

## Columbia County Building Permit Application

Mark Schimp  
Dith Farm Co Trust

For Office Use Only Application # 1204-40 Date Received 4/17 By 16 Permit # 30129  
Zoning Official BLK Date 1 May 2012 Flood Zone X Land Use A-3 Zoning A-3  
FEMA Map # N/A Elevation N/A MFE 1/2 inch River N/A Plans Examiner T.C. Date 4-24-12  
Comments  
☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Well letter ☒ 911 Sheet ☐ Parent Parcel #  
☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter  
IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_ ☒ Sub VF Form  
Road/Code \_\_\_\_\_ School \_\_\_\_\_ = TOTAL (Suspended) ☐ Ellisville Water ☒ App Fee Paid

Septic Permit No. 12-0219 Fax \_\_\_\_\_  
Name Authorized Person Signing Permit JERRY CASTAGNA Phone 386-755-6867  
Address 521 NW Old Mill Rd LAKE CITY FL 32055  
Owners Name JOAN L SCHIMP Phone \_\_\_\_\_  
911 Address 578 SW AVIATION DR LAKE CITY FL 32025  
Contractors Name CASTAGNA Cons Inc Phone 386-755-6867  
Address 521 NW Old Mill Rd LAKE CITY FL 32055  
Fee Simple Owner Name & Address SAME AS ABOVE  
Bonding Co. Name & Address N/A  
Architect/Engineer Name & Address NICHOLAS P FEISLER 1758 NW BROWN  
LAKE CITY FL 32055  
Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 22-55-17-09322-016 Estimated Cost of Construction 15000.00  
Subdivision Name LAKE CITY AIR PARK Lot 16 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_  
Driving Directions 441 SOUTH TO LAKE CITY AIR PARK TR  
on AVIATION DR FOLLOW ROAD TO END GREEN  
HOME on L. Number of Existing Dwellings on Property 2  
Construction of COTTAGE "DETACHED" Total Acreage 5 Lot Size \_\_\_\_\_  
Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 13'0  
Actual Distance of Structure from Property Lines - Front 200 Side 350 Side 500 Rear 500  
Number of Stories 1 Heated Floor Area 270 Total Floor Area 270 Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2010 and the 2008 National Electrical Code.

1w Spoke w/ Mr. Terry on 5.1.12

ck#  
8587



**TIME LIMITATIONS OF APPLICATION:** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

X Don Schwaiff

(Owners Must Sign All Applications Before Permit Issuance.)

Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

J. Castagner  
Contractor's Signature (Permitee)

Contractor's License Number CBC047892  
Columbia County  
Competency Card Number 431

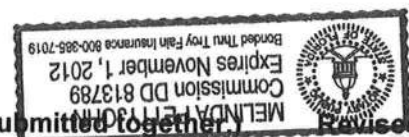
Affirmed under penalty of perjury to by the Contractor and subscribed before me this 12<sup>th</sup> day of April 2012.

Personally known ✓ or Produced Identification \_\_\_\_\_

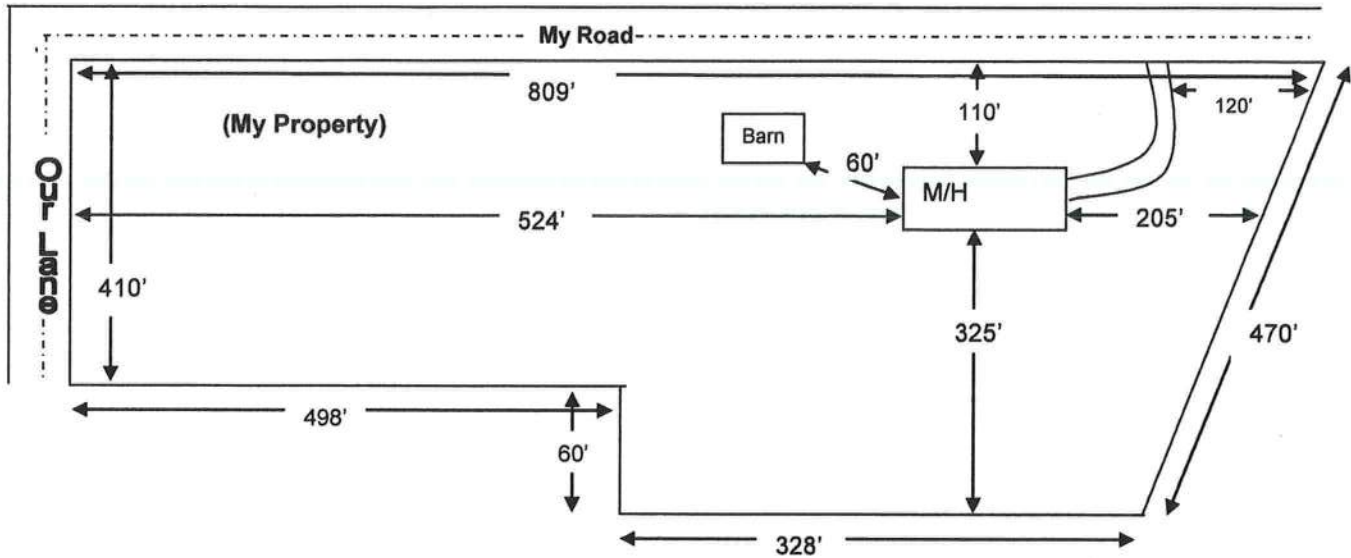
Melinda Bettyjohn

SEAL:

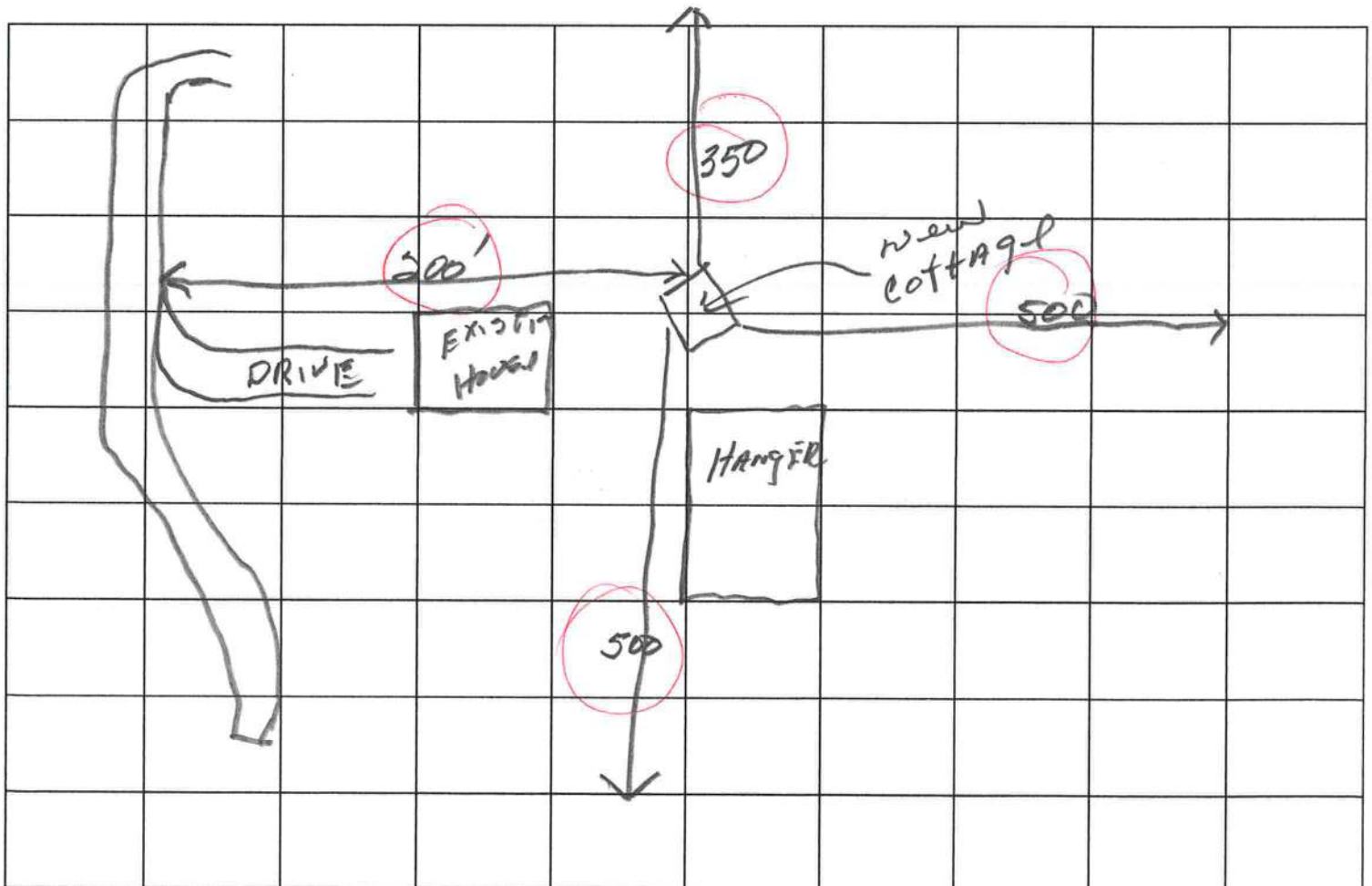
State of Florida Notary Signature (For the Contractor)



## SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them. Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.





## SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER

1204-40

CONTRACTOR

LENN CASTAGNA

PHONE

253-6867

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C _____	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name <u>Standard Plumbing</u> License #: <u>CFL-1437245</u>	Signature <u>[Signature]</u> Phone #: <u>386-753-4716</u>
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG-ERECTOR			

F. S. 440.103 Building permits; Identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Form: Subcontractor form: 4/09

## SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1204-40 CONTRACTOR Jerry Castagna PHONE 755-6867  
 THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

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**Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.**

<b>ELECTRICAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>MECHANICAL/ A/C</b>	Print Name <u>Window Unit</u> License #: _____	Signature _____ Phone #: _____
<b>PLUMBING/ GAS</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>ROOFING</b> <u>431</u>	Print Name <u>CASTAGNA CONS</u> License #: _____	Signature _____ Phone #: _____
<b>SHEET METAL</b>	Print Name <u>N/A</u> License #: _____	Signature _____ Phone #: _____
<b>FIRE SYSTEM/ SPRINKLER</b>	Print Name <u>N/A</u> License #: _____	Signature _____ Phone #: _____
<b>SOLAR</b>	Print Name <u>N/A</u> License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
<b>MASON</b> <u>431</u>	<u>CBC047842</u>	<u>CASTAGNA CONS INC</u>	
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



## SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER

1204-40

CONTRACTOR

JERRY CISTAGNA

PHONE

755.6867

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

*Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.*

<input checked="" type="checkbox"/> <b>ELECTRICAL</b> 1254	Print Name <u>William P McKinney</u> License #: <u>0002331</u>	Signature <u>William P. McKinney</u> Phone #: <u>352-478-9919</u>
<b>MECHANICAL/A/C</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>PLUMBING/GAS</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>ROOFING</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SHEET METAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>FIRE SYSTEM/SPRINKLER</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SOLAR</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



13.195

Castagna Construction  
521 NW Old Mill Rd.  
Lake City, Florida 32055

Re:

Plans will include arc fault interrupters in all bedrooms.

Jerry Castagna  
Castagna Construction INC

jc/lc



PREPARED BY AND RETURN TO:

Sherman N. Smith, III, Esquire  
2145 14<sup>th</sup> Avenue, Ste. 19  
Vero Beach, Florida 32960

Inst:2007010367 Date:05/09/2007 Time:09:44

Doc Stamp-Deed : 0.70

DC, P. DeWitt Cason, Columbia County B:1118 P:1939

Parcel I.D. No.: 22-55-17-09322-016 HX

**TRUSTEE'S DEED**

**THIS WARRANTY DEED**, made this 20 day of April, 2007, by **Joan L. Schimpf, an unmarried widow, and Mark T. Schimpf, as Co-Trustees of the Donald R. Schimpf Revocable Trust Agreement dated July 2, 1980, a/k/a the Donald R. Schimpf Trust (by virtue of the warranty deed dated March 27, 2001 and recorded in Official Records Book 0923, Page 0626, of the Public Records of Columbia County, FL) whose address is 575 S.W. Aviation Drive, Lake City, FL 32025 hereinafter called the Grantor, to Joan L. Schimpf and Mark T. Schimpf, as Co-Trustees of the Credit Shelter Trust established under Trust B of subparagraph (2) of Article III of the Donald R. Schimpf Revocable Trust Agreement dated July 2, 1980, whose address is 575 S.W. Aviation Drive, Lake City, FL 32025, hereinafter called the Grantee.**

**WITNESSETH:** That the Grantor, for and in consideration of Ten and No/100 (\$10.00) Dollars and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in Columbia River County, Florida, viz:

Lot No. 16, of Lake City Airpark, a subdivision in Columbia County, Florida, recorded in Plat Book 5, Page 10, public records of Columbia County, Florida, containing 3.14 acres, more or less, LESS AND EXCEPT: That portion shown as airway easement and drainage easement.

Subject to Declaration of Restrictions of Lake City Airpark recorded in O.R.B. 450, Pages 680-685, public records of Columbia County, Florida.

The Grantee, as Trustee, has the full power and authority to protect, conserve, sell, convey, lease, encumber and to otherwise manage and dispose of the above-described real property pursuant to Florida Statutes section 689.071.

**TOGETHER** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**TO HAVE AND TO HOLD** the same in fee simple forever.

**AND** the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2006.

**IN WITNESS WHEREOF**, the said Grantor has signed and sealed these presents the day and year first above written.

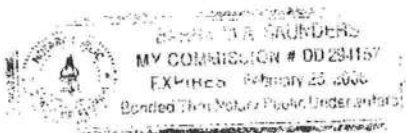
Signed, sealed and delivered  
in the presence of:

Beth C. Saunders  
Print Name: Beth C. Saunders

Michael  
Print Name: Michael

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 20 day of April, 2007, by Joan Schimpf, an unmarried widow, who ☐ is personally known to me or ☒ has produced FL DL as identification.



Richard B. Wilson  
Print Name: Richard B. Wilson

Beth C. Saunders  
Notary Public, State of Florida at Large  
My commission expires: 2/25/08

Mark T. Schimpf  
Mark T. Schimpf, as Co-Trustee of  
the Donald R. Schimpf Revocable  
Trust Agreement dated July 2, 1980/  
a/k/a the Donald R. Schimpf Trust



William Cooke  
Print Name: William Cooke

Inst:2007010367 Date:05/09/2007 Time:09:44

Doc Stamp-Deed : 0.70

STATE OF FLORIDA

COUNTY OF St. Lucie

DC, P. DeWitt Cason, Columbia County B:1118 P:1941

The foregoing instrument was acknowledged before me this 26 day of April,  
2007, by Mark T. Schimpf, who ☒ is personally known to me or ☐ has produced  
as identification.

Deborah F. Stone  
Notary Public, State of Florida at Large  
My commission expires:



# Columbia County Property Appraiser

DB Last Updated: 3/12/2012

2011 Tax Year

Parcel: 22-5S-17-09322-016

&lt;&lt; Next Lower Parcel Next Higher Parcel &gt;&gt;

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

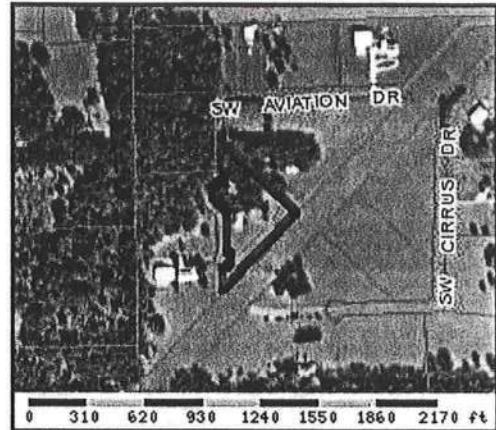
Interactive GIS Map

Print

Search Result: 1 of 1

## Owner & Property Info

Owner's Name	SCHIMPF JOAN L &		
Mailing Address	MARK T SCHIMPF TRUSTEES OF THE CREDIT SHELTER TRUST 575 SW AVIATION DR LAKE CITY, FL 32025		
Site Address	575 SW AVIATION DR		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	3 (County)	Neighborhood	22517
Land Area	0.000 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 16 LAKE CITY AIRPARK S/D & COMM AT NE COR OF LOT 8, RUN E 60 FT FOR POB, RUN S 240 FT ALONG WEST LOT LINE OF LOT 16, RUN NW ALONG A CURVE OF A 60 FT PRIVATE RD AS RELOCATED A TOTAL DISTANCE OF 298.29 FT TO POB ORB 455-598 TRUST 923-625 THRU 627 TR DEED 1118-1936 THRU 1942 & ORB 509-638 THRU 641			



## Property & Assessment Values

2011 Certified Values		
Mkt Land Value	cnt: (0)	\$34,408.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$192,284.00
XFOB Value	cnt: (3)	\$9,458.00
Total Appraised Value		\$236,150.00
Just Value		\$236,150.00
Class Value		\$0.00
Assessed Value		\$204,843.00
Exempt Value	(code: HX)	\$50,000.00
Total Taxable Value	Cnty: \$154,843 Other: \$154,843   Schl: \$179,843	

## 2012 Working Values

NOTE:  
2012 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

## Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
4/20/2007	1118/1939	WD	I	U	01	\$100.00
3/27/2001	923/625	WD	I	U	01	\$100.00
3/27/2001	923/626	WD	I	U	01	\$100.00
3/27/2001	923/627	WD	I	U	01	\$100.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1983	ABOVE AVG. (10)	2762	6598	\$189,650.00
Note: All S.F. calculations are based on exterior building dimensions.						

## Extra Features & Out Buildings



After Recording return to:  
Castagna Construction, Inc  
521 NW Old Mill Dr  
Lake City, FL 32055  
Permit No. \_\_\_\_\_

201212005866 Date: 4/17/2012 Time: 9:20 AM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B.1233 P.568

NOTICE OF COMMENCEMENT  
FS 713.13

State of Florida  
County of Columbia

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Legal description of property and street address if available: 22-5S-17-09322-016  
575 SW Aviation Dr  
Lake City, FL 32025  
General description of improvement: Cottage to be built

2. Owner Information: Name and address: Joan L Schimpf  
575 SW Aviation Dr Lake City, FL 32025  
b. Interest in property: 100%  
c. Name and address of fee simple titleholder (if other than Owner): \_\_\_\_\_

3. Contractor: Name and address: Castagna Construction, Inc  
521 NW Old Mill Dr Lake City, FL 32055  
Phone number 386-755-6866 fax number (optional, if service by fax is acceptable) same as phone

4. Surety: Name and address N/A  
Phone number N/A Fax number (optional, if service by fax is acceptable) \_\_\_\_\_  
Amount of Bond \$ N/A  
Lender: Name and address N/A  
Phone number N/A Fax number (optional, if service by fax is acceptable) N/A

5. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes: (name and address): \_\_\_\_\_  
Phone numbers of designated persons: \_\_\_\_\_

Fax number (optional, if service by fax is acceptable): \_\_\_\_\_  
6. In addition to himself or herself, Owner designates \_\_\_\_\_ of \_\_\_\_\_  
to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Phone number of person or entity designated by owner: \_\_\_\_\_ Fax number (optional, if service by fax is acceptable): \_\_\_\_\_

7. Expiration date of Notice of Commencement (the expiration date is one (1) year from the date of recording unless a different date is specified) \_\_\_\_\_

(X)

Joan Schimpf

Signature of Owner

STATE OF FLORIDA  
COUNTY OF Columbia

Sworn to (or affirmed) and subscribed before me this 12th day of April, 2012  
by \_\_\_\_\_ who is personally known to me  
or who has produced \_\_\_\_\_ as identification  
and who did \_\_\_\_\_ or did not \_\_\_\_\_ take an oath.



Melinda Pettyjohn  
Notary Public (Signature)

Castagne

## COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

### Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 4/17/2012      DATE ISSUED: 4/25/2012

#### ENHANCED 9-1-1 ADDRESS:

578      SW    AVIATION      DR

LAKE CITY      FL    32025

#### PROPERTY APPRAISER PARCEL NUMBER:

22-5S-17-09322-016

#### Remarks:


ADDRESS FOR PROPOSED STRUCTURE ON PARCE. 2ND LOCATION  
ON PARCEL.

Address Issued By: SIGNED: / RONAL N. CROFT  
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION  
INFORMATION RECEIVED FROM THE REQUESTER. SHOULD,  
AT A LATER DATE, THE LOCATION INFORMATION BE FOUND  
TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**



I, MARK T. SCHIMPF as co-trustee for the JOAN L. SCHIMPF Revocable Trust Agreement do hereby grant permission for construction of a one room structure on the property located at Lake City Airpark. The legal description of this property is recorded in Plat Book 5, Page 10 of the Public Records of Columbia County, Florida.



Mark T. Schimpf, as Co-Trustee of the  
Joan L. Schimpf Revocable Trust

STATE OF FLORIDA  
COUNTY OF ST. LUCIE

The foregoing instrument was acknowledged before me this 26 day of April, 2012  
by Mark T. Schimpf, who is personally known to me.



Notary Public, State of Florida at Large

My commission expires:



STATE OF FLORIDA  
DEPARTMENT OF HEALTH

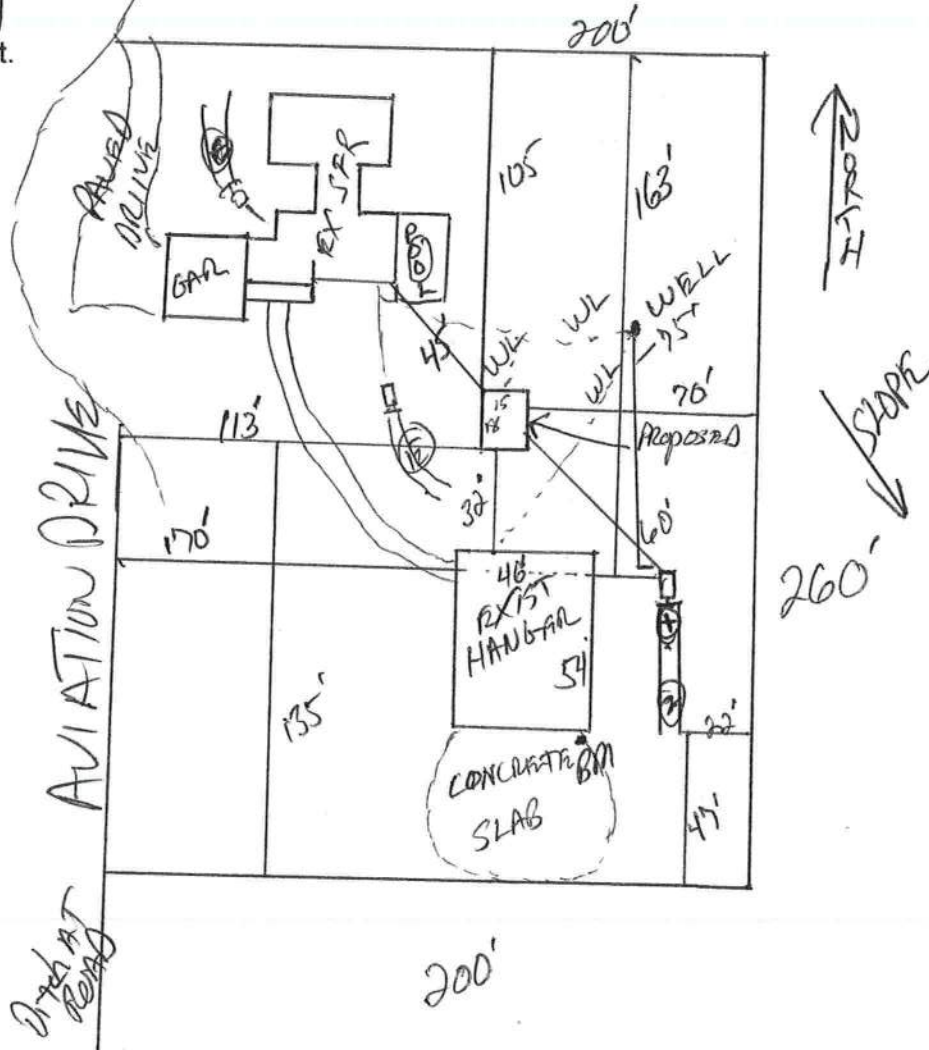
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 12-0219

*Schimpf*

Scale: 1 inch = <sup>60</sup>/<sub>40</sub> feet.

PART II - SITEPLAN



Notes: 1.19 of 5.5 Acres SEE ATTACHED

Site Plan submitted by: *Rocky D F*

MASTER CONTRACTOR

Plan Approved ☒ Not Approved ☐

Date 4.19.12

By *Sallie Ford Env Health Director - Columbia* County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT





STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 12-1219  
DATE PAID: 4/16/12  
FEE PAID: \$10.00  
RECEIPT #: 1839789

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Joan Schimpf

AGENT: ROCKY FORD, A & B CONSTRUCTION

TELEPHONE: 386-497-2311

MAILING ADDRESS: P.O. BOX 39 FT. WHITE, FL, 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 16 BLOCK: na SUB: Lake City Airpark PLATTED: 5/79

PROPERTY ID #: 22-5S-17-09322-016 ZONING: Res I/M OR EQUIVALENT: ☒ Y ☒ N

PROPERTY SIZE: 5.5 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐  $\leq 2000$  GPD ☐  $> 2000$  GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☒ N DISTANCE TO SEWER: — FT

PROPERTY ADDRESS: 575 SW Aviation Drive, Lake City, FL, 32025

DIRECTIONS TO PROPERTY: 441 South, TR on Aviation Drive, follow to last house on left, New system behind hanger

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	SF Residential	0	270	1 Room COTTAGE/CABIN
2				
3				

☒ Floor/Equipment Drains ☒ Other (Specify) —

SIGNATURE: Rocky D Ford DATE: 4/16/2012

**N3**

**NICHOLAS  
PAUL  
GEISLER  
ARCHITECT**  
N.C.A.R.B. Certified

■ 1758 NW Brown Road  
■ Lake City, FL 32055  
■ 386/365-4355

22 MAY 2012

BUILDING OFFICIAL  
COLUMBIA COUNTY, BUILDING DEPT.  
COLUMBIA COUNTY COURTHOUSE ANNEX  
LAKE CITY, FLORIDA 32055

RE: "JOANN'S COTTAGE"  
PERMIT Nr.:

30/29

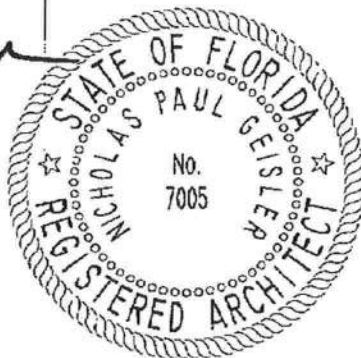
DEAR SIR:

WITH REFERENCE TO THE PROJECT NOTED ABOVE, THE BUILDER HAS ASKED IF IT WOULD BE PERMISSIBLE TO HAVE A SOMEWHAT REDUCED FOOTING DEPTH, RESULTING IN LESS THAN THE DESIRED MINIMUM COVERAGE DEPTH TO THE FOOTING BOTTOM. AS THE PROJECT IS BEING CONSTRUCTED IN NATURAL GRADE, WITHOUT FILL, THE POSSIBILITY OF A WASH-OUT APPEARS TO BE NOT LIKELY, THUS AS ARCHITECT OF RECORD, I DO NOT HAVE ANY OBJECTIONS TO THE PROPOSED CHANGE.

SHOULD YOU HAVE ANY FURTHER QUESTIONS WITH THIS, PLEASE CALL FOR ASSISTANCE.

YOURS TRULY,  
NICHOLAS PAUL GEISLER, ARCHITECT AR0007005

*Nicholas Paul Geisler*







COLUMBIA COUNTY BUILDING DEPARTMENT  
RESIDENTIAL CHECK LIST

MINIMUM PLAN REQUIREMENTS: FLORIDA BUILDING CODE RESIDENTIAL 2010 EFFECTIVE 15 MARCH 2012 AND THE NATIONAL ELECTRICAL 2008 EFFECTIVE 1 OCTOBER 2009

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT 2010 FLORIDA BUILDING CODES RESIDENTIAL, EFFECTIVE 15 MARCH 2012. NATIONAL ELECTRICAL CODE 2008 EFFECTIVE 1 OCTOBER 2009. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.**

**FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609-A THROUGH 1609-C ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES**

**GENERAL REQUIREMENTS:  
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

Items to Include-  
Each Box shall be  
Circled as  
Applicable

		Yes	No	N/A
1	Two (2) complete sets of plans containing the following:	<input checked="" type="checkbox"/>		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	<input checked="" type="checkbox"/>		
3	Condition space (Sq. Ft.)			
	Total (Sq. Ft.) under roof			

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

**Site Plan information including:**

4	Dimensions of lot or parcel of land	<input checked="" type="checkbox"/>		
5	Dimensions of all building set backs	<input checked="" type="checkbox"/>		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	<input checked="" type="checkbox"/>		
7	Provide a full legal description of property.			

**Wind-load Engineering** Summary, calculations and any details are required.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	IIIIII	IIII	IIII
		YES	NO	N/A
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	✓		
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient, Components and Cladding	✓		
13	The design wind pressure in terms of psf (kN/m <sup>2</sup> ), to be used for the design of exterior component, cladding materials not specifically designed by the registered design professional.	✓		

### **Elevations Drawing including:**

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys			✓
18	Location and size of skylights with Florida Product Approval			✓
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

### **Floor Plan including:**

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		✓
21	Raised floor surfaces located more than 30 inches above the floor or grade	✓		✓
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBC 1405.13.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	✓		
25	Safety glazing of glass where needed			✓
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 and chapter 24 of FBCR)			✓
27	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails	✓		✓
28	Identify accessibility of bathroom (see FBCR SECTION 320)	✓		

**All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)**



<p align="center"><b>GENERAL REQUIREMENTS:</b>  <b>APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</b></p>	<p align="center">Items to Include- Each Box shall be Circled as Applicable</p>
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### **FBCR 403: Foundation Plans**

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	<input checked="" type="checkbox"/>		
30	All posts and/or column footing including size and reinforcing	<input checked="" type="checkbox"/>		
31	Any special support required by soil analysis such as piling.			<input checked="" type="checkbox"/>
32	Assumed load-bearing value of soil _____ Pound Per Square Foot			<input checked="" type="checkbox"/>
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	<input checked="" type="checkbox"/>		

### **FBCR 506: CONCRETE SLAB ON GRADE**

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	<input checked="" type="checkbox"/>		
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	<input checked="" type="checkbox"/>		

### **FBCR 318: PROTECTION AGAINST TERMITES**

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Submit other approved termite protection methods. <b>Protection shall be provided by registered termiticides</b>	<input checked="" type="checkbox"/>		
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### **FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)**

*NA*

37	Show all materials making up walls, wall height, and Block size, mortar type			
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement			

**Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect**

### **Floor Framing System: First and/or second story**

*NA*

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer			
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers			
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers			
42	Attachment of joist to girder			
43	Wind load requirements where applicable			
44	Show required under-floor crawl space			
45	Show required amount of ventilation opening for under-floor spaces			
46	Show required covering of ventilation opening			
47	Show the required access opening to access to under-floor spaces			
48	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & interior of the areas structural panel sheathing			

49	Show Draftstopping, Fire caulking and Fire blocking	✓		
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 302.6	✓		
51	Provide live and dead load rating of floor framing systems (psf).	✓		

## **FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	✓		
53	Fastener schedule for structural members per table IRC 602.3 are to be shown	✓		
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	✓		
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	✓		
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per IRC Table 502.5 (1)	✓		
57	Indicate where pressure treated wood will be placed	✓		
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	✓		
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	✓		

## **FBCR :ROOF SYSTEMS:**

60	Truss design drawing shall meet section FBCR 802.1.6.1 Wood trusses	✓		
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	✓		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	✓		
64	Provide dead load rating of trusses	✓		

NA

## **FBCR 802:Conventional Roof Framing Layout**

65	Rafter and ridge beams sizes, span, species and spacing			
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating			
67	Valley framing and support details			
68	Provide dead load rating of rafter system			

## **FBCR 803 ROOF SHEATHING**

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	✓		
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	✓		

## **ROOF ASSEMBLIES FRC Chapter 9**

71	Include all materials which will make up the roof assemblies covering	✓		
72	Submit Florida Product Approval numbers for each component of the roof assemblies covering			



## **FBCR Chapter 11 Energy Efficiency Code for residential building**

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. **Two of the required forms are to be submitted, N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.**

<b>GENERAL REQUIREMENTS:</b> APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure	✓		
74	Attic space	✓		
75	Exterior wall cavity	✓		
76	Crawl space	✓		

### **HVAC information**

77	Submit two copies of a Manual J sizing equipment or equivalent computation study	✓		
78	Exhaust fans shown in bathrooms <b>Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required</b>	✓		
79	Show clothes dryer route and total run of exhaust duct			✓

### **Plumbing Fixture layout shown**

80	All fixtures waste water lines shall be shown on the foundation plan	✓		
81	Show the location of water heater	✓		

### **Private Potable Water**

82	Pump motor horse power	✓		
83	Reservoir pressure tank gallon capacity	✓		
84	Rating of cycle stop valve if used	✓		

### **Electrical layout shown including**

85	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans	✓		
86	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by <b>Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A</b>	✓		
87	Show the location of smoke detectors & Carbon monoxide detectors	✓		
88	Show service panel, sub-panel, location(s) and total ampere ratings	✓		
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.  <b>For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3</b>	✓		



90	Appliances and HVAC equipment and disconnects	<input checked="" type="checkbox"/>		
91	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed <b>Combination arc-fault circuit interrupter</b> , Protection device.	<input checked="" type="checkbox"/>		

**Disclosure Statement for Owner Builders** *If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

**Notice Of Commencement**

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

<p align="center"><b>GENERAL REQUIREMENTS:</b>  <b>APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</b></p>	<p align="center">Items to Include-  Each Box shall be  Circled as  Applicable</p>
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**THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS**

		YES	NO	N/A
92	<b>Building Permit Application</b> A current On-Line Building Permit Application <a href="http://www.ccpermit.com">www.ccpermit.com</a> is to be completed, by following the Checklist all supporting documents must be submitted. There is a <b>\$15.00</b> application fee.	<input checked="" type="checkbox"/>		
93	<b>Parcel Number</b> The parcel number (Tax ID number) from the Property Appraisers Office (386) 758-1083 is required. A copy of property deed is also requested. <a href="http://www.columbiacountyfla.com">www.columbiacountyfla.com</a>	<input checked="" type="checkbox"/>		
94	<b>Environmental Health Permit or Sewer Tap Approval</b> A copy of a approved Columbia County Environmental Health (386) 758-1058	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
95	<b>City of Lake City</b> A permit showing an approved waste water sewer tap 386-752-2031	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
96	<b>Toilet facilities shall be provided for all construction sites</b>	<input checked="" type="checkbox"/>		
97	<b>Town of Fort White</b> (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White, an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			<input checked="" type="checkbox"/>
98	<b>Flood Information:</b> All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations			
99	<b>CERTIFIED FINISHED FLOOR ELEVATIONS</b> will be required on any project where the approved FIRM Flood Maps show the property is in a AE, Floodway, and AH flood zones. Additionally One Foot Rise letters are required for AE and AH zones. In the Floodway Flood zones a Zero Rise letter is required.			
100	A Flood development permit is also required for AE, Floodway & AH. Development permit cost is <b>\$50.00</b>			
101	<b>Driveway Connection:</b> If the property does not have an existing access to a public road, then an application for a culvert permit ( <b>\$25.00</b> ) must be made. County Public Works Dept. determines the size and length of every culvert before instillation and completes a final inspection before permanent power is granted. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver ( <b>\$50.00</b> ) Separate Check when issued. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.			
102	<b>911 Address:</b> An application for a 911 address must be applied for and <b>received</b> through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125 Ext. 3	<input checked="" type="checkbox"/>		



## **Section R101.2.1 of the Florida Building Code Residential:**

The provisions of Chapter 1, Florida Building Code shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

### **Time limitation of application.**

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

### **Single-family residential dwelling.**

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

### **Permit intent.**

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

### **If work has commenced.**

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

### **New Permit.**

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

### **Work Shall Be:**

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

### **The Fee:**

Section 105.4.1.4: The fee for renewal, reissuance and extension of a permit shall be set forth by the administrative authority.

When the application is approved for permitting the applicant will be notified by phone as to the status by the Columbia County Building & Zoning Department.

# PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products.

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>1. EXTERIOR DOORS</b>			
A. SWINGING			
B. SLIDING			
C. SECTIONAL			
D. ROLL UP			
E. AUTOMATIC			
F. OTHER			
<b>2. WINDOWS</b>			
A. SINGLE HUNG			
B. HORIZONTAL SLIDER			
C. CASEMENT	PELLA	ALUM CLAD.	
D. DOUBLE HUNG			
E. FIXED	PELLA	ALUM CLAD.	
F. AWNING			
G. PASS THROUGH			
H. PROJECTED			
I. MULLION			
J. WIND BREAKER			
K. DUAL ACTION			
L. OTHER			
<b>3. PANEL WALL</b>			
A. SIDING	DR. FRANKLYN		
B. SOFFITS			
C. EIFS			
D. STOREFRONTS			
E. CURTAIN WALLS			
F. WALL LOUVER			
G. GLASS BLOCK			
H. MEMBRANE			
I. GREENHOUSE			
J. OTHER			
<b>4. ROOFING PRODUCTS</b>			
A. ASPHALT SHINGLES	GAF	ART.	
B. UNDERLAYMENTS			
C. ROOFING FASTENERS			
D. NON-STRUCTURAL METAL ROOFING			
E. WOOD SHINGLES AND SHAKES			
F. ROOFING TILES			
G. ROOFING INSULATION			
H. WATERPROOFING			
I. BUILT UP ROOFING ROOF SYSTEMS			
J. MODIFIED BITUMEN			
K. SINGLE PLY ROOF SYSTEMS			
L. ROOFING SLATE			
M. CEMENTS-ADHESIVES COATINGS			

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
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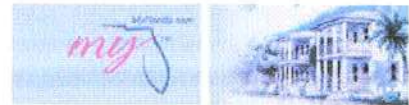
N. LIQUID APPLIED ROOF SYSTEMS			
O. ROOF TILE ADHESIVE			
P. SPRAY APPLIED POLYURETHANE ROOF			
Q. OTHER			
<b>5. SHUTTERS</b>			
A. ACCORDION			
B. BAHAMA			
C. STORM PANELS			
D. COLONIAL			
E. ROLL-UP			
F. EQUIPMENT			
G. OTHERS			
<b>6. SKYLIGHTS</b>			
A. SKYLIGHT			
B. OTHER			
<b>7. STRUCTURAL COMPONENTS</b>			
A. WOOD CONNECTORS/ ANCHORS	AS PER PLANS		
B. TRUSS PLATES			
C. ENGINEERED LUMBER			
D. RAILING			
E. COOLERS-FREEZERS			
F. CONCRETE ADMIXTURES			
G. MATERIAL			
H. INSULATION FORMS			
I. PLASTICS			
J. DECK-ROOF			
K. WALL			
L. SHEDS			
M. OTHER			
<b>8. NEW EXTERIOR ENVELOPE PRODUCTS</b>			
A.			
B.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

  
APPLICANT SIGNATURE

4/16/12  
DATE

# Florida Department of Business & Professional Regulation


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## Product Approval

USER: Public User

License efficiently. Regulate fairly.

[Product Approval Menu](#) > [Product or Application Search](#) > **Application List**

### Search Criteria

[Refine Search](#)

Code Version	2010	FL#	ALL
Application Type	ALL	Product Manufacturer	Pella Corporation
Category	Windows	Subcategory	Single Hung
Application Status	ALL	Compliance Method	ALL
Quality Assurance Entity	ALL	Quality Assurance Entity Contract Expired	ALL
Product Model, Number or Name	ALL	Product Description	ALL
Approved for use in HVHZ	ALL	Approved for use outside HVHZ	ALL
Impact Resistant	ALL	Design Pressure	ALL
Other	ALL		

### Search Results - Applications

FL#	Type	Manufacturer	Validated By	Status
<a href="#">FL11206-R6</a> <a href="#">History</a>	Revision	Pella Corporation <b>Category:</b> Windows <b>Subcategory:</b> Single Hung	James L. Buckner, P.E. at CBUCK Engineering (561) 491-9927	Approved *
<a href="#">FL12602-R3</a> <a href="#">History</a>	Revision	Pella Corporation <b>Category:</b> Windows <b>Subcategory:</b> Single Hung	Terrence E. Lunn, PE (561) 625-6455	Approved *
<a href="#">FL14706-R2</a> <a href="#">History</a>	Affirmation	Pella Corporation <b>Category:</b> Windows <b>Subcategory:</b> Single Hung	Rene J. Quiroga, PE (407) 681-6595	Approved

\*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.

Contact Us :: 1940 North Monroe Street, Tallahassee FL 32399 Phone: 950-487-1824

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#### Product Approval Accepts:





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## Product Approval

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > **Application List**

### Search Criteria

[Refine Search](#)

Code Version	2010	FL#	ALL
Application Type	ALL	Product Manufacturer	GAF
Category	Roofing	Subcategory	Asphalt Shingles
Application Status	ALL	Compliance Method	ALL
Quality Assurance Entity	ALL	Quality Assurance Entity Contract Expired	ALL
Product Model, Number or Name	ALL	Product Description	ALL
Approved for use in HVHZ	ALL	Approved for use outside HVHZ	ALL
Impact Resistant	ALL	Design Pressure	ALL
Other	ALL		

### Search Results - Applications

FL#	Type	Manufacturer	Validated By	Status
<a href="#">FL10124-R6</a> <a href="#">History</a>	Revision	GAF Category: Roofing Subcategory: Asphalt Shingles	John W. Knezevich, PE (954) 772-6224	Approved
<a href="#">FL10124-R7</a>	Editorial Change	GAF Category: Roofing Subcategory: Asphalt Shingles	John W. Knezevich, PE (954) 772-6224	Re-Apply

\*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.

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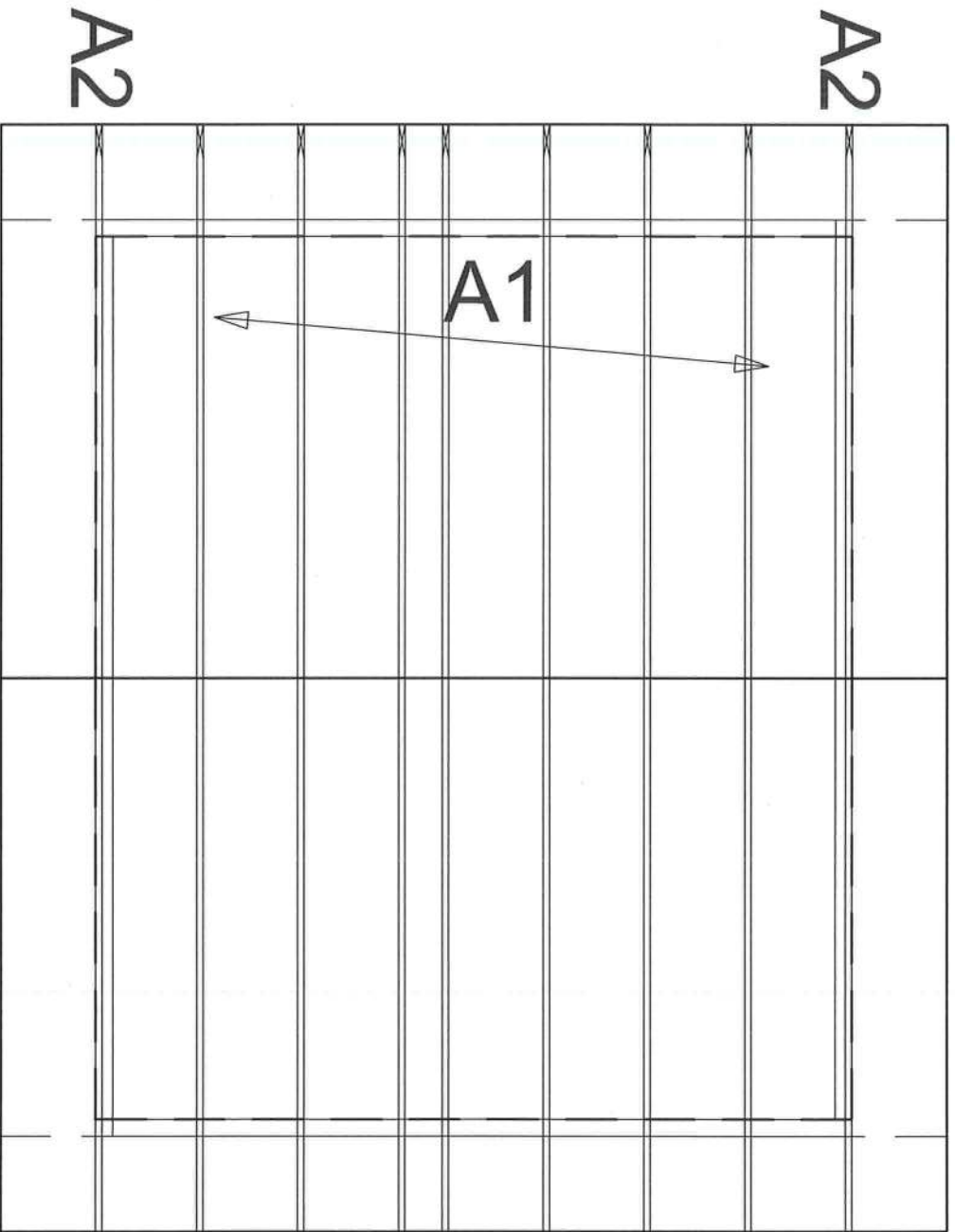
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#### Product Approval Accepts:



# Joanna's Cottage



Total Truss Quantity = 9.

Truss Spacing 24" oc

18'

Total Plan Area with OHs = 408 sq. ft  
Roof Plane Sheathing Area = 456 sq. ft

15'



JOB DESCRIPTION: Joanna's Cottage  
Location: Airpark

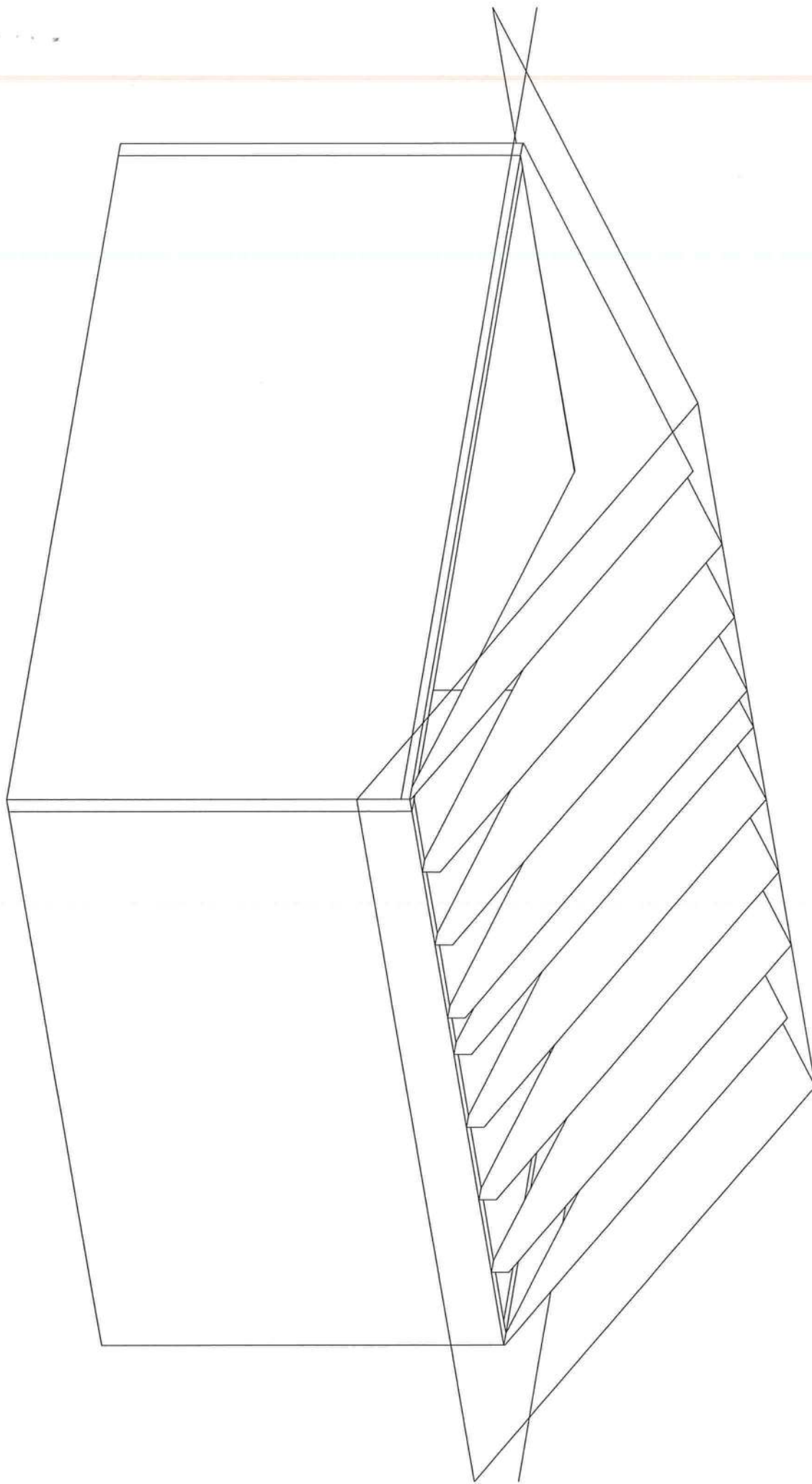
JOB NO:

12-074

PAGE NO:

1 OF 1





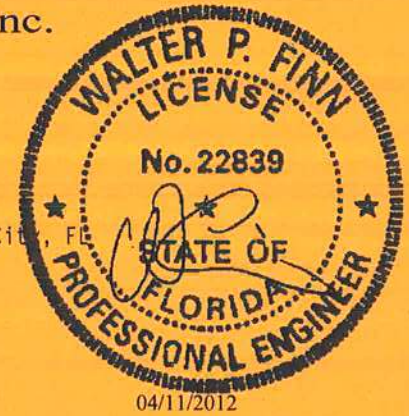
# ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844

Florida Engineering Certificate of Authorization Number: 0 278

Florida Certificate of Product Approval # FL1999

Page 1 of 1 Document ID: IUL6487-Z0111142840



Truss Fabricator: Anderson Truss Company  
Job Identification: 12-074--Fill in later Joanna's Cottage -- Airpark Lake City, FL  
Truss Count: 2  
Model Code: Florida Building Code  
Truss Criteria: FBC2010Res/TPI-2007(STD)  
Engineering Software: Alpine Software, Version 10.03.  
Structural Engineer of Record: The identity of the structural EOR did not exist as of  
Address: the seal date per section 61G15-31.003(5a) of the FAC  
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration  
Floor - N/A  
Wind - 120 MPH ASCE 7-10 -Closed

## Notes:

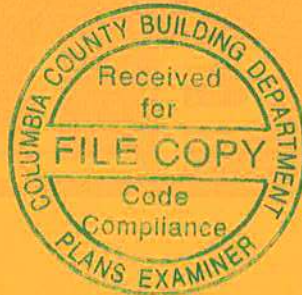
1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

Details: 12015EC1-GBLLETIN-GABRST10-

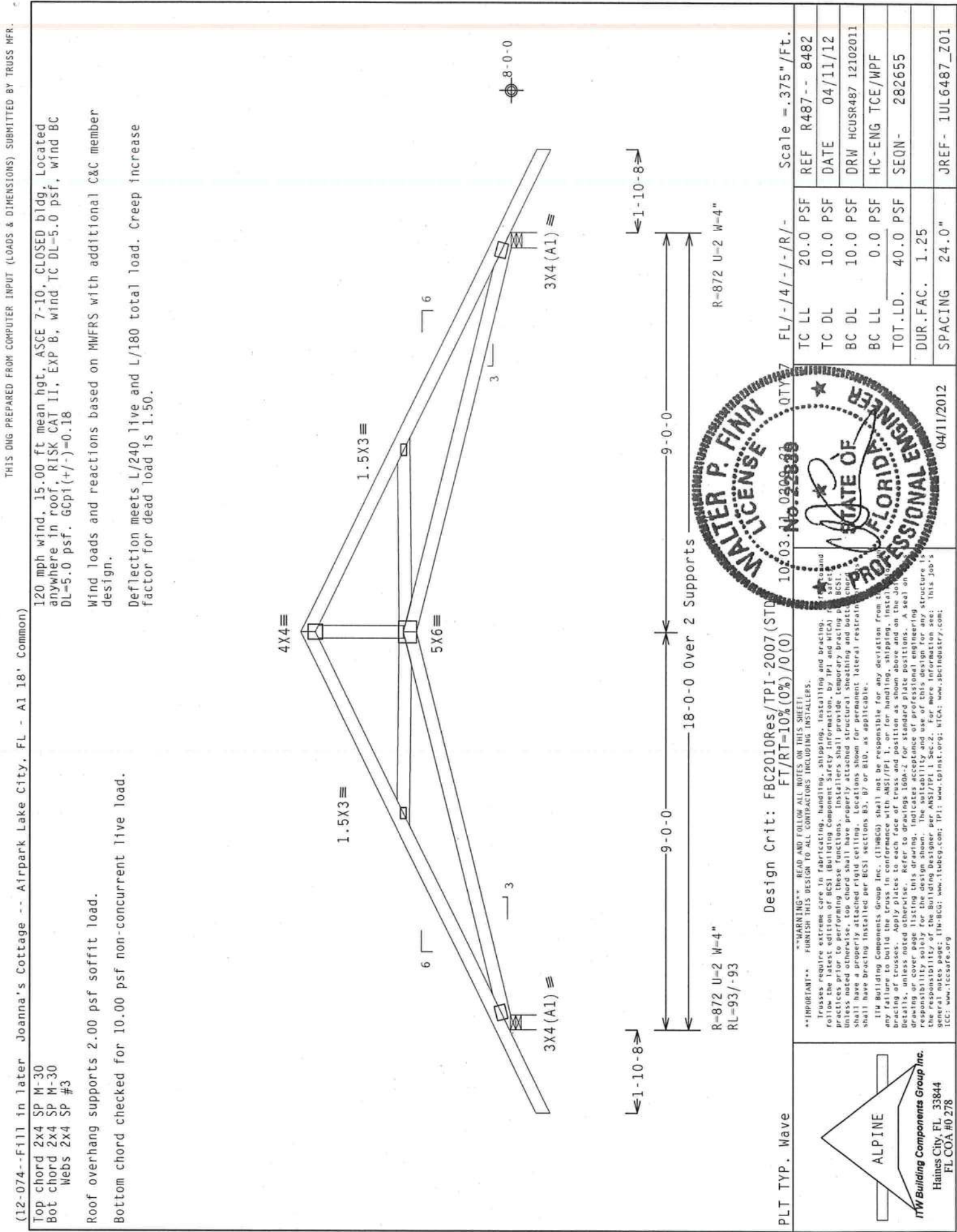
Walter P. Finn  
-Truss Design Engineer-

1950 Marley Drive  
Haines City, FL 33844

#	Ref	Description	Drawing#	Date
1	08482--A1	18' Common	12102011	04/11/12
2	08483--A2	18' Gable	12102010	04/11/12







Top chord	2x4	SP	M-30
Bot chord	2x4	SP	M-30
Webbs	2x4	SP	#3

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, CLOSED bldg, Located anywhere in roof, RISK CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. GCpf (+/-) = -0.18

Calculated horizontal deflection is 0.14" due to live load and 0.23" due to dead load.

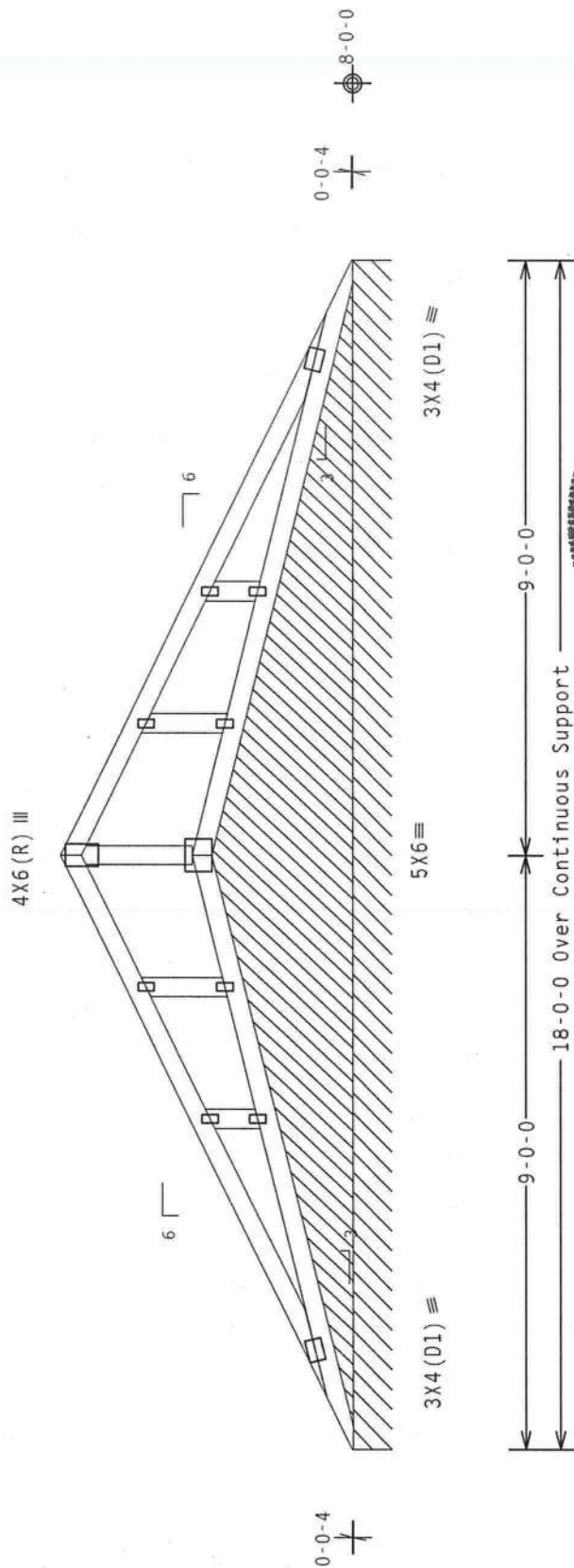
Wind loads and reactions based on MWFRS with additional C&C member design.

See DWGS A12015ENC100212, GBLLETIN0212, & GABRST100212 for more requirements.

Bottom chord checked for 10.00 psf non-concurrent live load.

Shim all supports to solid bearing.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.



R-83 PLF U=0 PLF W=18-0-0  
RL=3/-3 PLF

Note: All Plates Are 1.5X3 Except As Shown.

Design Crit: FBC2010Res/TPI-2007(Std)  
FT/RT=10%(0%)/0(0)

PLT TYP. Wave

10:03 11.02.09 21 QTY 2 FL/-/4/-/-/R/-

$$\text{Scale} = .375" / \text{Ft.}$$

\*WARNING\* READ AND FOLLOW ALL NOTES ON THIS SHEET  
FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS

[illegible][illegible]

ALPINE  
ITTW Building Components Group Inc.  
Haines City, FL 33844  
ET COA #0 278



TC LL	20.0	PSF	REF R487 - - 8483
TC DL	10.0	PSF	DATE 04/11/12
BC DL	10.0	PSF	DRW HCUSR487 12102010
BC LL	0.0	PSF	HC-ENG TCE/WPF
TOT.LD.	40.0	PSF	SEGN- 282666
DUR.FAC.	1.25		
SPACING	24.0"		DREF- 1UL6487_Z01



## 1.00

Group A:			
Spruce-Pine-Fir		Hem-Fir	
#1 / #2	Standard	#2	Stud
#3	Stud	#3	Standard
Douglas Fir-Larch		Southern Pine***	
#3	Stud	#3	Stud
	Standard		Standard

Group B:	
Hem-Fir	
#1 & 2tr	#1
Douglas Fir-Larch	
#1	#2
Southern Pine***	
#1	#2

1x4 Braces shall be SRB (Stress-Rated Board).

\*\*\*For 1x4 So. Pine use only Industrial 95 or Industrial 45 Stress-Rated Boards. Group B values may be used with these grades.

Gable Truss Detail Notes:  
Wind Load deflection criterion is L/240.

## Load deflection criterion is L/240.

Provide uplift connections for 35 plf over continuous bearing (5 psf IC Dead Load)

Gable end supports load from 4' 0" outlookers with 2' 0" overhang, or 12" plywood overhang.

So. Pine lumber design values based on the ALSC January, 2012 ruling

Attach "L" braces with 10d (0.128"x3.0" min) nails.

\* For (1) 1" brace; space nails at 2' oc.

In 18° end zones and 4° a.c. between zones.

\*\*For (2) "L" braces: space nails at 3' o.c.

"L" bracing must be a minimum of 80% of web member length.

Gable Vertical Plate Sizes	
Vertical Length	No Splice
Less than 4' 0"	1X4 or 2X3
Greater than 4' 0", but less than 11' 6"	2X4
Greater than 11' 6"	25X4


+ Refer to common truss design for peak, splice, and heel plates.

Refer to the Building Designer for conditions not addressed by this detail.

REF	ASCE7-10-GABI2015
DATE	2/14/12
DRWG	A12015ENC100212
MAX. TOT. L.D. 60 PSF	
MAX. SPACING 24.0"	



Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the latest edition of BCISI (Building Component Safety Information, by TPI and VTCA) for specific instructions and other pertinent information. Installers shall provide temporary bracing and shoring to other parts of the building to adequately support the trusses during installation. Trusses shall have temporary bracing attached rigidly to the building structure. Local bracing shall be provided for the webs between BCISI sections. Bracing shall be installed per BCISI sections B3, B7 or B10, as applicable. Apply proper bracing technique to all trusses and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-2 For standard plate positions.

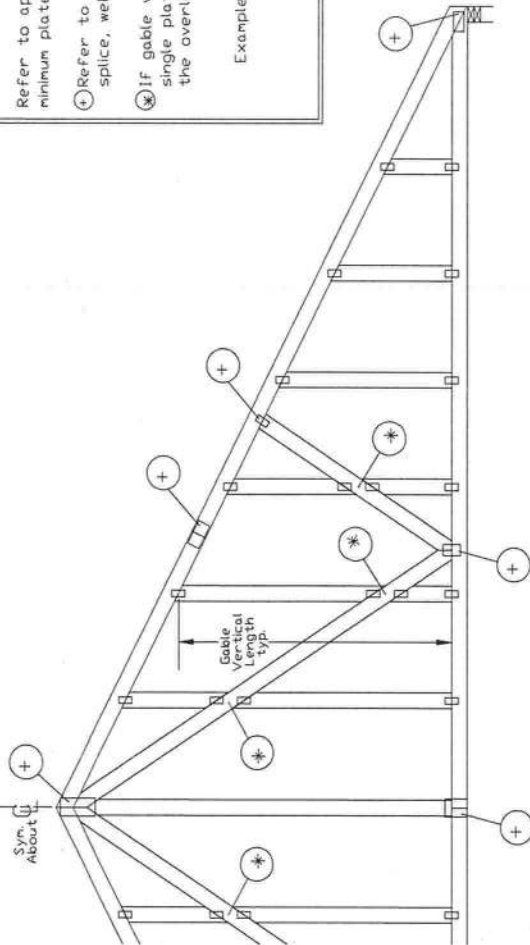


**Building Components Group Inc.**

Earth City, MO 63045



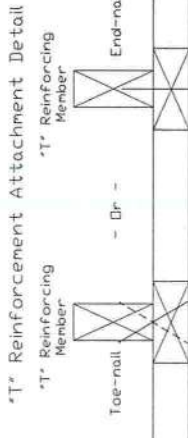
# Gable Detail For Let-in Verticals



## Gable Truss Plate Sizes

Refer to appropriate ITW gable detail for minimum plate sizes for vertical studs.

- ⊕ Refer to Engineered truss design for peak, splice, web, and heel plates.
- ⊙ If gable vertical plates overlap, use a single plate that covers the total area of the overlapped plates to span the web.



To convert from "L" to "T" reinforcing members, multiply "T" increase by length (based on appropriate ITW gable detail).

Maximum allowable "T" reinforced gable vertical length is 14' from top to bottom chord.  
"T" reinforcing member material must match size, species, and grade of the "L" reinforcing member.  
Web Length Increase w/ "T" Brace

"T" Reinf. Mbr. Size	"T" Increase
2x4	30 %
2x6	20 %

Example:

ASCE 7-10 Wind Speed = 120 mph  
Mean Roof Height = 30 ft, Kzt = 1.00  
Gable Vertical = 24' o.c. SP #3  
"T" Reinforcing Member Size = 2x4  
"T" Brace Increase (from Above) = 30% = 1.30  
(1) 2x4 "L" Brace Length = 8' 7"  
Maximum "T" Reinforced Gable Vertical Length  
1.30 x 8' 7" = 11' 2"

Provide connections for uplift specified on the engineered truss design.

Attach each "T" reinforcing member with

End Driven Nails:

- 10d Common (0.148" x 3" min) Nails at 4' o.c. plus
- (4) nails in the top and bottom chords.

Toenailed Nails:

- 10d Common (0.148" x 3" min) Toenails at 4' o.c. plus
- (4) toenails in the top and bottom chords.

This detail to be used with the appropriate ITW gable detail for ASCE wind load.

ASCE 7-98 Gable Detail Drawings

A13015980109, A12015980109, A11015980109, A10015980109, A13030980109, A12030980109, A11030980109, A10030980109

ASCE 7-02 Gable Detail Drawings

A13015020109, A12015020109, A11015020109, A10015020109, A13030020109, A12030020109, A11030020109, A10030020109

ASCE 7-05 Gable Detail Drawings

A13015050109, A12015050109, A11015050109, A10015050109, A13030050109, A12030050109, A11030050109, A10030050109

ASCE 7-10 Gable Detail Drawings

A11515ENC100212, A12015ENC100212, A14015ENC100212, A15015ENC100212, A20015ENC100212, A11530ENC100212, A12030ENC100212, A14030ENC100212, A15030ENC100212, A20030ENC100212, A18030ENC100212, A20030ENC100212, A20030ENC100212

See appropriate ITW gable detail for maximum unreinforced gable vertical length.

\*\*\*WARNING\*\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING

\*\*\*IMPORTANT\*\*\* FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the latest edition of BCSI Building Component Safety Information, by ITI and VTCA, for best practices prior to performing these functions. Installers shall provide temporary bracing and bracing noted otherwise. Top chord shall have properly attached structural sheathing and bottom chord shall have bracing installed per BCSI sections B3.1, B7 or B10, as applicable. Apply plate to all joints and webs shall have bracing installed per BCSI sections B3.1, B7 or B10, as applicable. Apply plate to all joints and webs shall have bracing installed per BCSI sections B3.1, B7 or B10, as applicable. Apply plate to all joints and webs shall have bracing installed per BCSI sections B3.1, B7 or B10, as applicable. Refer to drawings 100-2 for standard plate positions.

ITV Building Components Group Inc. shall not be responsible for any deviation from this drawing. Failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing, shall be the responsibility of the contractor. The suitability and acceptance of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see this job's general notes page and these web sites: ITVBGC www.itvbgc.com, TPI www.tpinet.org, VTCA www.vtcaindustry.org, ICC www.iccsafe.org



Building Components Group Inc.

Earth City, MO 63045

No. 22839



04/11/2012

REF LET-IN VERT

DATE 2/16/12

DRWG GBLLETIN0212

MAX. TOT. LD. 60 PSF

DUR. FAC. ANY

MAX. SPACING 24.0"



# ASCE 7-10: 120 mph, 30' Mean Height, Closed, Exposure C Common Residential Gable End Wind Bracing Requirements - Stiffeners

120 mph, 30ft. Mean Hgt, ASCE 7-10, Enclosed, Exp C, or  
100 mph, 30ft. Mean Hgt, ASCE 7-10, Enclosed, Exp D, or  
100 mph, 30ft. Mean Hgt, ASCE 7-10, Part. Enclosed, Exp C,  
Kzt = 1.00, Wind TC DL=5.0 psf, Wind BC DL=5.0 psf.

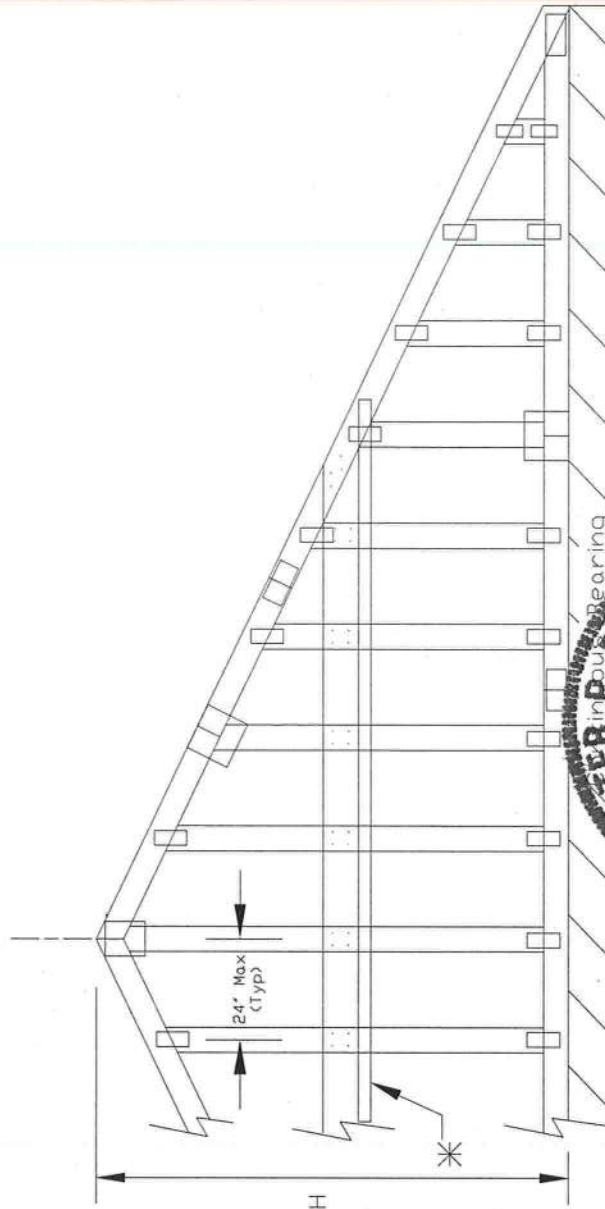
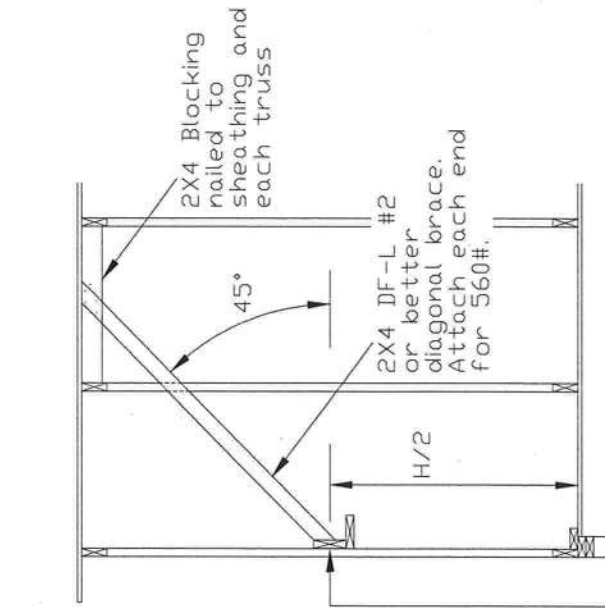
Lateral chord bracing requirements  
Top: Continuous roof sheathing  
Bot: Continuous ceiling diaphragm

See Engineer's sealed design referencing this detail  
for lumber, plates, and other information not shown  
on this detail.

Nails: 10d box or gun (0.128"x3",min) nails.

- H Less than 4'6" - no stud bracing required
- H Greater than 4'6" to 7'6" in length  
provide a 2x6 stiffback at mid-height and brace stiffback  
to roof diaphragm every 6'0" (see detail below or  
refer to DRWG A12030ENC10).
- H Greater than 7'6" to 12'0" max:  
provide a 2x6 stiffback at mid-height and brace  
to roof diaphragm every 4'0" (see detail below or  
refer to DRWG A12030ENC10).

✱ Optional 2x L-reinforcement attached  
to stiffback with 10d box or gun  
(0.128" x 3", min.) nails @ 6" o.c.



2x6 #2 Stiffback  
attached to each  
Stud w/ (4) 10d box or gun (0.123" X 3", min.) nails.



\*\*\*WARNING\*\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING  
FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the latest edition of BCSI (Building Component Safety) Information, by TPI and VITCA for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral resistance are for reference only. BCSI and VITCA apply to all trusses and ceilings. Refer to drawings 160A-Z for standard plate positions.

ITV Building Components Group Inc. shall not be responsible for any deviation from this drawing, only failure to build the structure in accordance with this drawing, and for shipping, handling, installation, or use of this drawing. A sealed design is required for all trusses and ceilings. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see this job's general notes page and these web sites: ITVBIG www.itvbic.com, TPI www.tpinet.org, VITCA www.structure.org, ICC www.iccsafe.org



Earth City, MO 63045

REF	GE	WHALE
DATE	2/14/12	
DRWG	GABRST100212	
MAX. TOT. LD. 60 PSF		
MAX. SPACING		

04/11/2012