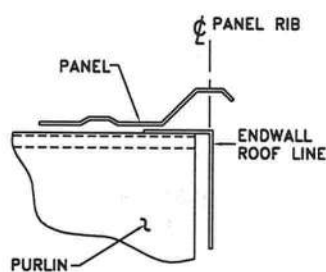
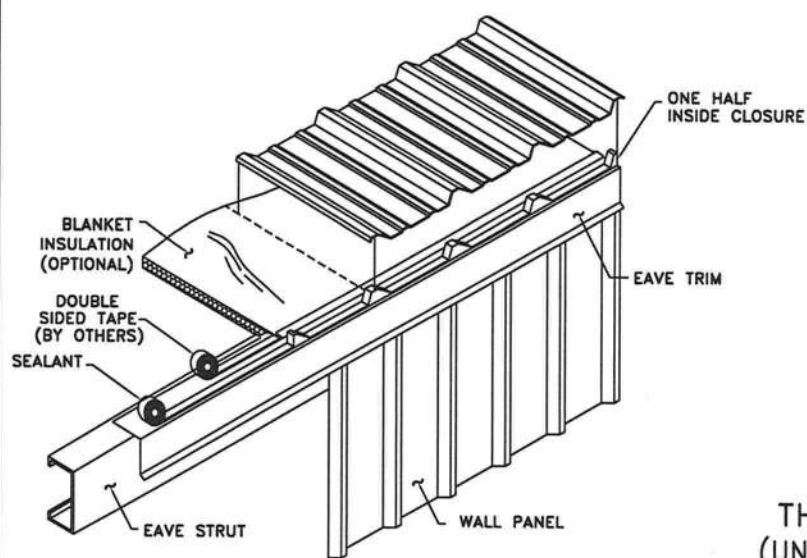
NO EXCEPTIONS!!!

SPECIAL NOTE:

Overhead doors and service doors are shipped in cardboard boxes. It is required that they be opened to insure that the trucker's chains have not damaged the edges. If so, it must be noted on the bill of lading.

INTERNAL:

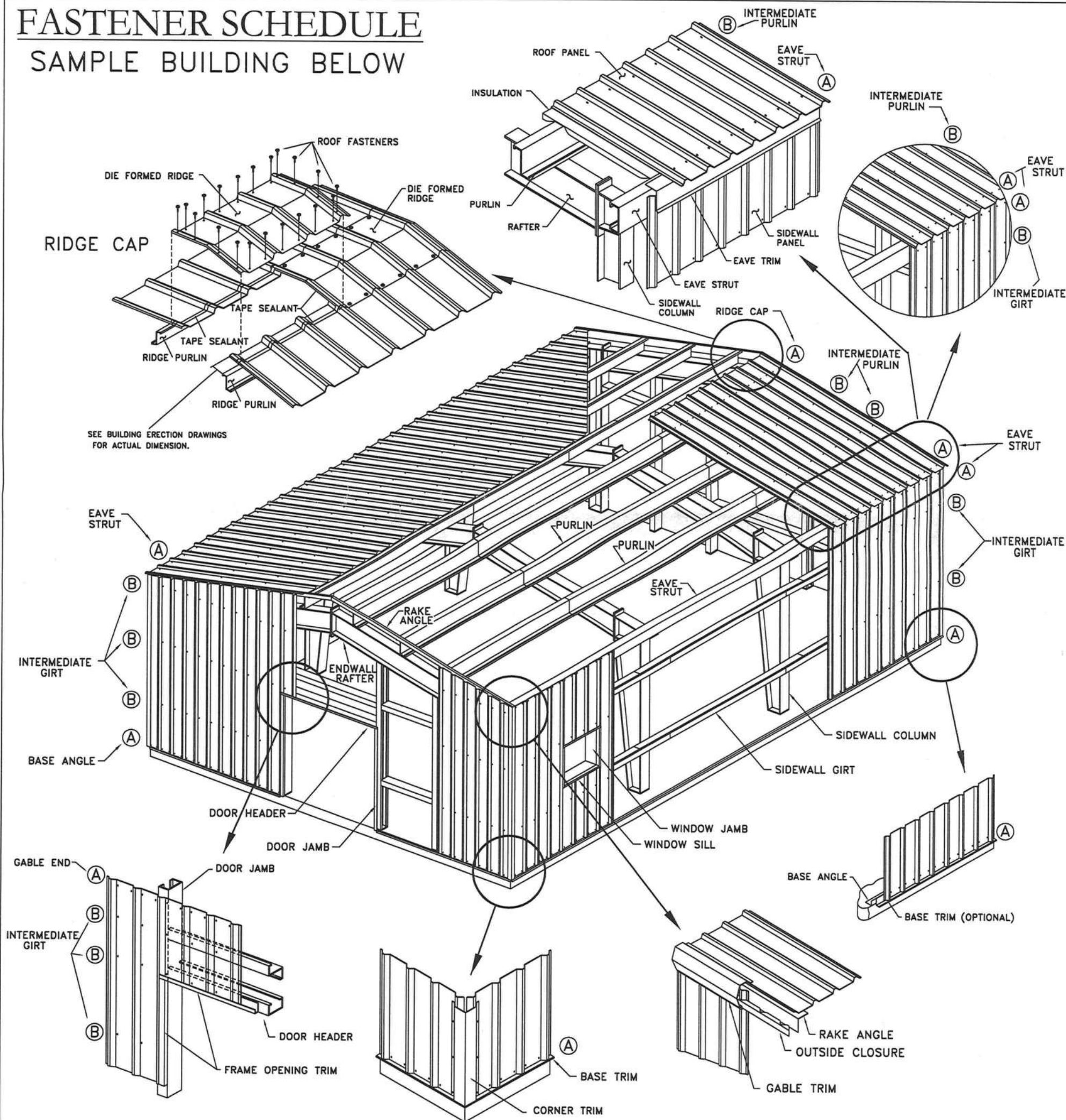
Before the driver leaves, it is also required that you receive a Shipper Report (packing list) that specifies all internal quantities of individual parts. However, the Roof and Wall Sheeting must be counted prior to releasing the driver. Valid concealed shortages must be reported to the factory within Valid 30 calendar days NO EXCEPTIONS!!! The driver does not have to be present for the internal inventory.



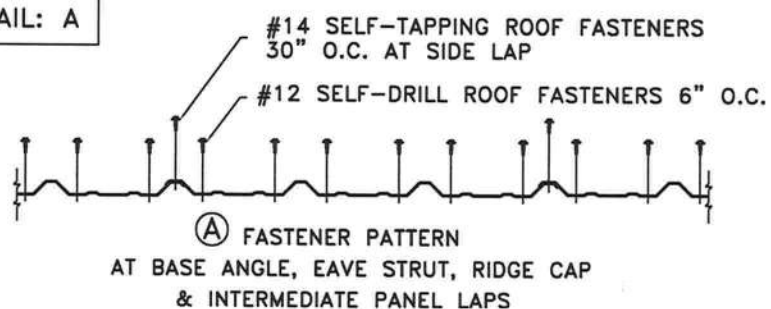
INSTALLATION OF
THE FIRST ROOF PANEL
(UNLESS NOTED ON DRAWINGS)

FASTENER SCHEDULE

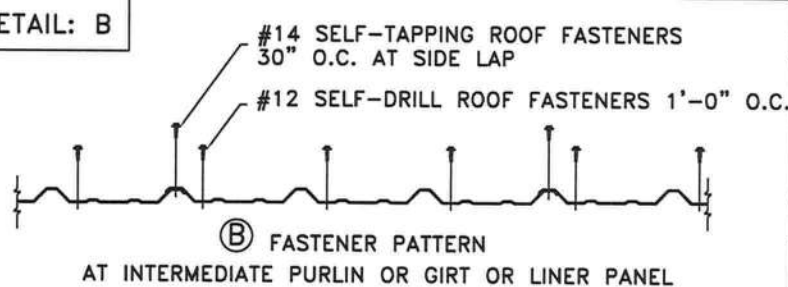
SAMPLE BUILDING BELOW



DETAIL: A



DETAIL: B



DETAIL: C

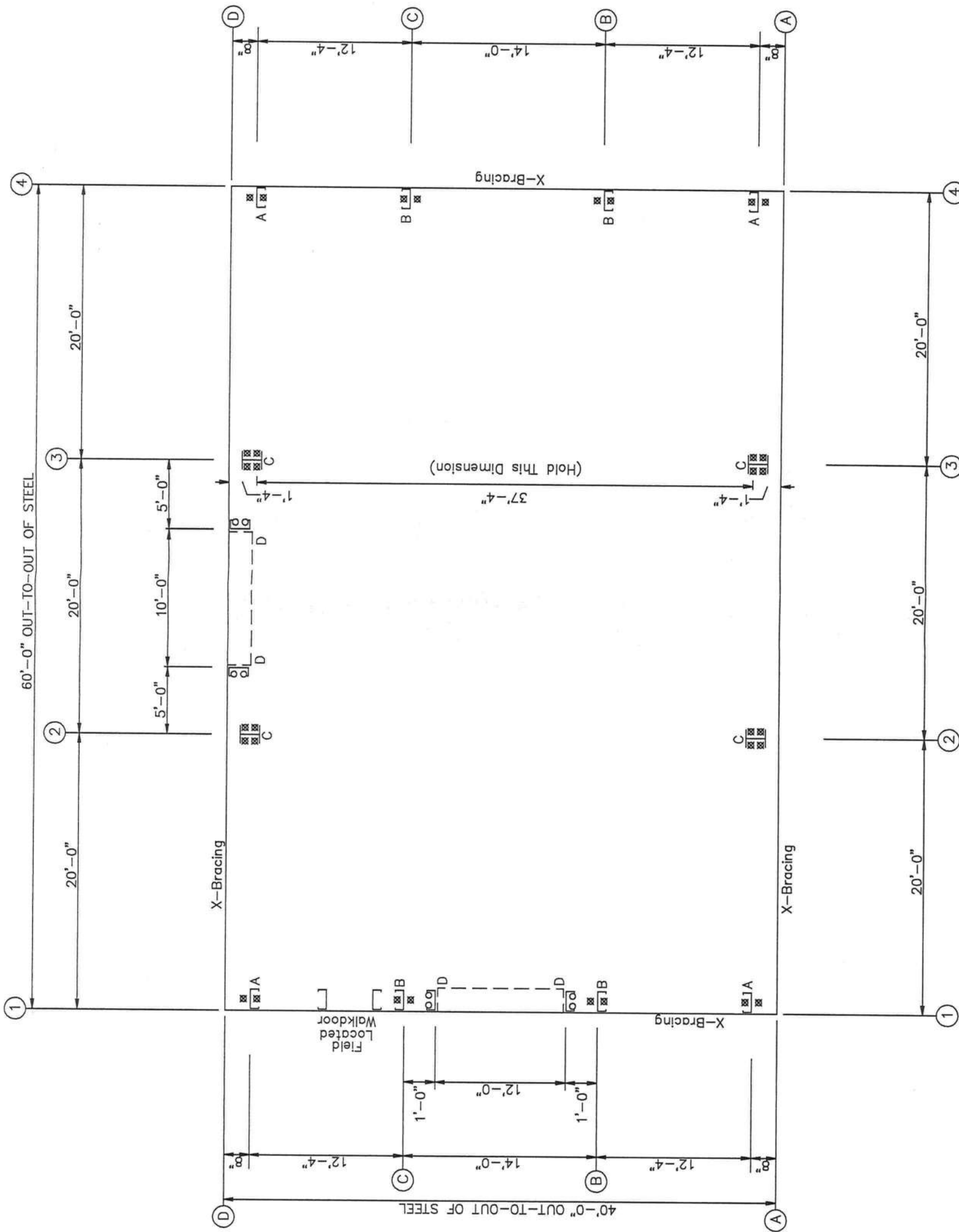
© STITCH FASTENER
#14x7/8"
12" ON CENTER

DATE: 1/10/05

DWG NO:

CS-2

o Dia= 1/2"
x Dia= 3/4"



ANCHOR BOLT PLAN
NOTE: All Base Plates @ 100'-0" (U.N.)

ASE NOTCH DETAIL
REQUIRED WHEN BASE TRIM
IS ORDERED.

FOUNDATION NOTCH
REQUIRE THE PERIMETER
THE FOUNDATION TO BE
2" WIDER THAN SHOWN.

DETAIL TO THE RIGHT.)

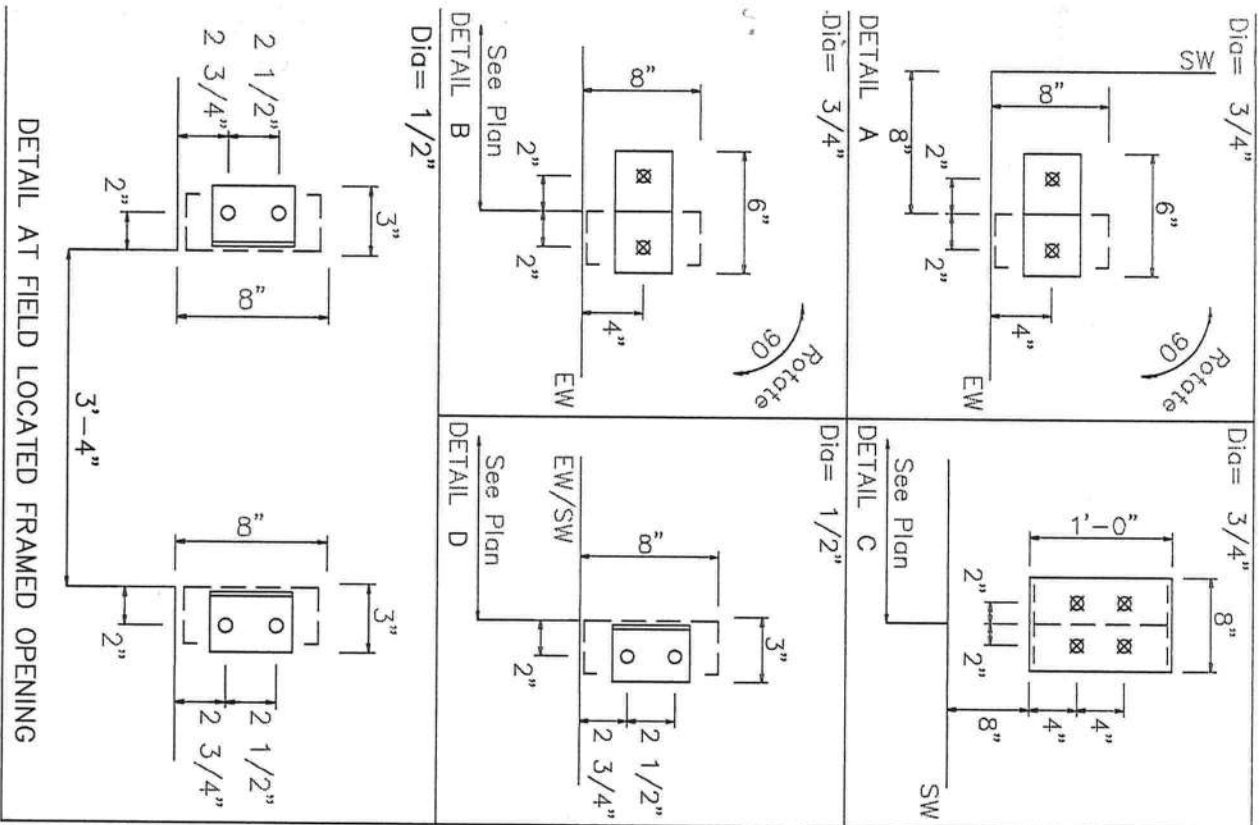
1 1/2" STEEL
LINE

1 1/2"

F.F.

SECTION AT SHEETING NOTCH
(TYPICAL EXCEPT AT FRAMED OPENINGS)

OLYMPIA STEEL BUILDINGS		Customer: ERNEST OGDEN	
City: McKEES ROCKS	State: PA	City: LAKE CITY	State: FL
Designer: SJ	Date: 04/29/08	Drafter: RGP	Date: 04/30/08
Detailer:	Date:	Office:	Job No.: 12550
Checker:	Date:	Office:	
ANCHOR BOLT PLAN			
Sht. E1 of 11			



NOTES FOR REACTIONS

Building reactions are based on the following building data:

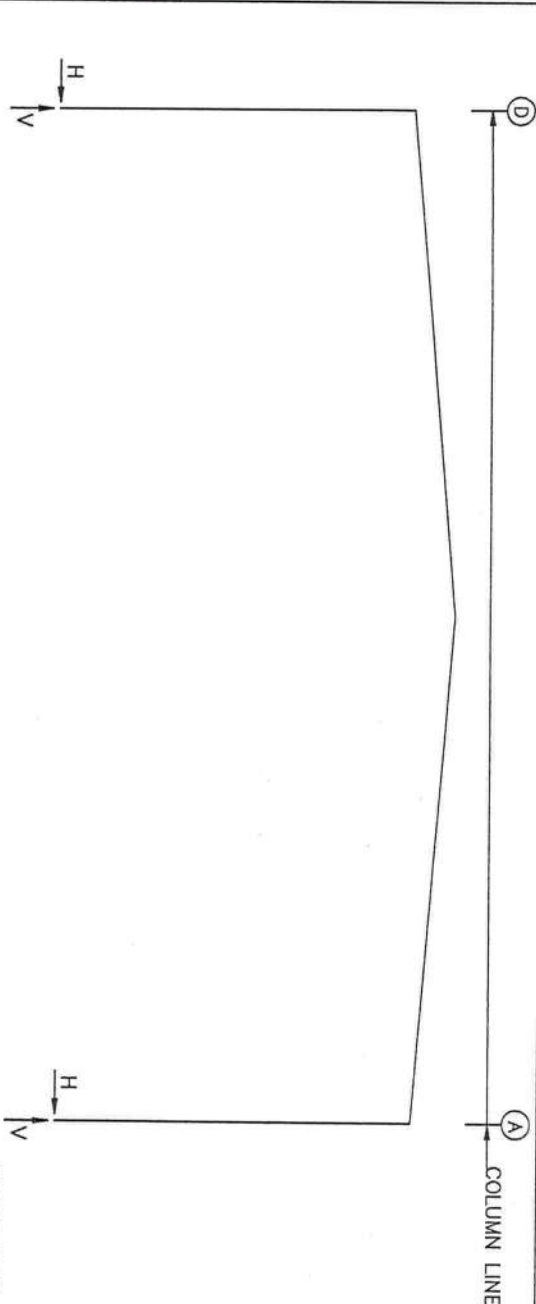
Length (ft)	= 40
Eave Height (ft)	= 14 / 14
Roof Slope	= 1.0:12 / 1.0:12
Dead Load (psf)	= 2.2
Collateral Load (psf)	= 1
Roof Live Load (psf)	= 0
Roof Snow Load (psf)	= 110
Wind Speed (mph)	= FLA STATE 04
Wind Code	= B
Wind Exposure	= Closed
Importance - Wind	= 1.00

Load Combinations

DL+CL+(LL or SL)
DL+CL+WL
DL+CL+0.75WL+0.75(LL or SL)
0.6DL+WL

GENERAL NOTES

- FOUNDATION DESIGN AND CONSTRUCTION ARE NOT THE RESPONSIBILITY OF THE BUILDING MANUFACTURER.
- THE BUILDING REACTION DATA, REPORTS THE LOADS WHICH THIS BUILDING PLACES ON THE FOUNDATION.
- COLUMN BASE PLATES ARE DESIGNED NOT TO EXCEED A BEARING PRESSURE OF 2500 POUNDS PER SQUARE INCH.
- ALL ANCHOR BOLTS SHALL BE ASTM A307 OR EQUAL IN ORDER TO CONFORM TO THE BUILDING MANUFACTURER. DESIGN ASSUMPTIONS BASED ON THE ALLOWABLE STRESSES GIVEN IN THE AISC MANUAL OF STEEL CONSTRUCTION.
- ANCHOR BOLTS TO BE SUPPLIED BY OTHERS. ANCHOR BOLT EMBEDMENT LENGTH IN CONCRETE TO BE DESIGNED BY OTHERS.
- ANCHOR BOLT PROJECTION ABOVE CONCRETE FINISHED SURFACE TO BE 3" UNLESS OTHERWISE NOTED BY FOUNDATION DESIGNER.
- ANCHOR BOLTS SHALL BE ACCURATELY SET TO A TOLERANCE OF +/- 1/8" IN ELEVATION AND LOCATION.
- IF THIS PROJECT HAS BYPASS GIRTS, IT WILL REQUIRE THE SIDEWALL COLUMN BASES TO BE SET BACK FROM SIDEWALL STEEL LINE BY THE DEPTH OF THE GIRT SYSTEM (8" or 10"). THIS MAY REQUIRE THE SIDEWALL FOOTINGS TO INCREASE IN DEPTH.
- MINOR FIELD WORK OF STRUCTURAL, SECONDARY AND PANEL/TRIM ITEMS MAY BE NECESSARY TO ENSURE PROPER FIT. SUCH WORK IS CONSIDERED A NORMAL PART OF METAL BUILDING ERECTION. WE WILL NOT HONOR BACKCHARGES FOR MINOR FIELD WORK.



RIGID FRAME: ANCHOR BOLTS & BASE PLATES

Frame Col Line	Anc. Bolt No D(in)	Base Plate Wid	Base Plate Len	Groat Thk (in)	Groat (in)
2 * D	4	0.750	8.000	12.00	0.500
2 * A	4	0.750	8.000	12.00	0.500

2 * Frame lines: 2 3

RIGID FRAME:

BASIC COLUMN REACTIONS (k)

Frame Column Line	Dead	Wind	Collateral	Live	Snow	Wind	Seismic	Wind	Seismic
2 * D	0.40	1.33	0.14	0.40	1.70	4.80	0.00	0.00	0.00
2 * A	-0.40	1.33	-0.14	0.40	-1.70	4.80	0.00	0.00	0.00

ENDWALL COLUMN:

REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frame Col Line	Dead	Wind	Collateral	Live	Wind	Live	Wind	Seismic	Wind	Seismic
2 * D	0.2	0.0	0.0	1.0	0.0	-1.1	0.0	-0.6	-0.7	0.8
2 * A	-0.2	0.0	0.0	1.0	0.0	1.1	0.0	0.6	0.7	-0.8

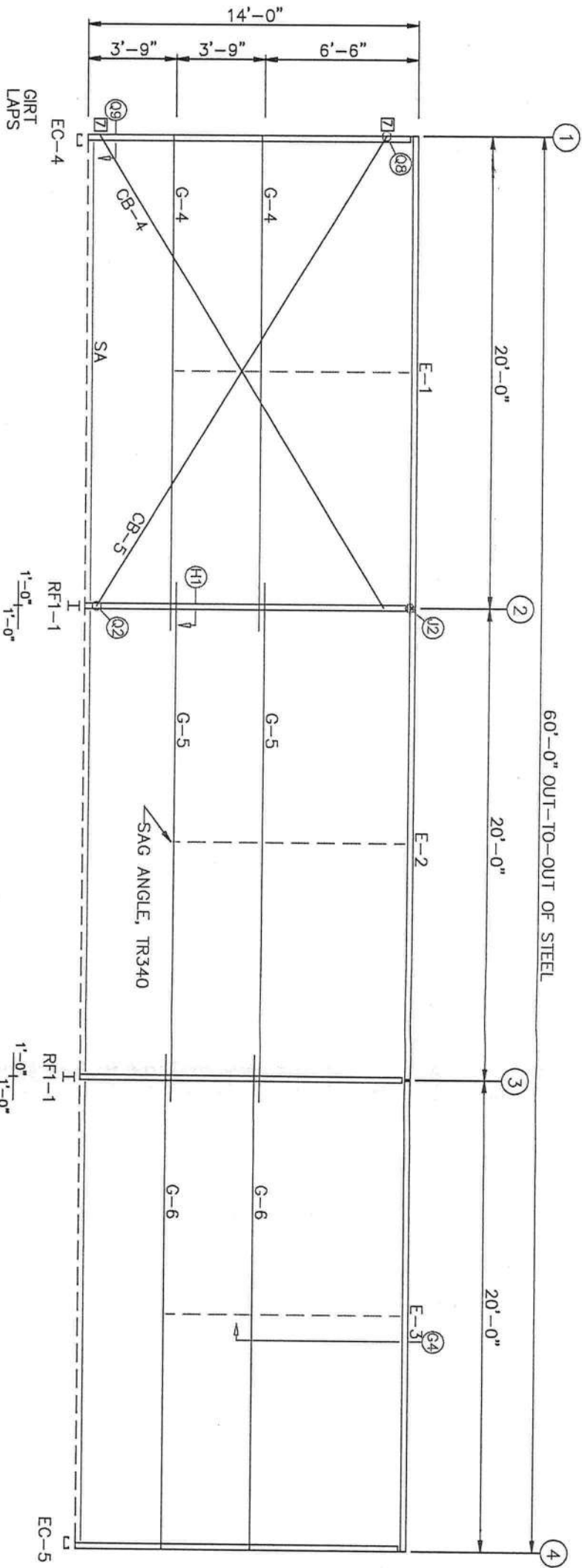
BRACING REACTIONS, PANEL SHEAR

Loc Line	Col Line	± Reactions (k)	Panel Shear (lb/ft)
L_EW 1	B_A	1.2	1.2
F_SW 1	B_A	2.3	1.4
R_EW 4	B_C	1.2	1.0
B_SW 4	B_C	2.3	1.4

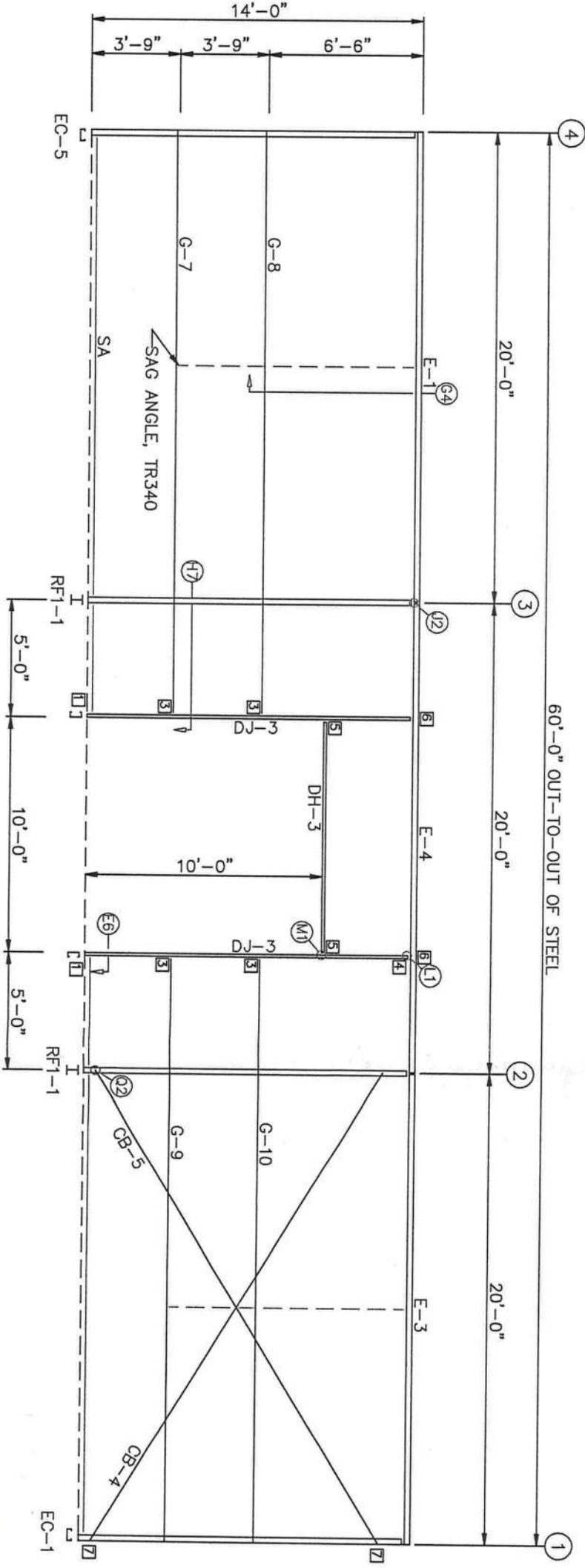
OLYMPIA STEEL BUILDINGS	Customer: ERNEST OGDEN
City: McKEES ROCKS	State: PA
City: LAKE CITY	State: FL
Designer: SJ	Date: 04/29/08
Detailer:	Office: RGP
Checker:	Office: 12550
Date:	Job No.:
	12550
	Sht. E2 of 11

MEMBER TABLE		
FRAME LINE A & D		
MARK	PART	LENGTH
DJ-3	8x25C16	13'-3 1/2"
DH-3	8x25C16	9'-11 1/2"
E-1	8x30E16	19'-11 1/4"
E-2	8x30E16	19'-11 1/2"
E-3	8x30E16	19'-11 1/4"
E-4	8x30E16	19'-11 1/2"
G-4	8x25Z16	20'-11 1/2"
G-5	8x25Z16	22'-0"
G-6	8x25Z16	20'-11 1/2"
G-7	8x25Z16	24'-7"
G-8	8x25Z14	24'-7"
G-9	8x25Z16	24'-7"
G-10	8x25Z14	24'-7"
CB-4	0.25_CBL	21'-2"
CB-5	0.25_CBL	20'-10"

CONNECTION PLATES	
FRAME LINE A & D	
CID	MARK/PART
1	CL002
2	CL213
3	CL020
4	CL212
5	CL025
6	SA
7	CL253



SIDEWALL FRAMING: FRAME LINE A



GIRT
LAPS

SIDEWALL FRAMING: FRAME LINE D

4/10/08

GENERAL NOTES:

MINOR FIELD WORK OF STRUCTURAL, SECONDARY AND PANEL/TRIM ITEMS MAY BE NECESSARY TO ENSURE PROPER FIT. SUCH WORK IS CONSIDERED A NORMAL PART OF METAL BUILDING ERECTION. WE WILL NOT HONOR BACKCHARGES FOR MINOR FIELD WORK.

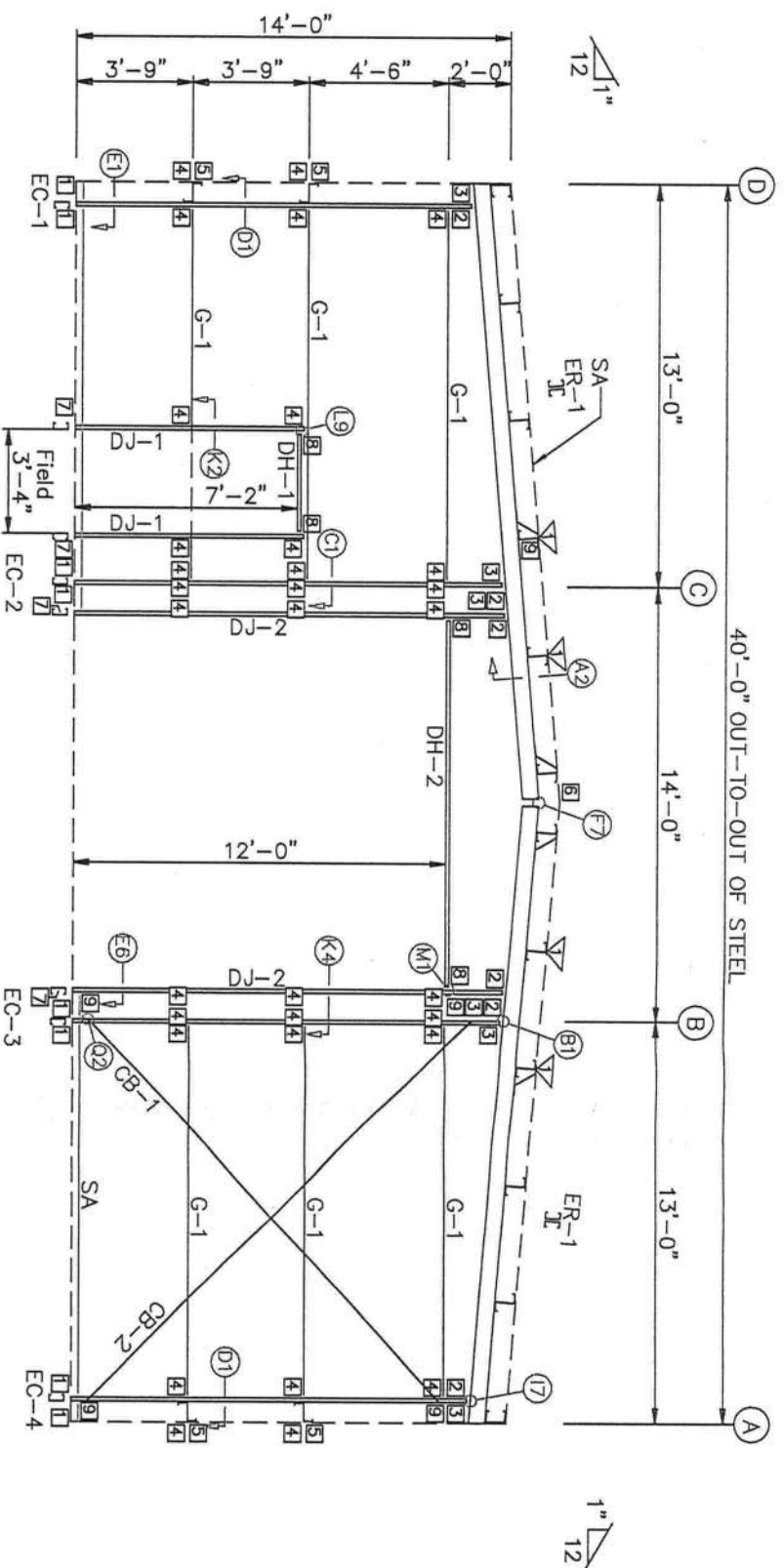
OLYMPIA STEEL BUILDINGS			Customer: ERNEST OGDEN		
City: McKEES ROCKS	State: PA	City: LAKE CITY		State: FL	
Designer: SJ	Date: 04/29/08	Drafter: RGP		Date: 04/30/08	
Detailer:	Date:	Officer:	Job No.: 12550		
Checker:	Date:	Officer:			
SIDEWALL FRAMING					Sht. E4 of 11

BOLT TABLE			
FRAME LINE 1 & 4		QUAN	TYPE DIA
LOCATION			
ER-1/ER-1	4	A325	1 1/2"
ER-2/ER-2	4	A325	1 1/2"
Columns	12	A325	1 1/2"
Jamb	6	A325	1 1/2"

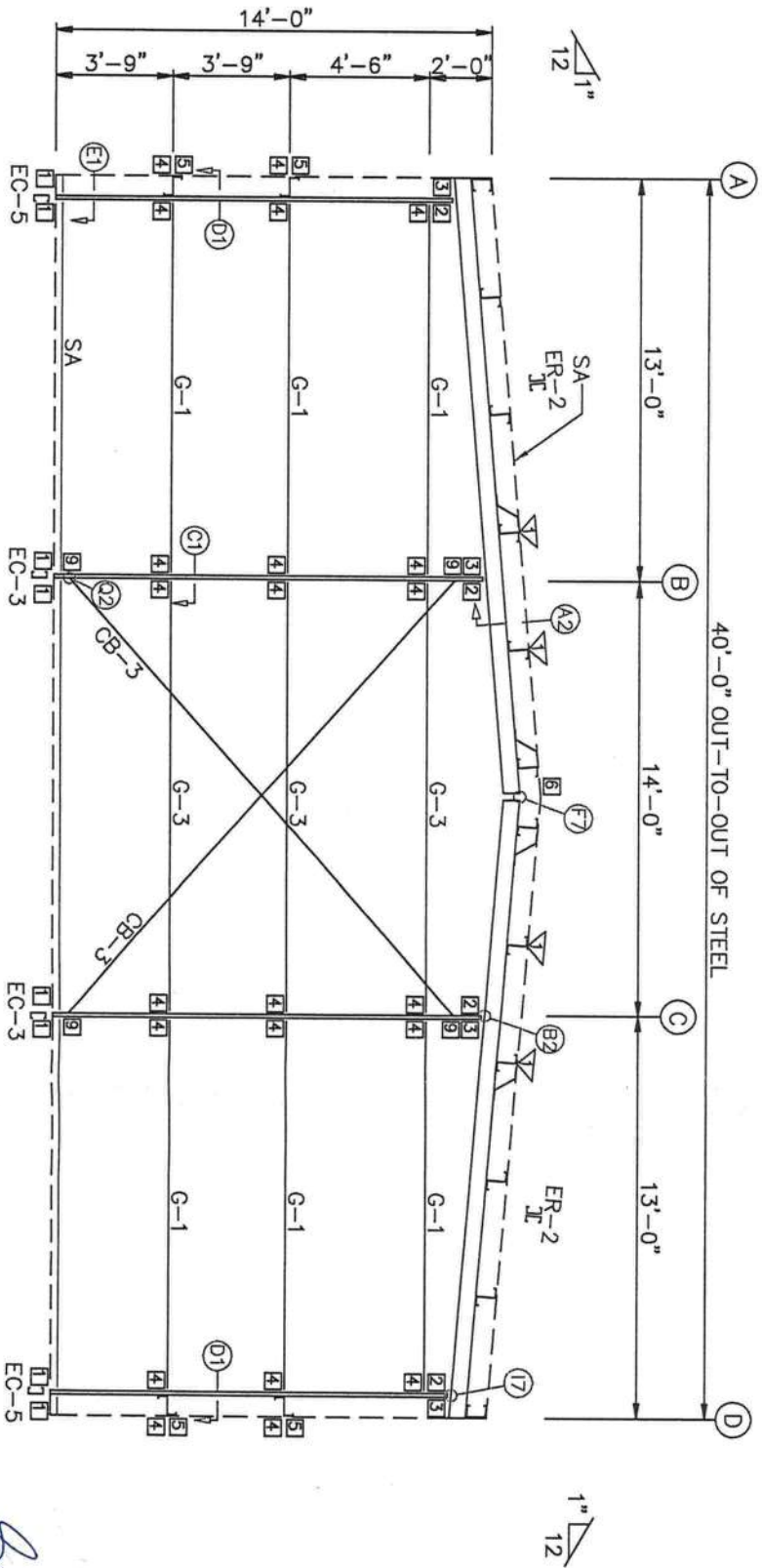
MEMBER TABLE		
FRAME LINE 1 & 4		LENGTH
MARK	PART	
EC-1	8x25C16	12'-7 5/8"
EC-2	8x25C14	13'-7 15/16"
EC-3	8x25C14	13'-7 15/16"
EC-4	8x25C16	12'-7 5/8"
EC-5	8x25C16	12'-7 5/8"
ER-1	8x50D15	20'-0 1/16"
ER-2	8x50D15	20'-0 1/16"
DJ-1	8x25C16	7'-1 1/2"
DJ-2	8x25C16	13'-8 15/16"
DH-1	8x25C16	3'-3 1/2"
DH-2	8x25C16	11'-11 1/2"
G-1	8x25Z16	11'-7"
G-2	8x25Z16	7"
G-3	8x25Z16	13'-11"
CB-1	0.25-CBL	14'-10"
CB-2	0.25-CBL	15'-7"
CB-3	0.25-CBL	16'-10"

FLANGE BRACE TABLE	
FRAME LINE 1 & 4	
VID MARK	LENGTH
1 FB28.7	2'-4 3/4"

CONNECTION PLATES	
FRAME LINE 1 & 4	
DID	MARK/PART
1	CL003
2	CL081
3	CL083
4	CL020
5	CL050
6	CL122
7	CL002
8	CL025
9	CL244



ENDWALL FRAMING: FRAME LINE 1



ENDWALL FRAMING: FRAME LINE 4

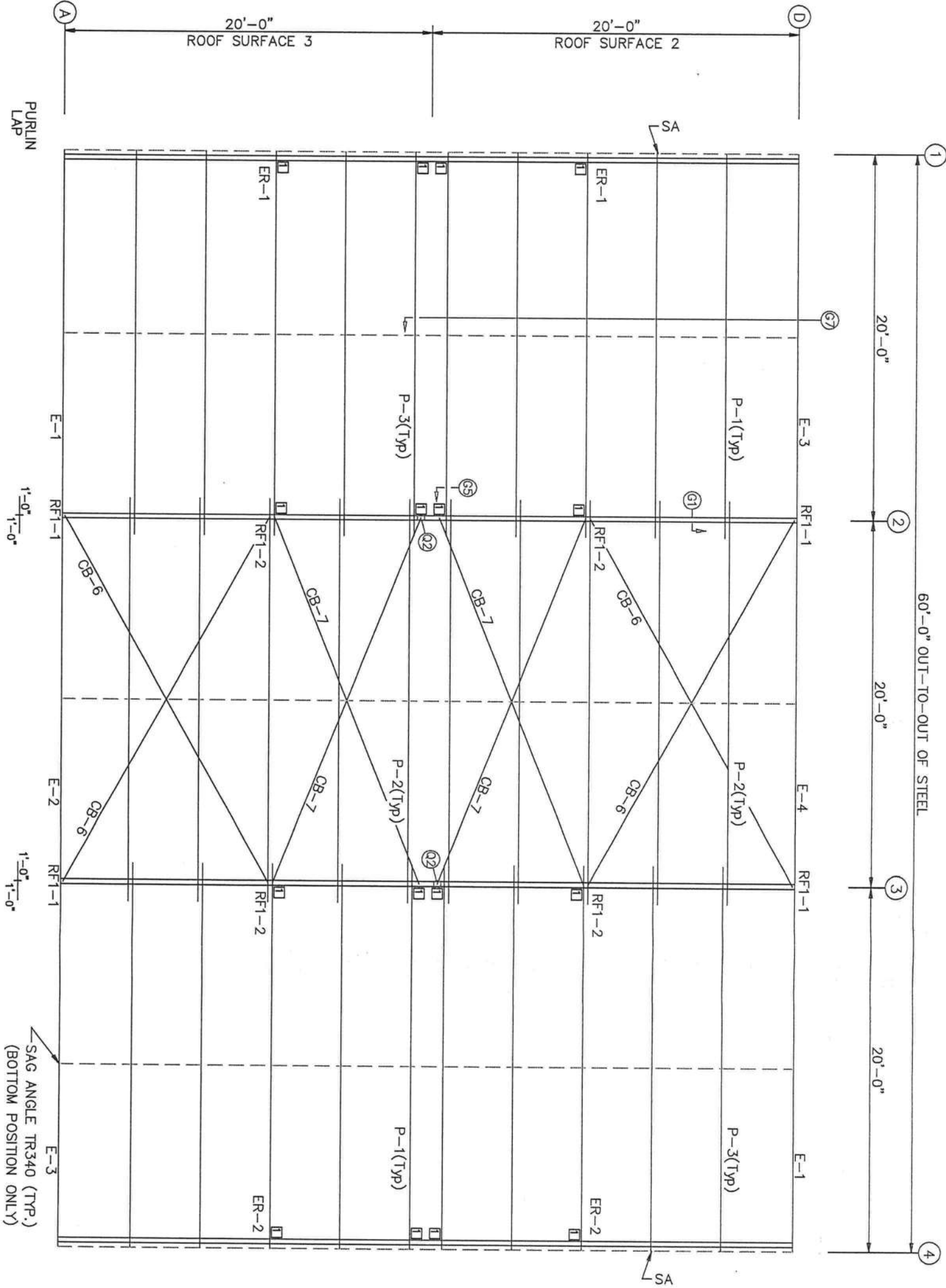
CABLE NOTES:
FIELD SLOT GIRTS FOR
CABLE TO PASS-THRU.

OLYMPIA STEEL BUILDINGS		Customer: ERNEST OGDEN	
City: McKEES ROCKS	State: PA	City: LAKE CITY	State: FL
Designer: SJ	Date: 04/29/08	Drafter: RGP	Date: 04/30/08
Detailer:	Date:	Office:	Job No.: 12550
Checker:	Date:	Office:	Sht. E5 of 11

GENERAL NOTES:
MINOR FIELD WORK OF STRUCTURAL, SECONDARY
AND PANEL/TRIM ITEMS MAY BE NECESSARY TO
ENSURE PROPER FIT. SUCH WORK IS CONSIDERED
A NORMAL PART OF METAL BUILDING ERECTION.
WE WILL NOT HONOR BACKCHARGES FOR MINOR
FIELD WORK.

MEMBER TABLE		
ROOF PLAN		
MARK	PART	LENGTH
P-1	8x25Z16	20'-11 1/2"
P-2	8x25Z16	22'-0"
P-3	8x25Z16	20'-11 1/2"
E-1	8x30E16	19'-11 1/4"
E-2	8x30E16	19'-11 1/2"
E-3	8x30E16	19'-11 1/2"
E-4	8x30E16	19'-11 1/4"
CB-6	0.25_CBL	20'-6"
CB-7	0.25_CBL	19'-8"

CONNECTION PLATES	
ROOF PLAN	
IID	MARK/PART
1	CL156



RC
(20)

20'-0 1/2" (20)

20'-0 1/2" (20)

LOW PROFILE RIDGE VENT
1'-1 1/4"x10'-0" WITH 3 1/2" THROAT
(3 REQ'D) (FIELD LOCATE AT RIDGE)
ERECTOR NOTE:
(50) #14x7/8" S.D. SCREWS,
(8) OUTSIDE CLOSURES AND 50' OF MASTIC
PROVIDED FOR EACH VENT.

ROOF SHEETING
PANELS: 26 Ga. PBR
Galvalume/Plain

OLYMPIA STEEL BUILDINGS		Customer: ERNEST OGDEN	
City: McKEES ROCKS	State: PA	City: LAKE CITY	State: FL

Designer: SJ	Date: 04/29/08	Drafter: RGP	Date: 04/30/08
Detailer:	Date:	Office:	Job No.: 12550
Checker:	Date:	Office:	

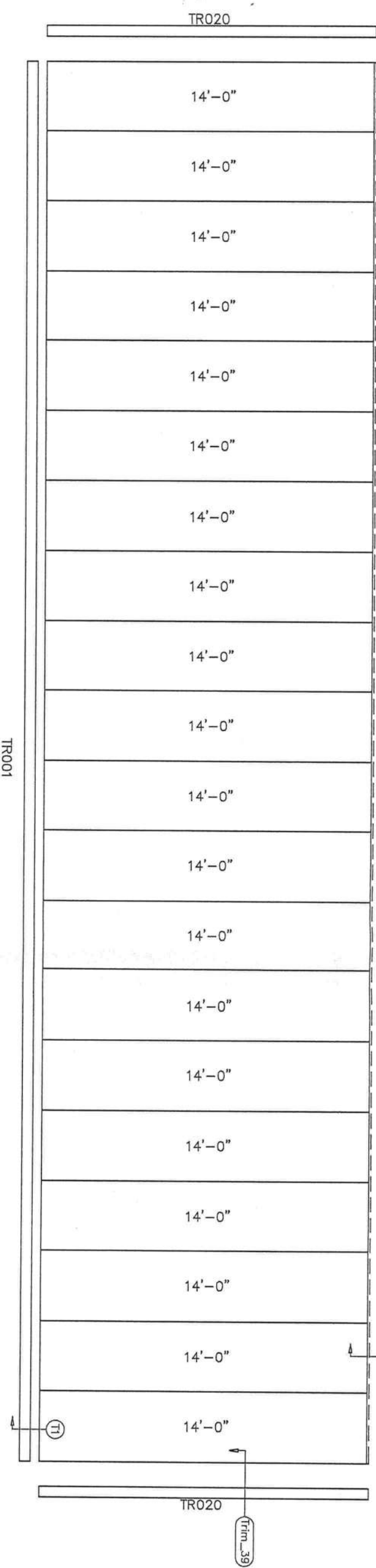
ROOF FRAMING

Sht. E6 of 11

Signature
4/30/08

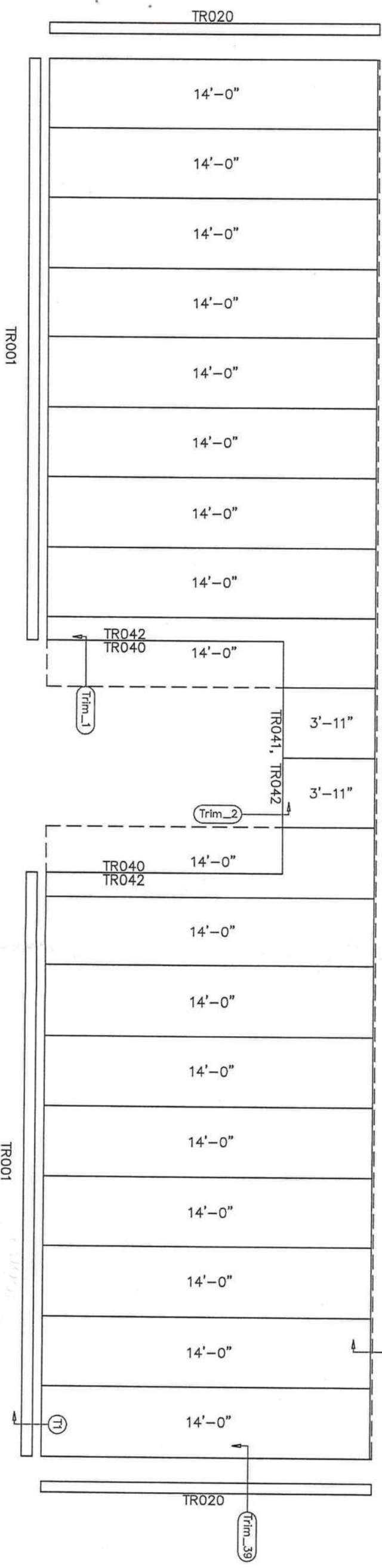
GENERAL NOTES:
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TR104
TR105
(Gutter with 4 downspouts and elbows)
TR067, TR120, TR124, TR125, TR140, TR142



SIDEWALL SHEETING & TRIM: FRAME LINE A
PANELS: 26 Ga. GBR - Rustic Red

TR104
TR105
(Gutter with 4 downspouts and elbows)
TR067, TR120, TR124, TR125, TR140, TR142



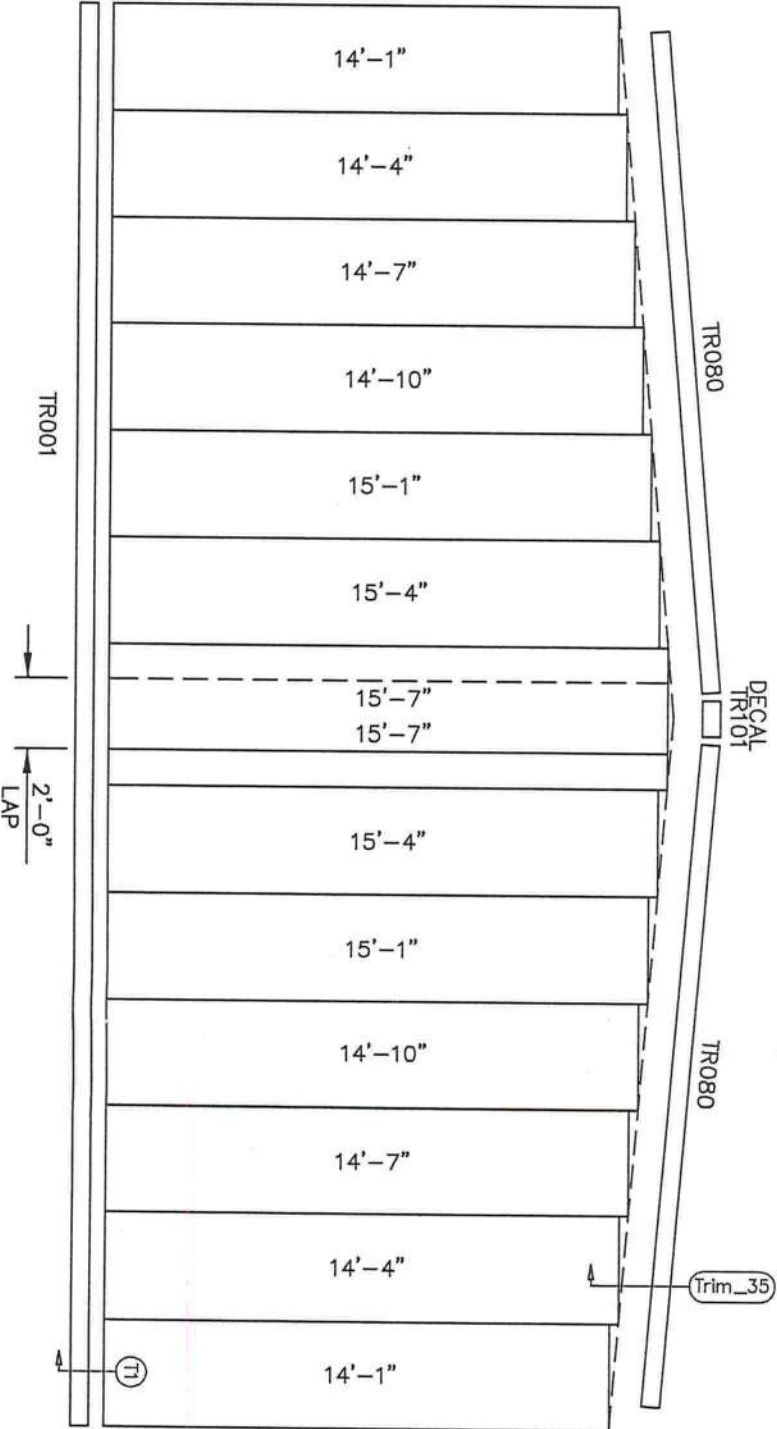
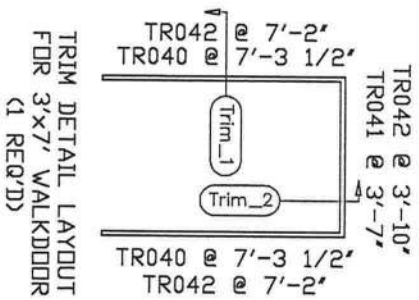
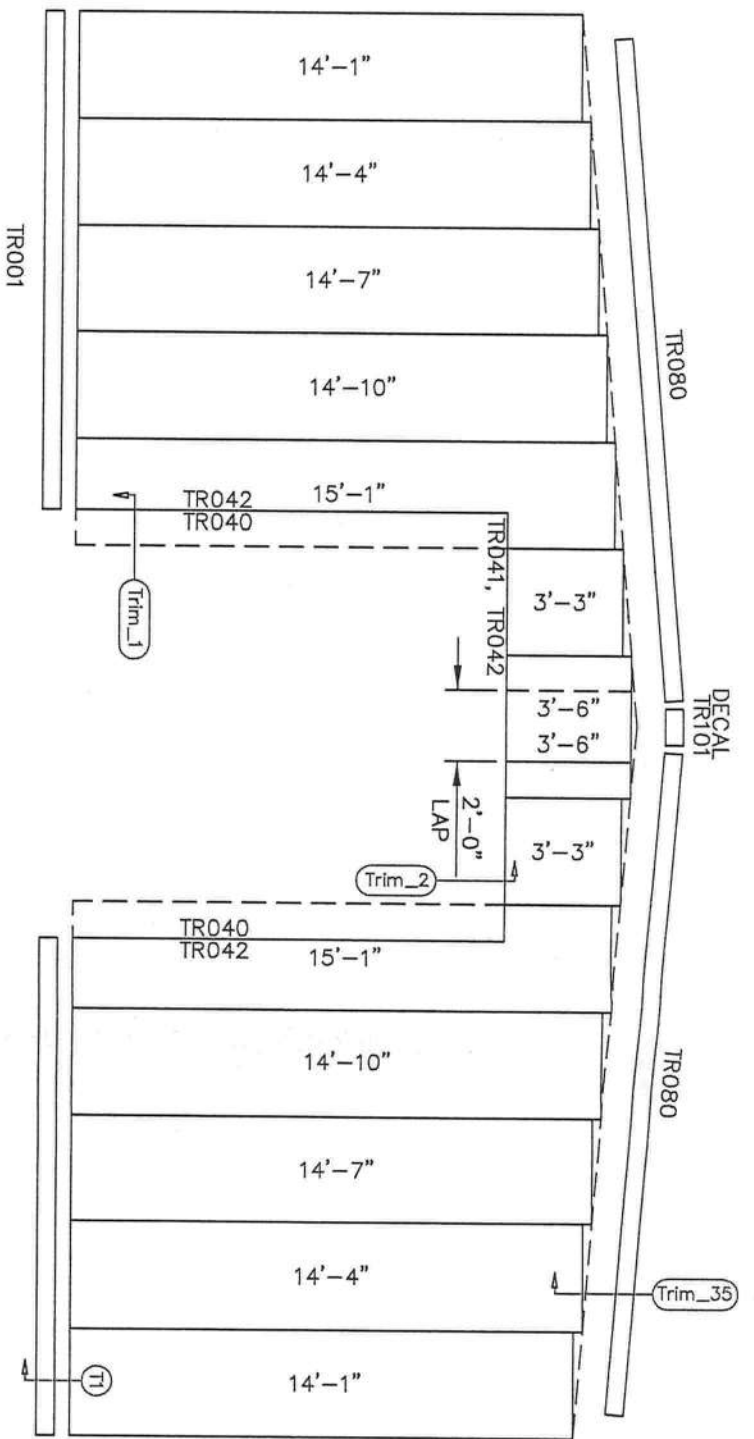
GENERAL NOTES:

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SIDEWALL SHEETING & TRIM: FRAME LINE D
PANELS: 26 Ga. GBR - Rustic Red

Signature
4/30/08

OLYMPIA STEEL BUILDINGS		Customer: ERNEST OGDEN	
City: McKEES ROCKS	State: PA	City: LAKE CITY	State: FL
Designer: SJ	Date: 04/29/08	Drafter: RGP	Date: 04/30/08
Detailer:	Date:	Office:	Job No.: 12550
Checker:	Date:	Office:	
SIDEWALL SHEETING			Sht. E7 of 11



ENDWALL SHEETING & TRIM: FRAME LINE 4

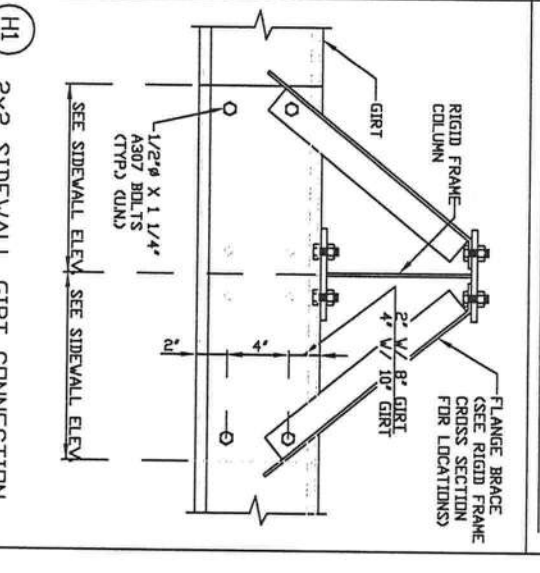
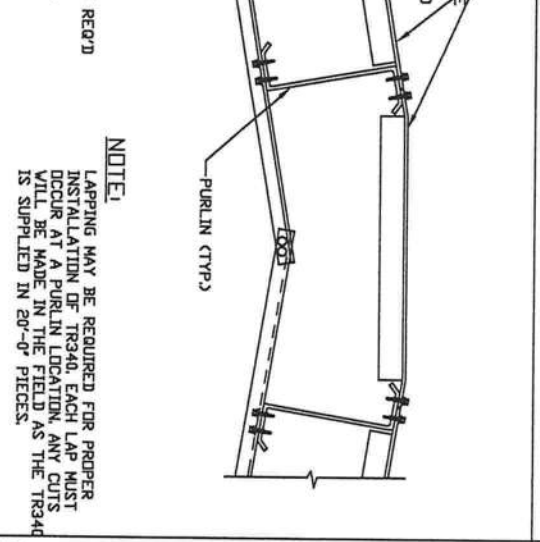
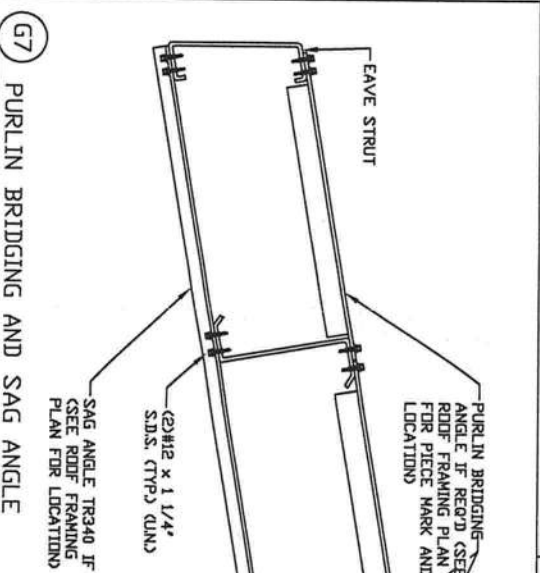
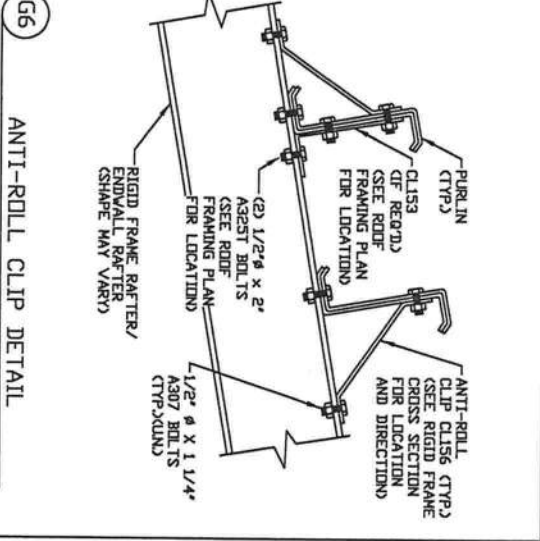
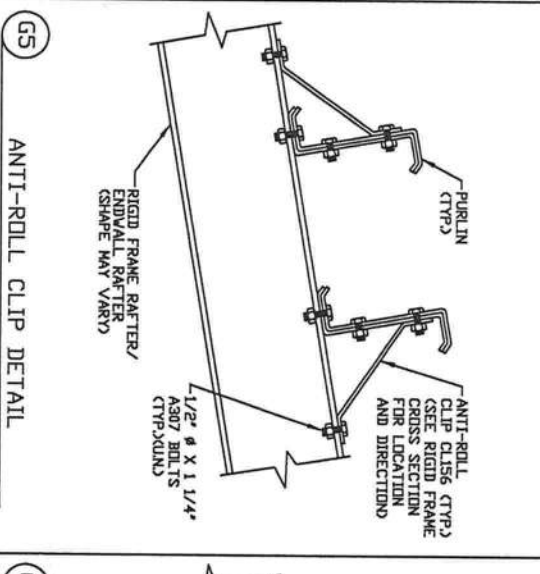
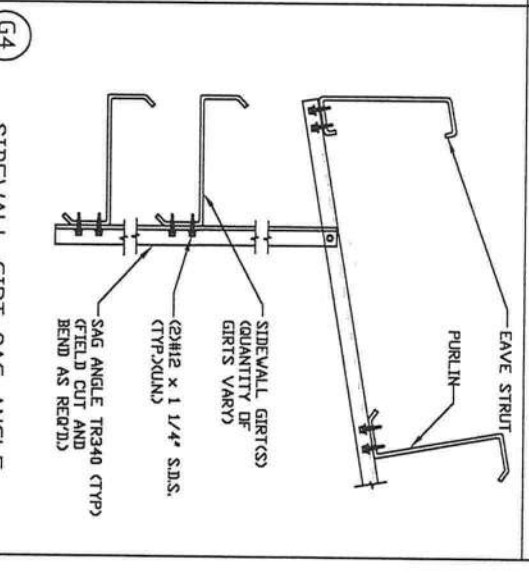
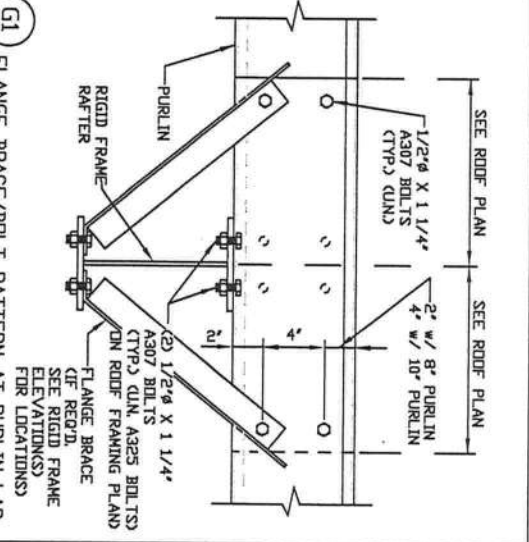
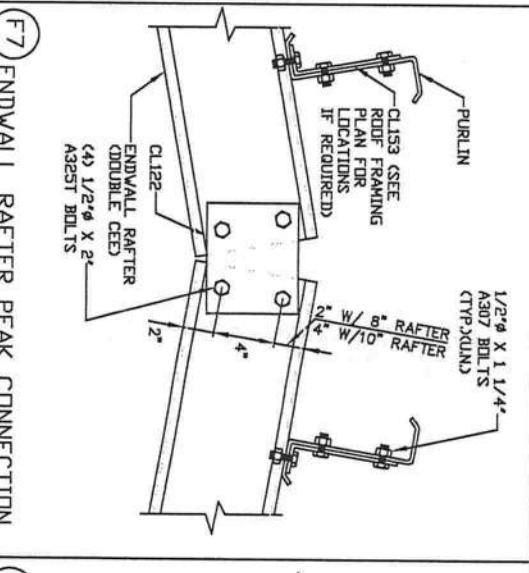
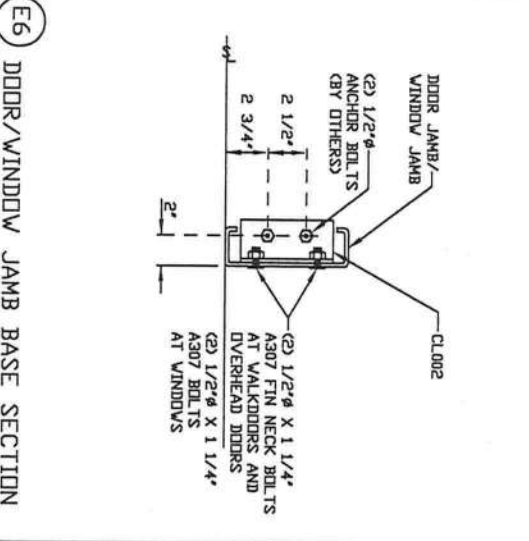
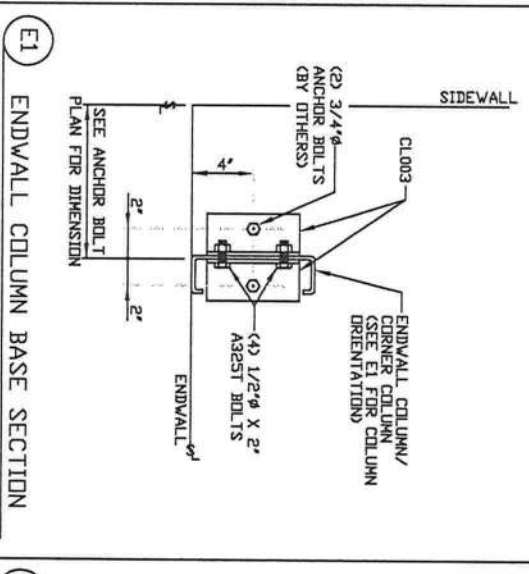
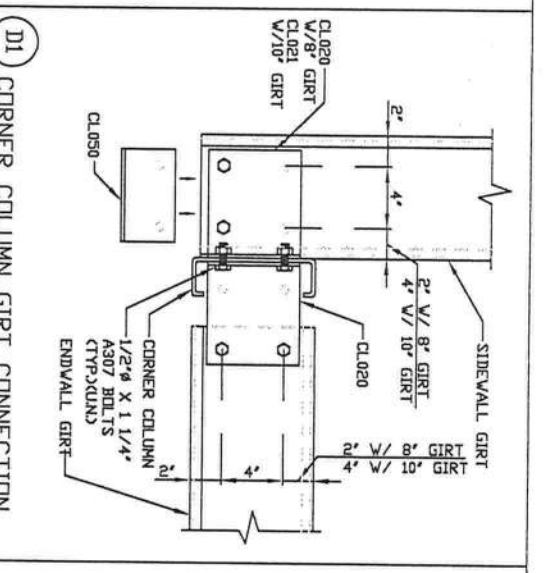
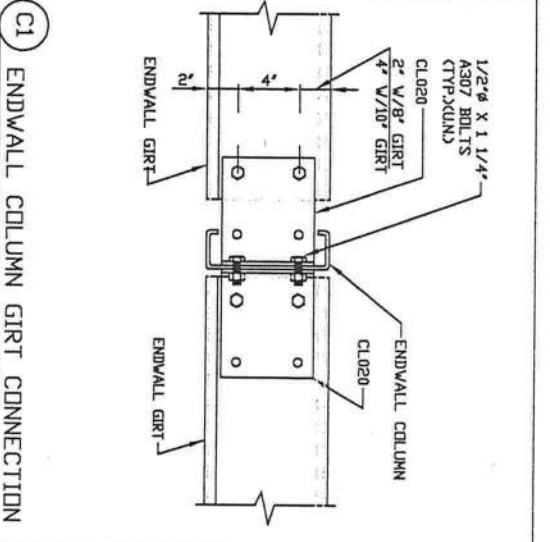
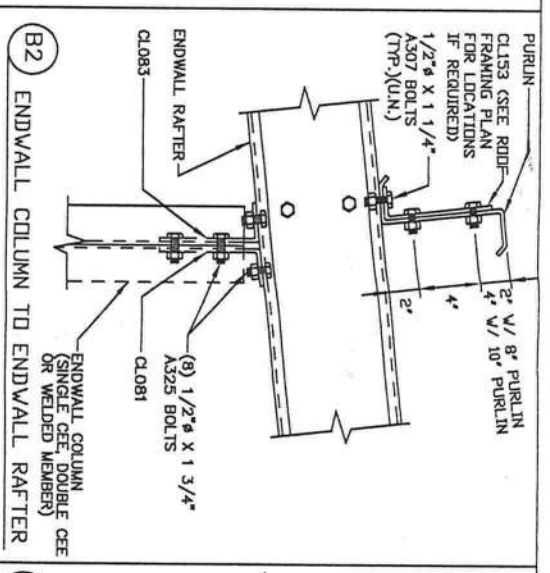
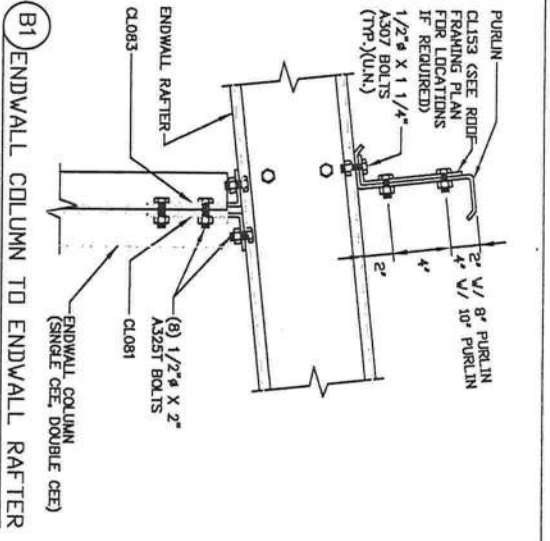
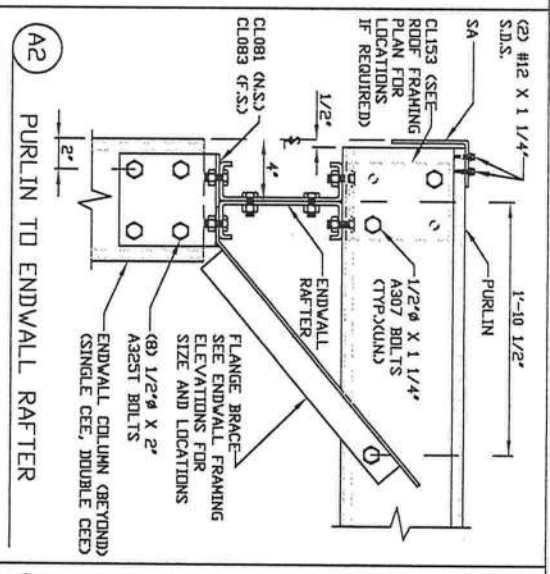
PANELS: 26 Ga. GBR - Rustic Red

4/30/08

Signature

GENERAL NOTES:
MINOR FIELD WORK OF STRUCTURAL, SECONDARY AND PANEL/TRIM ITEMS MAY BE NECESSARY TO ENSURE PROPER FIT. SUCH WORK IS CONSIDERED A NORMAL PART OF METAL BUILDING ERECTION. WE WILL NOT HONOR BACKCHARGES FOR MINOR FIELD WORK.

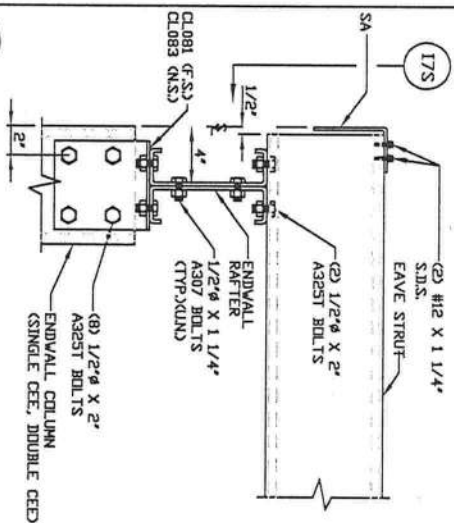
OLYMPIA STEEL BUILDINGS		Customer: ERNEST OGDEN	
City: McKEES ROCKS	State: PA	City: LAKE CITY	State: FL
Designer: SJ	Date: 04/29/08	Drafter: RGP	Date: 04/30/08
Detailer:	Date:	Office:	Job No.: 12550
Checker:	Date:	Office:	
ENDWALL SHEETING			Sht. E8 of 11



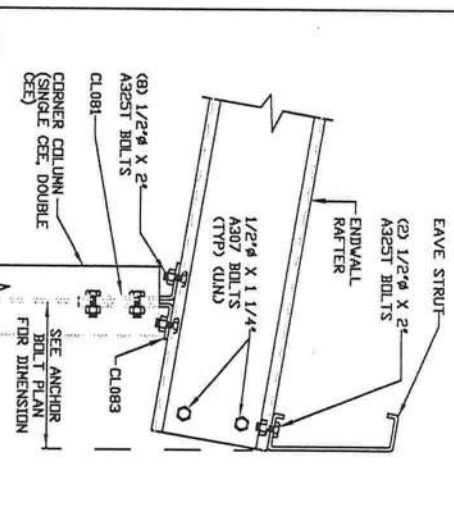
NOTES: 1.) WEB BOLTS IN DOUBLE 'C' RAFTERS TO BE AT ENDS, EACH PURLIN, AND MID-POINT BETWEEN PURLINS WITH A MAXIMUM SPACE OF 2'-6". 2.) ALL SCREWS ARE WITH WASHERS UNLESS NOTED.

Sepp
4/30/08

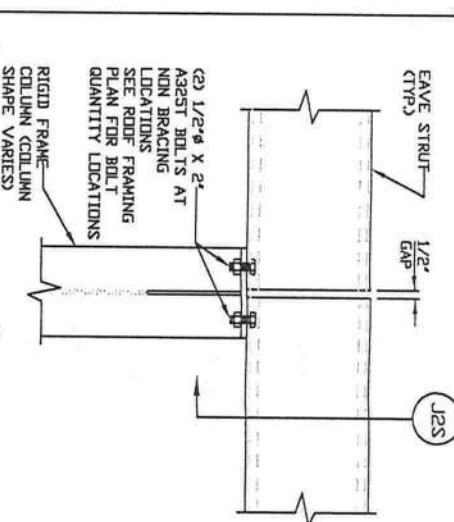
OLYMPIA STEEL BUILDINGS		Customer: ERNEST OGDEN	
City: McKEES ROCKS	State: PA	City: LAKE CITY	State: FL
Designer: SJ	Date: 04/29/08	Drafter: RGP	Date: 04/30/08
Detailer:	Date:	Office:	Job No.: 12550
Checker:	Date:	Office:	
DETAIL DRAWINGS		Sht. E9 of 11	



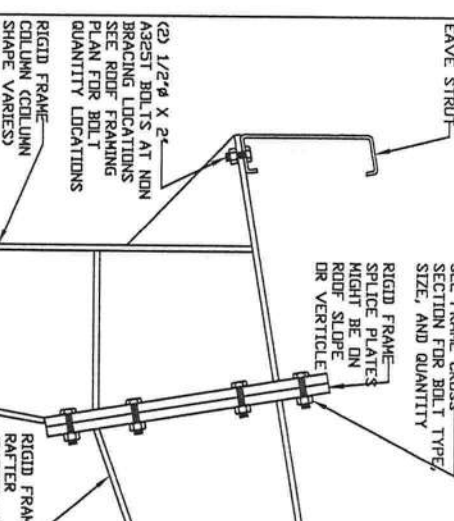
17S CORNER COLUMN TO ENDWALL RAFTER



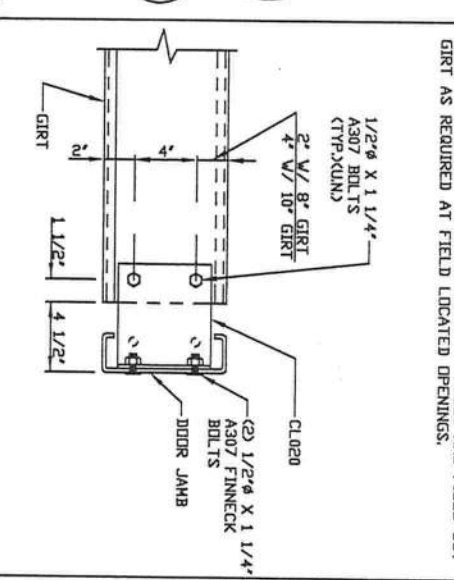
17S CORNER COLUMN TO ENDWALL RAFTER



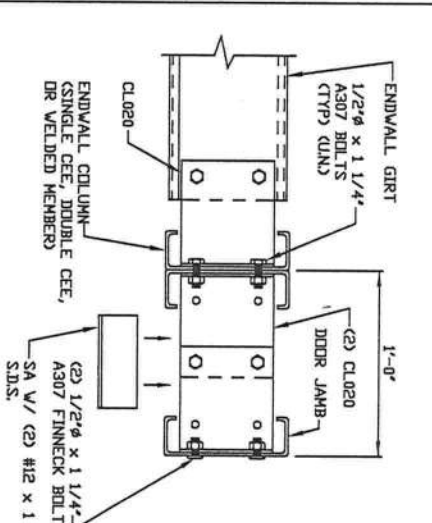
J2S EAVE STRUT TO RIGID FRAME



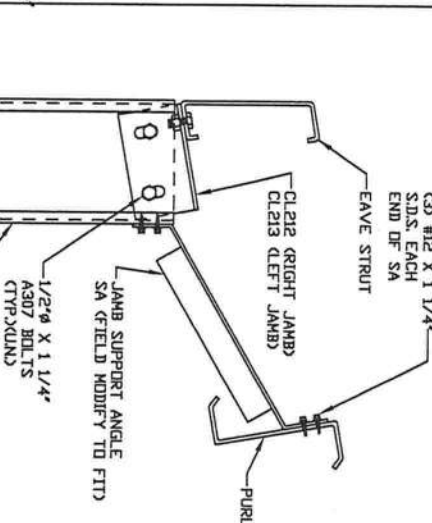
J2S EAVE STRUT TO RIGID FRAME



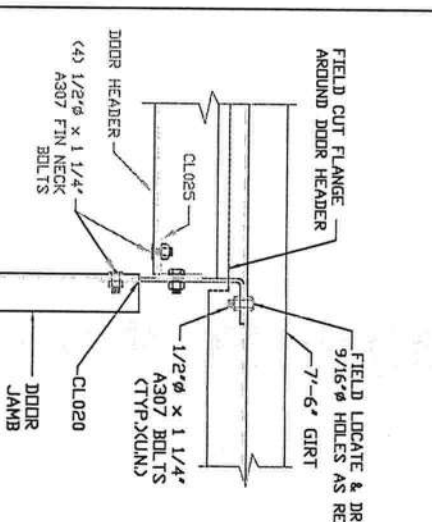
K2 GIRT TO DOOR JAMB



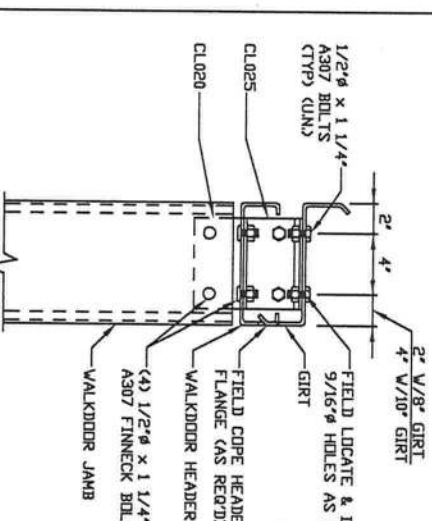
K4 ENDWALL COLUMN GIRT CONNECTION



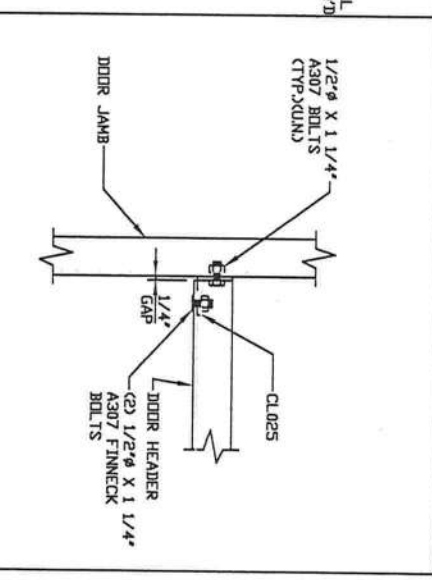
L1 DOOR JAMB TO EAVE STRUT



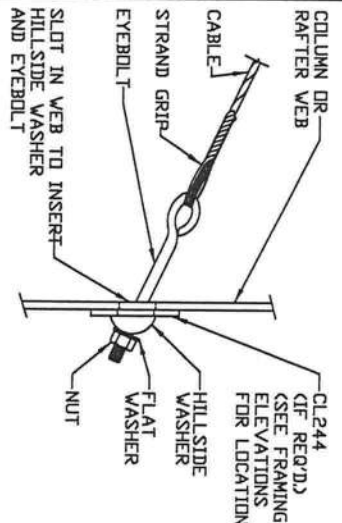
L9 DOOR JAMB & HEADER TO WALL GIRT



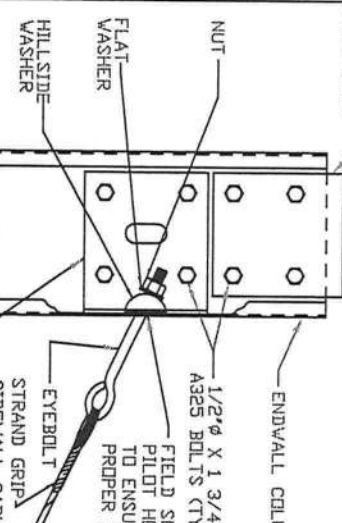
L9S WALKDOOR JAMB TO GIRT



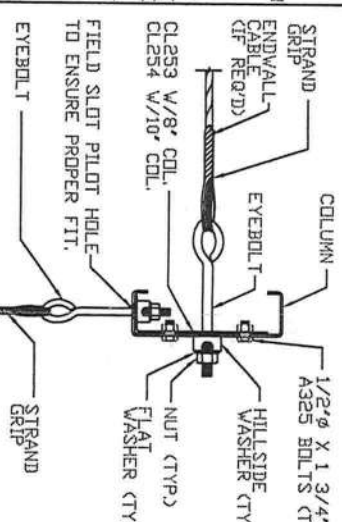
M1 HEADER TO DOOR JAMB



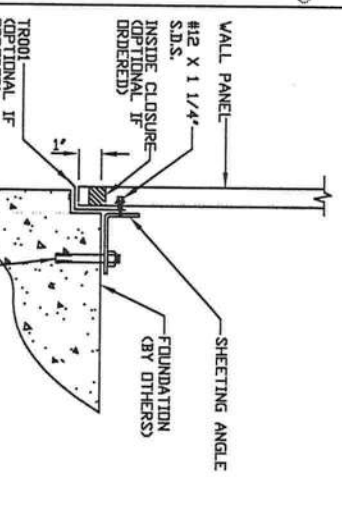
Q2 DIAGONAL CABLE BRACE CONNECTION



Q8 CABLE TO ENDWALL COLUMN



Q9 DIAGONAL CABLE BRACE CONNECTION

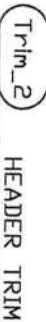


T1 BASE TRIM SECTION

NOTE: FIELD LOCATE AND DRILL 9/16" HOLES AND FIELD CUT GIRTS AS REQUIRED AT FIELD LOCATED OPENINGS.

4/30/08

OLYMPIA STEEL BUILDINGS				Customer: ERNEST OGDEN			
City: MCKEES ROCKS	State: PA	City: LAKE CITY	State: FL				
Designer: SJ	Date: 04/29/08	Drafter: RGP	Date: 04/30/08				
Detailer:	Date:	Office:	Job No.: 12550				
Checker:	Date:	Office:					
DETAIL DRAWINGS				Sh. E10 of 11			



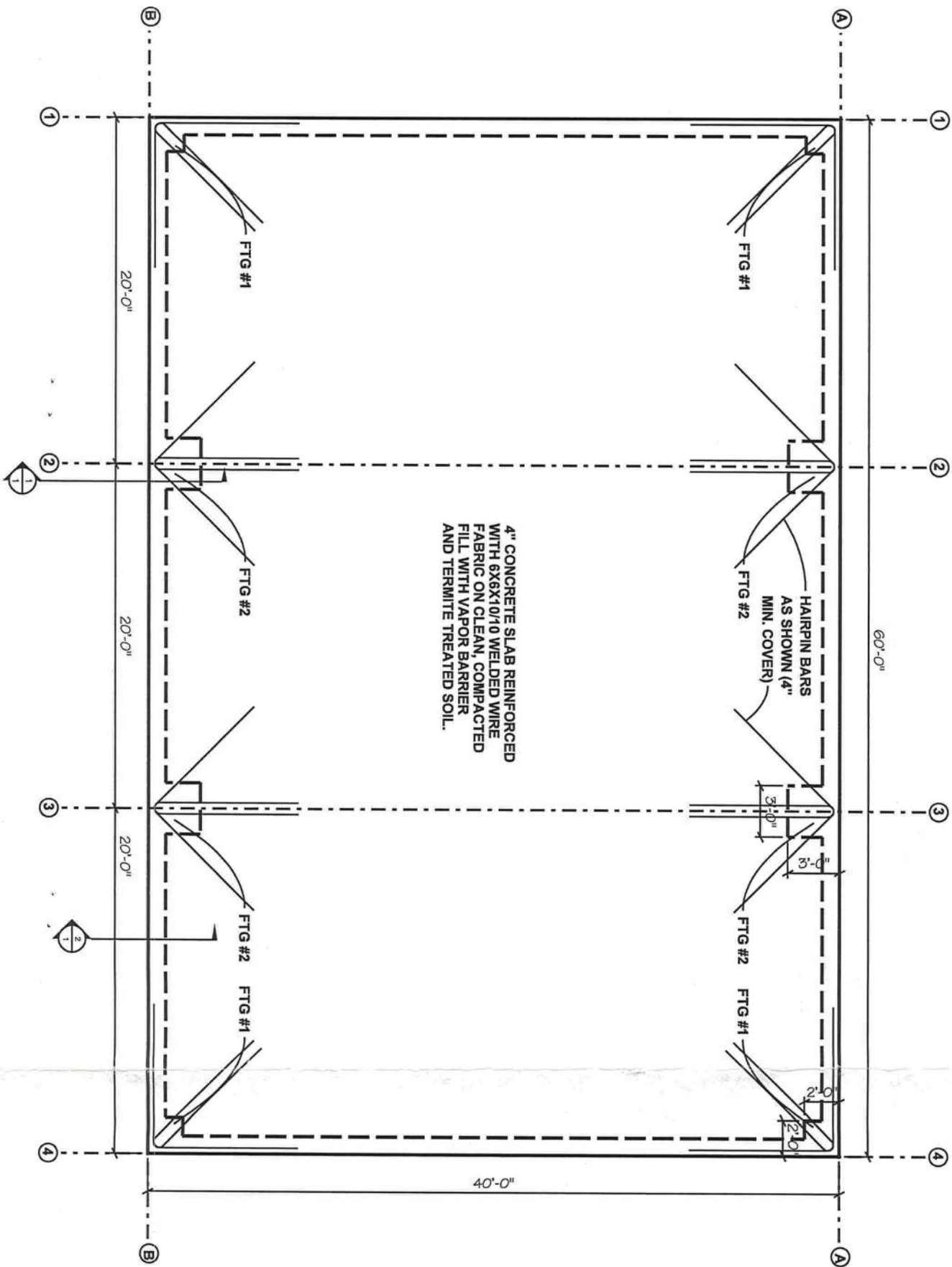
GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS SHOWN. NOTIFY THE ENGINEER OF ANY CHANGES OR MODIFICATIONS TO THE PLANS.
2. ALL PRE-FABRICATED BUILDING ELEMENTS SHALL BE FABRICATED AND ERECTED IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, SPECIFICATIONS AND REGULATIONS AND TO SUPPORT LOADS INDICATED IN THE STRUCTURAL DESIGN NOTES AND ANY CONCENTRATED LOADS. ALL REQUIRED BRACING TEMPORARY AND PERMANENT SHALL BE DESIGNED AND NOTED ON ERECTION DRAWINGS BY THE ENGINEER.
3. PRIOR TO GRADING OPERATIONS, ALL TOP SOIL, ORGANIC LITTER AND FILL SHALL BE STRIPPED FROM THE LOCATION OF THE SLAB AND FOUNDATION.

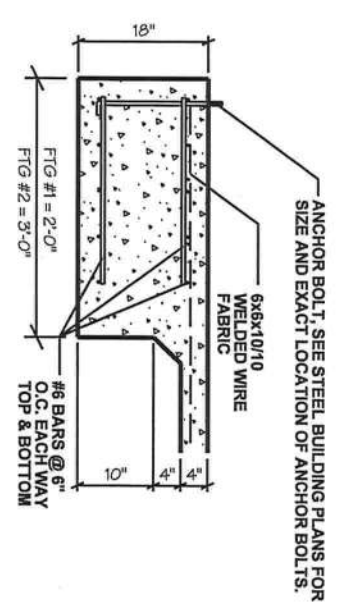
CONCRETE NOTES

1. SOIL BEARING = 2000 PSF (MINIMUM)
2. FILL AND COMPACTION:
ALL FILL MATERIAL SHALL BE CLEAN, WELL DRAINED SAND WITH NOT MORE THAN 10% PASSING THE No. 200 STANDARD SIEVE. ALL FILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MODIFIED MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 1557.
3. CONCRETE COMPRESSIVE STRENGTH AND SLUMP:
THE MINIMUM 28-DAY COMPRESSIVE STRENGTH AND SLUMP OF CONCRETE SHALL BE AS FOLLOWS:
FOUNDATIONS AND FLOOR SLAB: $f'_c = 4000$ PSI SLUMP: 2"-5"
ALL CONCRETE SHALL BE MIXED IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 315 AND ACI 318.

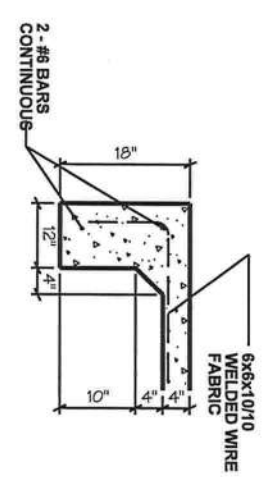
4. REINFORCING STEEL:
ALL LAP SPLICES SHALL BE A MINIMUM OF 18" OR AS SPECIFIED ON THE PLANS. REINFORCING STEEL BARS - ASTM A-615 GRADE 60 WELDED WIRE FABRIC - ASTM A-185
5. ALL ANCHOR BOLTS SHALL BE FABRICATED FROM A307 STEEL. THE LENGTH OF THE ANCHOR BOLTS SHALL BE 14" + THE PROJECT LENGTH SPECIFIED BY THE BUILDING MANUFACTURER.
6. WATER-PROOFING AND VAPOR BARRIER FOR SLAB TO CONSIST OF 6-MIL PLASTIC POLYETHYLENE. ALL SPLICES SHALL BE LAPPED A MINIMUM OF 12".



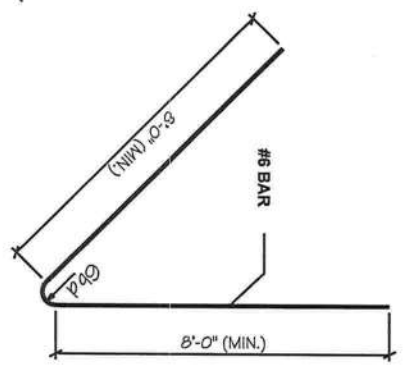
FOOTING DETAIL
N.T.S.



FOOTING DETAIL
N.T.S.



HAIRPIN DETAIL
N.T.S.



FOUNDATION PLAN
ERNEST OGDEN
LAKE CITY, FLORIDA

BAILEY BISHOP & LANE, INC.
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LAKE CITY, FL 32056
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Engineer Lic. 7362
1923-A CAPITAL CIRCLE NE
TALLAHASSEE, FL 32308
PH. (386) 894-1200
Survey Lic. LB-0006685

REVISIONS
1
5/19/08
JOB NO.
OGDEN
DATE
5/7/08
SHEET NO.
1