DATE 05/28/2004 Columbia County	7 TEE 100 100 100 100 100 100 100 100 100 1
This Permit Expires One Y APPLICANT GARY JOHNSON	ear From the Date of Issue 000021917 PHONE 752.3444
ADDRESS POB 1016	LAKE CITY FL 32056
OWNER CLIFFORD & CYNTHIA KIRBY	PHONE 755.1658
ADDRESS 982 NW SPRADLEY ROAD	LAKE CITY FL 32055
CONTRACTOR GARY P. JOHNSON	PHONE 752.3444
	, GO APPROX. 1 MILE OON LEFT.
EGGATION OF TROPERTY	E, GO ATTROA. I WILL OOK EEFT.
TYPE DEVELOPMENT SFD & UTILITY ES	STIMATED COST OF CONSTRUCTION 113900.00
HEATED FLOOR AREA 2278.00 TOTAL AR	EA 3992.00 HEIGHT 18.00 STORIES 1
FOUNDATION CONC WALLS FRAMED	ROOF PITCH 6'12 FLOOR CONC
LAND USE & ZONING A-3	MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00	REAR 25.00 SIDE 25.00
NO. EX.D.U. FLOOD ZONE A	DEVELOPMENT PERMIT NO.
PARCEL ID 29-1S-17-04597-002 SUBDIVISIO	DN
LOT BLOCK PHASE UNIT	TOTAL ACRES 23.50
EOT BLOCK PHASE ONT	10 TAL ACKES 25.50
RG0024685	May Johnson
Culvert Permit No. Culvert Waiver Contractor's License Nur	mber Applicant/Owner/Contractor
EXISTING 04-0548-N BLK	RTJ N
Driveway Connection Septic Tank Number LU & Zoni	ng checked by Approved for Issuance New Resident
COMMENTS: NOC ON FILE COMB. LOCK 2001	
1 FOOT ABOVE ROAD	
1ST. FLOOR MUST BE 1FOOT ABOVE ROAD.	Check # or Cash 0341
	Check # or Cash 0341 NG DEPARTMENT ONLY (footer/Slab)
Temporary Power Foundation	NG DEPARTMENT ONLY (footer/Slab) Monolithic
Temporary Power Foundation date/app. by	MG DEPARTMENT ONLY Monolithic date/app. by (footer/Slab) date/app. by
Temporary Power Foundation date/app. by Under slab rough-in plumbing Slab	MG DEPARTMENT ONLY Monolithic date/app. by Sheathing/Nailing
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Temporary Power Foundation date/app. by	MG DEPARTMENT ONLY Monolithic date/app. by date/app. by

This Permit Must Be Prominently Posted on Premises During Construction
PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER
THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK
AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application #0405-38 Date	Received 1/2 By JI Permit # 2/9/9
Whenceson whiches by - Could Official Det	the Colombia
Zoni	no Fig. 1 and the minutes of 2
Comments 157 floor about foot about	Rd. Well Letter
	#91T ADORES
Can Tu	
Applicants Name GARY JOHNSON	Phone 386 752-3444 961-303
Address PO BOK 1016 LAKE CIT	FY FI 32056-1016
Owners Name CLIFFORD & CYNHAIA KIRBY	Phone 755 - 1658
711 Address	
Address PO BOX 1016, LAKE CITY FI	Phone 386-752-3444
Fee Simple Owner Name & Address MM AS	nih c
Bonding Co. Name & Address /	
Architect/Engineer Name & Address Monty Humps	heils - Chary SIONNIG
Mortgage Lenders Name & Address OCB	
Branash ID Number 19 - 15 - 17 0/1500	
Property ID Number <u>19-15-17-04597-003</u> Subdivision Name	_ Estimated Cost of Construction 160,000
Driving Directions 44/ N. To SPRADLEY ROAD :-	TRU LEFT - APROX / Mile ON LEFT
Type of Construction (1997) SFD	Number of Existing Dwellings on Property /
DO VOU MANA M. C.	the manual and the state of the
Total Building Height 18 Number of Stories 1	Hegled Floor Area 2278 Pack Photo ///2
Application is hereby made to obtain a permit to do work and netaliation has commenced prior to the issuance of a permit.	Installations as indicated I could that no work or
nstallation has commenced prior to the issuance of a permit a ill laws regulating construction in this jurisdiction.	and that all work be performed to meet the standards of
OWNERS AFFIDAVIT: I hereby cortify that all the format	
OWNERS AFFIDAVIT: I heraby certify that all the foregoing info compliance with all applicable laws and regulating construction	ormation is accurate and all work witi be done in
VARNING TO OWNED. YOUR EAST URE TO STREET	
WICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU IN ENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE	ITEND TO OBTAIN FINANCING CONSULT WITH YOUR
	OF COMMENCEMENT.
OFRY JOHNSON	LAM Johnson
wner Builder or Agent (including Contractor)	Contractor Signature
TATE OF FLORIDA	Contractors License Number K6 00 24685
OUNTY OF COLUMBIA	Competency Card Number 5/55
worn to (or affirmed) and subscribed before me M. Harring	NOTARY STAMP/SEAL
day of VCI	
day of CLL 26-10/N Hamber or Produced Identification Character of the CC962143 #CC962143 #CC962143	THA HAMINA KITTA
* ***	Hotary Signature
#CC962143	
VALUE OF THE OF	V
STATE OF THE STATE	15962-

COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 2949 * Lake City. FL 32056-2949 PHONE: (386) 752-8787 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: 5-11-04
ENHANCED 9-1-1 ADDRESS: 982 NW Spradley Rd. (Lake City. For 32055)
Addressed Location 911 Phone Number: NIA
OCCUPANT NAME: Clifford & Cynthia Kirby
OCCUPANT CURRENT MAILING ADDRESS: PO Box 3211 Lake City . Fc. 32056
PROPERTY APPRAISER MAP SHEET NUMBER: 90
PROPERTY APPRAISER PARCEL NUMBER: 29-15-17-04591-002.
Other Contact Phone Number (If any):
Building Permit Number (If known):
Remarks:
Address Issued By: Columbia County 9-1-1 Addressing Department

KORBY

1 HORSE RIMP HO GAC TANK HO PSI VAIVE

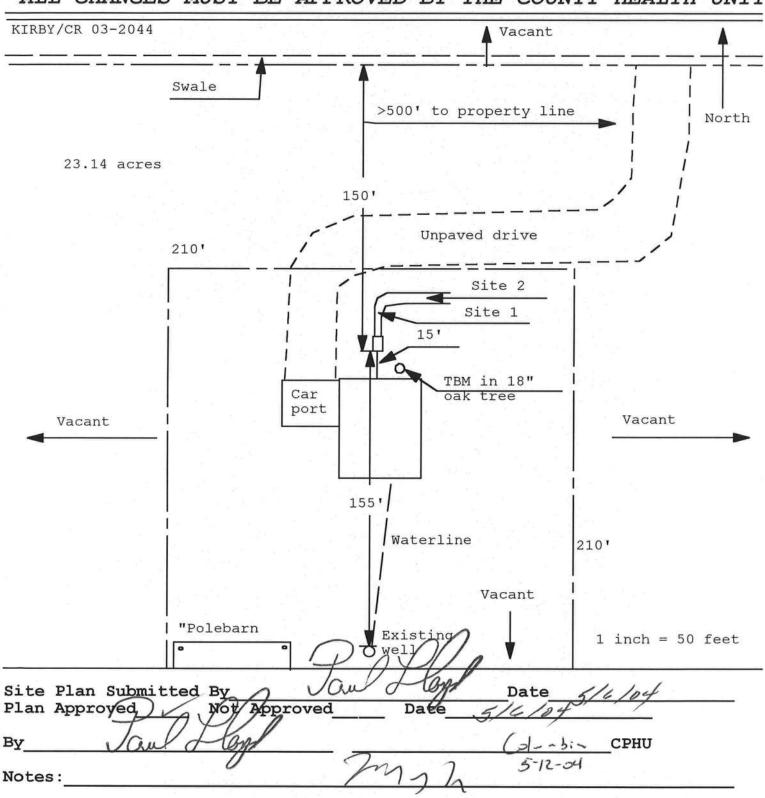
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Print Key Output Page S109D45B 05/03/04 09:23:1 5722SS1 V5R1M0 010525 Display Device : WA CAM112M01 CamaUSA Appraisal System Columbia Cour 5/03/2004 9:23 Legal Description Maintenance 43966 Land 001 Year T Property AG 000 2004 R 29-1S-17-04597-002 Bldg 000 Xfea 000 KIRBY CLIFFORD J & CYNTHIA C 43966 TOTAL THAT PORTION OF SW1/4 OF SE1/4 AS LIES S & W OF SPRADLEY RD. 3 ORB 967-2412. 4 5 7 6 8 9 10 12 11 13 146180 15 17 19 21 22 23 24 25 26 27 28 Mnt 11/25/2002 TERRY

F1=Task F3=Exit F4=Prompt F10=GoTo PGUP/PGDN F24=MoreKeys

Application for Onsite Sewage Disposal System Construction Permit. Part II Site Plan Permit Application Number: 04-054%N

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



FORM 6008-01

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION Residential Component Prescriptive Method B

NORTH 1 2 3

	OJECT NAME:	KIRBY		BUILDER	GARL	1 JOHN	SON	Name and Address of the Owner, where	. Vicinian
Ah	D ADDRESS:			PERMITT	ING		CLIMATE		
0	WIED. C.			OFFICE:			ZONE:	1 2	3
_	Cliffe	RO& CYNTHIA	KIRBY	PERMIT NO.			JURISOICTION N	0: 22/	del
	RAL DIRECTIONS	A THE RESIDENCE OF THE PROPERTY OF THE PARTY	REPORT CONTRACTOR	CONTRACTOR DESCRIPTION OF STREET	Erri vannumer errikten		The state of the s	Manager and Company	
Fill i	n at the applicable speces of the page 1 based on the " of "Winksum Requirements!	tions which incorporates any of the fully ablenges "A" through "E" from able 68- if the "To 84 Installed" column on Table To 84 Installed" column information. or All Packages", Table 69-2 and chapt ed 8y certification statement at the boy	66-1 with the information n cach box to indicate your	interly was the Code, Cir equested. At 'To Be Ins intent to comoly with us	on the column of the tabled values must be applicable have	pa scinal to outlous eyy beckede hon prave cy			rool glass
				TORNAL SERVICE SERVICE		P	lease Print		СК
•	Compliance p	ackaga chosan (A-F	*)		1.	H			-
		tion or addition			2,	New Co	NSTRUCTTO	w l	1/
3.	Single family	detached or Multifar	nily attached		3.	Single		1	1
١.	tf Multifamily-	-No. of units covere	d by this sub	mission	4.			1	-
		case? (yes / no)			5.	NO		1	-
		loor area (sq. ft.)			6.	227	8	1	
		save overhang (ft.)			7.	21	-		4
	Glass type an					Single Pane	Doubl	e Pane	
	a. Clear	#14-000-000-000-000-00-00-00-00-00-00-00-0			8a.		sq. ft. 24	sq. ft.	1
		m or solar screen			8b.		sq. ft.	sq. ft.	
		glass to floor area			9	9100	%		
U.		a or perimeter, and	insulation:		1			1	
		grade (R-value)			10a.	R=		lin. ft.	-
		raised (R-value) common (R-value)			10b.	Re		sq. ft.	-
					10c,	Rs		sq. ft.	11
		te, raised (R-value)			10d.	R=		_ sq. ft.	4
•		ite, common (R-value and insulation:)		10e.	R=		_ sq. ft.	
٠.					1			1	
	a. Extend	r: 1. Masonry (insula		da.	11a-1			\$q. fl.	_
	h Adlece	2. Wood frame (in nt. 1. Masonry (insula		16)	11a-2			sq. ft.	1
	is. Adjace	2. Wood frame (In			115-1			_ sq. ft.	-
2.	Celling type, a	rea and insulation:	sulation M-vatio	(0)	116-2	As	-	sq. ft.	Kindoles-
		attic (Insulation R-valu	a)		1	- 2	277	_	
		assembly (Insulation I			12a.		2 2278	0.000	-
3. /	Air Distribution	System: Duct insu	istica locatio		12b.	Ru		_ sq. ft. .	NAME OF TAXABLE PARTY.
		(attach if required)	iation, locatio		13.	R=	-,		supplies.
1. (cooling system					11	NTIAL	[.	1
9	and a confidence of the contract of the contra	l, room unit, package termi	ngi A C	- 1		SEER/EER:	12.5	.	· tome
i, F	teating system	n:	risk re V., gaa, Holl	6)		Capacity:	47.0.		Lucian
		elec. strip, nat. gas, L.P. ga	s cas h n mome	T PTAC none)	V.C. (C. F. C) (T. C)	Type: He	MT 1-01	np .	L.
- 5						MSPF/COP/	AFUE:	1	1
. 1	ot water syste	em:			4.0000000000000000000000000000000000000	Capacity:	Techin	 -	
	A CONTRACTOR OF THE PROPERTY OF THE PROPERTY OF THE	as, L.P. gas, solar, heat re	c dad haat numa	Ather noses			1ectric	-	-
		9 and 1 110gt 16	an against purity	, other, none)	16b.	EF:/	10		6

I hereby certify that the great and specifications obvared by the calculation are in compliance with ins Florida Energy Code.	Review of plans and specifications covered by this calculation indicates complance with the Florida Energy Code. Before construction is completed, this building will be inspected for construction.
PREPARED BY: X DIA 90 PROPERTY DATE: 7-30-09	for compliance in accordance with Section 553, 505, F.S. BUILDING OFFICIAL:
OWMER AGENT: DATE	DATE:
ABINA BUILDING COOK THE THE	CONTROL AND

TABLE 68-1

MINIMUM REQUIREMENTS

COM	PONENTS	THE RESERVE THE PERSON NAMED IN COLUMN TWO	PACKAGES	FOR NEW CONST	RUCTION			
		A	В	C	0	E		
	Max %of gleas to Floor Area	15%	15%	20%	20%	25%		
GLASS	Туре	Double Clear (DC)	Double Clear (DC)	Double Clear (DC)	Double Clear (DC)	Double Tint (DT)		
DB	Overhang	1'4'	5.	S.	2' -	5.		
Masonry 9		EXTERIOR AND ADJACENT MASONRY WALLS R-S COMMON MASONRY WALLS R-3 EACH SIDE.						
WALLS	Wood Frame	EX	EXTERIOR, ADJACENT, AND COMMON WOOD FRAME WALLS R-11					
CEILINGS		R-30 R-30 R-30 R-30 R-30 (NO SINGLE ASSEMBLY CEILINGS ALLOWED)						
S	Slab-On-Grada			P-0				
PLOORS	Raised Wood	R-19 (ONLY STEM WALL CONSTRUCTION ALLOWED EXCEPT PACKAGE C)						
5	Raised Concrete			R-7	Tall .			
DUCT	rs	R-8	R-8	R-8, TESTED	FI-6	R-6, TESTED		
SPAC	E COOLING (SEER)	12.0	10.5	12.0	11.0	12.0		
HEAT	Elect. (HSPF)	7.9	7.1	7.4	7,4	7,4		
里 Gas/Oil (AFUE)		MINIMUM OF .73 (Direct heating) or .78 (Central)						
TER	Electric Resistance**	EF .88	NOT ALLOWED	EF .91	NOT ALLOWED (SEE BELOW)	EF .91		
SYSTEM SYSTEM	Gas & Oll ""	MINIMUM EF OF .54				NATURAL GAS ONLY (SEE SELOW)		
¥ "	Other	Any of the following are allowed: dedicated heat pump, heat recovery u				nit or solar system		

	TO BE	NSTAL	TED	100
	10		-	-%
DC L		DT:		
	2		FEET	-
EXT:	R»			
ADJ:	R =			
COM:	R=			
EXT:	R×.	7	3	
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R=_	6	CON	D.	
SEER	= _/	0/15		
COP=		1.9		
AFUE	4			
	-	90	-	
EF a		10	-	
EF#		EF		

Minimum efficiencies for gas and electric hot water systems apply to to 40 gallon water heaters. Refer to Table 6-12 for minimum Code efficiencies for cit water heaters and other sizes.

DESCRIPTION OF BUILDING COMPONENTS LISTED

Percent of Glass to Floor Ares: This percetage is calculated by dividing the total of all glass areas by the total conditioned floor area.

Overhang: The overhang is the distance the roof or soffit projects out horizontally from the face of the glass. All glass areas shall be under an overhang of all least the prescribed length with the following exceptions:

1) glass on the gabled ends of a house and 2) the glass in the lower stories of a multi-story house.

Wall, Calling and Floor Insulation Values: The R-values indicated represent the minimum acceptable insulation level added to the structural components of the wall, calling or floor. The R-value of the structural building materials shall not be included in this calculation. "Common" components are those separating conditioned byt enclosed space. "Exterior" components separate conditioned apace from unconditioned and unundoted apace.

Floor: Stab-on-grade floors without edge insulation are acceptable. Reised wood floors shall have continuous stam walls with insulation placed on the stam wall or under the floor accept Package C.

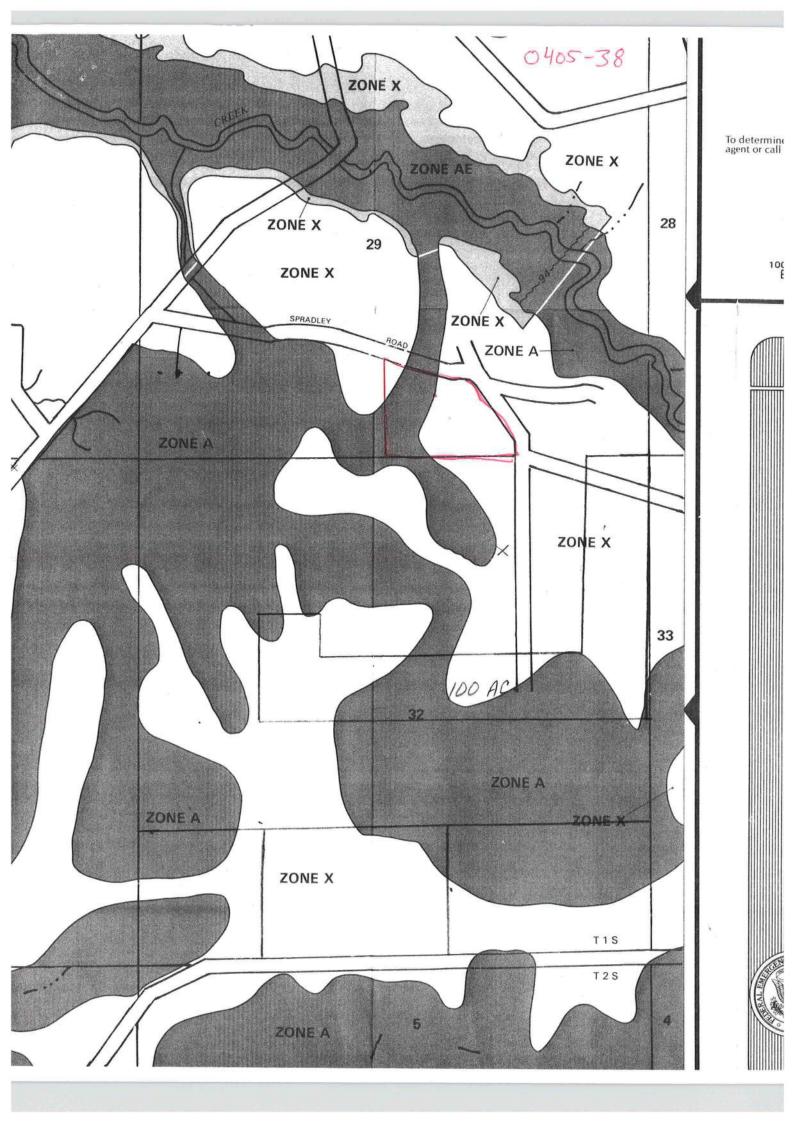
Oucla: "TESTED" shall mean the ducts have less then 5% leakage based on a cartifad seat report by a State-approved beats.

Space Cooling System: Cooling systems shall have a Seasonal Energy Efficiency Ratio (SEER) for control units or Energy Efficiency Ratio (EER) for coors units or FTAC's equal to or greater than the prescribed value Electric Space Heating Option: Heat pump systems shall be rated with a Heating Seasonal Performence Factor (HSPF) equal to or greater than the prescribed HSPF. Heat pump systems may contain electric stip becups meeting the criteria of section 608.1. ABC 3.2.1.2. No electric resistance space heat is allowed for these packages.

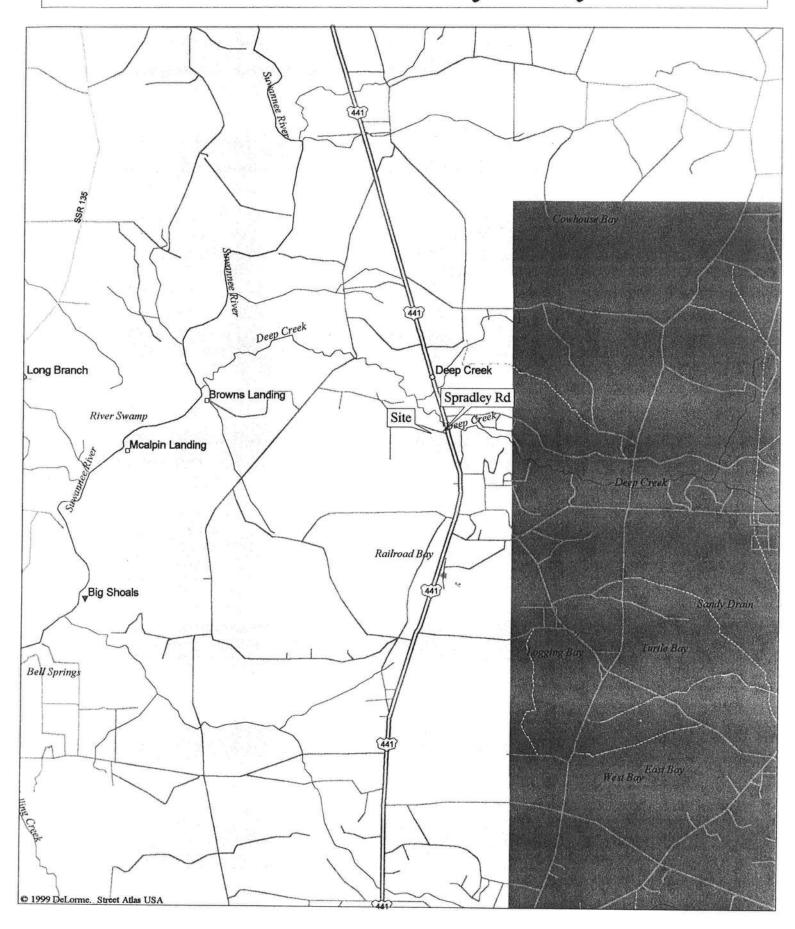
Electric Resistance Host Weier Options: For packages designated "Not Allowed", an electric resistance hot water system may be insulted only in conjunction with one of the "Other Hot Water System Options". See below.

Other Hot Water System Options: Any dedicated heal pump, heat recovery unit, or solar hot water system may be installed. Solar systems must have an EF of 1.5 or higher. Electric resistance systems having an EF of .88 or

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Exterior Joints & Cracks	806.1	To be caulked, gasketed, weather-shipped or otherwise sealed.	1/
Exterior Windows & Doors	606,1	Max .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	1
Sole & Top Plates	806.1	Scie plates and penetrations through top plates of exterior walls must be sealed.	11
Recessed Lighting	608.1	Type IC rated with no genetrations (two alternatives allowed).	1
Multi-story Houses	608.1	Air barrier on perimeter of floor cavity between floors.	1
Exhaust Fans	608.1	Exhaust fans vented to unconditioned space shall have dampers, except for combustion devices with integral exhaust ductwork.	1
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required for vertical pipe risers.	1
Swimming Pools & Scas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a sump timer. Gas aps & pool heaters must have minimum thermal efficiency of 78%.	NA
Hot Water Pipes	612.1	insulation is required for hot water circulating systems (including heat recovery units).	1
Shower Heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	4
HVAC Duct Construction, insulation & Installation	610.1	All ducts, fittings, mechanical equipment and pienum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section 610.1. Ducts in attics must be insulated to a minimum of R-6.	~
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	1

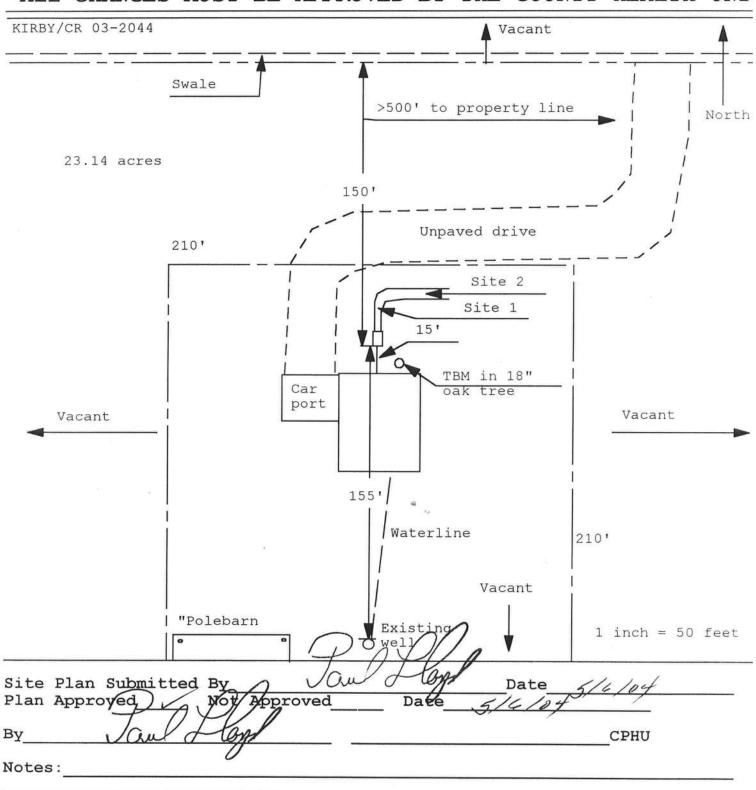


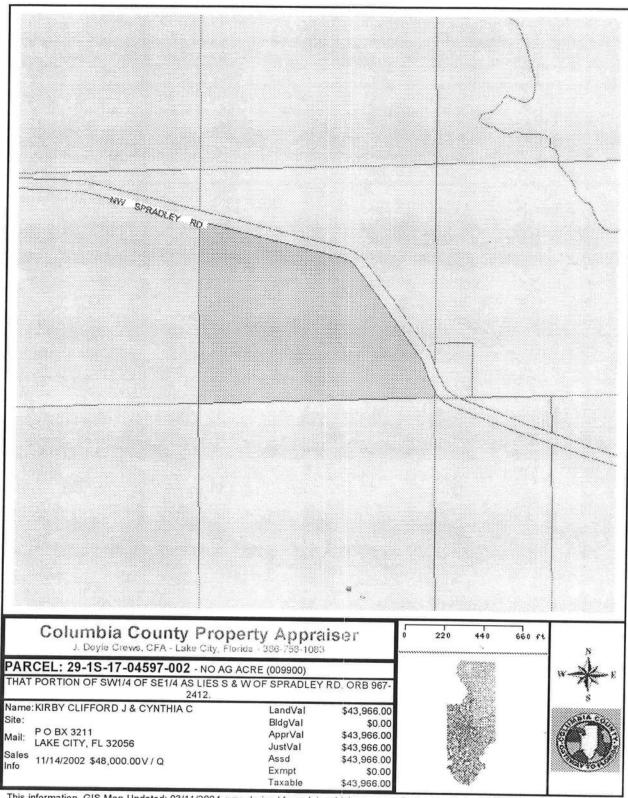
Clifford & Cindy Kirby



Application for Onsite Sewage Disposal System Construction Permit. Part II Site Plan Permit Application Number:

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNI

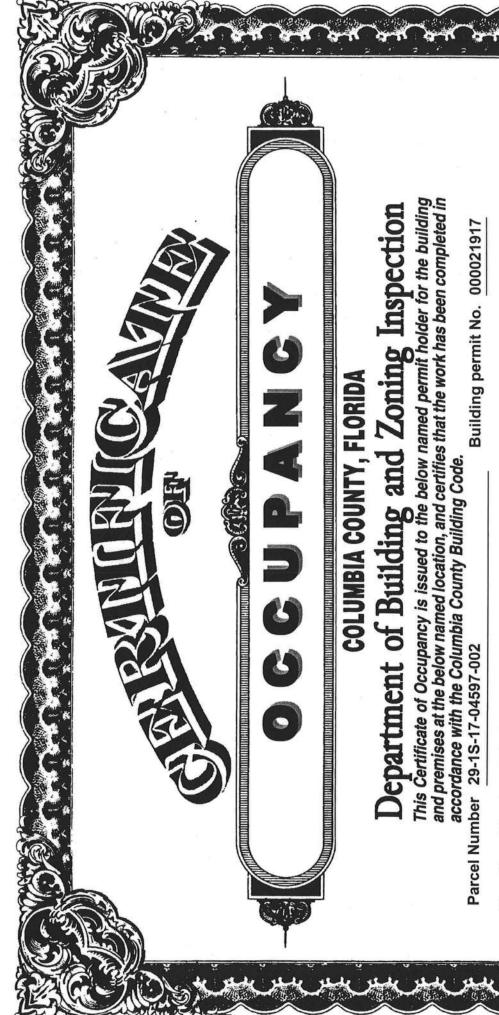




This information, GIS Map Updated: 03/11/2004, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Notice of Treatment —
Applicator Florida Pest Control & Chemical Co.
Address 536 SE Bause
City Lake City Phone 7521703
Site Location Subdivision
Lot#Block#Permit#
Address 982 NW Spradley Pd
AREAS TREATED
Print Technician's
Area Treated Date Time Gal. Name
Main Body \$ 7/2/04 800 340 55EVEN
Patio/s #
Stoop/s #
Porch/s #
Brick Veneer
Extension Walls
A/C Pad
Walk/s #
Exterior of Foundation
Driveway Apron
Out Building
Tub Trap/s
(Other)
Name of Product Applied DRSBANT 5% Remarks SYTEPION A PORCHES
NOT YET DONE

Applicator - White · Permit File - Canary · Permit Holder - Pink



Use Classification SFD & UTILITY

Permit Holder GARY P. JOHNSON

Owner of Building CLIFFORD & CYNTHIA KIRBY

143.36

Total:

Waste: 98.00

Fire:

982 NW SPRADLEY ROAD, LAKE CITY Location:

Date: 01/26/2005

Building Inspector

POST IN A CONSPICUOUS PLACE (Business Places Only)