

(Need 2 permits 2 Bldgs.)

Columbia County New Building Permit Application

* Town of Ft. White *

Bldg #2
Mini Warehouses

For Office Use Only Application # 44719 & 44549 Date Received 2/18 By JW Permit # 39524
Zoning Official _____ Date _____ Flood Zone _____ Land Use _____ Zoning _____
FEMA Map # _____ Elevation _____ MFE _____ River _____ Plans Examiner J.C. Date 3-10-20
Comments _____
☐ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☐ Well letter ☒ 911 Sheet ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter _____
☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. 20-0189 OR City Water ☒ Fax 386-497-1263

Applicant (Who will sign/pickup the permit) PAUL P. BARCIA Phone 386-497-4770

Address 478 SW Manatee Ter., Ft. White, FL 32038

Owners Name Limited Access Properties, INC Phone 386-497-4770

911 Address 18072 SW STATE ROAD 47, Ft. White, FL 32038

Contractors Name MANGRAM, DARIO Phone 386-623-3617

Address PO Box 2103, Lake City, FL 32056

Contractor Email pbarcia@windstream.net OWNER ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address N. FLA Professional Serv., PO Box 3823, Lake City, FL 32056

Mortgage Lenders Name & Address _____

Circle the correct power company ☐ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☒ Duke Energy

Property ID Number 00-00-00-14305-004 Estimated Construction Cost \$100,000

Subdivision Name NONE Lot _____ Block 1 Unit _____ Phase _____

Driving Directions from a Major Road SR 47 & Fort White Ave Hardware

Construction of Ace Secure Storage - Mini Warehouse ☒ Commercial OR ☐ Residential

Proposed Use/Occupancy Mini Warehouse storage Number of Existing Dwellings on Property 0

Is the Building Fire Sprinkled? No If Yes, blueprints included _____ Or Explain _____

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☒ D.O.T. Permit or ☐ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 20' Side 10' Side 10' Rear 15'

Number of Stories 1 Heated Floor Area _____ Total Floor Area 10,000 Acreage 2.387

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) Industrial & Approved

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

✓ Limited Access Properties Inc.

Print Owners Name

Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

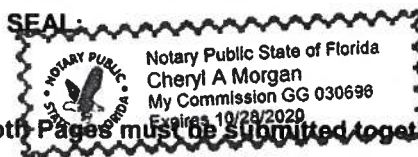
CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

David E. Morgan
Contractor's Signature
as President MANGRUM CONSTRUCTION

Contractor's License Number CGC 1513 670
Columbia County
Competency Card Number 504

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 13th day of February 2020.
Personally known ☒ or Produced Identification _____

Cheryl A. Morgan
State of Florida Notary Signature (For the Contractor)



SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT #

44849

JOB NAME

Limited Access Properties, Inc

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

ELECTRICAL <input checked="" type="checkbox"/>	Print Name <u>Gary Shine</u> Signature <u>[Signature]</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# <u>1053</u>	Company Name: <u>Shine and Company, Inc</u> License #: <u>EC-0001119</u> Phone #: <u>386 454 2034</u>	
MECHANICAL/A/C <input checked="" type="checkbox"/>	Print Name <u>DAVID HALL</u> Signature <u>[Signature]</u>	Need <input checked="" type="checkbox"/> Lic <input checked="" type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# <u>568</u>	Company Name: <u>DAVID HALL'S INC</u> License #: <u>CACO 57424</u> Phone #: <u>386-755-9792</u>	
PLUMBING/GAS <input type="checkbox"/>	Print Name <u>DAVID E. MARGRUM</u> Signature <u>[Signature]</u>	Need <input checked="" type="checkbox"/> Lic <input checked="" type="checkbox"/> Liab <input checked="" type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# <u>503</u>	Company Name: <u>Margrum Const. INC</u> License #: <u>CFC029756</u> Phone #: <u>386-623-3017</u>	
ROOFING <input checked="" type="checkbox"/>	Print Name <u>Dana Johnson</u> Signature <u>[Signature]</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC#	Company Name: <u>Mac Johnson Roofing</u> License #: <u>CCC 1325497</u> Phone #: <u>352 538 2847</u>	
SHEET METAL <input checked="" type="checkbox"/>	Print Name <u>Dana Johnson</u> Signature <u>[Signature]</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# <u>1</u>	Company Name: <u>Mac Johnson Roofing</u> License #: <u>CCC 1325497</u> Phone #: <u>352-472-4943</u>	
FIRE SYSTEM/SPRINKLER <input type="checkbox"/>	Print Name _____ Signature _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC#	Company Name: _____ License #: _____ Phone #: _____	
SOLAR <input type="checkbox"/>	Print Name _____ Signature _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC#	Company Name: _____ License #: _____ Phone #: _____	
STATE SPECIALTY <input type="checkbox"/>	Print Name <u>TONY E JORDAN SR</u> Signature <u>[Signature]</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC#	Company Name: <u>JORDAN'S Concrete Const LLC</u> License #: <u>000210</u> Phone #: <u>386 961-5289</u>	

44549



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

LETTER OF AUTHORIZATION TO SIGN FOR PERMITS

I, David E. Mangrum (license holder name), licensed qualifier
for Limited Access Properties, Inc (Paul P. Barcia) (company name), do certify that
the below referenced person(s) listed on this form is/are contracted/hired by me, the license
holder, or is/are employed by me directly or through an employee leasing arrangement; or, is an
officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said
person(s) is/are under my direct supervision and control and is/are authorized to purchase
permits, call for inspections and sign on my behalf.

Printed Name of Person Authorized	Signature of Authorized Person
1. <u>Paul P. Barcia</u>	1. <u>[Signature]</u>
2.	2.
3.	3.
4.	4.
5.	5.

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances. I understand that the State and County Licensing Boards have the power and authority to discipline a license holder for violations committed by him/her, his/her agents, officers, or employees and that I have full responsibility for compliance with all statutes, codes and ordinances inherent in the privilege granted by issuance of such permits.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

David E. Mangrum
License Holders Signature (Notarized)

CGC1513670
License Number

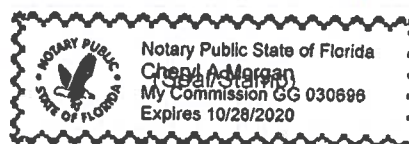
13 Feb 2020
Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Columbia

The above license holder, whose name is David E. Mangrum
personally appeared before me and is known by me or has produced identification
(type of I.D.) _____ on this 13th day of February, 20 20.

Cheryl A. Morgan
NOTARY'S SIGNATURE



CERTIFICATE OF COMPLIANCE & REQUEST FOR ISSUANCE OF BUILDING PERMIT

The undersigned hereby certify the following property is in compliance with the Town of Fort White's Comprehensive Plan and Land Development Regulations for the stated development purposes:

FILE No. **20-05**

OWNER'S NAME: LIMITED ACCESS PROPERTIES

ADDRESS: 18072 STATE ROAD 47 , FORT WHITE FL 32038

PARCEL: 00-00-00-14305-004

PROPERTY DESCRIPTION: COMM NE COR BLK I TOWN OF FORT WHITE, RUN W 210 FT, N 210 FT, E 210 TO R/W SR 47, S ALONG R/W LINE OF SR 47 FOR 210 FT TO POB & COMM SE COR BLK 8 TOWN OF FORT WHITE, RUN NORTH 483.83 FT TO POB, N 178.96 FT, N 82 DEG E 313.63 FT, SOUTH 209.78 FT, W 309.93 FT TO POB. 898-1594, DC 1056-791, WD 1085 -1882, PB 1243-1766, PR 1284- 717, CT 1298-806, WD 1315-525, WD 1383-1113,1411, QC 1389- 2131,

DEVELOPMENT: INDUSTRIAL

You are hereby authorized to issue the appropriate permits

Please email a copy of the Applicants permit to town@fortwhitefl.com

DATE February 6, 2020


AUTHORIZED BY: Katye Hughes, Town Clerk



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Profit Corporation

LIMITED ACCESS PROPERTIES, INC.

Filing Information

Document Number P94000087929

FEI/EIN Number 65-0546386

Date Filed 12/05/1994

State FL

Status ACTIVE

Principal Address

498 SW MANATEE TERR
FORT WHITE, FL 32038

Changed: 02/16/2007

Mailing Address

498 SW MANATEE TERR
FORT WHITE, FL 32038

Changed: 02/16/2007

Registered Agent Name & Address

BARCIA, PAUL P
498 SW MANATEE TERR
FORT WHITE, FL 32038

Address Changed: 02/16/2007

Officer/Director Detail

Name & Address

Title D

BARCIA, PAUL P
498 SW MANATEE TERE
FORT WHITE, FL 32038

Title D

BARCIA, ANN R
498 SW MANATEE TERR
FORT WHITE. FL 32038

Proudly Serving The People Of Columbia County
 135 NE Hernando Ave, Suite 125
 Lake City, Florida 32055-4006
www.columbiataxcollector.com

2019 REAL ESTATE

Account #: R14305-004

004

Skip The Trip! www.columbiataxcollector.com

- eCheck (Electronic payment from your checking account with no fee)
 - Credit Card (Fee added by payment processor - see website for fees)
- Print Your Receipt Instantly Online

R



LIMITED ACCESS PROPERTIES INC
 498 SW MANATEE TER
 FORT WHITE FL 32038

00-00-00 0000/0000 2.387 acres
 COMM NE COR BLK I TOWN OF FORT
 WHITE, RUN W 210 FT, N 210 FT,
 E 210 TO RW SR 47, S ALONG
 R/W LINE OF SR 47 FOR 210 FT
 See Tax Roll for extra legal.

AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS	8.0150	62,392		62,392	500.07
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	62,392		62,392	46.67
LOCAL	3.9880	62,392		62,392	248.82
CAPITAL OUTLAY	1.5000	62,392		62,392	93.59
SUWANNEE RIVER WATER MGT DIST	0.3840	62,392		62,392	23.96
LAKE SHORE HOSPITAL AUTHORITY	0.9620	62,392		62,392	60.02

PAID
 12/29/19

TOTAL MILLAGE

15.5970

TOTAL TAXES

\$973.13

eBill



Scan to view your
 bill or sign up to
 receive future bills
 by email.



columbiataxcollector.com
 Click "Register for eBilling"

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	RATE	AMOUNT
FFIR FIRE ASSESSMENTS	Per Parcel	60.78

TOTAL ASSESSMENTS

\$60.78

COMBINED TAXES AND ASSESSMENTS

\$1,033.91

IF POSTMARKED BY:
 PLEASE PAY ONLY
 ONE AMOUNT

NOV 30 2019
 \$992.55

DEC 31 2019
 \$1,002.89

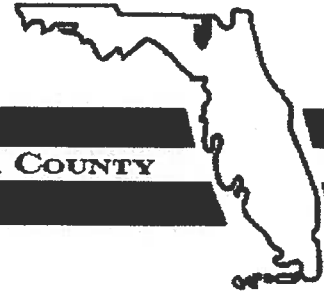
JAN 31 2020
 \$1,013.23

FEB 29 2020
 \$1,023.57

MAR 31 2020
 \$1,033.91

Keep this portion for your records
 WALK-IN CUSTOMERS PLEASE BRING FOR YOUR RECEIPT

District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Bucky Nash
District No. 4 - Toby Witt
District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued:	5/16/2019 10:14:04 AM
Address:	18072 SW STATE ROAD 47
City:	FORT WHITE
State:	FL
Zip Code	32038
Parcel ID	14305-004

REMARKS: Address for proposed structure on parcel.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

**COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT**

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com

Windstream Webmail**ppbarcia@windstream.net**

Hydrant GPM

From : Tad Cervantes
<tad_cervantes@columbiacountyfla.com>

Wed, Jan 22, 2020 05:00 PM

Subject : Hydrant GPM

To : ppbarcia@windstream.net

Mr. Barcia

The information you have asked for is as followed:

Holstein Hydrant to the south of your location: static pressure 26, residual pressure 32, pitot pressure 40 @ 2.5 orifice, flow rate 954 gpm.

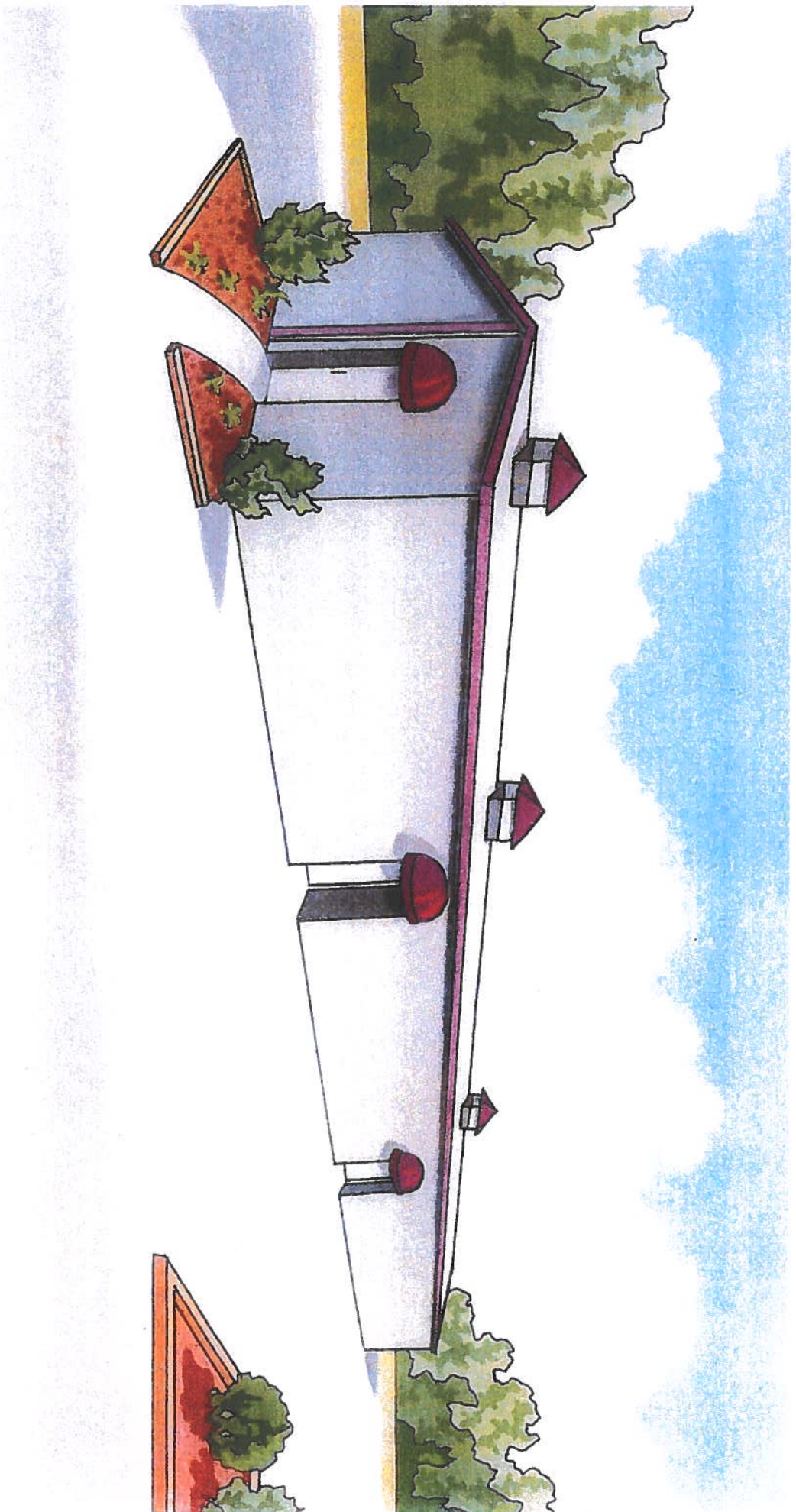
SR 47 and high school entrance hydrant north of your location: static pressure 60, residual pressure 40, pitot pressure 30 @ 2.5 orifice, flow rate 919 gpm.

If you have any further questions please contact be by email or a phone call.

Thank you,

Tad J Cervantes
Assistant Fire Chief
Columbia County Fire Rescue
P.O. Box 1529
Lake City, Florida 32056
Office 386-754-7071
Mobile (386) 867-2979

CONFIDENTIALITY NOTICE: This e-mail message, including any attachments, is for the sole use of the intended recipient(s) and may contain confidential, proprietary, and/or privileged information protected by law. If you are not the intended recipient, you may not use, copy or distribute this e-mail message or its attachments. If you believe you have received this e-mail message in error, please contact the sender by reply e-mail and telephone immediately and destroy all copies of the original message



Mini Storage Climate Control Building



COLUMBIA COUNTY FIRE RESCUE

Life Safety Services

P.O. BOX 1529 Lake City, Florida 32056
Office (386) 758-2120 Fax (386) 754-7064

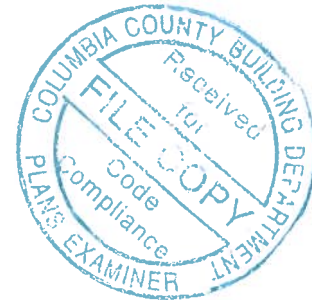
Fire Inspector
Chief Jeffery Crawford

26 February 2020

TO: Troy Crews
Columbia County Building and Zoning

FROM: Chief Jeffery Crawford
Fire Inspector #136416

RE: New Construction: Ace Secure Storage #44549



A plan review was performed on the proposed new construction for Ace Secure Storage, located on Hwy 47 in Fort White, FL 32055. This building was classified under Chapter 12 New Occupancy, of the Florida Fire Prevention Code, 2012 Fifth Edition.

I recommend Approval of the building with the following conditions:

Pending:

- Light Weight Truss Marking
 - Florida Statue, Section 633.027, (2008) requires the owner of any commercial, industrial, or multi-unit residential structure of three units or more constructed of light-frame trusses, to install a symbol adopted by the rule of the State Fire Marshal's Office. This rule establishes the dimensions, color, and location of the symbol to be applied to every commercial, industrial, and multi-unit residential structure of three units or more constructed of light-frame trusses.



- Emergency Lighting/Exit signs
 - NFPA 101 Life Safety Code, Chapter 42.2.9 emergency lighting shall be provided in normally occupied storage occupancies in accordance with section 7.9, except for

spaces occupied only during daylight hours with natural illumination in accordance with 42.2.8.2.

- Fire Extinguishers – ABC Fire extinguisher per exit door
- Access Box(es)
 - NFPA 1:18.2.2.1 states, The AHJ shall have the authority to require an access box(es) to be installed in an accessible location where access to or within a structure or area is difficult because of security. The access box(es) shall be of an approved type listed in accordance with UL1037.Knox Boxes are now a requirement for all new construction
- Electrical Disconnect
 - NFPA 1:11.1.7 states, “means shall be provided for the fire department to disconnect the electrical service to a building, structure or facility when the electrical is covered under the scope of NFPA70.”
 - NFPA 101:7.2.1.5.1 states, “Doors shall be arranged to be opened readily from egress side whenever building is occupied.”

Sincerely,

A handwritten signature in cursive script, appearing to read "Jeffrey Crawford".

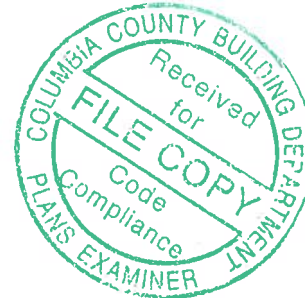
HERITAGE BUILDING SYSTEMS.

Established 1979
An NCI Company

September 25, 2019

Limited Access Properties INC
498 SW Manatee Terrace
Fort White, FL 32038

17-B-34825
Paul Barcia
18072 SW State Road 47
Fort White, FL 32038
(2) 50 x 200 x 9.5



To Whom It May Concern:

This is to certify that materials for the subject structure have been designed in accordance with the order documents, specifically as shown per the attached Engineering Design Criteria Sheet.

Aspects of code compliance as related to use or occupancy, such as sprinkler requirements, are not addressed by these documents.

These materials, when properly erected on an adequate foundation in accordance with the erection drawings as supplied and using the components as furnished, will meet the attached loading requirements.

This certification does not cover field modifications or the design of materials not furnished by Heritage Building Systems.

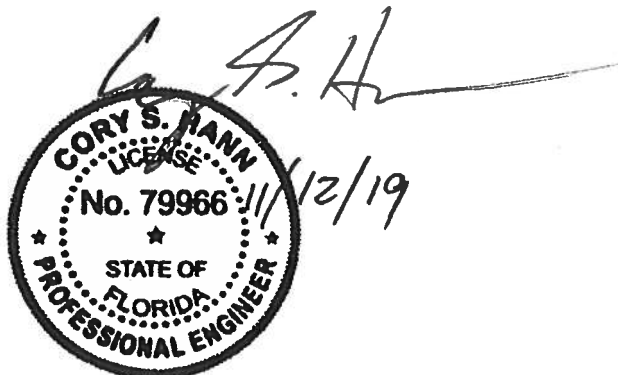
The attached design criteria information is to remain with and form part of this Letter of Certification.

The calculations and the metal building they represent are the product of Heritage Building Systems or a division of its affiliate NCI Building Systems. The engineer whose seal appears hereon is employed by either Heritage Building Systems or a division of its affiliate NCI Building Systems and is not the engineer of record for this project.

Cordially,

Heritage Building Systems
Materials for Metal Buildings
An NCI Company

Cory S. Hann, P.E.
Engineering Manager



HERITAGE BUILDING SYSTEMS.

Established 1979
An NCI Company

Building Code Florida Building Code 6th Ed (2017)

Occupancy Category..... I - Low

Roof Dead Load

Superimposed..... 2.000 psf

Collateral..... 3 psf

Roof Live Load..... 20.00 psf

Snow

Ground Snow Load (Pg)..... 0.00 psf

Snow Load Importance Factor (Is) 0.80

Snow Exposure Factor (Ce)..... 1.0

Thermal Factor (Ct)..... 1.2

Flat Roof Snow Load (Pf)..... 0 psf

Minimum Roof Snow Load (Pm)..... 0.00 psf

Wind

Basic Wind Speed..... 115 mph

Wind Importance Factor (Iw)..... 1.00

Wind Exposure Category C

Internal Pressure Coef (GCpi) 0.18/-0.18

Loads for components not provided by building manufacturer

Corner Areas 26.42 psf pressure -35.2026 psf suction

Other Areas 26.42 psf pressure -28.62 psf suction

These values are the maximum values required based on a 10 sq ft area.

Components with larger areas may have lower wind loads.

Seismic.

Seismic Importance Factor (Ie) 1.00

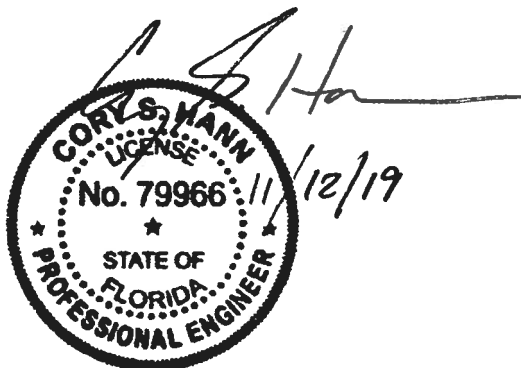
Seismic Design Category..... B

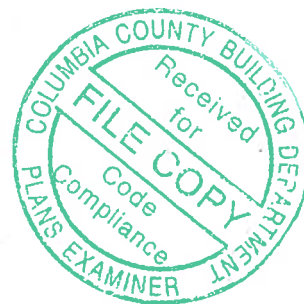
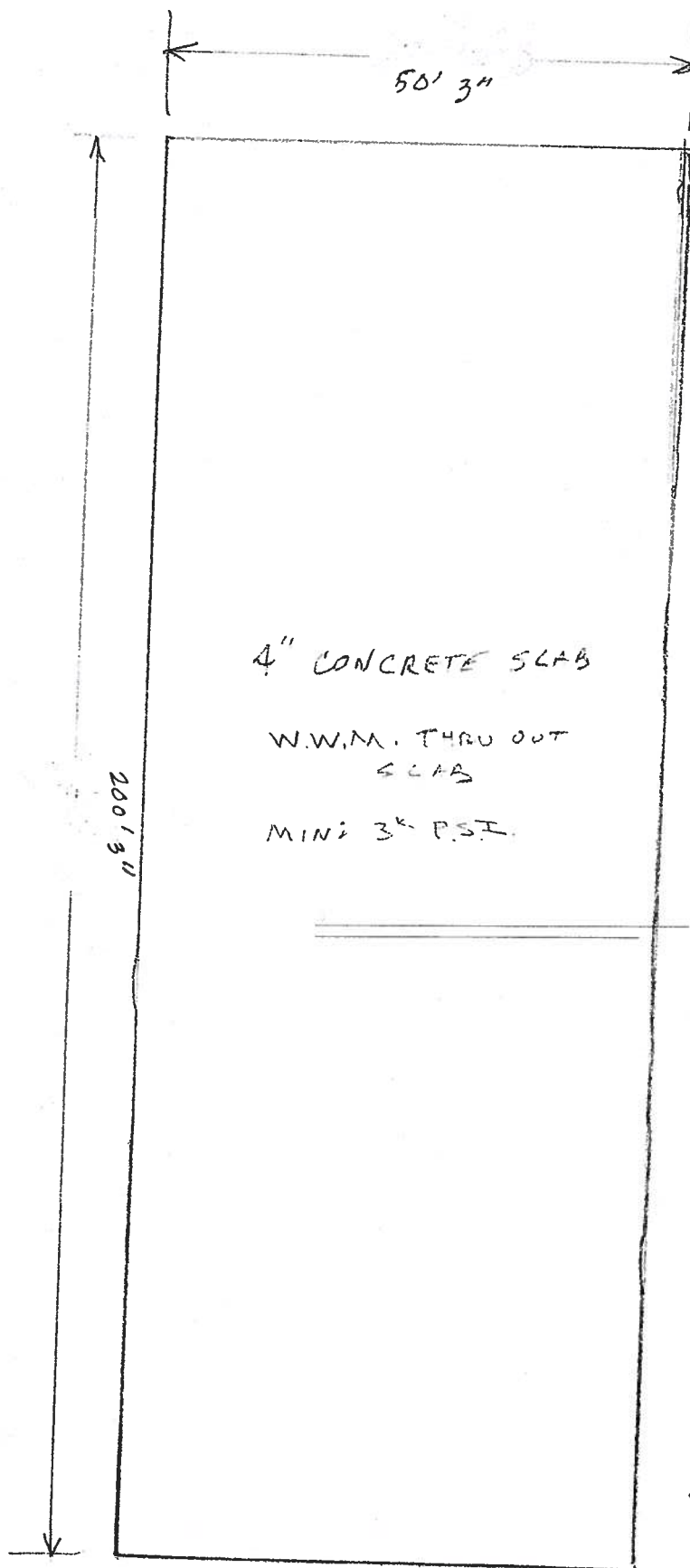
Soil Site Class..... D Stiff Soil

Ss..... 0.091 g Sds 0.097 g

Sl..... 0.052 g Sd1 0.083 g

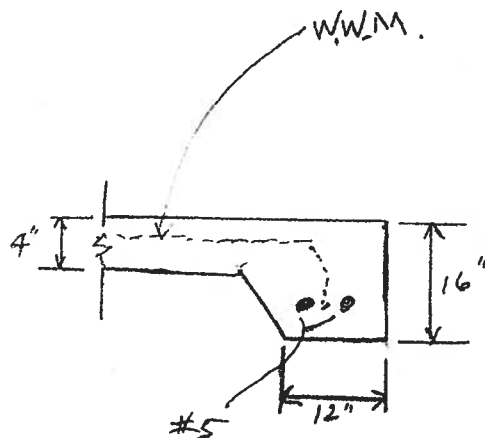
Design Base Shear in kips (V) Transverse 2.33 Longitudinal 2.36





Douglas H. Cox
1/14/15

TYPICAL FOOTING
N.T.S.



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY CONNECTION PERMIT
FOR ALL CATEGORIES****PART 1: PERMIT INFORMATION**APPLICATION NUMBER: 2019-A-292-00031Permit Category: B - 21 to 600 VTPD

Access Classification: _____

Project: Limited Access PropertiesPermittee: TORI HUMPHRIESSection/Mile Post: /

State Road: _____

Section/Mile Post: /

State Road: _____

PART 2: PERMITTEE INFORMATIONPermittee Name: TORI HUMPHRIESPermittee Mailing Address: PO Box 3823City, State, Zip: Lake City, Florida 32056Telephone: (386) 752-4675 ext. _____

Engineer/Consultant/or Project Manager: _____

Engineer responsible for construction inspection: _____

NAME

P.E. #

Mailing Address: _____

City, State, Zip: _____

Telephone: _____ FAX, Mobile Phone, etc. Fax: / Mobile: _____**PART 3: PERMIT APPROVAL**

The above application has been reviewed and is hereby approved subject to all Provisions as attached.

Permit Number: 2019-A-292-00031

Department of Transportation

Signature: Troy RegisterTitle: MAINTENANCE MANAGER/PERMITSDepartment Representative's Printed Name Troy RegisterTemporary Permit ☐ YES ☒ NO (If temporary, this permit is only valid for 6 months)Special provisions attached ☐ YES ☒ NODate of Issuance: 12/19/2019

If this is a normal (non-temporary) permit it authorizes construction for one year from the date of issuance. This can only be extended by the Department as specified in 14-96.007(6).

See following pages for General and Special Provisions

Approved

2019-A-292-00031

Troy Register

12/19/2019

PART 4: GENERAL PROVISIONS

1. Notify the Department of Transportation Maintenance Office at least 48 hours in advance of starting proposed work.
Phone: 3869617153 , Attention: Troy Register
2. A copy of the approved permit must be displayed in a prominent location in the immediate vicinity of the connection construction.
3. Comply with Rule 14-96.008(1), F.A.C., Disruption of Traffic.
4. Comply with Rule 14-96.008(7), F.A.C., on Utility Notification Requirements.
5. All work performed in the Department's right of way shall be done in accordance with the most current Department standards, specifications and the permit provisions.
6. The permittee shall not commence use of the connection prior to a final inspection and acceptance by the Department.
7. Comply with Rule 14-96.003(3)(a), F.A.C., Cost of Construction.
8. If a Significant Change of the permittee's land use, as defined in Section 335.182, Florida Statutes, occurs, the Permittee must contact the Department.
9. Medians may be added and median openings may be changed by the Department as part of a Construction Project or Safety Project. The provision for a median might change the operation of the connection to be for right turns only.
10. All conditions in NOTICE OF INTENT WILL APPLY unless specifically changed by the Department.
11. All approved connection(s) and turning movements are subject to the Department's continuing authority to modify such connection(s) or turning movements in order to protect safety and traffic operations on the state highway or State Highway System.
12. **Transportation Control Features and Devices in the State Right of Way.** Transportation control features and devices in the Department's right of way, including, but not limited to, traffic signals, medians, median openings, or any other transportation control features or devices in the state right of way, are operational and safety characteristics of the State Highway and are not means of access. The Department may install, remove or modify any present or future transportation control feature or device in the state right of way to make changes to promote safety in the right of way or efficient traffic operations on the highway.
13. The Permittee for him/herself, his/her heirs, his/her assigns and successors in interest, binds and is bound and obligated to save and hold the State of Florida, and the Department, its agents and employees harmless from any and all damages, claims, expense, or injuries arising out of any act, neglect, or omission by the applicant, his/her heirs, assigns and successors in interest that may occur by reason of this facility design, construction, maintenance, or continuing existence of the connection facility, except that the applicant shall not be liable under this provision for damages arising from the sole negligence of the Department.
14. The Permittee shall be responsible for determining and notify all other users of the right of way.
15. Starting work on the State Right of Way means that I am accepting all conditions on the Permit.

Approved
2019-A-292-00031
Troy Register
12/19/2019

PART 5: SPECIAL PROVISIONS**NON-CONFORMING CONNECTIONS:**☐ YES ☒ NO

If this is a non-conforming connection permit, as defined in Rule Chapters 14-96 and 14-97, then the following shall be a part of this permit.

1. The non-conforming connection(s) described in this permit is (are) not permitted for traffic volumes exceeding the Permit Category on page 1 of this permit, or as specified in "Other Special Provisions" below.
2. All non-conforming connections will be subject to closure or relocation when reasonable access becomes available in the future.

OTHER SPECIAL PROVISIONS:

Pre-construction meeting required

PART 6: APPEAL PROCEDURES

You may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. If you dispute the facts stated in the foregoing Notice of Intended Department Action (hereinafter Notice), you may petition for a formal administrative hearing pursuant to section 120.57 (1), Florida Statutes. If you agree with the facts stated in the Notice, you may petition for an informal administrative hearing pursuant to section 120.57(2), Florida Statutes. You must file the petition with:

Clerk of Agency Proceedings
Department of Transportation
Haydon Burns Building
605 Suwannee Street, M.S. 58
Tallahassee, Florida 32399-0458

The petition for an administrative hearing must conform to the requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code, and be filed with the Clerk of Agency Proceedings by 5:00 p.m. no later than 21 days after you received the Notice. The petition must include a copy of the Notice, be legible, on 8 1/2 by 11 inch white paper, and contain:

1. Your name, address, telephone number, any Department of Transportation identifying number on the Notice, if known, the name and identification number of each agency affected, if known, and the name, address, and telephone number of your representative, if any, which shall be the address for service purposes during the course of the proceeding.
2. An explanation of how your substantial interests will be affected by the action described in the Notice;
3. A statement of when and how you received the Notice;
4. A statement of all disputed issues of material fact. If there are none, you must so indicate;
5. A concise statement of the ultimate facts alleged, including the specific facts you contend warrant reversal or modification of the agency's proposed action, as well as an explanation of how the alleged facts relate to the specific rules and statutes you contend require reversal or modification of the agency's proposed action;
6. A statement of the relief sought, stating precisely the desired action you wish the agency to take in respect to the agency's proposed action.

If there are disputed issues of material fact a formal hearing will be held, where you may present evidence and argument on all issues involved and conduct cross-examination. If there are no disputed issues of material fact an informal hearing will be held, where you may present evidence or a written statement for consideration by the Department.

Mediation, pursuant to section 120.573, Florida Statutes, may be available if agreed to by all parties, and on such terms as may be agreed upon by all parties. The right to an administrative hearing is not affected when mediation does not result in a settlement.

Your petition for an administrative hearing shall be dismissed if it is not in substantial compliance with the above requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code. If you fail to timely file your petition in accordance with the above requirements, you will have waived your right to have the intended action reviewed pursuant to chapter 120, Florida Statutes, and the action set forth in the Notice shall be conclusive and final.

Approved
Troy Register
12/19/2019

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO ENSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE TOWN OF FORT WHITE OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE ISSUED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION 102 SELF-CERTIFICATION, FLORIDA DEPARTMENT OF TRANSPORTATION DRIVEWAY CONNECTION PERMIT.
3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. BOUNDARY INFORMATION SHOWN WAS OBTAINED FROM A BOUNDARY SURVEY PREPARED BY GEOLINE SURVEYING INC., FLORIDA CERTIFICATE NO. 7082.
5. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED, IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
6. THE SITE IS LOCATED IN SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.
7. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED. THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.
8. THE STORMWATER BASIN IS DESIGNED IN ACCORDANCE WITH SWMDM APPLICANT HANDBOOK VOLUME II AND 62-330 F.A.C.
9. ALL SLOPES OF THE STORMWATER BASIN SHALL BE GRASSSED, ALL SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED SOO.
10. ALL DISTURBED AREAS NOT SOODED SHALL BE SEEDED WITH A Mixture OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WILLET.
11. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.
12. ALL UTILITY CONSTRUCTION SHALL MEET THE TOWN OF FORT WHITE WATER AND WASTEWATER UTILITY STANDARDS, AVAILABLE FROM TOWN HALL OR PUBLIC WORKS.
13. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF FORT WHITE LAND DEVELOPMENT REGULATIONS.
14. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE CONNECTION TO THE MANHOLE COUPLER. THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE COUPLER, NET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.
15. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.
16. CONTRACTOR SHALL PROVIDE ACTUAL INVERT ELEVATIONS ON ALL DRAINAGE STRUCTURES, INCLUDING CURBVERTS, PRIOR TO PLACING ANY BASE MATERIAL. ELEVATIONS FROM THE PLANS SHALL BE APPROVED BY THE ENGINEER BEFORE CONTINUING WORK.
17. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION). ANY DEVELOPMENTS, AND THE TOWN OF FORT WHITE SPECIFICATIONS, AND UNLESS OTHERWISE NOTED.
18. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING GRADING, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL TO A DEPTH OF 24" BELOW FINISHED GRADE WITHIN THE CONSTRUCTION LIMITS.
19. THE CONTRACTOR SHALL NOTIFY THE TOWN OF FORT WHITE AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
20. THE CONTRACTOR SHALL SUBMIT A NOTICE OF CONSTRUCTION COMMENCEMENT TO THE WATER MANAGEMENT DISTRICT AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
21. NO WORK SHALL BE PERFORMED ON SATURDAY OR SUNDAY WITHOUT PRIOR NOTIFICATION TO THE TOWN AND THE TOWN ENGINEER.
22. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER 61G17 F.A.C. FOR THE STORMWATER MANAGEMENT SYSTEMS. INCLUDE HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE IN ACCORDANCE WITH THE PLANS. A COPY OF THE AS-BUILT SURVEY MUST BE SUBMITTED IN A COLORED FORMAT) MUST BE SUBMITTED TO THE TOWN OF FORT WHITE, FLORIDA AND THE ENGINEER.
23. THE CONTRACTOR SHALL SUBMIT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTICE OF INTENT ALONG WITH SUPPORTING DOCUMENTATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMIT FEES.
24. IF DURING CONSTRUCTION OR OPERATION OF THE STORM WATER MANAGEMENT SYSTEM A STRUCTURAL FAILURE IS OBSERVED THAT HAS THE POTENTIAL TO CAUSE THE DIRECT DISCHARGE OF SURFACE WATER INTO THE FLORIDIAN AQUIFER SYSTEM, CORRECTIVE ACTIONS DESIGNED OR APPROVED BY A REGISTERED PROFESSIONAL ENGINEER SHALL BE TAKEN AS SOON AS PRACTICAL TO CORRECT THE FAILURE. CORRECTIVE ACTIONS SHALL BE APPROVED BY A REGISTERED PROFESSIONAL ENGINEER AS SOON AS PRACTICAL TO THE DEPARTMENT FOR REVIEW AND APPROVAL THAT PROVIDES REASONABLE ASSURANCE THAT THE BREACH WILL BE PERMANENTLY CORRECTED.
25. ALL CONCRETE SLABS ABUTTING EXTERIOR WALLS SHALL BE SOIL TREATED FOR TERMITES.

ACE SECURE STORAGE						
PARCEL ID NUMBER	00-00-00-14305-004					
ZONING	A					
LAND USE	A					
CITY COUNCIL	4					
DISTRICT NUMBER						
PHYSICAL ADDRESS	16072 SW SR 47					
	FORT WHITE, FLORIDA 32038					
PROJECT PROPERTY BOUNDARY						
TOTAL PROPERTY BOUNDARY AREA			SF	ACRES	% OF SITE	
PROJECT AREA / LIMITS OF CONSTRUCTION (LOC)			104532	2.40	100.00%	% OF LOC
BOTH ON-SITE & LOC			104532	2.40	100.00%	100.00%
EXISTING IMPERVIOUS AREA ON-SITE						
EXISTING ASPHALT PAVEMENT			0	0.00	0.00%	0.00%
EXISTING CONCRETE			0	0.00	0.00%	0.00%
EXISTING BUILDING			0	0.00	0.00%	0.00%
EXISTING STORMWATER MANAGEMENT FACILITY			0	0.00	0.00%	0.00%
TOTAL EXISTING IMPERVIOUS AREA			0	0.00	0.00%	0.00%
PROPOSED IMPERVIOUS AREA						
EXISTING ASPHALT PAVEMENT TO REMAIN			0	0.00	0.00%	0.00%
EXISTING CONCRETE TO REMAIN			0	0.00	0.00%	0.00%
EXISTING BUILDING TO REMAIN			0	0.00	0.00%	0.00%
EXISTING STORMWATER MANAGEMENT FACILITY TO REMAIN			0	0.00	0.00%	0.00%
PROPOSED ASPHALT PAVEMENT			34822	0.80	33.31%	33.31%
PROPOSED CONCRETE			590	0.01	0.56%	0.56%
PROPOSED BUILDING			20000	0.46	19.13%	19.13%
PROPOSED STORMWATER MANAGEMENT FACILITY			15423	0.35	14.75%	14.75%
TOTAL PROPOSED IMPERVIOUS AREA (INCLUDING SWMF)			70835	1.63	67.76%	67.76%
TOTAL PROPOSED PERVIOUS AREA			33987	0.77	32.24%	32.24%
PROPOSED PARKING LANDSCAPE AREA			3828	0.09	3.66%	
1 PER 1,000 SF @ 20,000 SF = (1 X 20 = 20) + (1 PER COMPANY VEHICLE @ 0 = (1 X 0 = 0) TOTAL = 20 + 1 ADA = 21 (INCLUDING 1 ADA SPACE) PLUS 1 PER ACCESSIBLE PAVEMENT SPACE; 2 BICYCLE SPACES;						
REQUIRED PARKING			31 PARKING SPACES (INCLUDING 1 ADA SPACE)			

Approved
19-A-292
Troy Reg
12/19/20

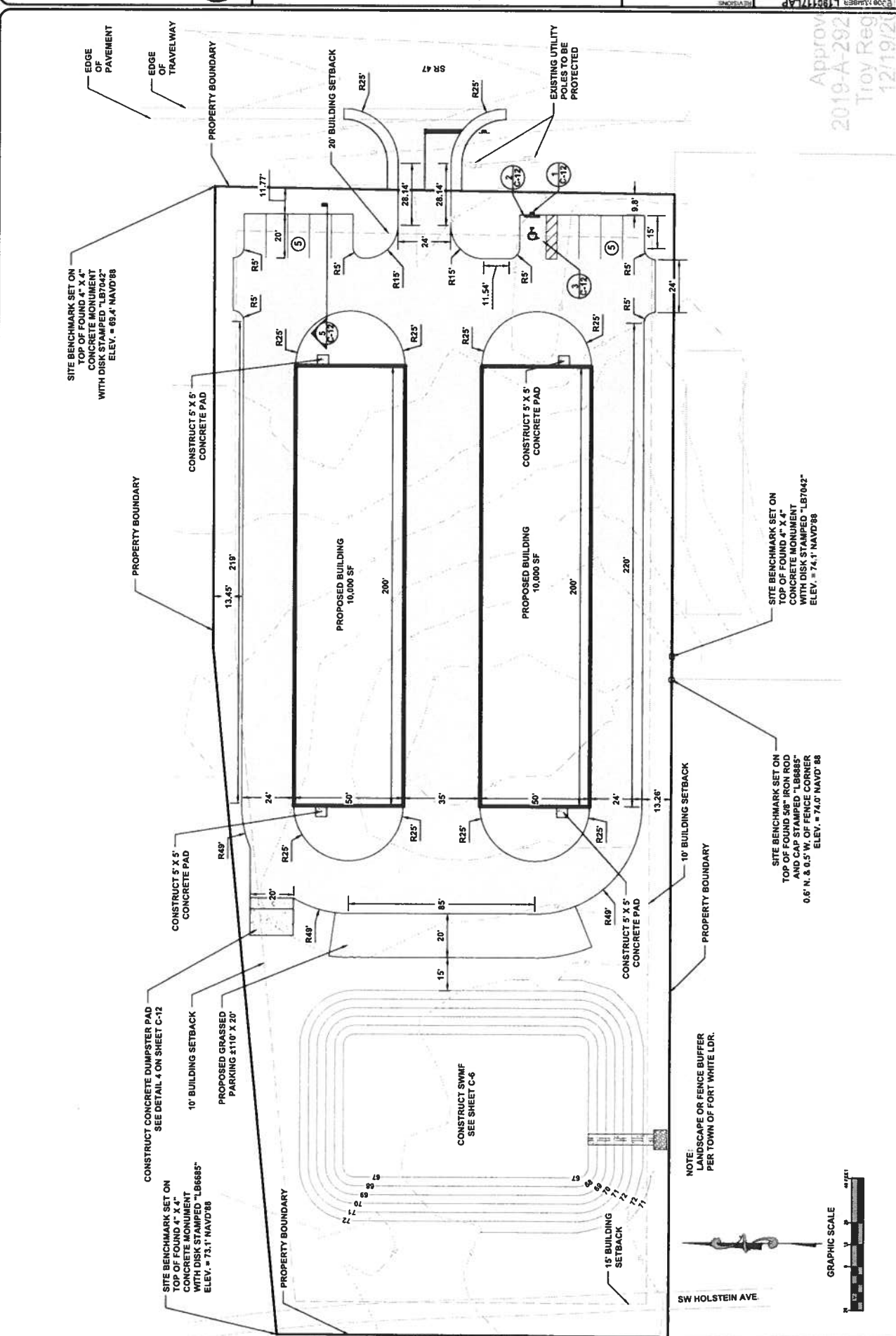
North Florida Professional Services, Inc.
P.O. BOX 3823
Lake City, FL 32025
PH. 386-752-4675
Fax. 386-752-4674
Eng. Lic. 29011



GENERAL NOTES
ACE SECURE STORAGE
FORT WHITE, FLORIDA

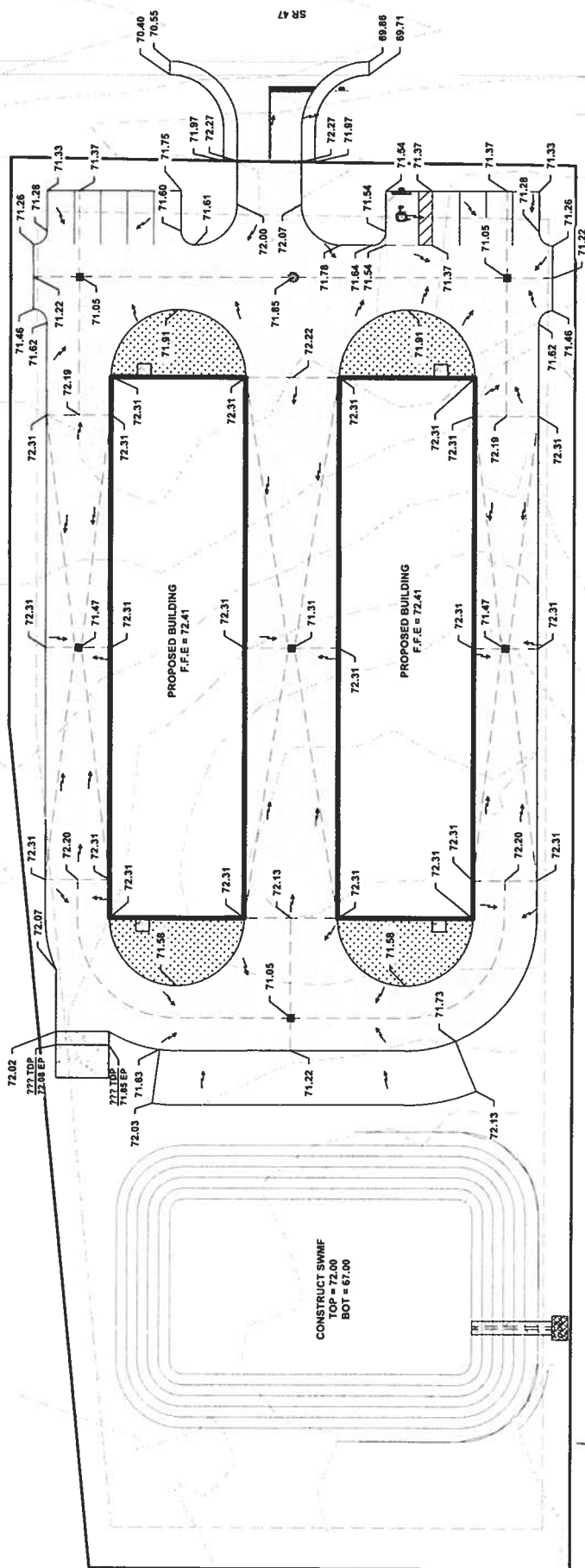
SHEET NO. 1
 610267-1
 P.E. NO.-43508
 GREGORY B. FLEY
 ENGINEER OF RECORD
 RD JC TH
 DESIGNED BY: DAY, L. BY: CHECKED BY:

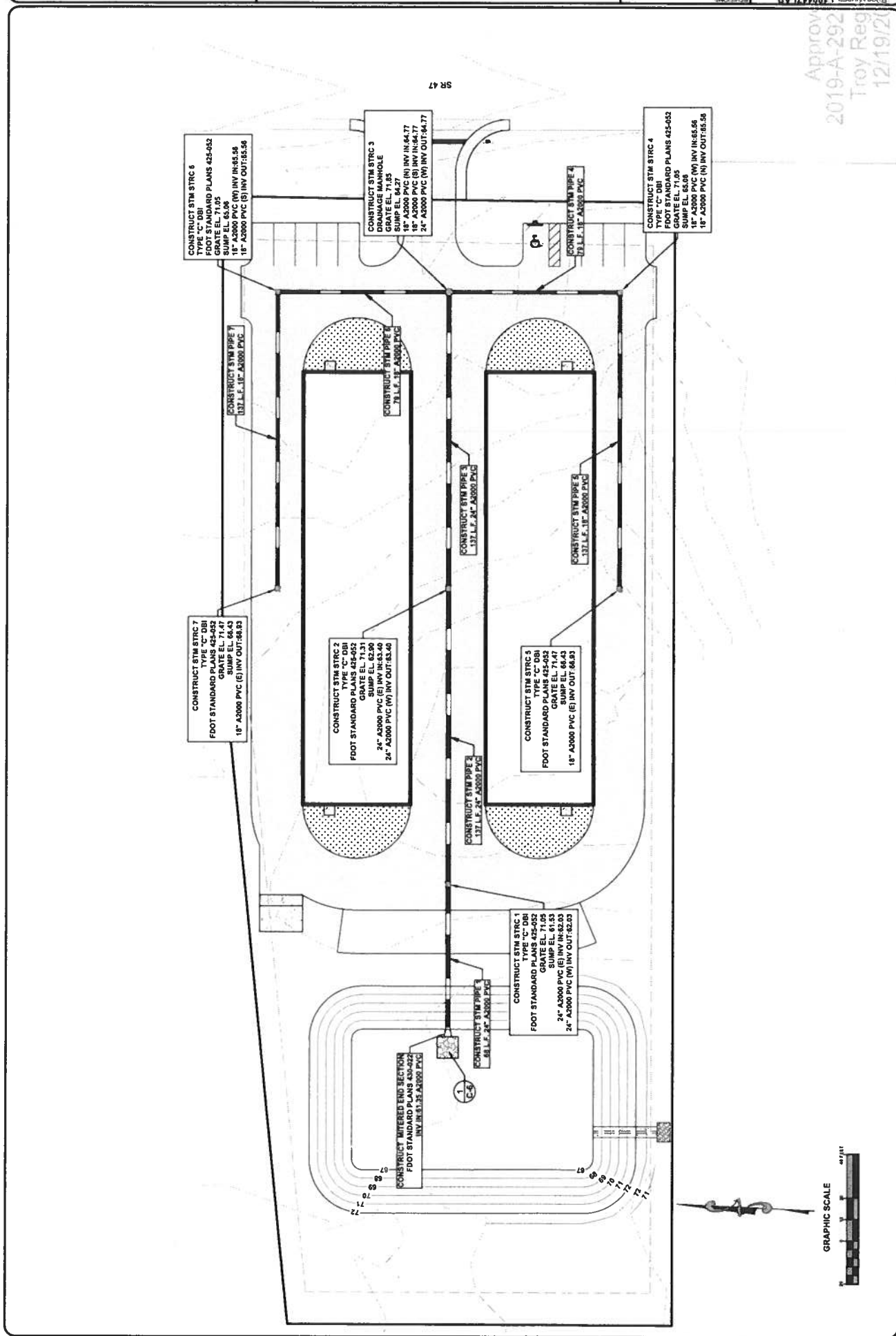
SITE PLAN

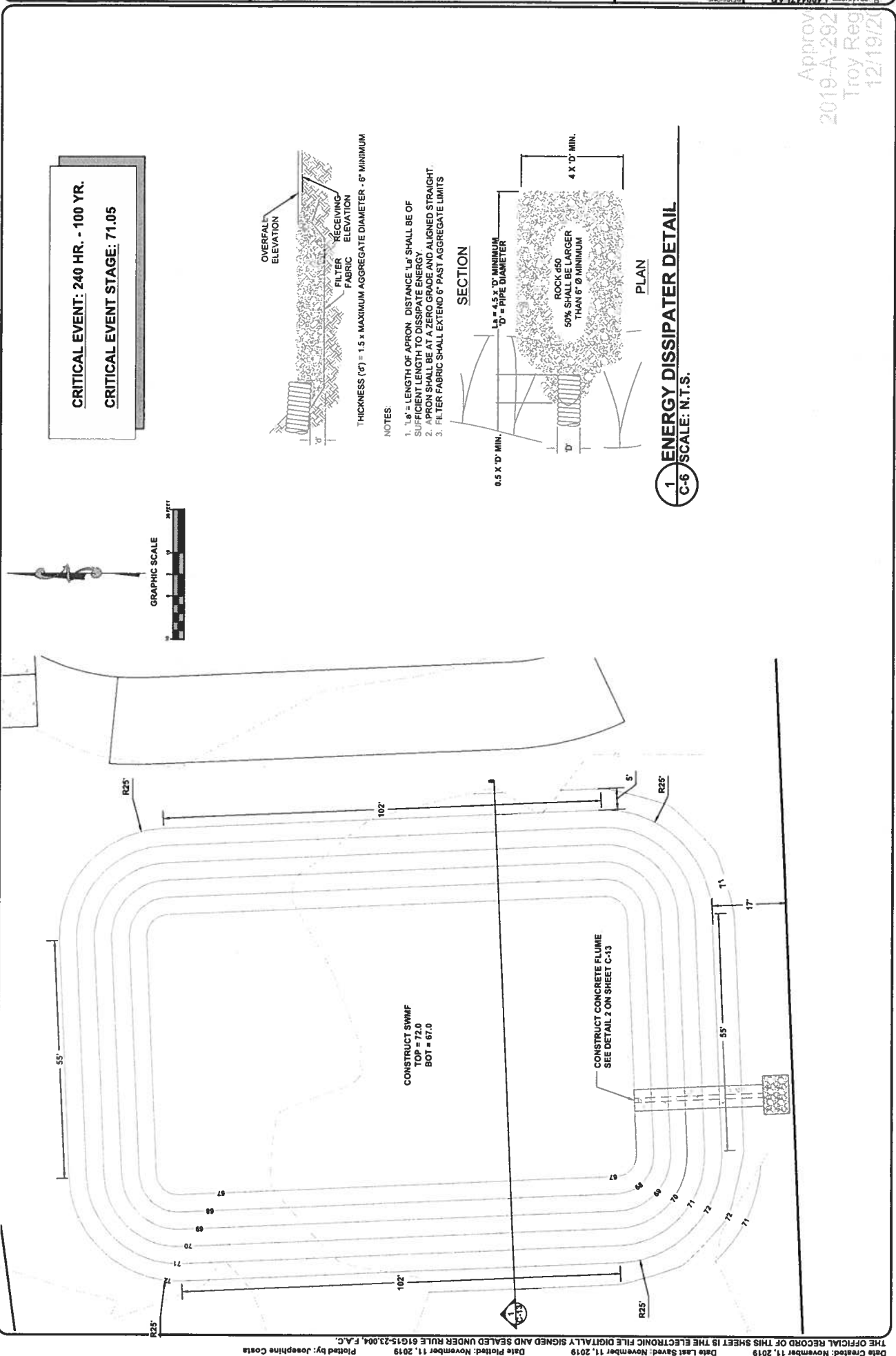


NOTE:
LANDSCAPE OR FENCE BUFFER
PER TOWN OF FORT WHITE LDR.

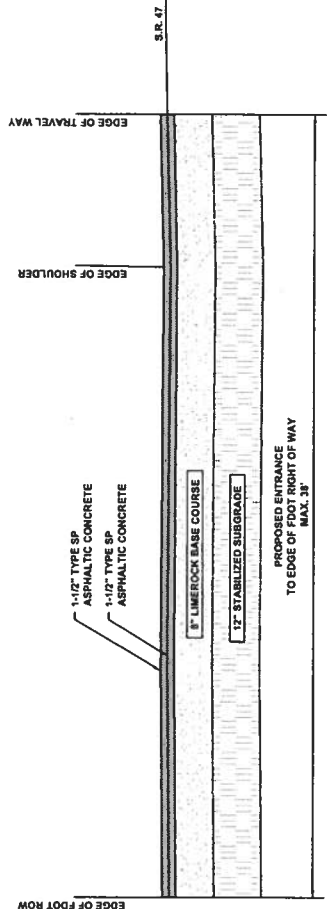
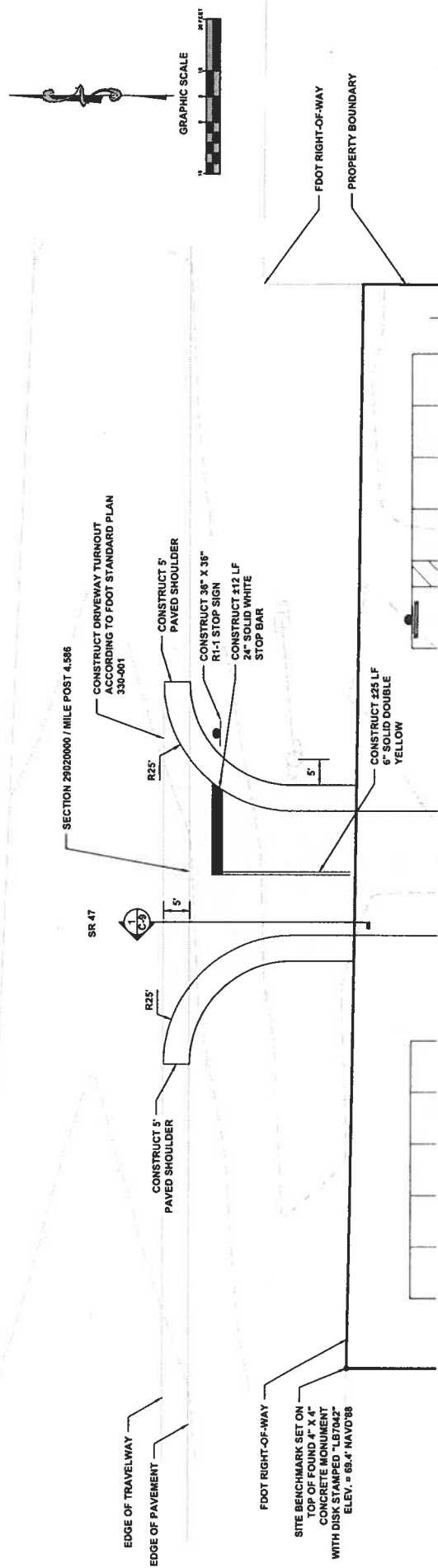
GRAPHIC SCALE







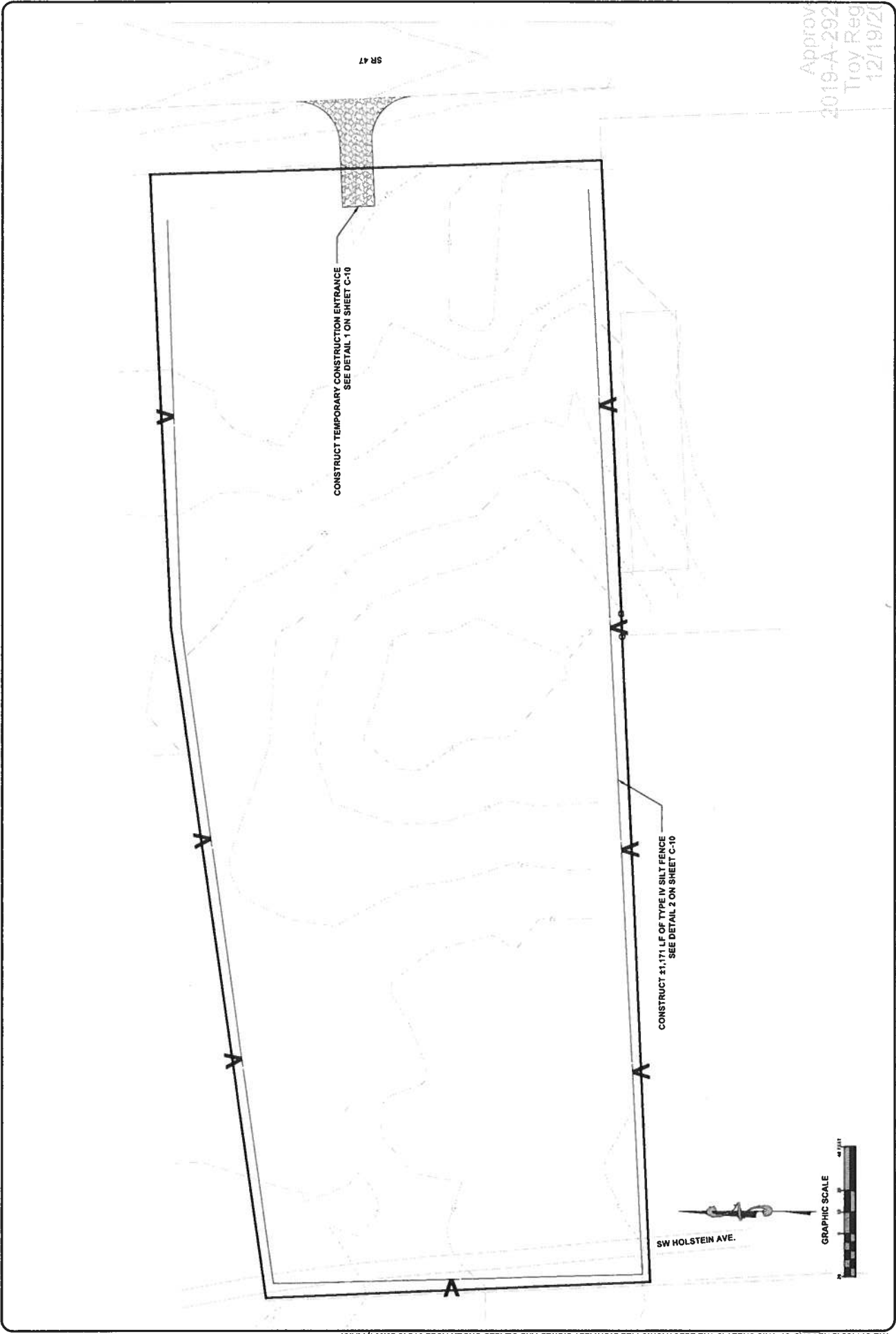




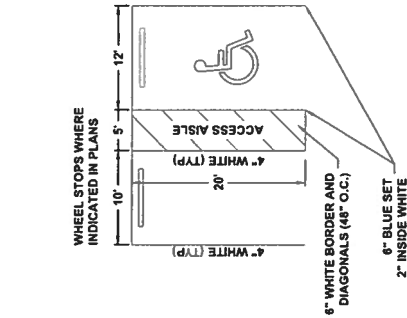
1 FDOT ACCESS CONNECTION PROFILE
C-9 SCALE: N.T.S.

FDOT CONNECTION NOTES:

1. THE EXISTING ASPHALT PAVED SHOULDER SHALL BE MECHANICALLY SAW CUT AND REMOVED AS WELL AS ALL PRE-EXISTING SUBGRADE MATERIALS WITHIN THE LIMITS OF THE PROJECT IMPROVEMENTS WORK ZONE OR AS MAY BE CALLED FOR UNDER THE STATE FOOT PERMIT.
2. ALL PERMITTED PAVEMENT STRIPING PERTAINING TO THIS ACCESS PERMIT SHALL REQUIRE CERTIFIED LEAD FREE THERMOPLASTIC MARKING MATERIALS AS THE FINAL PLACEMENT ITEM. TEMPORARY TRAFFIC BEARING SHALL BE REQUIRED TO BE IN PLACE 30 MINS. BEFORE OFFICIAL SUNDOWN. BOTH TEMPORARY TRAFFIC BEARING PAINTS AND THERMOPLASTIC MARKING MATERIALS SHALL BE LEAD FREE AND MEET WESTVIAN FOOT MINIMUM SPECIFICATIONS FOR NIGHT REFLECTIVITY.
3. TEMPORARY ROPS SHALL BE INSTALLED DURING BOTH TEMPORARY AND PERMANENT STRIPING PHASES. REMOVAL OF EXISTING STRIPING SHALL BE CALLED TO A DEPTH OF 1".
4. FAILURE BY THE PERMITTEE AND/OR INSURER CONTRACTOR TO HAVE A CERTIFIED STRIPING CREW ON-SITE BEFORE THE START OF PAVING CAN BE REASON TO SUSPEND THE APPROVED PERMIT UNTIL SUCH TIME AS THE PERMITTEE AND/OR INSURER CONTRACTOR CORRECTS THE SITUATION TO THE SATISFACTION OF THE ON-SITE STATE FOOT PERMITS PERSONNEL/SPECTOR.
5. FOR MAINTENANCE OF TRAFFIC PLAN REFER TO FOOT STANDARD PLANS INDEX 102-402 AND 102-403.
6. 24 INCH STOP BARS TO BE PLACED AT ALL INTERSECTIONS IN ACCORDANCE WITH CURRENT EDITION FOOT STANDARD PLANS INDEX 111-001.

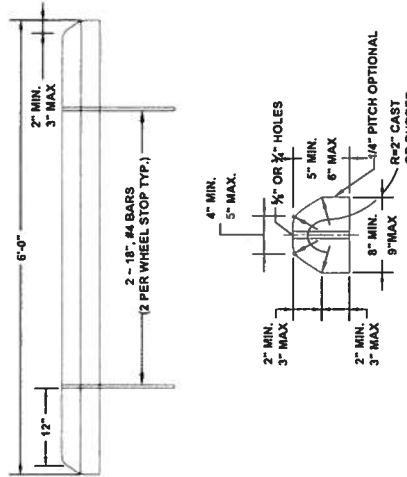


3 HANDICAP PARKING STALL DETAIL

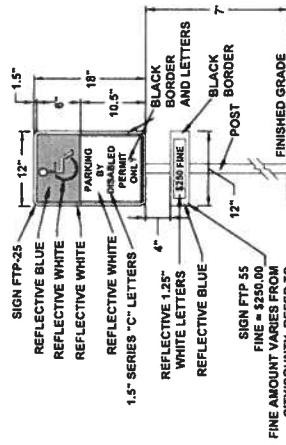


1. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
2. 5' HANDICAPPED AISLE MAY BE PLACED ON THE RIGHT OR LEFT SIDE OF PARKING STALL.
3. HANDICAPPED PARKING SYMBOL SHALL BE 3 OR 5 FT. HIGH.
4. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 585A.

2 WHEEL STOP DETAIL



1 HANDICAP PARKING SIGN DETAIL



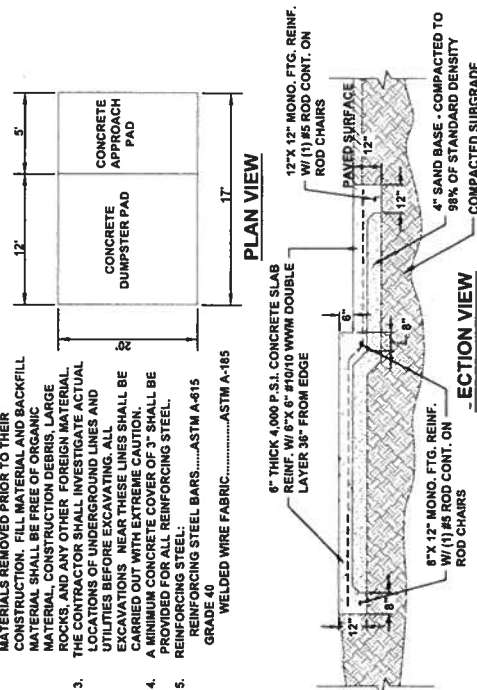
- SIGN NOTES:**
1. SIGN CONSTRUCTION, DESIGN AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUTES.

1 HANDICAP
C-12 SCALE: N.T.S.

CONCRETE NOTES:

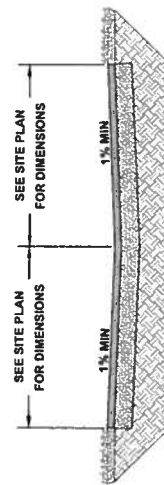
1. THE DESIGN OF FOUNDATIONS AND RETAINING WALLS SHALL ASSUME A MINIMUM BEARING CAPACITY OF 3,000 PSF.
2. THE AREA UNDER FOOTINGS, FOUNDATIONS, AND CONCRETE SLABS ON-GRADE SHALL HAVE ALL VEGETATION, STUMPS, ROOTS, AND FOREIGN MATERIALS REMOVED PRIOR TO THEIR CONSTRUCTION. FILL MATERIAL AND BACKFILL MATERIAL SHALL BE FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, LARGE ROCKS, AND ANY OTHER FOREIGN MATERIAL.
3. THE CONTRACTOR SHALL INVESTIGATE ACTUAL CONDITIONS OF UNDERGROUND UTILITIES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION. A MINIMUM COVER OF 3' SHALL BE PROVIDED FOR ALL REINFORCING STEEL.
5. REINFORCING STEEL:
REINFORCING STEEL BARS.....ASTM A-615
GRADE 40
REINFORCING WIRE.....ASTM A-654
GRADE 40

PLAN VIEW



4 DUMPSTER PAD DETAIL

5 PARKING APRON TYPICAL SECTION



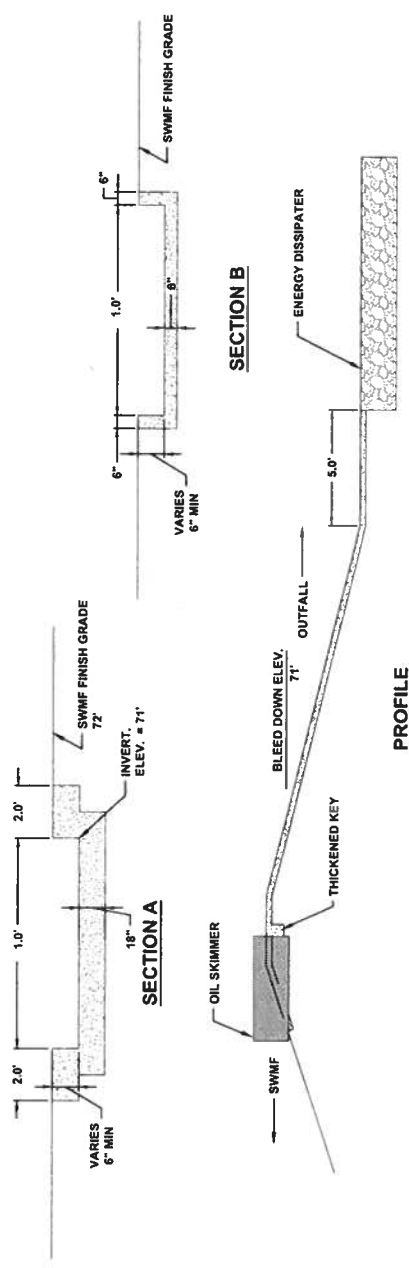
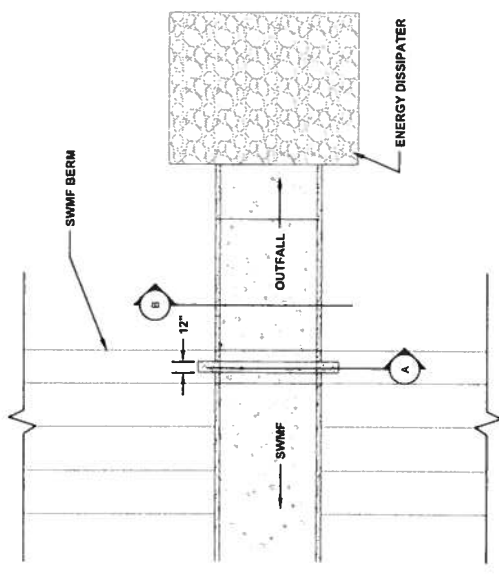
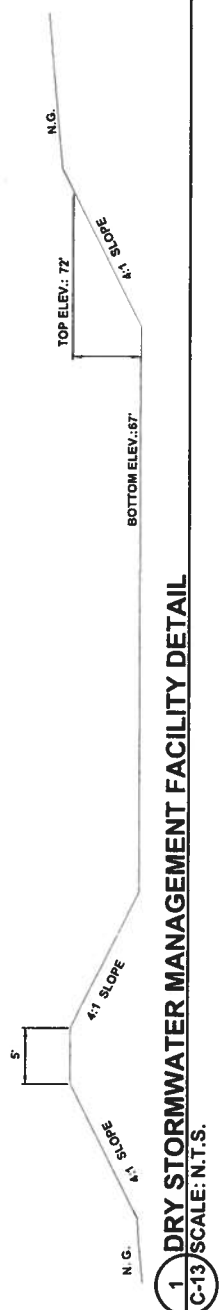
2" TYPE SP 9.5 ASPHALTIC CONCRETE
6" LIMEROCK BASE COURSE
12" COMPACTED SUBGRADE
MINIMUM 1.99 40

North Florida Professional Services, Inc.
P.O. BOX 180978
Tallahassee, FL 32318
Tel: 904-335-1525
Fax: 904-335-1525
Eng. Lic. 24011



MISC DETAILS
FORT WHITE, FLORIDA
ACE SECURE STORAGE

REVISIONS
JOB NUMBER: L190117LAP
DATE: 11/17/2019
DESIGNED BY: JAC
CHECKED BY: JAC
DATE: 11/17/2019
E.N. NO. 43620



2019-A-292
Troy Reg
12/19/20

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**RECEIPT OF CONNECTION APPLICATION
 AND FEE (OR WAIVER OF FEE)**

IMPORTANT NOTE: Even though your application has been accepted, it may not be complete. We will contact you if more information is needed.

(1) **APPLICATION NUMBER:** 2019-A-292-00031

APPLICANT:

(2) **Name/Address:** TORI HUMPHRIES
PO Box 3823
Lake City, Florida 32056

(3) **Project Name:** _____

	<u>VEHICLES PER DAY</u>	<u>FEE</u>
(4) Fee	<input type="checkbox"/> Category A 1-20	\$50.00
	<input checked="" type="checkbox"/> Category B 21-600	\$250.00
	<input type="checkbox"/> Category C 601-1,200	\$1,000.00
	<input type="checkbox"/> Category D 1,201-4,000	\$2,000.00
	<input type="checkbox"/> Category E 4,001-10,000	\$3,000.00
	<input type="checkbox"/> Category F 10,001-30,000	\$4,000.00
	<input type="checkbox"/> Category G 30,001 +	\$5,000.00
	<input type="checkbox"/> Temporary	\$250.00
	<input type="checkbox"/> Safety	NO FEE
	<input type="checkbox"/> Government Entity	NO FEE

(5) **Application Fee Collected \$** 250

Payment Type:

- ☐ Money Order
☒ Check (check number 1009)
☐ Cash
☐ Credit Card (online only)

(6) **Fee Collected By**

Name Dan Morgan

Signature Dan Morgan

Date 10/30/2019 District 2 Unit 292

(7) **Receipt Given Back to Applicant Via**

☐ Hand Delivery ☒ Mail ☐ Courier Service ☐ Other ☐ Electronically

Applicant (or Agent) Signature (if available) TORI HUMPHRIES

This form bears your application number and serves as your receipt.

(8) **If fee is waived, give justification below or on separate sheet.**

FOR AGENCY USE ONLY – ATTACH COPY OF CHECK ON THE NEXT PAGE

Make Checks payable to: State of Florida Department of Transportation

Approved

2019-A-292-00031

Froy Register

12/19/2019

Columbia County Property Appraiser

Jeff Hampton

2019 Preliminary Certified Values

updated: 8/14/2019

Parcel: << 00-00-00-14305-004 >>

Owner & Property Info

Result: 2 of 2

Owner	LIMITED ACCESS PROPERTIES INC 498 SW MANATEE TER FORT WHITE, FL 32038		
Site	18072 STATE ROAD 47, FORT WHITE		
Description*	COMM NE COR BLK I TOWN OF FORT WHITE, RUN W 210 FT, N 210 FT, E 210 TO R/W SR 47, S ALONG R/W LINE OF SR 47 FOR 210 FT TO POB & COMM SE COR BLK 8 TOWN OF FORT WHITE, RUN NORTH 483.83 FT TO POB, N 178.96 FT, N 82 DEG E 313.63 FT, SOUTH 209.78 FT, W 309.93 F ...more>>>		
Area	2.387 AC	S/T/R	33-6S-16
Use Code**	VACANT (000000)	Tax District	4

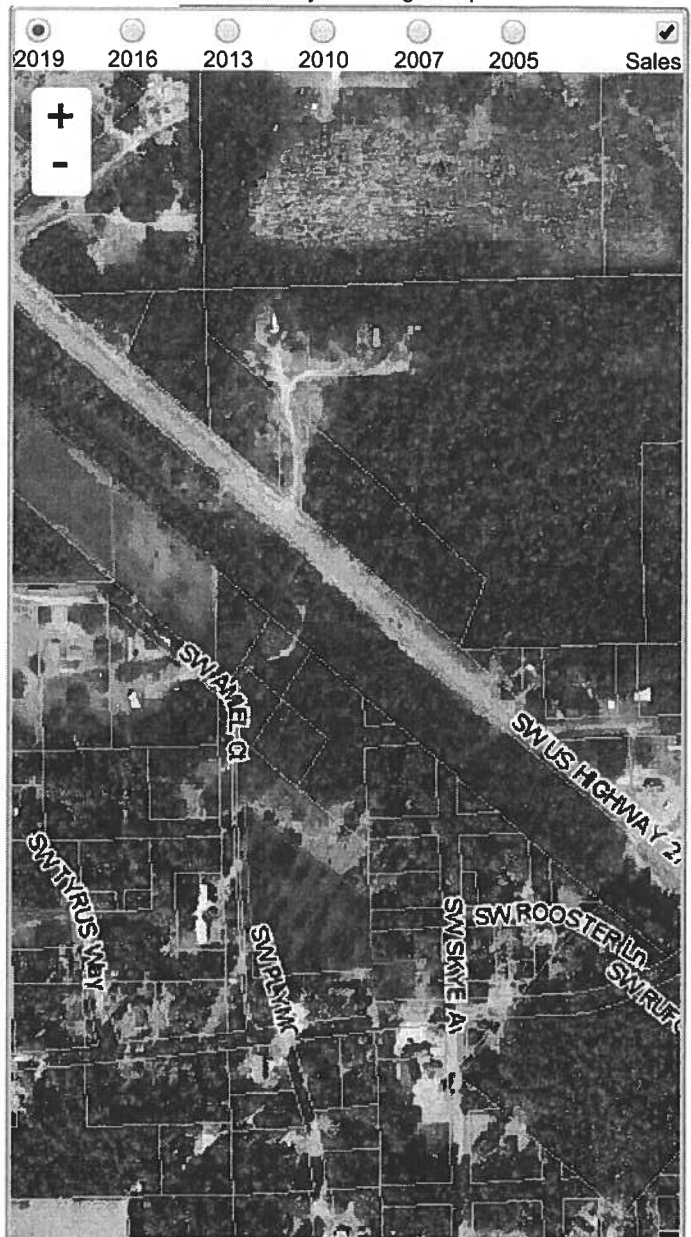
*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2018 Certified Values		2019 Preliminary Certified	
Mkt Land (1)	\$26,136	Mkt Land (2)	\$62,392
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (0)	\$0
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$26,136	Just	\$62,392
Class	\$0	Class	\$0
Appraised	\$26,136	Appraised	\$62,392
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$26,136	Assessed	\$62,392
Exempt	\$0	Exempt	\$0
Total	county:\$26,136	Total	county:\$62,392
Taxable	city:\$26,136	Taxable	city:\$62,392
	other:\$26,136		other:\$62,392
	school:\$26,136		school:\$62,392

Aerial Viewer Pictometry Google Maps

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
4/30/2019	\$100	1384/2088	WD	V	U	11
4/30/2019	\$27,500	1383/1411	WD	V	Q	03
4/26/2019	\$25,000	1383/1113	WD	V	Q	03
5/18/2016	\$18,000	1315/0525	WD	V	U	12
7/22/2015	\$100	1298/0806	CT	V	U	18
11/5/2014	\$100	1284/0717	PR	V	U	19
5/31/2006	\$60,000	1085/1882	WD	V	Q	
2/28/2000	\$8,000	898/1594	QC	V	U	

▼ Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
-------------	-----------	------------	----------	---------	-----------	------------

NONE

▼ **Extra Features & Out Buildings** (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

▼ **Land Breakdown**

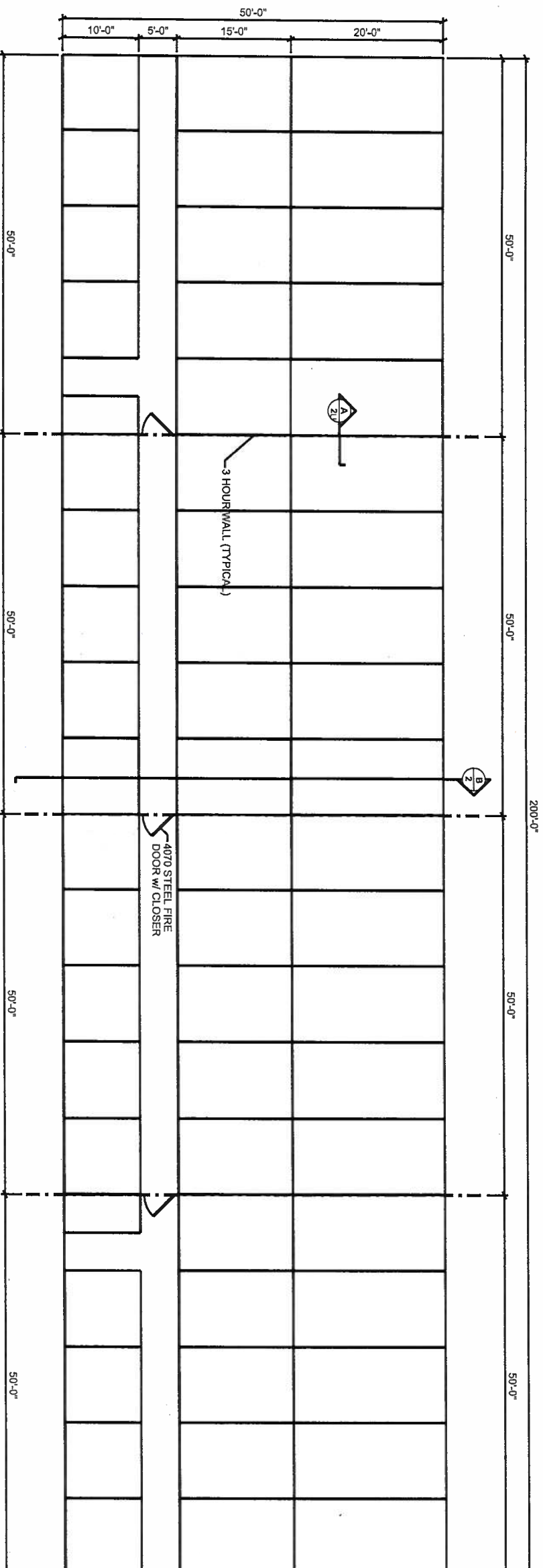
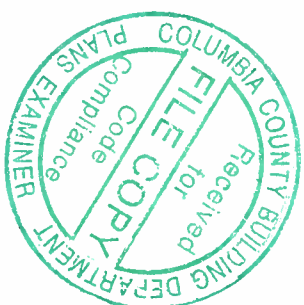
Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000000	VAC RES (MKT)	43,560.000 SF - (1.000 AC)	1.00/1.00 1.00/1.00	\$1	\$26,136
000000	VAC RES (MKT)	60,427.000 SF - (1.387 AC)	1.00/1.00 1.00/1.00	\$1	\$36,256

Search Result: 2 of 2

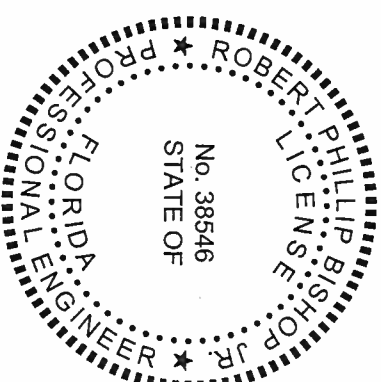
© Columbia County Property Appraiser | Jeff Hampton | Lake City, Florida | 386-758-1083

by: GrizzlyLogic.com

Approved
 2019-A-292-00031
 Troy Register
 12/19/2019



FIRE WALL LAYOUT



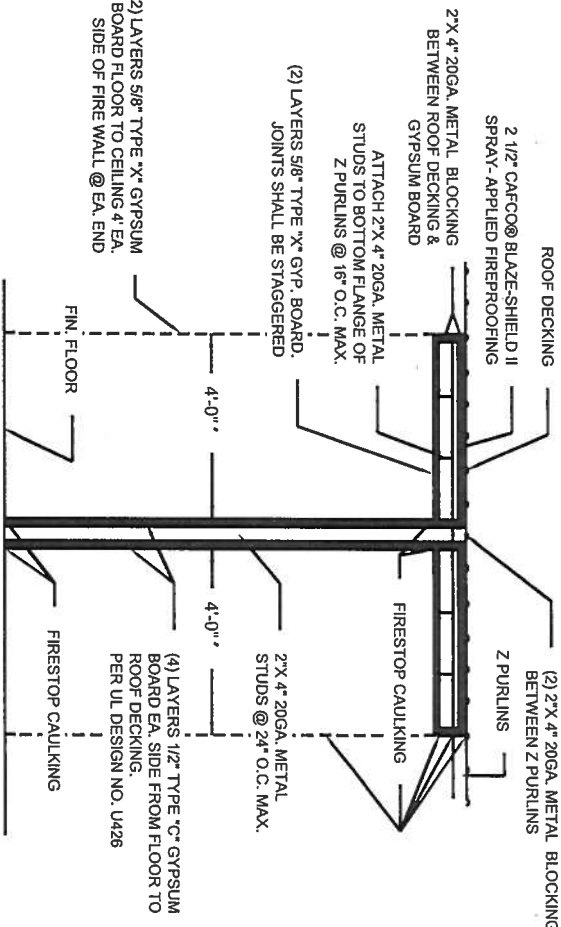
THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND
SEALED BY:
Robert P Bishop
ON THE DATE ADJACENT TO THE SEAL

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SIGNATURE MUST BE VERIFIED IN THE
ELECTRONIC DOCUMENTS.

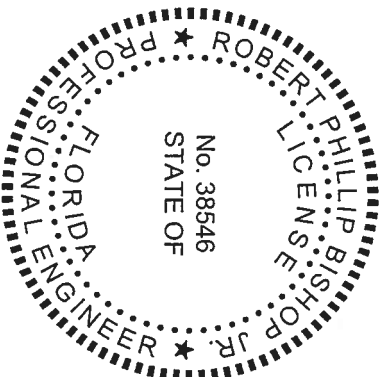
NORTH FLORIDA PROFESSIONAL SERVICES, INC.
P.O. BOX 3823
LAKE CITY, FL 32056
CERTIFICATE OF AUTHORIZATION: 29011
ROBERT PHILLIP BISHOP, JR., P.E. NO. 38546

North Florida Professional Services, Inc.		P.O. BOX 3823		P.O. BOX 180998	
Lake City, FL 32025		Tallahassee, FL 32318			
Ph. 386-752-4675		Ph. 877-235-1525			
Fax. 386-752-4674		Eng. Lic. 29011			
LIMITED ACCESS PROPERTIES, INC.					
PAUL BARCIA		COUNTY		PROJECT ID NUMBER	
DATE					
FIRE WALL LAYOUT				SHEET NO. 1	





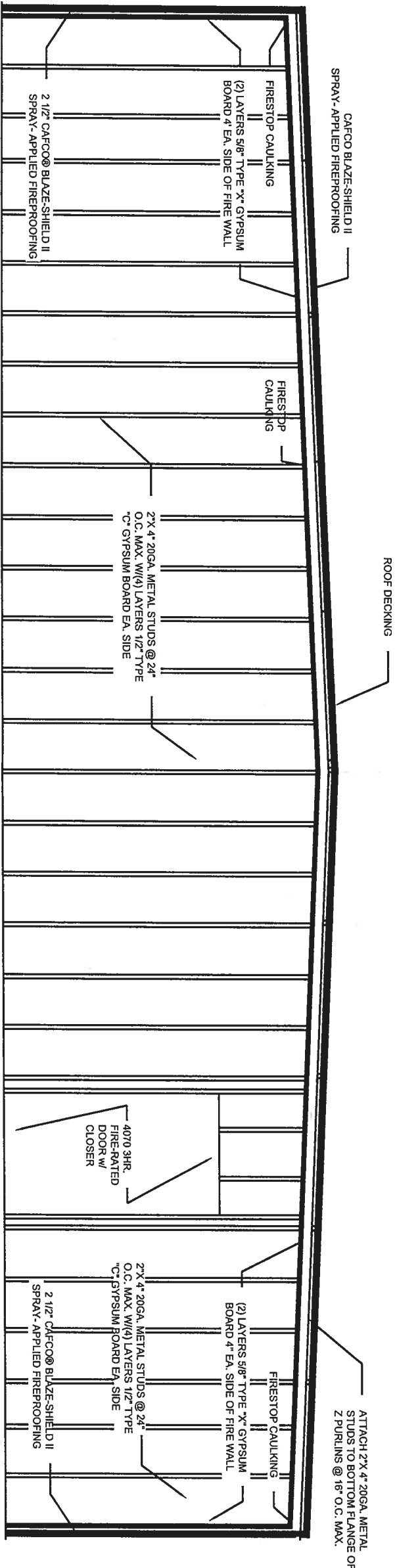
- NOTE:
1. PROVIDE AUTOMATIC ACTUATED FIRE DAMPERS IN HVAC DUCTS THAT PENETRATE ANY FIRE WALLS.
 2. PROVIDE FIRESTOP CAULKING @ ALL FIRE WALL PENETRATIONS



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Robert P Bishop
ON THE DATE ADJACENT TO THE SEAL

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ROBERT PHILLIP BISHOP, JR., P.E. NO. 38546

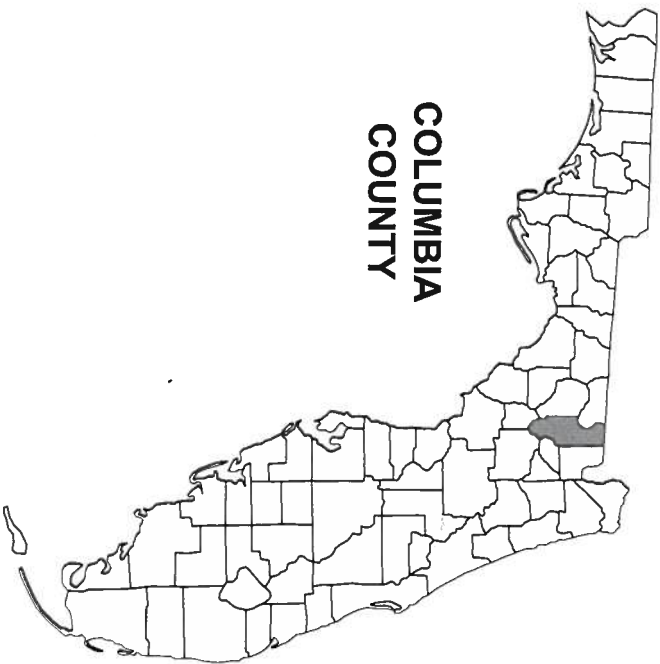


B FIREWALL SECTION
SCALE : 1/4" = 1'-0"

REVISIONS			LIMITED ACCESS PROPERTIES, INC.			SHEET NO.
DATE	DESCRIPTION	DATE	COUNTY	PROJECT ID NUMBER		
					FIREWALL DETAILS	
						2
North Florida Professional Services, Inc. P.O. BOX 3823 Lake City, FL 32025 Ph. 386-752-4675 Fax. 386-752-4674			P.O. BOX 180998 Tallahassee, FL 32318 Ph. 877-335-1525 Eng. Lic. 29011			

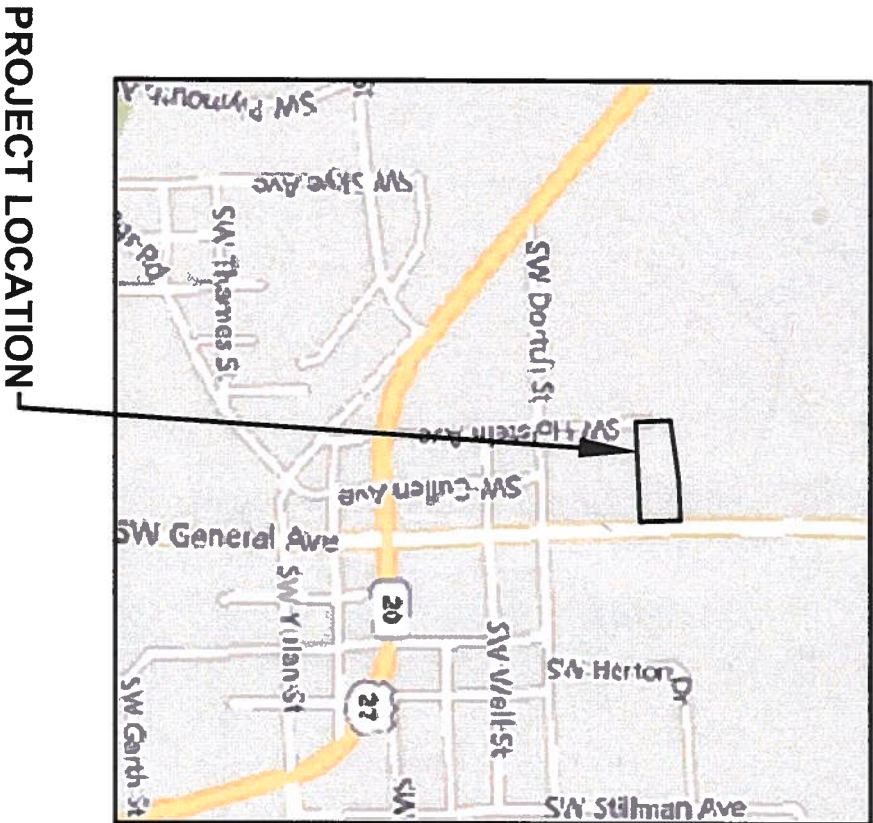


01/2020
FINAL CONSTRUCTION PLANS



COLUMBIA
COUNTY

ACE SECURE STORAGE FORT WHITE, FLORIDA SECTION 33, TOWNSHIP 6 S, RANGE 16 E



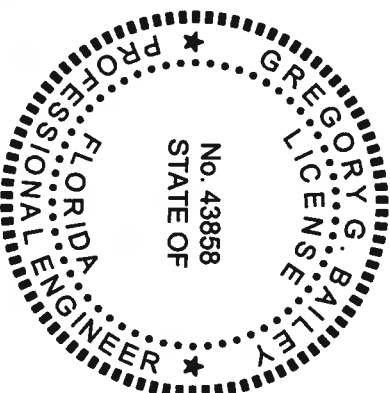
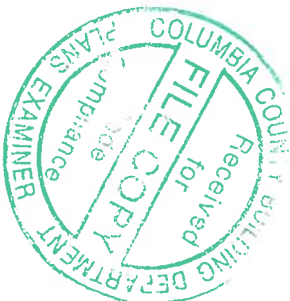
PLANS PREPARED FOR:

LIMITED ACCESS PROPERTIES INC.
498 SW MANATEE TER.
FORT WHITE, FL 32038

SHEET INDEX

COVER SHEET	C-1
GENERAL NOTES	C-2
SITE PLAN	C-3
GRADING PLAN	C-4
STORMWATER PLAN	C-5
SWMF PLAN	C-6
LANDSCAPING PLAN	C-7
SR 47 EXISTING CONDITIONS PLAN	C-8
SR 47 DRIVEWAY CONNECTION PLAN	C-9
EROSION CONTROL NOTES	C-10
EROSION CONTROL PLAN	C-11
MISC DETAILS	C-12 - C-13

ATTACHMENT: SURVEY BY GEOLINE
SURVEYING, INC.



THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND
SEALED BY:

Gregory G
Bailey
Digitally signed by Gregory G
Bailey
Date: 2020.01.08 10:28:08
-05'00'

ON THE DATE ADJACENT TO THE SEAL

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NORTH FLORIDA PROFESSIONAL SERVICES, INC.
P.O. BOX 3823
LAKE CITY, FL 32056
CERTIFICATE OF AUTHORIZATION: 29011
GREGORY G. BAILEY, P.E. NO. 43858

COVER SHEET



North Florida Professional Services, Inc.
P.O. BOX 3823
Lake City, FL 32025
Ph. 386-752-4675
Fax. 386-752-4674
P.O. BOX 180998
Tallahassee, FL 32318
Ph. 877-335-1525
Eng. Lic. 29011

JOB NUMBER: L190117LAP	REVISIONS:
DESIGNED BY: RD	DRAFTED BY: JC
ENGINEER OF RECORD: GREGORY G. BAILEY	CHECKED BY: TH
P.E. NO.: 43858	

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO ENSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE TOWN OF FORT WHITE OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.

2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE ISSUED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION 102 SELF-CERTIFICATION, FLORIDA DEPARTMENT OF TRANSPORTATION DRIVEWAY CONNECTION PERMIT.

3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.

4. BOUNDARY INFORMATION SHOWN, WAS OBTAINED FROM A BOUNDARY SURVEY PREPARED BY GEOLINE SURVEYING INC., FLORIDA CERTIFICATE NO. 7082.

5. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.

6. THE SITE IS LOCATED IN SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.

7. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED. THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.

8. THE STORMWATER BASIN IS DESIGNED IN ACCORDANCE WITH SRWMD APPLICANT HANDBOOK VOLUME II AND 62-330 F.A.C.

9. ALL SLOPES OF THE STORMWATER BASIN SHALL BE GRASSED. ALL SLOPES STEEPER THAN 3:1 SHALL BE STAPLED SOD.

10. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.

11. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.

12. ALL UTILITY CONSTRUCTION SHALL MEET THE TOWN OF FORT WHITE WATER AND WASTEWATER UTILITY STANDARDS, AVAILABLE FROM TOWN HALL OR PUBLIC WORKS.

13. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF FORT WHITE LAND DEVELOPMENT REGULATIONS.

14. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE CONNECTION TO THE EXISTING UTILITIES. THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE CORING, WET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.

15. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.

16. CONTRACTOR SHALL PROVIDE ACTUAL INVERT ELEVATIONS ON ALL DRAINAGE STRUCTURES, INCLUDING CULVERTS, PRIOR TO PLACING ANY BASE MATERIAL. DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE ENGINEER BEFORE CONTINUING WORK.

17. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE F.D.O.T. STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION), ANMWA SPECIFICATIONS, AND THE TOWN OF FORT WHITE DEVELOPMENT STANDARDS UNLESS OTHERWISE NOTED.

18. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING GRADING, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL TO A DEPTH OF 24" BELOW FINISHED GRADE WITHIN THE CONSTRUCTION LIMITS.

19. THE CONTRACTOR SHALL NOTIFY THE TOWN OF FORT WHITE AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.

20. THE CONTRACTOR SHALL SUBMIT A NOTICE OF CONSTRUCTION COMMENCEMENT TO THE WATER MANAGEMENT DISTRICT AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.

21. NO WORK SHALL BE PERFORMED ON SATURDAY OR SUNDAY WITHOUT WRITTEN NOTIFICATION TO THE TOWN AND THE TOWN ENGINEER.

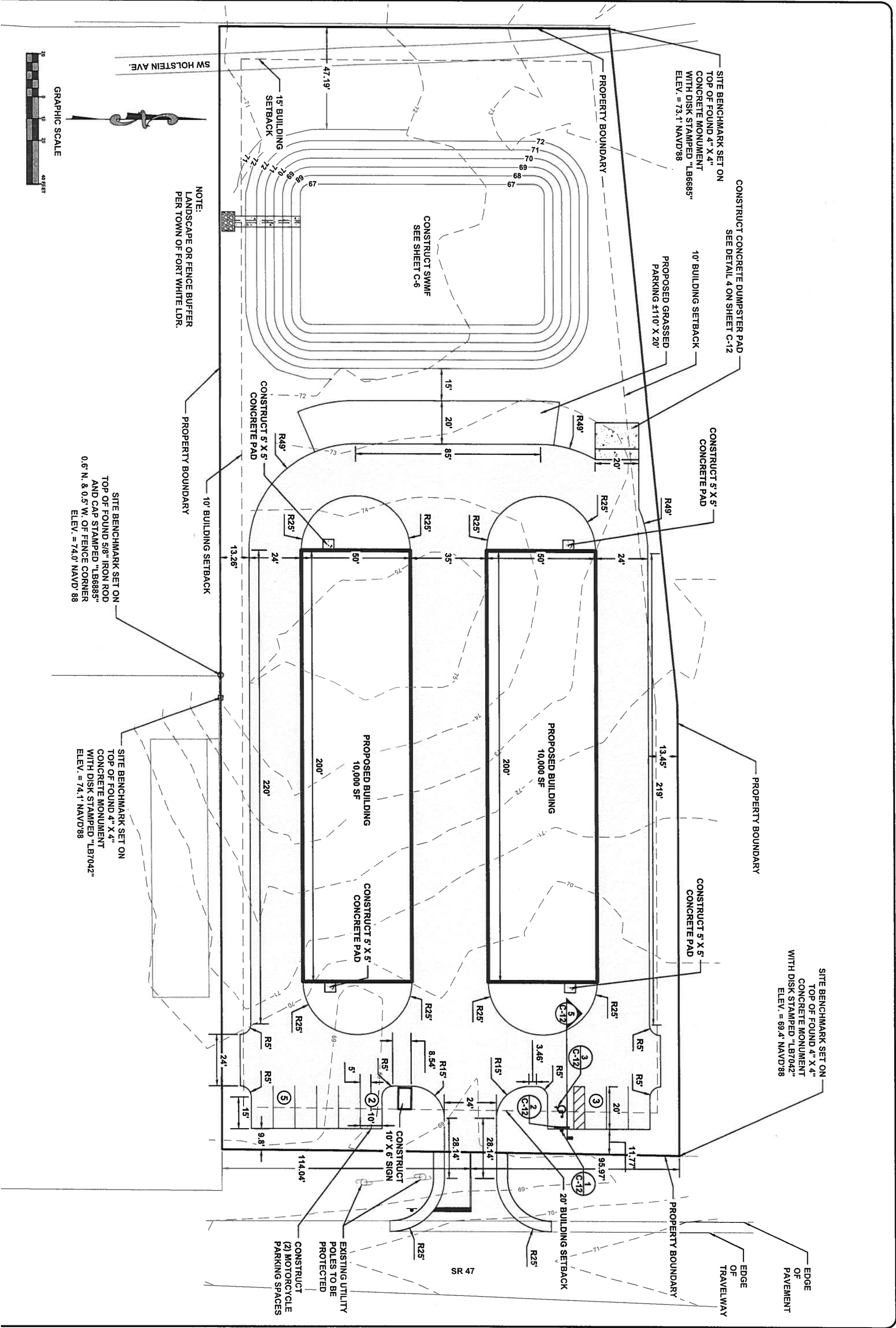
22. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER 61G17 F.A.C. FOR THE STORMWATER MANAGEMENT SYSTEMS. INCLUDE HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. A COPY OF THE AS-BUILT SURVEY (IN PAPER AND DIGITAL AUTOCAD FORMAT) MUST BE SUBMITTED TO THE TOWN OF FORT WHITE, FLORIDA AND THE ENGINEER.

23. THE CONTRACTOR SHALL SUBMIT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTICE OF INTENT ALONG WITH SUPPORTING DOCUMENTATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMIT FEES.

24. IF DURING CONSTRUCTION OR OPERATION OF THE STORM WATER MANAGEMENT SYSTEM, A STRUCTURAL FAILURE IS OBSERVED THAT HAS THE POTENTIAL TO CAUSE THE DIRECT DISCHARGE OF SURFACE WATER INTO THE FLORIDAN AQUIFER SYSTEM, CORRECTIVE ACTIONS DESIGNED OR APPROVED BY A REGISTERED PROFESSIONAL SHALL BE TAKEN AS SOON AS PRACTICAL TO CORRECT THE FAILURE. A REPORT PREPARED BY A REGISTERED PROFESSIONAL MUST BE PROVIDED AS SOON AS PRACTICAL TO THE DEPARTMENT FOR REVIEW AND APPROVAL THAT PROVIDES REASONABLE ASSURANCE THAT THE BREACH WILL BE PERMANENTLY CORRECTED.

25. ALL CONCRETE SLABS ABUTTING EXTERIOR WALLS SHALL BE SOIL TREATED FOR TERMITES.

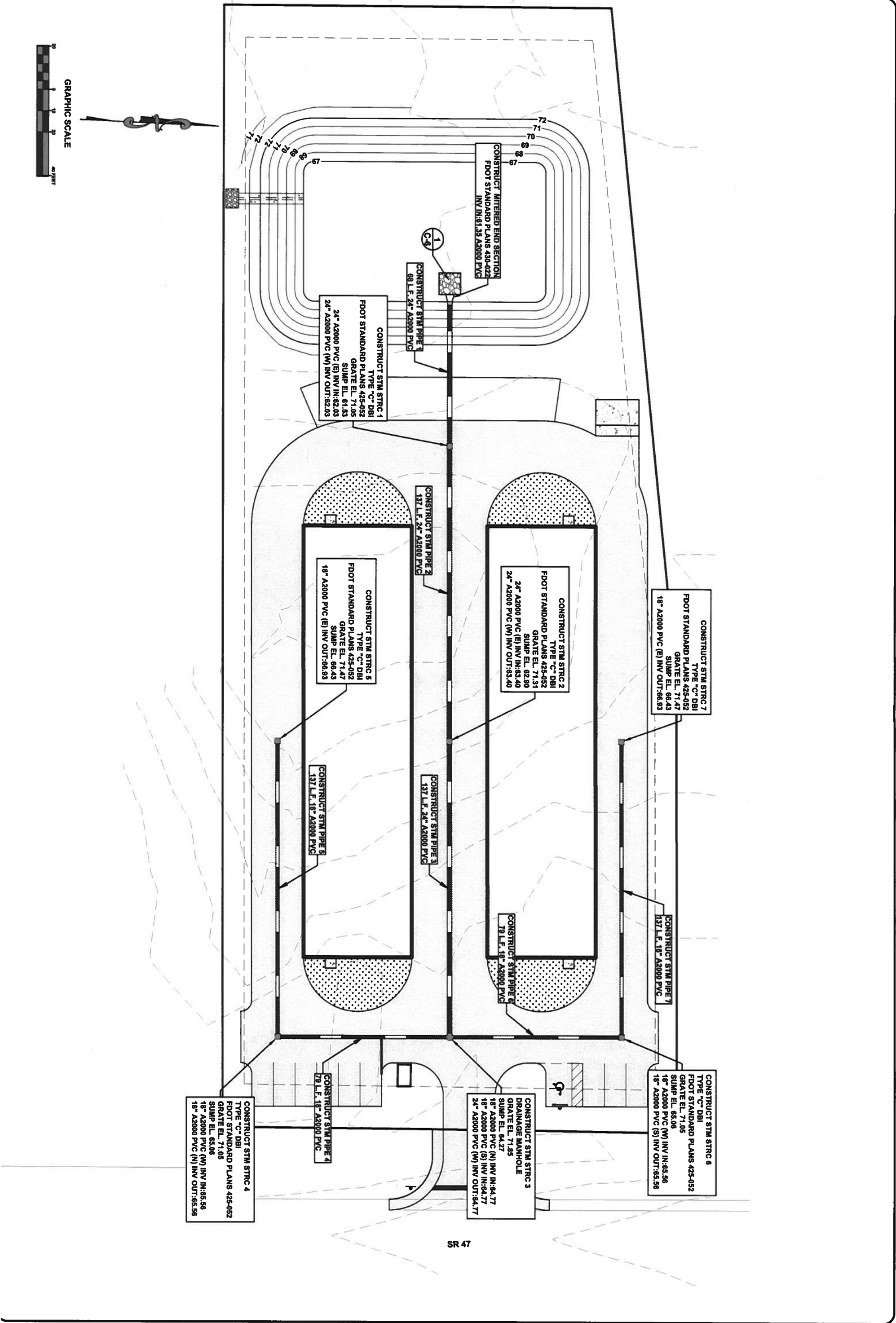
SITE DATA TABLE					
ACE SECURE STORAGE					
PARCEL ID NUMBER	00-00-00-14305-004				
ZONING	A				
LAND USE	A				
CITY COUNCIL					
DISTRICT NUMBER	4				
PHYSICAL ADDRESS	18072 SW SR 47 FORT WHITE, FLORIDA 32038				
PROJECT PROPERTY BOUNDARY		SF	ACRES	% OF SITE	
TOTAL PROPERTY BOUNDARY AREA		104532	2.40	100.00%	
PROJECT AREA / LIMITS OF CONSTRUCTION (LOC)		104532	2.40	100.00%	% OF LOC
BOTH ON-SITE & LOC		104532	2.40	100.00%	100.00%
EXISTING IMPERVIOUS AREA ON-SITE					
EXISTING ASPHALT PAVEMENT		0	0.00	0.00%	0.00%
EXISTING CONCRETE		0	0.00	0.00%	0.00%
EXISTING BUILDING		0	0.00	0.00%	0.00%
EXISTING STORMWATER MANAGEMENT FACILITY		0	0.00	0.00%	0.00%
TOTAL EXISTING IMPERVIOUS AREA		0	0.00	0.00%	0.00%
PROPOSED IMPERVIOUS AREA					
EXISTING ASPHALT PAVEMENT TO REMAIN		0	0.00	0.00%	0.00%
EXISTING CONCRETE TO REMAIN		0	0.00	0.00%	0.00%
EXISTING BUILDING TO REMAIN		0	0.00	0.00%	0.00%
EXISTING STORMWATER MANAGEMENT FACILITY TO REMAIN		0	0.00	0.00%	0.00%
PROPOSED ASPHALT PAVEMENT		34822	0.80	33.31%	33.31%
PROPOSED CONCRETE		590	0.01	0.56%	0.56%
PROPOSED BUILDING		20000	0.46	19.13%	19.13%
PROPOSED STORMWATER MANAGEMENT FACILITY		15423	0.35	14.75%	14.75%
TOTAL PROPOSED IMPERVIOUS AREA (INCLUDING SWMF)		70835	1.63	67.76%	67.76%
TOTAL PROPOSED PERVIOUS AREA		33697	0.77	32.24%	32.24%
PROPOSED PARKING LANDSCAPE AREA		3828	0.09	3.66%	3.66%
1 PER 1,000 SF @ 20,000 SF = (1 X 20 = 20) + (1 PER COMPANY VEHICLE @ 0 = (1 X 0 = 0) TOTAL = 20 + 1 ADA = 21 (INCLUDING 1 ADA SPACE) PLUS 2 MOTORCYCLE SPACE: 2 BICYCLE SPACES: 21 PARKING SPACES (INCLUDING 1 ADA SPACE)					
REQUIRED PARKING					
PROVIDED PARKING					

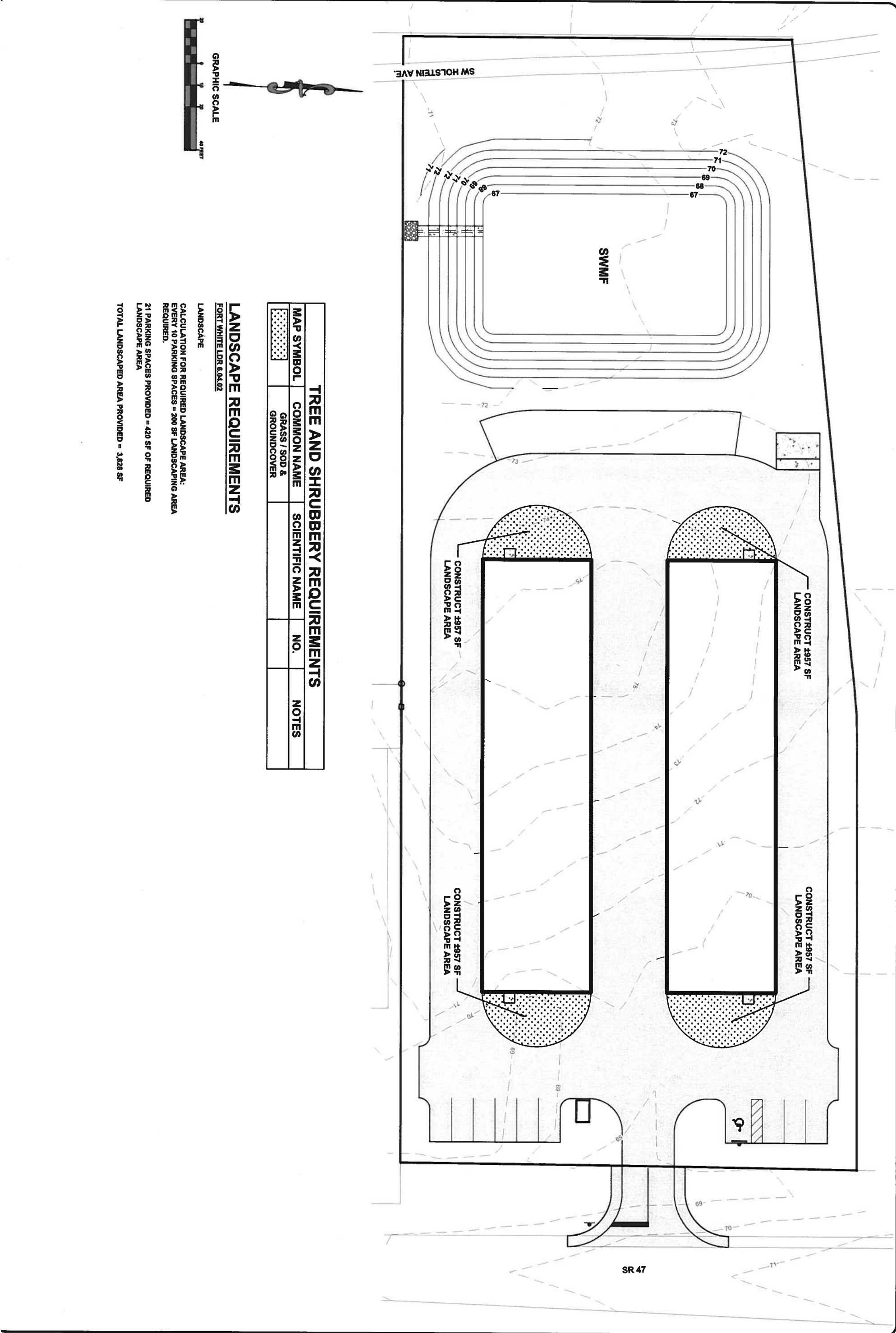


SHEET NO.	JOB NUMBER: L190117LAP	REVISIONS:	<h2 style="text-align: center;">SITE PLAN</h2> <h3 style="text-align: center;">ACE SECURE STORAGE FORT WHITE, FLORIDA</h3>		North Florida Professional Services, Inc. P.O. BOX 3823 Lake City, FL 32025 Ph. 386-752-4675 Fax. 386-752-4674	P.O. BOX 180998 Tallahassee, FL 32318 Ph. 877-335-1525 Eng. Lic.29011
	DESIGNED BY: RD DRAFTED BY: JC CHECKED BY: TH					
	ENGINEER OF RECORD: GREGORY G. BAILEY P.E. NO.: 43858					



EP	EDGE OF PAVEMENT
TDP	TOP OF DUMPSTER PAD





TREE AND SHRUBBERY REQUIREMENTS				
MAP SYMBOL	COMMON NAME	SCIENTIFIC NAME	NO.	NOTES
	GRASS / SOD & GROUNDCOVER			

LANDSCAPE REQUIREMENTS

FORT WHITE LDR 6.04.02

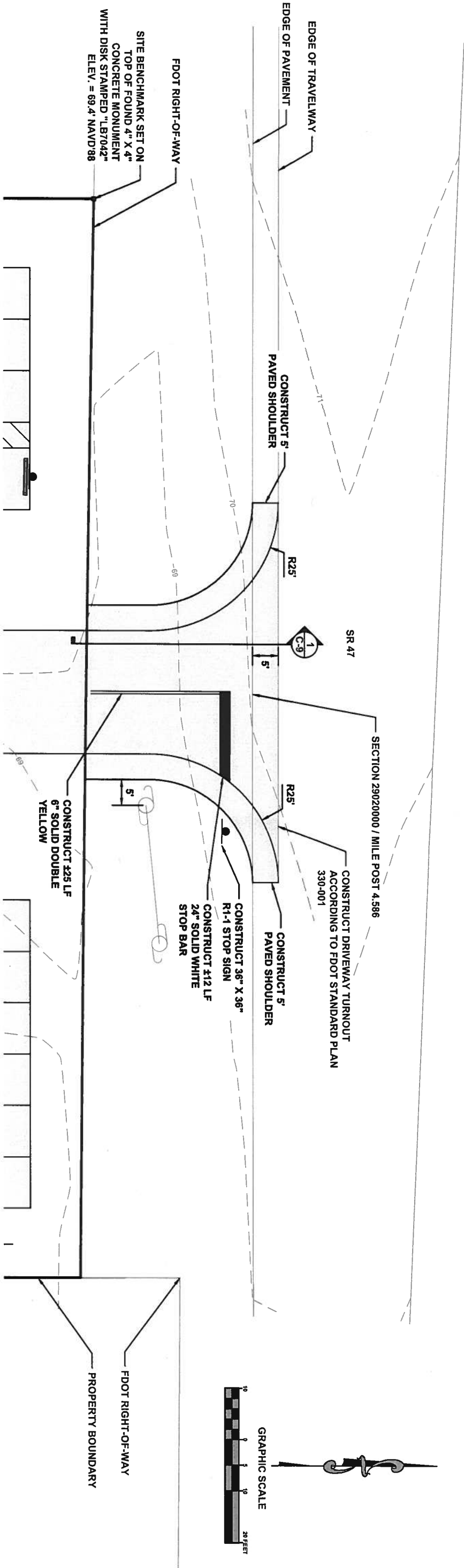
LANDSCAPE

CALCULATION FOR REQUIRED LANDSCAPE AREA:
EVERY 10 PARKING SPACES = 200 SF LANDSCAPING AREA
REQUIRED.

21 PARKING SPACES PROVIDED = 420 SF OF REQUIRED
LANDSCAPE AREA

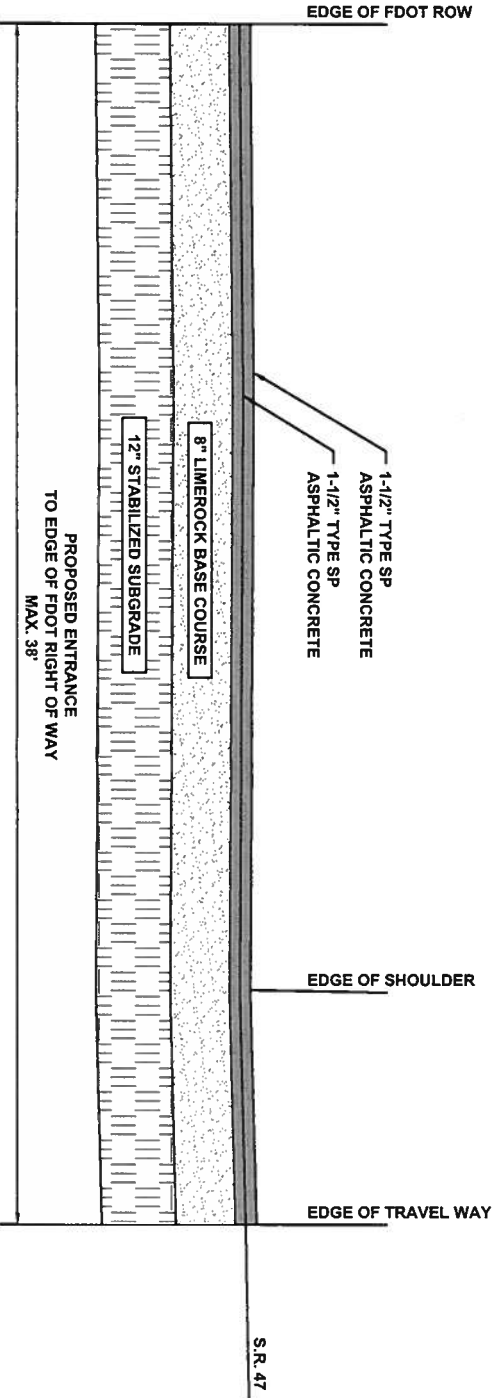
TOTAL LANDSCAPED AREA PROVIDED = 3,828 SF



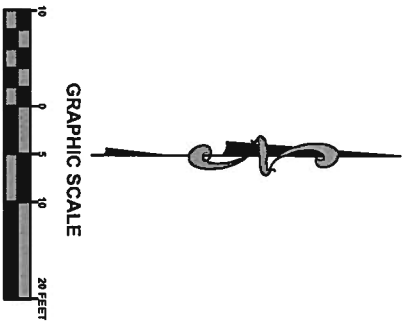


FDOT CONNECTION NOTES:

1. THE EXISTING ASPHALT PAVED SHOULDER SHALL BE MECHANICALLY SAW CUT AND REMOVED AS WELL AS ALL PRE-EXISTING SUBGRADE MATERIALS WITHIN THE LIMITS OF THE PROJECT IMPROVEMENTS WORK ZONE OR AS MAY BE CALLED FOR UNDER THE STATE FDOT PERMIT.
2. ALL PERMITTED PAVEMENT STRIPING PERTAINING TO THIS ACCESS PERMIT SHALL REQUIRE CERTIFIED LEAD FREE, THERMOPLASTIC MARKING MATERIALS AS THE FINAL PLACEMENT ITEM. TEMPORARY TRAFFIC BEARING SHALL BE REQUIRED TO BE IN PLACE 30 MINS. BEFORE OFFICIAL SUNDOWN. BOTH TEMPORARY TRAFFIC BEARING PAINTS AND THERMOPLASTIC MARKING MATERIALS SHALL BE LEAD FREE AND SHALL MEET/OBTAIN FDOT MINIMUM SPECIFICATIONS FOR NIGHT REFLECTIVITY. TEMPORARY RPM'S SHALL BE INSTALLED DURING BOTH TEMPORARY AND PERMANENT STRIPING PHASES. REMOVAL OF EXISTING STRIPING SHALL BE MILLED TO A DEPTH OF 1".
3. FAILURE BY THE PERMITTEE AND/OR HIS/HER CONTRACTOR TO HAVE A CERTIFIED STRIPING CREW ON SITE BEFORE THE START OF PAVING CAN BE REASON TO SUSPEND THE APPROVED PERMIT UNTIL SUCH TIME AS THE PERMITTEE AND/OR HIS/HER CONTRACTOR CORRECTS THE SITUATION TO THE SATISFACTION OF THE ON-SITE STATE FDOT PERMITS PERSONNEL/INSPECTOR.
4. FOR MAINTENANCE OF TRAFFIC PLAN REFER TO FDOT STANDARD PLANS INDEX 102-602 AND 102-603.
5. 24 INCH STOP BARS TO BE PLACED AT ALL INTERSECTIONS IN ACCORDANCE WITH CURRENT EDITION FDOT STANDARD PLANS INDEX 711-001.



1 FDOT ACCESS CONNECTION PROFILE
C-9 SCALE: N.T.S.



SHEET NO. 1	JOB NUMBER: L190117LAP		
	DESIGNED BY:	DRAFTED BY:	CHECKED BY:
	RD	JC	TH
	ENGINEER OF RECORD:		
	GREGORY G. BAILEY		
	P.E. NO.: 43858		

REVISIONS:

SR 47 DRIVEWAY CONNECTION PLAN
ACE SECURE STORAGE
FORT WHITE, FLORIDA

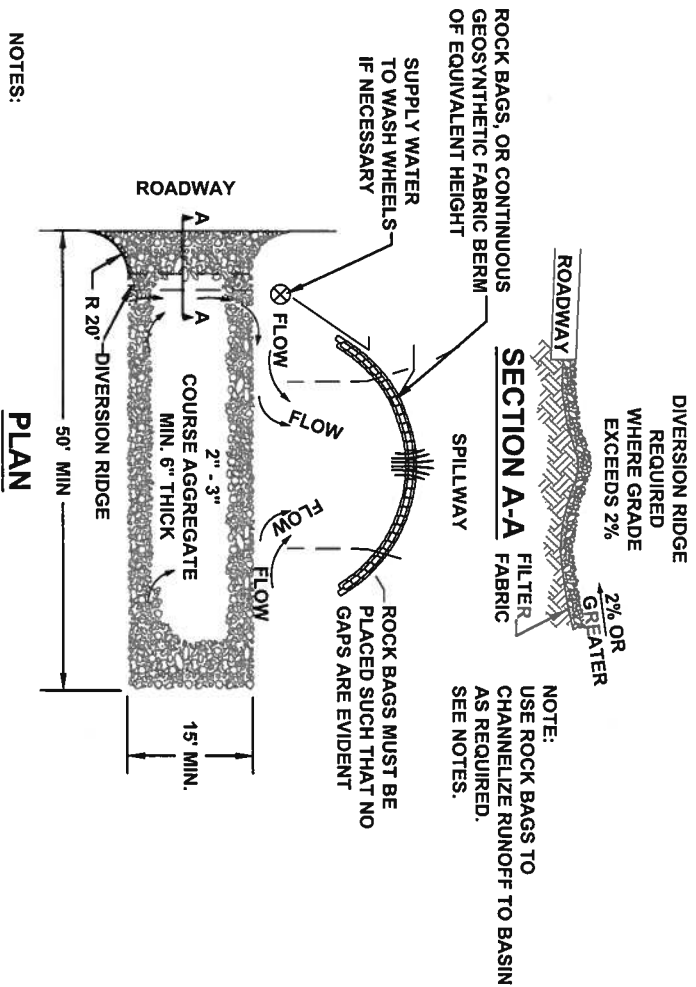


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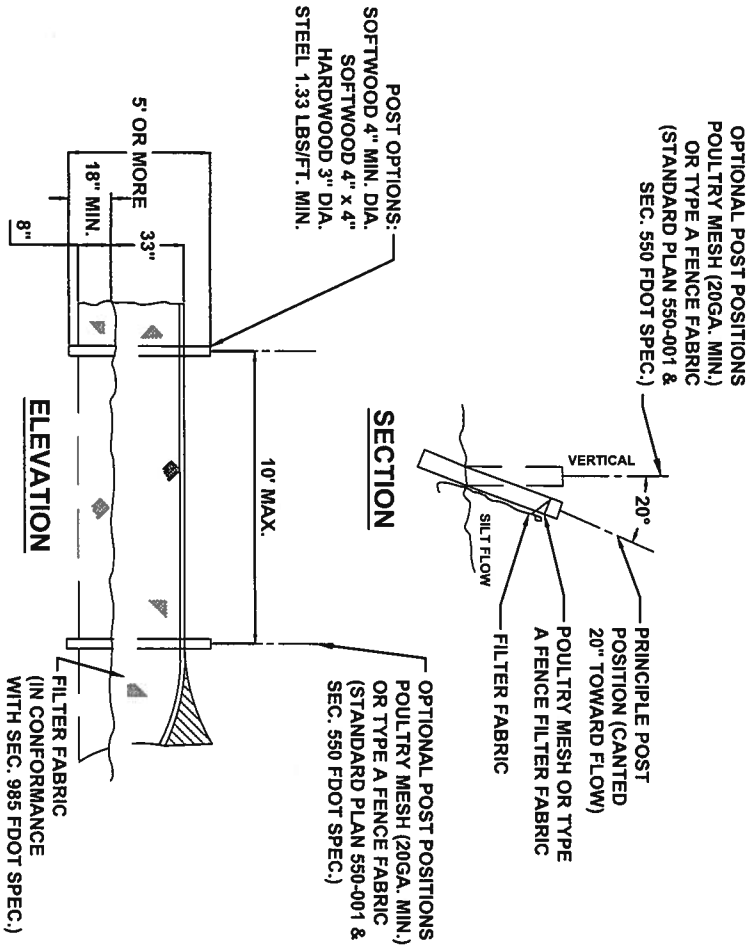
EROSION CONTROL NOTES

1. THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
2. THE CONTRACTOR SHALL ADHERE TO THE TOWN OF FORT WHITE, SRWMD, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP's FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
3. THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. SEDIMENT AND EROSION CONTROL FACILITIES, STORM DRAINAGE FACILITIES AND DETENTION BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCHES OR GREATER, AND REPAIRED OR REPLACED AS NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
12. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF SYNTHETIC BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS. PERMIT REQUIRED FROM SRWMD HAS BEEN OBTAINED.
19. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES. THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5 INCHES OR GREATER.
20. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

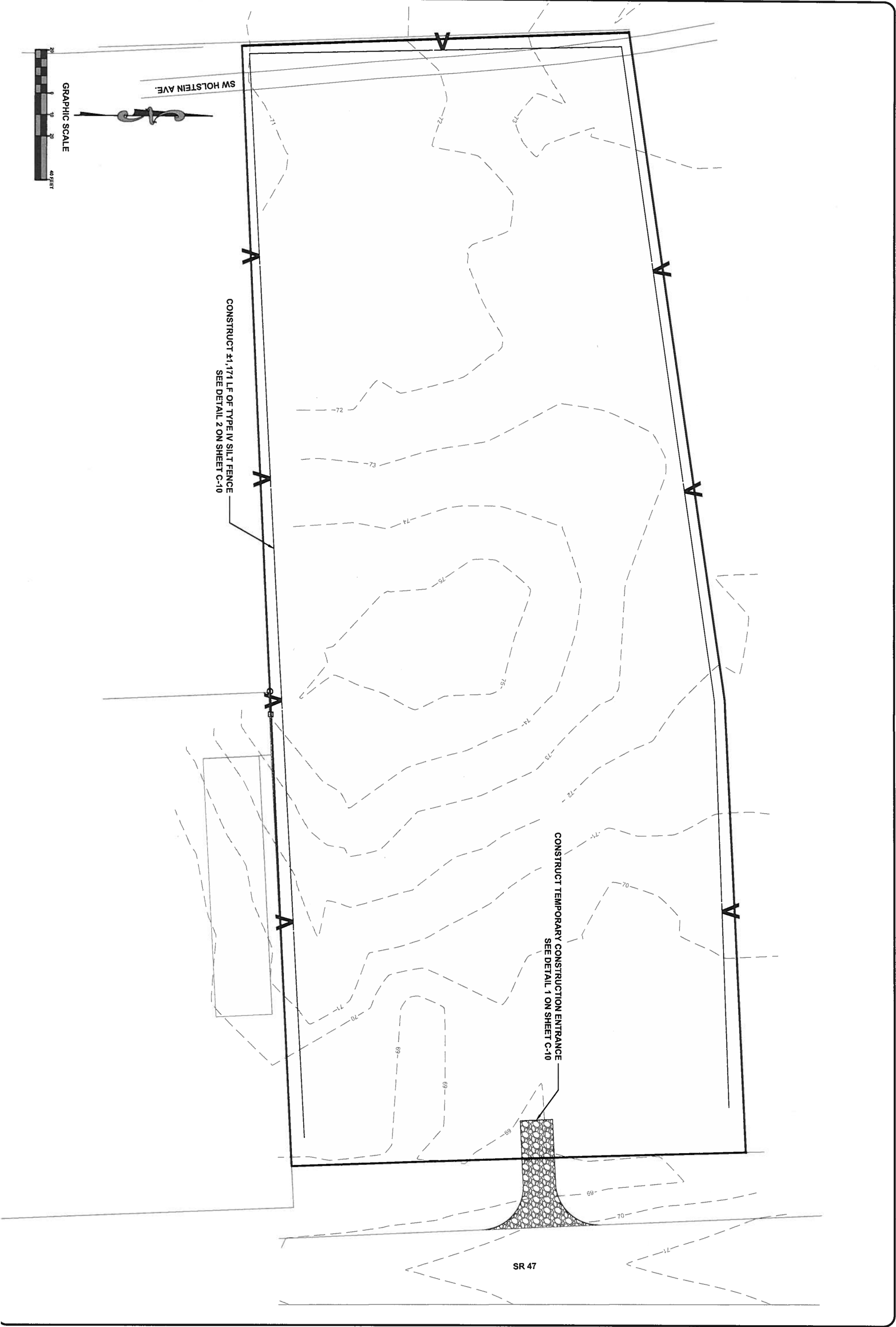


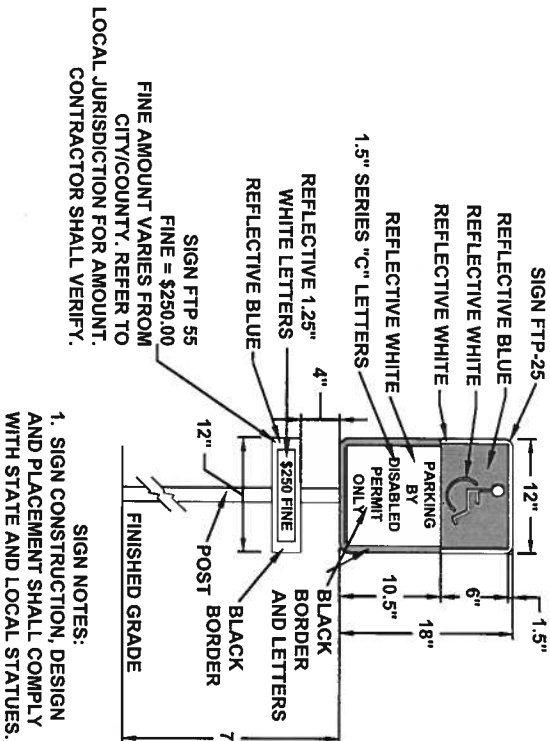
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP PRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. ROCK BAGS OR SANDBAGS SHALL BE PLACED SUCH THAT NO GAPS ARE EVIDENT.

1 TEMPORARY CONSTRUCTION ENTRANCE

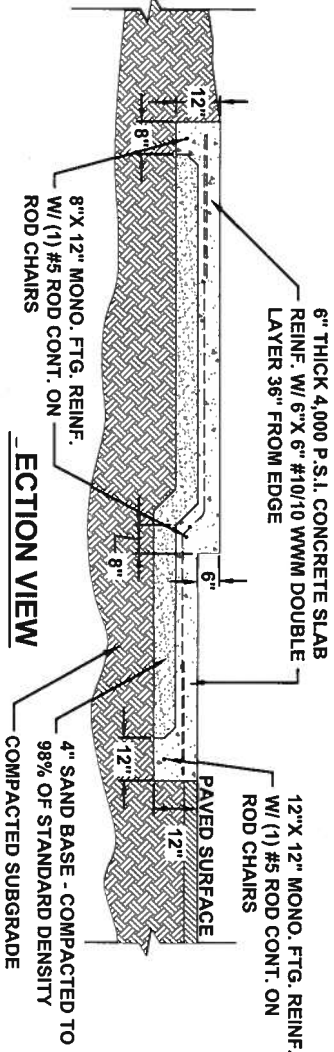
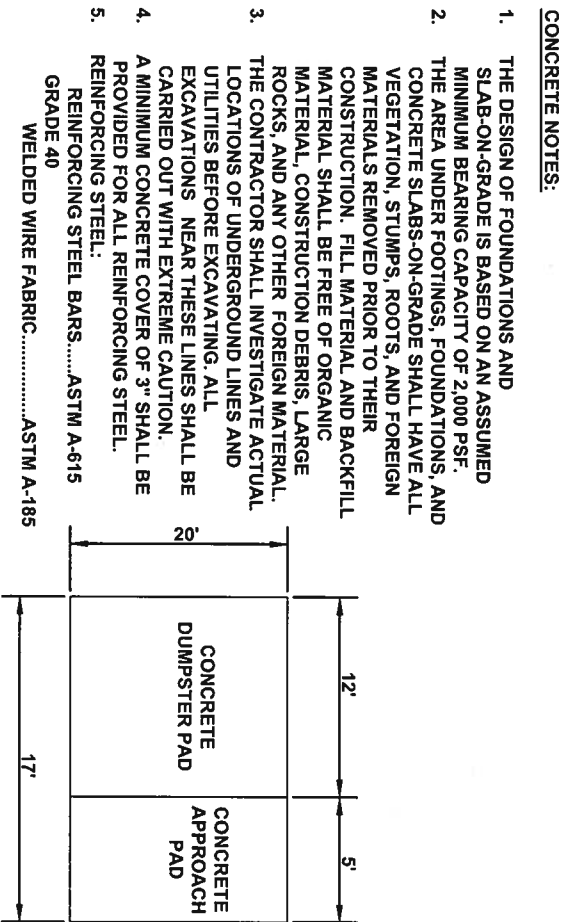


2 TYPE IV SILT FENCE

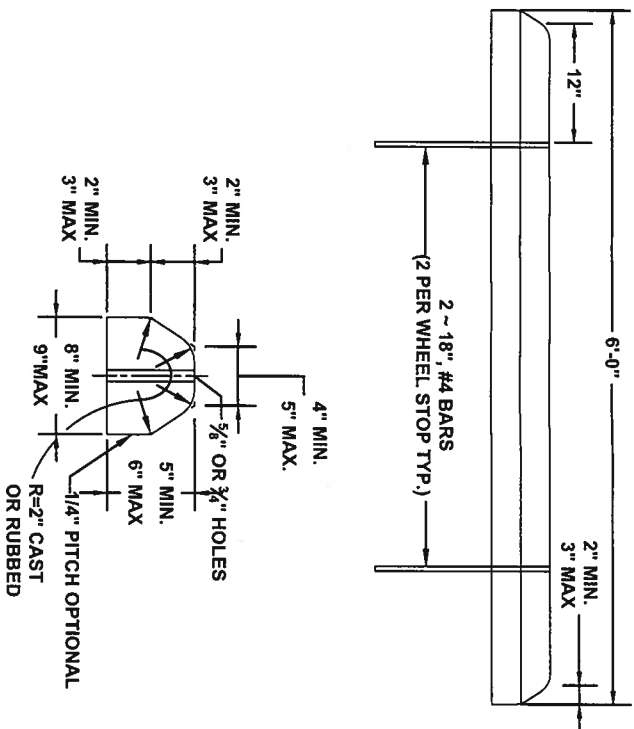




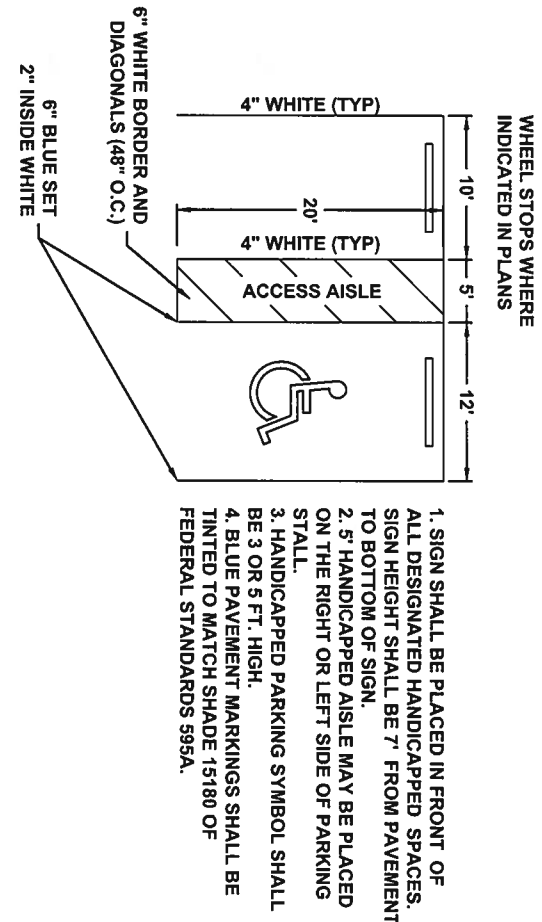
1 HANDICAP PARKING SIGN DETAIL
C-12 SCALE: N.T.S.



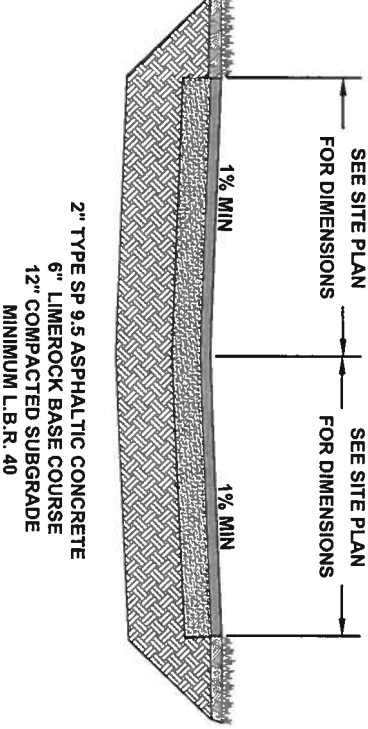
4 DUMPSTER PAD DETAIL
C-12 SCALE: N.T.S.



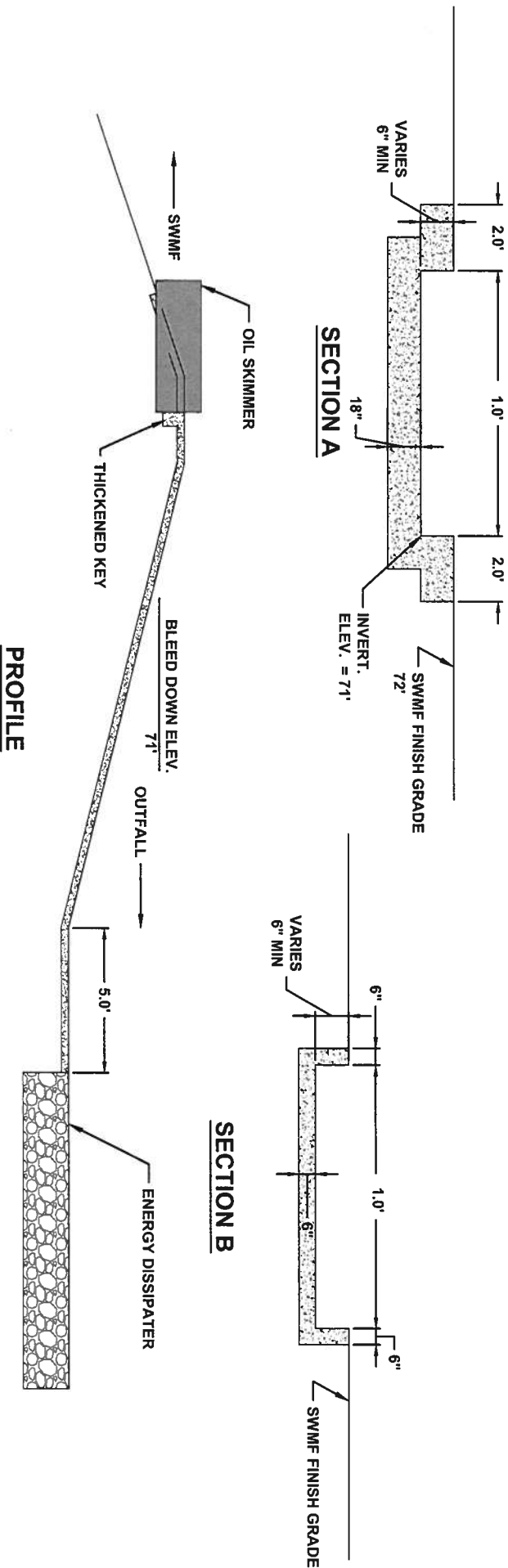
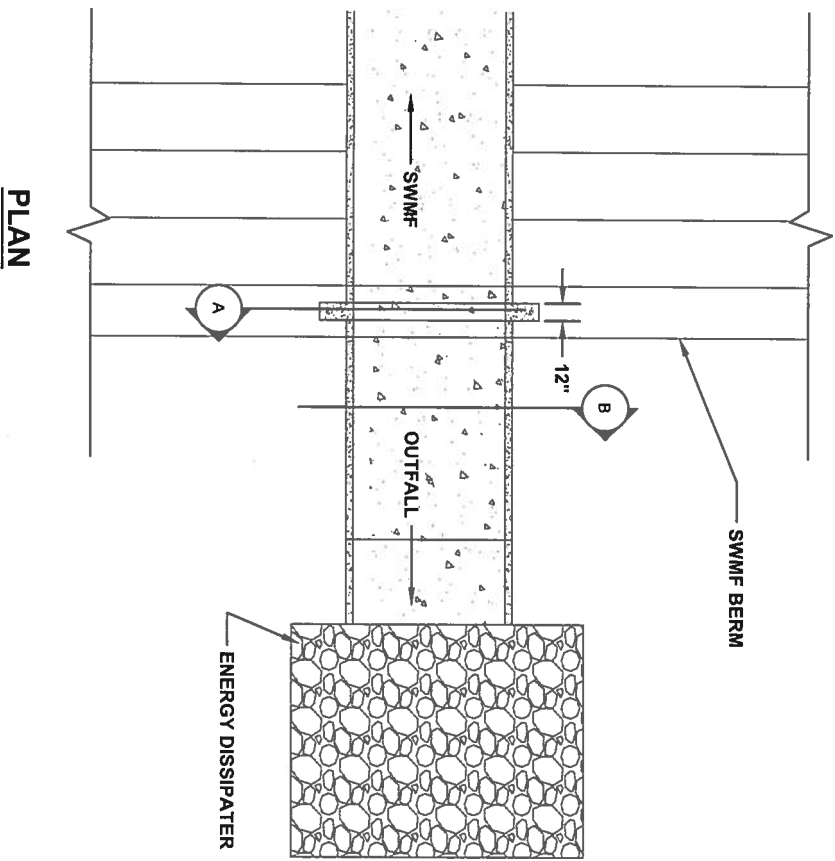
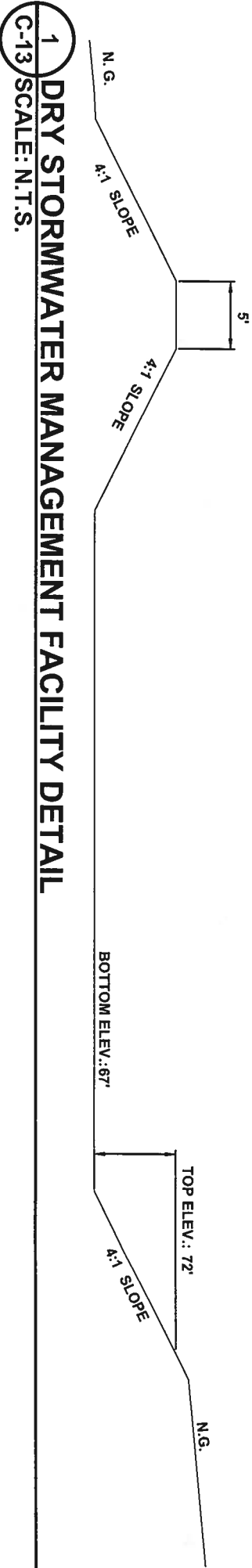
2 WHEEL STOP DETAIL
C-12 SCALE: N.T.S.



3 HANDICAP PARKING STALL DETAIL
C-12 SCALE: N.T.S.



5 PARKING APRON TYPICAL SECTION
C-12 SCALE: N.T.S.



PROPOSED TREES AND VEGETATION

BUFFER PLANTINGS - LDC Sec. 6.04.03

PROPOSED USE: INDUSTRIAL

SW BUFFER TYPE: RESIDENTIAL (10 FT WIDTH)
SOUTHWEST BUFFER (310 LF)
REQUIRED EVERY 100 FEET:
5 CANOPY TREES
2 UNDERSTORY TREES
20 SHRUBS
PROVIDED:
16 CANOPY TREES
6 UNDERSTORY TREES
62 SHRUBS
SE BUFFER TYPE: COMMERCIAL (10 FT WIDTH)
SE EAST BUFFER (210 LF)
NO BUFFER: SAME PROPERTY OWNER
NORTH (AGRICULTURE - PLANTED PINE), EAST (SR 47), AND WEST(UTILITY) BUFFERS
NO BUFFER REQUIRED PER FORT WHITE PLANNER

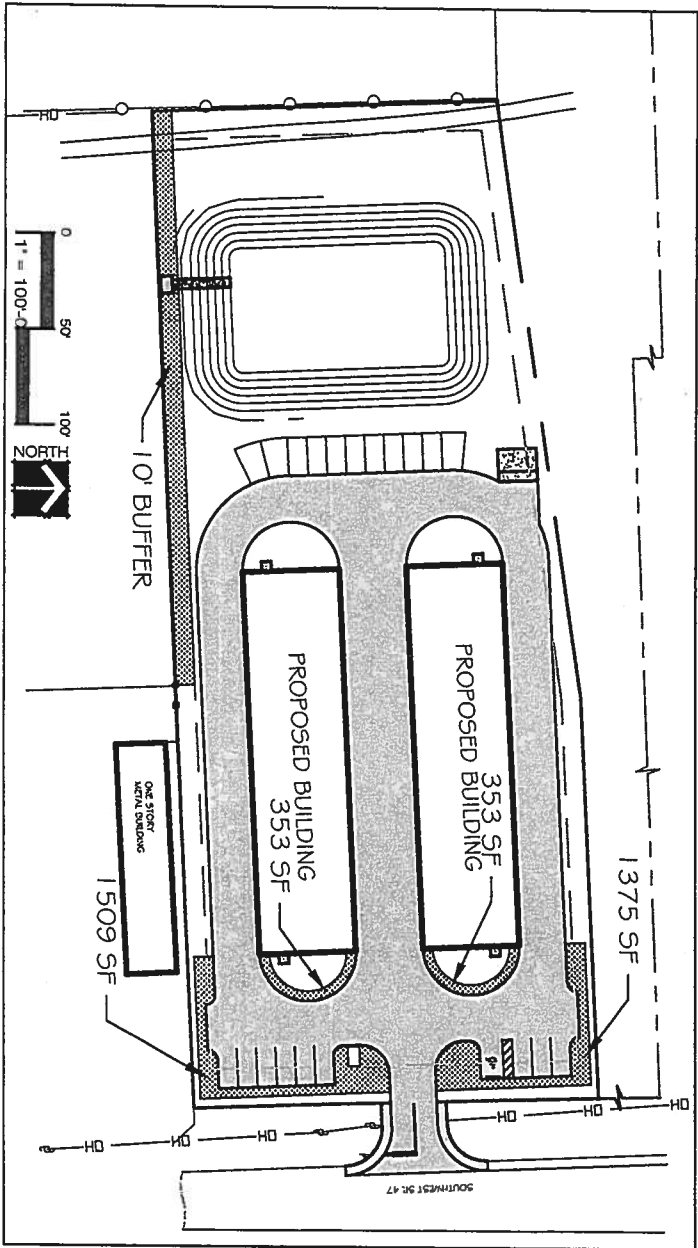
VEHICLE USE AREA - LDC Sec. 6.04.02

TOTAL IMPERVIOUS VEHICLE USE AREA: 34,822 SF
REQUIRED LANDSCAPE AREA: 34,822SF x 10% = 3,482.2 SF
OR BASED ON EQUIVALENT PARKING SPACES (EQPS): 34,822SF / 200SF/PS = 174 EQPS
200 SF LANDSCAPE/ 10 PS: 174 EQ PS x (200SF / 10 PS) = 3,482.2 SF)
VEHICLE USE AREA LANDSCAPE PROVIDED = 3,590 SF

LANDSCAPE REQUIRED:
1 CANOPY TREE PER 300 SF (5 TREES PER 1500 SF): 3482 SF/300 SF = 11.6 = 12 TREES
1 SHRUB PER 125 SF (12 SHRUBS PER 1500 SF): 3482 SF/125 SF = 27.9 = 28 SHRUBS
GROUNDCOVERS (NOT SOD OR TURF GRASSES)
FLOWERING PLANTS

LANDSCAPE PROVIDED:
CANOPY TREES: 12 TREES
UNDERSTORY TREE: 1 TREE
SHRUBS: 70 SHRUBS
GROUNDCOVERS: 107 GROUNDCOVERS
FLOWERING PLANTS: 10 SHRUBS

PLANTING AREAS REQUIRED



LANDSCAPE NOTES - GENERAL

GENERAL

CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND EXISTING TREES AND VEGETATION PRIOR TO THE COMMENCEMENT OF THE LANDSCAPE WORK.

IF QUANTITIES DIFFER BETWEEN PLAN AND SCHEDULE, THOSE ON THE PLAN SHALL GOVERN.

PREPARATION

REMOVE ALL CONSTRUCTION DEBRIS, LIMEROCK, CONCRETE, MORTAR, EXISTING WEEDS AND GRASSES, AND ANY OTHER FOREIGN MATERIALS FROM PLANTING AREAS TO A DEPTH OF THREE (3) FEET.

REQUIRED FILL FOR PLANTING AREAS SHALL BE FREE OF WEED SEEDS, AND WITH A PH OF 5.5 -- 6.5.

TREE INSTALLATION

ALL TREES AND SHRUBS SHALL BE OF THE SIZES AS CALLED FOR IN THE LANDSCAPE MATERIAL SCHEDULE. ANY MATERIALS AS DETERMINED BY THE LANDSCAPE ARCHITECT AS NOT MEETING THE SIZES AND QUALITY AS CALLED FOR SHALL BE REMOVED FROM THE SITE. TREES SHALL BE STAKED AS NEEDED.

ALL PROPOSED TREES TO MAINTAIN A MINIMUM 7.5 FOOT SEPARATION FROM UNDERGROUND UTILITY LINES.

ALL TREES IN SOD AREAS TO BE PROTECTED FROM MOWERS AND STRING TRIMMERS BY:

- a. A FOUR (4) FOOT MINIMUM MULCH RING AROUND THE TRUNK BASE.
- b. A TEN (10) INCH PLASTIC PROTECTOR (CORRUGATED DRAIN PIPE) AROUND THE TRUNK BASE.

TREES SHALL BE PLANTED SO THAT THE TRUNK FLARE IS EXPOSED; THE TOPMOST ROOT SHOULD BE 1 TO 2 INCHES ABOVE THE SURROUNDING GRADE.

TREES TO BE STAKED IF DEEMED NECESSARY. IF STAKED, GUYING TO BE A BIO-DEGRADABLE MATERIAL. STAKING TO BE REMOVED WITHIN ONE YEAR OF INSTALLATION.

WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATER AND IRRIGATION FUNCTIONING ADEQUATELY AT THE TIME OF PLANTING.

WARRANTY PERIOD

CONTRACTOR RESPONSIBLE FOR THE SURVIVAL OF ALL PLANTING MATERIAL FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION OF THE LANDSCAPE INSTALLATION.

GRASSING

ALL DISTURBED UNPAVED AREAS SHALL BE GRASSED, MULCHED OR PLANTED. AREAS TO BE TURF GRASS SHALL BE GRADED SMOOTH AND EITHER GRASSED WITH SOD THAT IS CERTIFIED FREE OF NOXIOUS WEEDS OR SEEDED BY A HYDRO-SEED PROCESS OR SEEDED WITH A STRAW MULCH COVER.

MULCHING

MULCH ALL LANDSCAPE AREAS WITH A THREE (3) INCH MINIMUM LAYER OF PINE BARK MULCH EXCEPT IN THE RETENTION AREAS WHERE PINE STRAW IS REQUIRED.

PLANT MATERIAL

ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER, GRADED IN ACCORDANCE WITH FLORIDA DIVISION OF PLANT INDUSTRY'S GRADES AND STANDARDS FOR NURSERY PLANTS.

IRRIGATION FOR ESTABLISHMENT

AUTOMATIC IRRIGATION WILL BE INSTALLED FOR THE ESTABLISHMENT OF ALL LANDSCAPE PLANT MATERIAL. BUBBLERS WILL BE PROVIDED FOR THE ESTABLISHMENT OF EACH TREE. DRIP LINES WILL BE UTILIZED TO IRRIGATE SHRUBS FOR THE DURATION OF THE ESTABLISHMENT PERIOD.

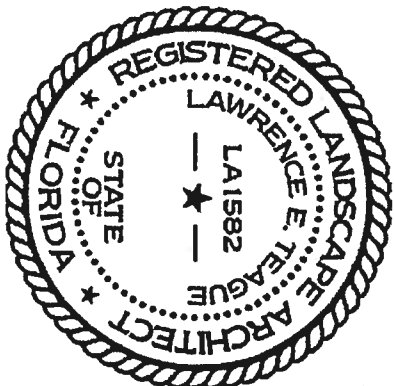
THIS DOCUMENT HAS BEEN DIGITALLY
SIGNED AND SEALED BY:

Lawrence

Teague

Digitally signed by Lawrence
Teague
Date: 2020.02.10 11:38:41
-05'00'

PRINTED COPIES OF THIS DOCUMENT ARE
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ON THE ELECTRONIC DOCUMENTS.



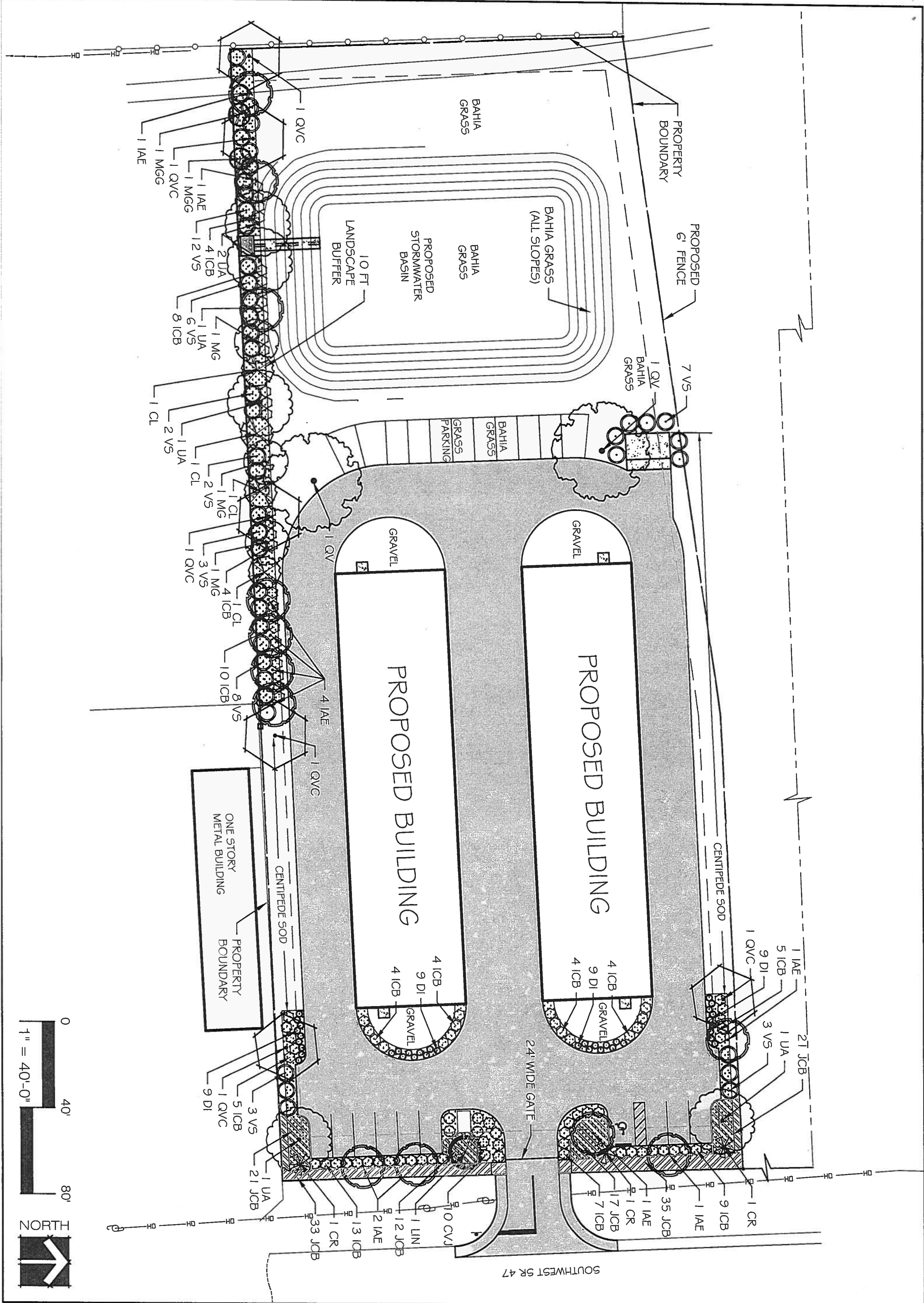
ZAMIA DESIGN CORPORATION
3459 NW 13TH AVENUE
GAINESVILLE, FL 32605
CERTIFICATE OF AUTHORIZATION NO. LC26000252
LAWRENCE E. TEAGUE, R.L.A. NO. LA0001582

LANDSCAPE NOTES
& CALCULATIONS

ACE SECURE STORAGE
FORT WHITE, FLORIDA

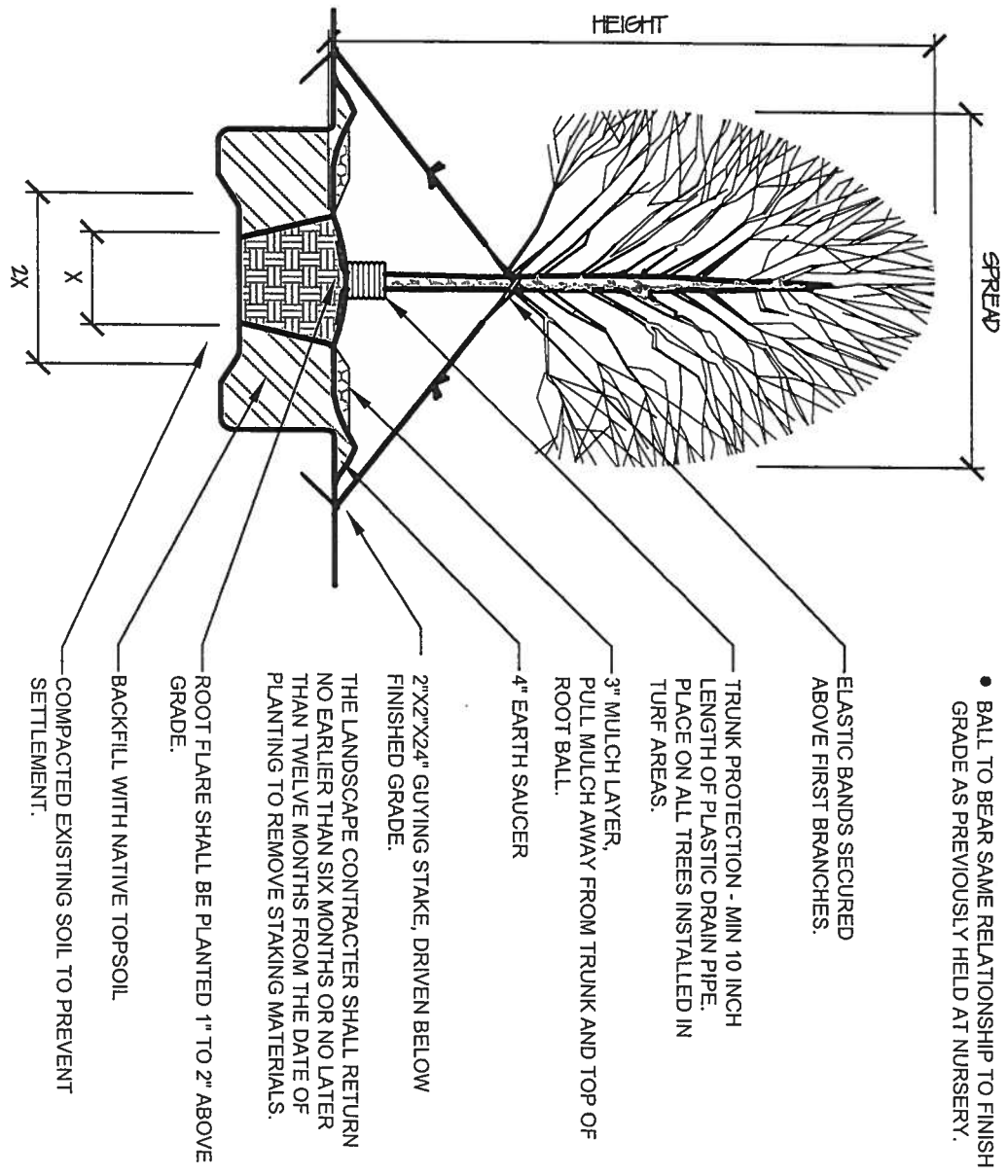
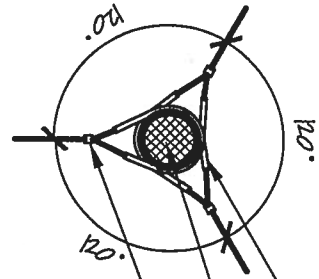
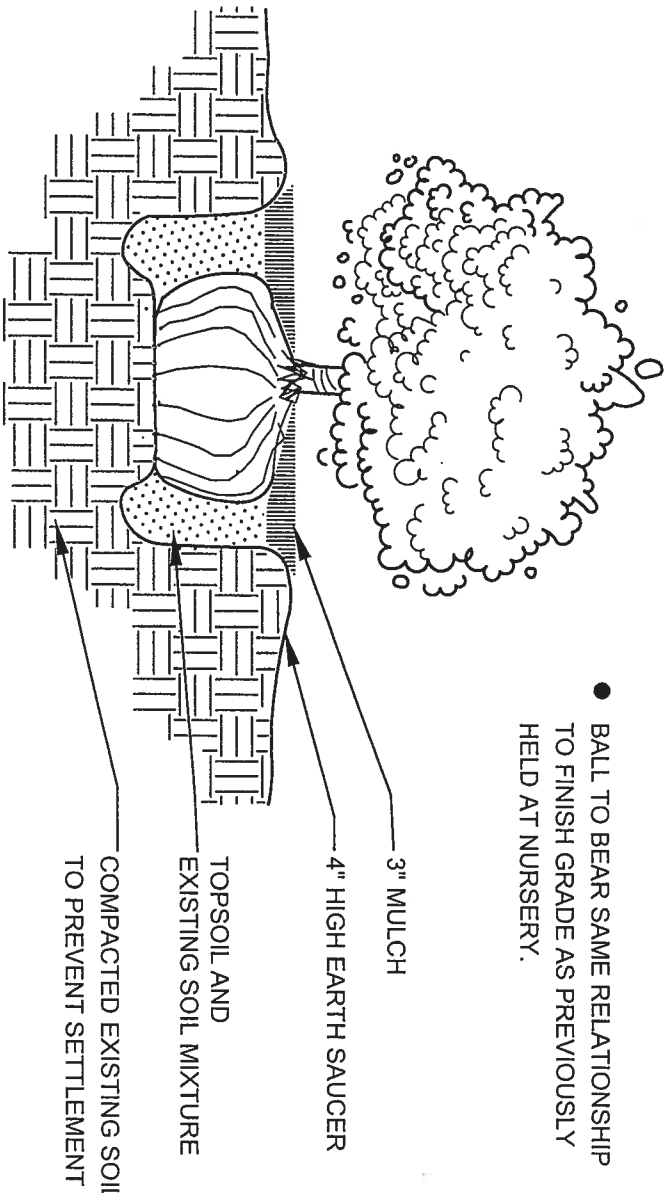


3459 NW 13th Avenue
Gainesville, FL 32605
Phone 352-373-8220
LC 26000252



PLANT MATERIAL SCHEDULE

SYM	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER HT X WIDTH (Caliper)	SPACING	FLA NATIVE	DROUGHT TOLERANCE
CANOPY TREES							
IAE	12	Ilex x attenuata 'East Palatka'	East Palatka Holly	15 Gal	6-8' x 3' (1.5' cal)	As Shown	Y
MG	3	Magnolia grandiflora	Southern Magnolia	15 Gal	6-8' x 3' (1.5' cal)	As Shown	Y
QV	2	Quercus virginiana	Live Oak	15 Gal	6-8' x 3' (1.5' cal)	As Shown	Y
QVC	6	Quercus virginiana 'Cathedral'	Cathedral Live Oak	15 Gal	6-8' x 3' (1.5' cal)	As Shown	Y
UA	5	Ulmus alata	Winged Elm	15 Gal	6-8' x 3' (1.5' cal)	As Shown	Y
UNDERSTORY TREES							
CL	4	Cupressocyparis leylandii	Leyland Cypress	15 Gal	6-8' x 3' (1.5' cal)	As Shown	no
LIN	1	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle	15 Gal	6-8' x 3' (1.5' cal)	As Shown	no
MGG	2	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	15 Gal	6-8' x 3' (1.5' cal)	As Shown	Y
SHRUBS							
CR	3	Cycas revoluta	Sago palm	3 Gal	18" x 18"	As Shown	no
CVJ	10	Callistemon viminalis 'Little John'	Dwarf Bottle Brush	3 Gal	18" x 20"	4' O.C	no
ICB	81	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	3 Gal	18" x 20"	4' O.C	no
LJ	4	Ligustrum japonicum	Japanese Privet	7 Gal	30" x 24"	As Shown	no
VS	46	Viburnum suspensum	Sadankwa Viburnum	3 Gal	18" x 20"	As Shown	Y
GROUNDCOVERS							
DI	36	Dietes bicolor	African Iris - yellow	1 Gal	Full	3' O.C	no
JCB	139	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	1 Gal	Full	4' O.C	no
TURF							
		Eremochloa ophiuroides	Centipede				no
		Paspalum notatum 'Argentine'	Argentine Bahia				no
MULCH							
Pine Bark mulch to be placed in all planting areas to a depth of 3 inches.							



HERITAGE BUILDING SYSTEMS

2612 GRIBBLE ST

N LITTLE ROCK, AR 72114

BUILDING SPECIFICATIONS

THE STRUCTURE UNDER THIS CONTRACT HAS BEEN DESIGNED AND DETAILED FOR THE LOADS AND CONDITIONS STIPULATED IN THE CONTRACT AND SHOWN ON THESE DRAWINGS. ANY ALTERATIONS TO THE STRUCTURAL SYSTEM OR REMOVAL OF ANY COMPONENT PARTS, OR THE ADDITION OF OTHER CONSTRUCTION MATERIALS OR LOADS MUST BE DONE UNDER THE ADVICE OF A REGISTERED ARCHITECT, CIVIL OR STRUCTURAL ENGINEER. HERITAGE BUILDING SYSTEMS WILL ASSUME NO RESPONSIBILITY FOR ANY LOADS NOT INDICATED.

THIS HERITAGE BUILDING SYSTEMS METAL BUILDING IS DESIGNED USING STANDARD DESIGN PRACTICES BASED ON PERTINENT PROCEDURES AND RECOMMENDATIONS OF THE FOLLOWING ORGANIZATIONS AND CODES.

AMERICAN INSTITUTE OF STEEL CONSTRUCTION: "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", 13TH EDITION.

AMERICAN IRON AND STEEL INSTITUTE: "NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS", 2001 EDITION (W/ 2004 SUPPLEMENT).

AMERICAN WELDING SOCIETY: "STRUCTURAL WELDING CODE"

AMS D1.1-2006 :STEEL

AMS D1.3-98 : SHEET STEEL

MBMA METAL BUILDING SYSTEMS MANUAL, 2002 ED. WITH 2004 UPDATE

MATERIAL PROPERTIES OF STEEL PLATE USED IN THE FABRICATION OF PRIMARY RIGID FRAMES AND OTHER OTHER PRIMARY STRUCTURAL, EXCLUSIVE OF COLD-FORMED SECTIONS, CONFORM TO ASTM A529 OR A572. PLATES WITH THICKNESS OF 1" OR LESS AND WIDTH OF 12" OR LESS CONFORM TO ASTM A529-05 GRADE 50. FLANGES GREATER THAN 1" IN THICKNESS OR 12" IN WIDTH CONFORM TO ASTM A 572-06 GRADE 50. WEBS OF 3/16" OR LESS CONFORM TO ASTM A1011-06b GRADE 50 AND WEBS GREATER THAN 3/16" CONFORM TO ASTM A1018-06g GRADE 50 OR ASTM A572-06 GRADE 50.

MATERIAL PROPERTIES OF HOT ROLLED SECTIONS W8X10 THROUGH W24X76 CONFORM TO ASTM A572--06 GRADE 50 OR ASTM A992-04A GRADE 50. HOT ROLLED SECTIONS LARGER THAN W24X76 CONFORM TO ASTM A36-05.

MATERIAL PROPERTIES OF PIPE SECTIONS CONFORM TO ASTM A53-06a TYPE "E" GRADE "B", MINIMUM YIELD OF 35,000 PSI.

MATERIAL PROPERTIES OF HOLLOW STRUCTURAL SECTIONS CONFORM TO ASTM A500-03A GRADE "B", MINIMUM YIELD OF 42,000 PSI.

MATERIAL PROPERTIES OF COLD FORMED LIGHT GAGE STEEL MEMBERS CONFORM TO THE REQUIREMENTS OF ASTM A1011-06b GRADE 55 WITH A MINIMUM YIELD OF 55,000 PSI.

MATERIAL PROPERTIES OF ROOF/WALL SHEETING, BASE METAL CONFORM TO ASTM-A792 GRADES 50 OR 80 WITH MINIMUM YIELD POINTS OF 50,000 PSI AND 80,000 PSI RESPECTIVELY.

MATERIAL PROPERTIES OF CABLE BRACING CONFORM TO ASTM A475-03. CLASS A 7-STRAND WIRE. ROD BRACING CONFORMS TO ASTM A36-05.

HIGH STRENGTH BOLTS AND THEIR INSTALLATION SHALL CONFORM TO ASTM SPECIFICATIONS A-325 AND ARE DESIGNED AS BEARING TYPE CONNECTIONS WITH THREADS INCLUDED IN THE SHEAR PLANE. TIGHTENING OF THESE BOLTS IS RECOMMENDED BY THE "SNUG-TIGHTENED JOINTS" METHOD, PER 2002 RSCC. SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR 490 BOLTS."

ALL STEEL MEMBERS EXCEPT BOLTS, FASTENERS, AND CABLE SHALL RECEIVE ONE SHOP COAT OF INHIBITIVE PRIMER, SSPC SPEC. #15, UNLESS STATED OTHERWISE IN THE CONTRACT.

SHOP AND FIELD INSPECTIONS AND ASSOCIATED FEES ARE THE RESPONSIBILITY OF THE OWNER, UNLESS STIPULATED OTHERWISE.

FL APPROVAL NUMBERS

ROOF AND WALL PANELS HAVE BEEN DESIGNED IN ACCORDANCE WITH SECTION 2222.4 OF THE FLORIDA BUILDING CODE, SIXTH EDITION (2017), PRODUCT APPROVAL NUMBERS FOR THE STATE OF FLORIDA, DEPARTMENT OF COMMUNITY AFFAIRS PER PRODUCT RULE 98-72:

1. - ROOFING PRODUCTS
F1368-R3 PBR 26 GA ROOF
F1368-R3 PBR 26 GA WALL
2. - WALL PANEL
F11917-R3 PBR 26 GA WALL
3. - ROLL-UP DOORS
F16964.5-R6 Model 690
4. - ROLL-UP DOORS
F16964.4-R6 Model 650
5. - WALK DOORS
F17900.6-R2 4070 Ins. Wind Rated Half-glass

THIS JOBSITE IS LOCATED IN A HURRICANE PRONE REGION WITH WIND SPEEDS OF 130 MPH OR GREATER. IN ORDER TO MAINTAIN THE ENCLOSED CLASSIFICATION AND DESIGN FOR WIND, ALL DOORS, WINDOWS AND WALL MOUNTED LIGHT TRANSMITTING PANELS (LTP) PROVIDED BY THE METAL BUILDING MANUFACTURER SHALL BE PROTECTED BY IMPACT RESISTANT COVERINGS. THE MATERIAL MAY INCLUDE BUT IS NOT LIMITED TO STRUCTURAL WOOD PANELS AS PROSCRIBED BY THE LOCAL BUILDING CODE. THE CUSTOMER'S DESIGN PROFESSIONAL, NOT METAL BUILDING MANUFACTURER ENGINEER, IS RESPONSIBLE FOR DETERMINING THE ADEQUACY OF MATERIAL ACTING AS THE IMPACT RESISTANT COVERING BY OTHERS AND ATTACHMENT TO THE MATERIAL PROVIDED BY THE METAL BUILDING MANUFACTURER. THIS STRUCTURE HAS NOT BEEN DESIGNED TO WITHSTAND THE ADDITIONAL INTERNAL PRESSURE REQUIRED BY CODE AS A PARTIALLY ENCLOSED CONDITION IN THE ABSENCE OF IMPACT RESISTANT COVERINGS.

BUILDERS RESPONSIBILITIES

THE BUILDER MUST SECURE ALL REQUIRED APPROVALS AND PERMITS FROM THE APPROPRIATE AGENCY AS REQUIRED.

APPROVAL OF HERITAGE BUILDING SYSTEMS DRAWINGS AND CALCULATIONS INDICATES THAT HERITAGE BUILDING SYSTEMS HAS CORRECTLY INTERPRETED AND APPLIED THE REQUIREMENTS OF THE CONTRACT DRAWINGS AND SPECIFICATIONS. (SECT. 4.4.1 ASC CODE OF STANDARD PRACTICE, 13TH EDITION.)

WHERE DISCREPANCIES EXIST BETWEEN THE HERITAGE BUILDING SYSTEMS STRUCTURAL STEEL PLANS AND THE PLANS FOR OTHER TRADES, THE STRUCTURAL STEEL PLANS WILL GOVERN. (SECT. 3.3 ASC CODE OF STANDARD PRACTICE, 13TH EDITION.)

DESIGN CONSIDERATIONS OF ANY MATERIALS IN THE STRUCTURE WHICH ARE NOT FURNISHED BY HERITAGE BUILDING SYSTEMS ARE THE RESPONSIBILITY OF THE BUILDER AND ENGINEERS OTHER THAN HERITAGE BUILDING SYSTEMS ENGINEERING UNLESS SPECIFICALLY INDICATED.

THE BUILDER IS RESPONSIBLE FOR ALL ERECTION OF STEEL AND ASSOCIATED WORK IN COMPLIANCE WITH HERITAGE BUILDING SYSTEMS CONSTRUCTION DRAWINGS.

TEMPORARY SUPPORTS, SUCH AS TEMPORARY GUYS, BRACES, FALSEWORK OR OTHER ELEMENTS REQUIRED FOR ERECTION WILL BE DETERMINED, FURNISHED, AND INSTALLED BY THE BUILDER. (SECT 7.10 ASC CODE OF STANDARD PRACTICE, 13TH EDITION.) IT IS THE BUILDERS RESPONSIBILITY TO APPLY AND OBSERVE ALL PERTINENT SAFETY RULES AND REGULATIONS, AND PER OSHA STANDARDS AS APPLICABLE.

THE BUILDER IS RESPONSIBLE FOR THE VERIFICATION OF ALL SHIPMENTS RECEIVED, AND MUST INVENTORY BUILDING AT TIME OF DELIVERY.

'X' BRACING IS TO BE INSTALLED TO A TAUT CONDITION WITH ALL SLACK REMOVED. DO NOT TIGHTEN BEYOND THIS STATE.

'X' BRACING PROVIDES MAIN MEANS OF STRUCTURAL SUPPORT FOR LATERAL LOADING ON BUILDING. DO NOT OMIT.

GENERAL NOTES

NO CHANGES SHOULD BE MADE TO THIS BUILDING SYSTEM UNLESS APPROVED IN WRITING BY THE MANUFACTURERS ENGINEERING DEPARTMENT.

UNAPPROVED CHANGES COULD RESULT IN AN UNSAFE BUILDING DESIGN AND COULD ENDANGER PUBLIC SAFETY.

ENGINEERING SEAL

THIS CERTIFICATION COVERS PARTS MANUFACTURED AND DELIVERED BY THE MANUFACTURER ONLY, AND EXCLUDES PARTS SUCH AS DOORS, WINDOWS, FOUNDATION DESIGN AND ERECTION OF THE BUILDING.

THESE DRAWINGS AND THE METAL BUILDING SYSTEM THEY REPRESENT ARE THE PRODUCT OF AN AFFILIATE OF NCI GROUP, INC. - 10943 N. SAM HOUSTON PARKWAY W., HOUSTON, TX 77064, THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS HEREON IS EMPLOYED BY AN AFFILIATE OF NCI GROUP, INC. AND IS NOT THE ENGINEER-OF-RECORD FOR THE OVERALL PROJECT.

NOTE:

BUILDING DESIGN INCLUDES NO ALLOWANCE FOR SNOW DRIFT LOADING FROM SURROUNDING BUILDING ROOFS. IT IS THE CUSTOMER'S RESPONSIBILITY TO ALERT Heritage Building Systems TO POSSIBLE SITE-DEPENDENT SNOW DRIFT CONDITIONS.

DESIGN LOADING

THIS STRUCTURE IS DESIGNED UTILIZING THE LOADS INDICATED AND APPLIED AS REQUIRED BY:

2017 Florida Building Code 6th Edition

THE BUILDER IS TO CONFIRM THAT THESE LOADS COMPLY WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT.

ROOF DEAD LOAD SUPERIMPOSED	2.000	PSF
COLLATERAL (LIGHTS)	3	PSF
ROOF LIVE LOAD	20.00	PSF
RISK CATEGORY	1 - Low	
SNOW LOAD GROUND SNOW LOAD (Pg)	0.00	PSF
SNOW LOAD IMPORTANCE FACTOR (Is)	0.80	
FLAT ROOF SNOW LOAD (P _f)	0	PSF
MINIMUM SNOW (P _m)	0.00	PSF
SNOW EXPOSURE FACTOR (Ce)	1.0	
THERMAL FACTOR (Ct)	1.2	
WIND LOAD ULTIMATE WIND SPEED (Vult)	115	MPH
NOMINAL WIND SPEED (V _{asd}) (IBC section 1609.3.1)	89	MPH
WIND EXPOSURE CATEGORY	C	
TOPOGRAPHICAL FACTOR	1.00	

INTERNAL PRESSURE COEFFICIENT (Gc_p) 0.18 / -0.18
ZONE 4, COMPONENT WIND LOAD < 10⁴ F²
26.42 PSF PRESSURE -28.62 PSF SUCTION
ZONE 5, COMPONENT WIND LOAD < 10⁴ F²
26.42 PSF PRESSURE -35.2026 PSF SUCTION
ZONES PER ASCE 7-10; FIG. 30.4-1
ZONES PRESSURES SHOWN AS UN-FACTORED

RAIN INTENSITY
5-MINUTE DURATION, 5-YEAR RECURRENT (1)
10 IN/HOUR
5-MINUTE DURATION, 25-YEAR RECURRENT (12)
11 IN/HOUR

SEISMIC LOAD
SEISMIC IMPORTANCE FACTOR (I_e) 1.00
S_s 0.091 S_{DS} 0.097
S1 0.052 S_{D1} 0.083
SITE CLASS D
SEISMIC DESIGN CATEGORY B
ENTIRE BLDG DESIGN BASE SHEAR (V)
TRANSVERSE 2.33 (k) LONGITUDINAL 2.36 (k)

BASIC STRUCTURAL SYSTEM AND SEISMIC RESISTING SYSTEM:
NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE
R = 3.00 OMEGA = 3.00 Cd = 3.00
ANALYSIS PROCEDURE IS EQUIVALENT LATERAL FORCE PROCEDURE

DRAWING INDEX

ISSUE	PAGE	DESCRIPTION
0	C1	COVER SHEET
0	F1	FOUNDATION PLAN
0	F2	REACTIONS
0	E1	UNIT LAYOUT
0	E2-E3	STUD LAYOUT
0	E4-E5	ROOF PLAN
0	E6-E8	FRONT SIDEWALL ELEVATION
0	E9-E10	BACK SIDEWALL ELEVATION
0	E11-E12	ENDWALL ELEVATION
0	E13-E15	INTERIOR ELEVATION
0	E16-E18	PARTITION ELEVATION
0	DET1-6	STANDARD DETAILS

DRAWING STATUS

☐ FOR APPROVAL
THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR ERECTOR INSTALLATION" CAN BE CONSIDERED AS COMPLETE.

☐ FOR CONSTRUCTION PERMITS
THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL. ONLY DRAWINGS ISSUED "FOR ERECTOR INSTALLATION" CAN BE CONSIDERED AS COMPLETE.

☒ FOR ERECTOR INSTALLATION
FINAL DRAWINGS.

FOR QUESTIONS OR ASSISTANCE
CONCERNING ERECTION CALL:
800-643-5555
MONDAY - FRIDAY 7:30AM TO 5:00PM

BUILDING SIZE: 50 x 200 x 9.5 0.5:1:12

ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE BUILDING SYSTEMS
Established 1979

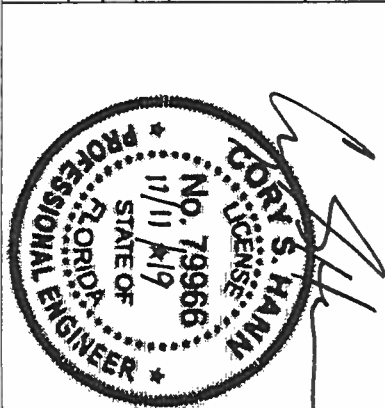
2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

PROJECT: United Access Properties INC

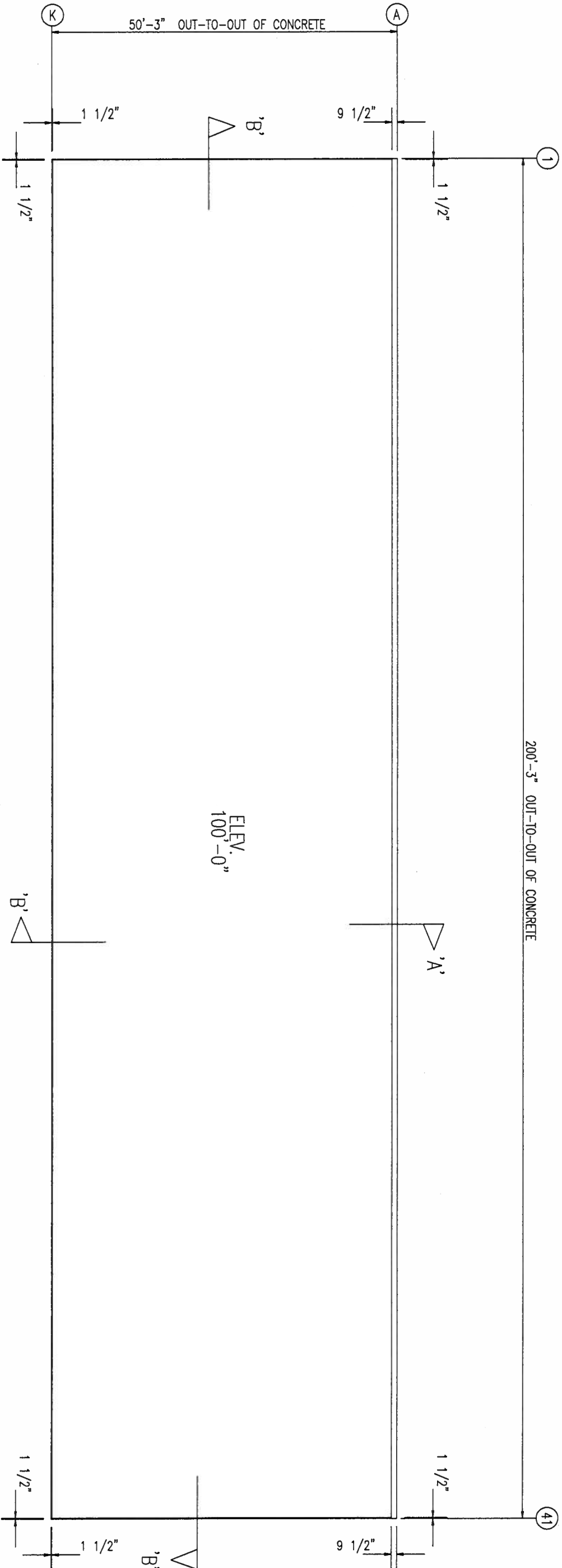
CUSTOMER: Paul Barcio

LOCATION: Fort White, FL 32038

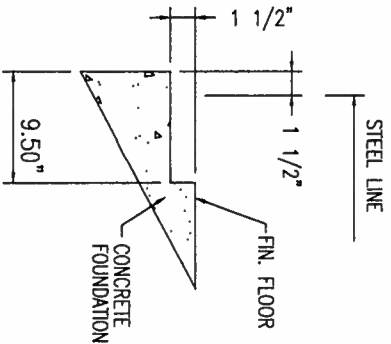
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER
SW	10/29/19	N.T.S.	A/B	17-B-34825		C1



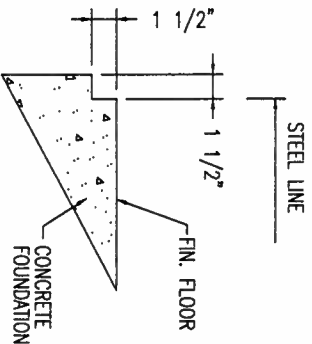
1. THE ANCHOR BOLT MANUFACTURER'S PUBLISHED DATA REQUIRES A MINIMUM CONCRETE THICKNESS OF 6 INCHES AT LOCATIONS WHERE ANCHORS ARE INSTALLED. THE FOUNDATION DESIGN AND SLAB THICKNESS IS TO BE DETERMINED BY OTHERS AND IS NOT IN THE SCOPE OF HERITAGE BUILDING SYSTEMS' WORK.
2. WEDGE ANCHOR DESIGN FOR CONCRETE PULLOUT IS BASED ON A 3000 PSI 28-DAY STRENGTH CONCRETE.



ANCHOR PLAN



SECTION "A"



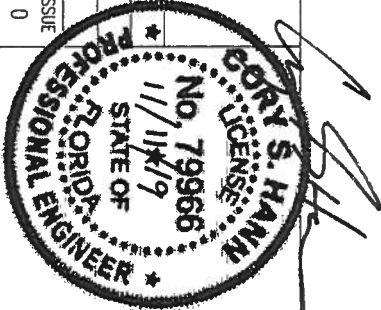
SECTION "B"

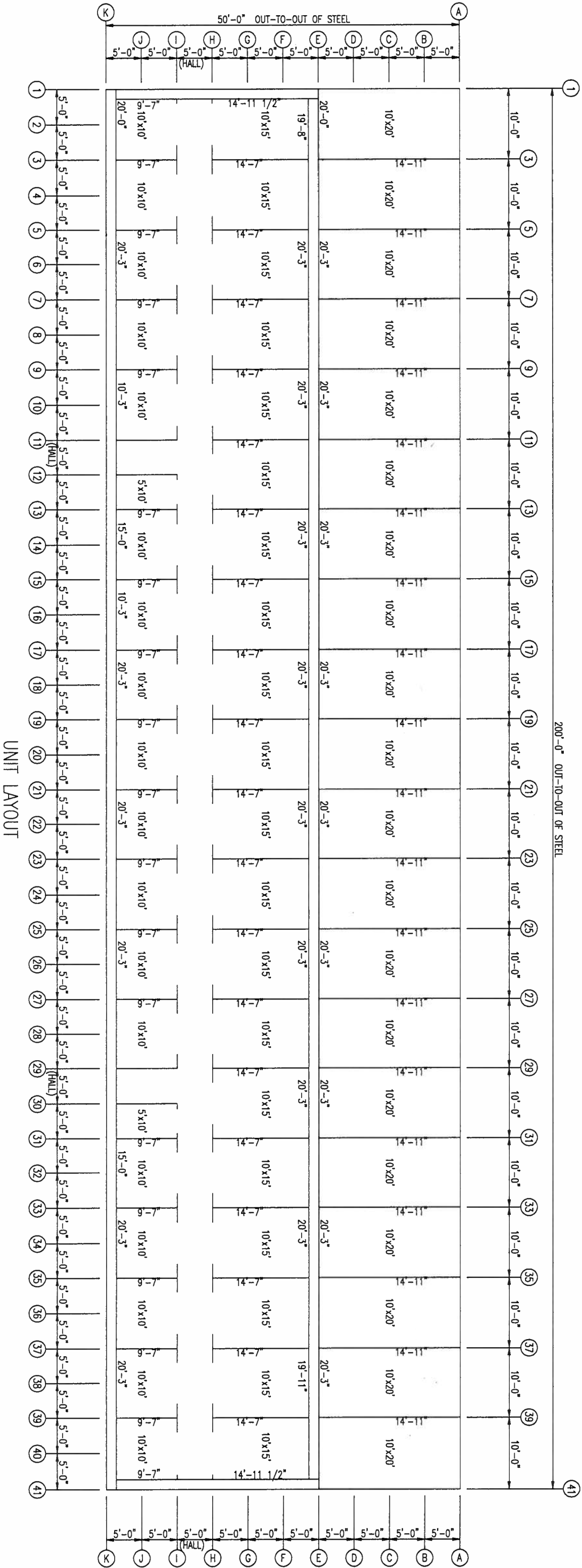
ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE
BUILDING SYSTEMS
Established 1979

2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

PROJECT: United Access Properties INC					OWNER:	
CUSTOMER: Paul Borcia						
LOCATION: Fort White, FL 32038						
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER
SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825	F1





ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

PROJECT: United Access Properties INC

CUSTOMER: Paul Barcia

LOCATION: Fort White, FL 32038

DATE

10/29/19

SCALE

N.T.S.

PHASE

01/02

BUILDING ID

A/B

JOB NUMBER

17-B-34825

SHEET NUMBER

E1

ISSUE

0

HERITAGE

BUILDING SYSTEMS

Established 1979

2612 GRIBBLE STREET

NORTH LITTLE ROCK, AR 72114

1-800-643-5555

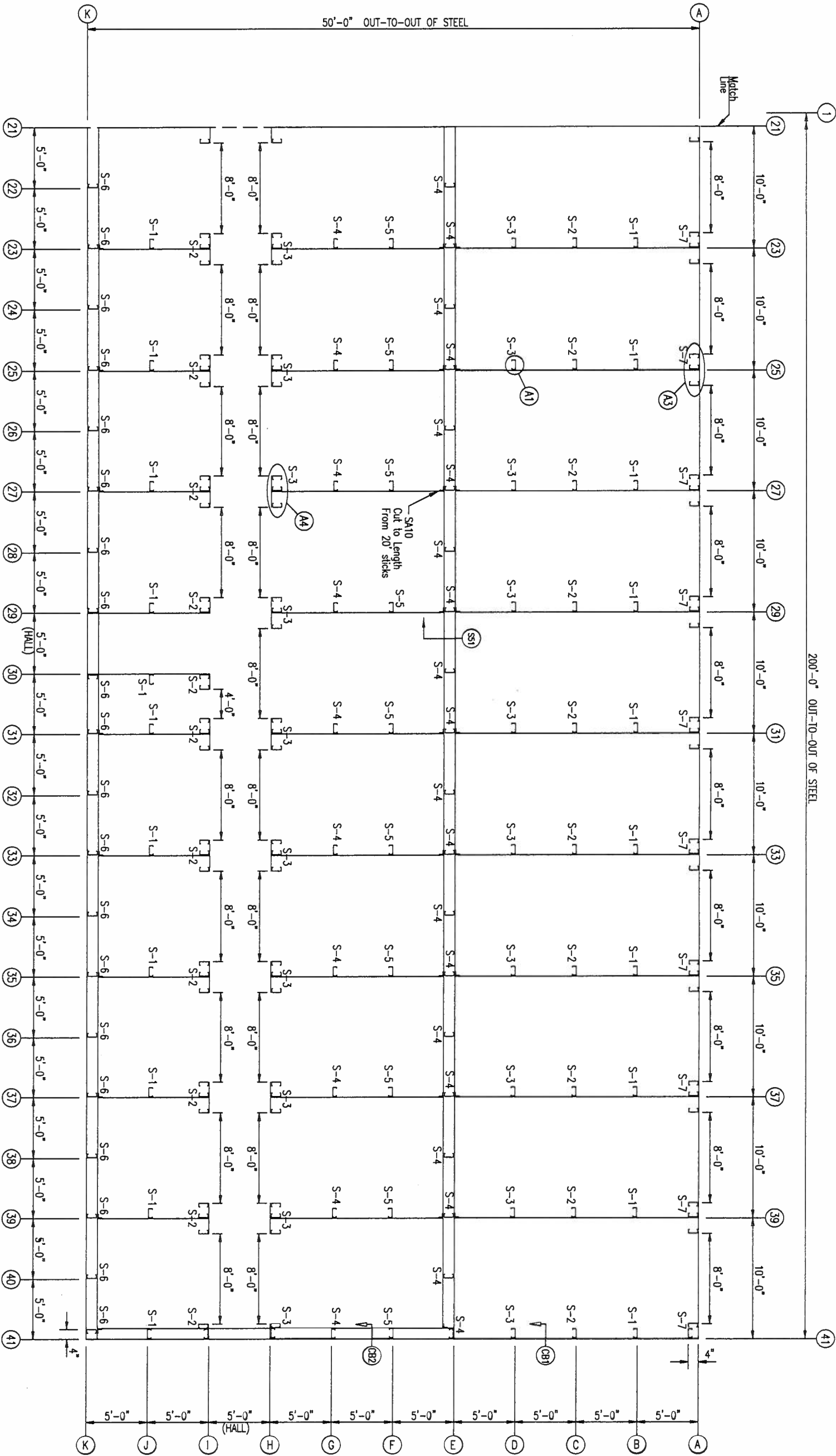
NO. 79966

STATE OF FLORIDA

PROFESSIONAL ENGINEER

11/11/19

MEMBER TABLE		
MARK	PART	LENGTH
S-1	4X2C16	9'-8"
S-2	4X2C16	9'-10 1/2"
S-3	4X2C16	10'-1"
S-4	4X2C16	10'-3 1/2"
S-5	4X2C16	10'-5 1/2"
S-6	4X2C16	9'-5 3/4"
S-7	4X2C16	9'-7 1/4"



FLOOR PLAN

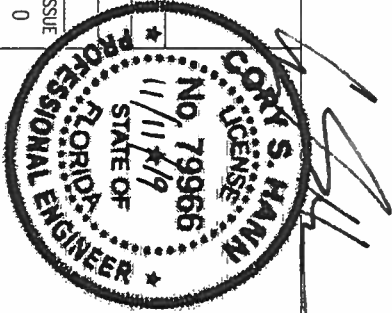
ISSUE	DATE	DESCRIPTION	BR	OK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE
BUILDINGSYSTEMS
Established 1979

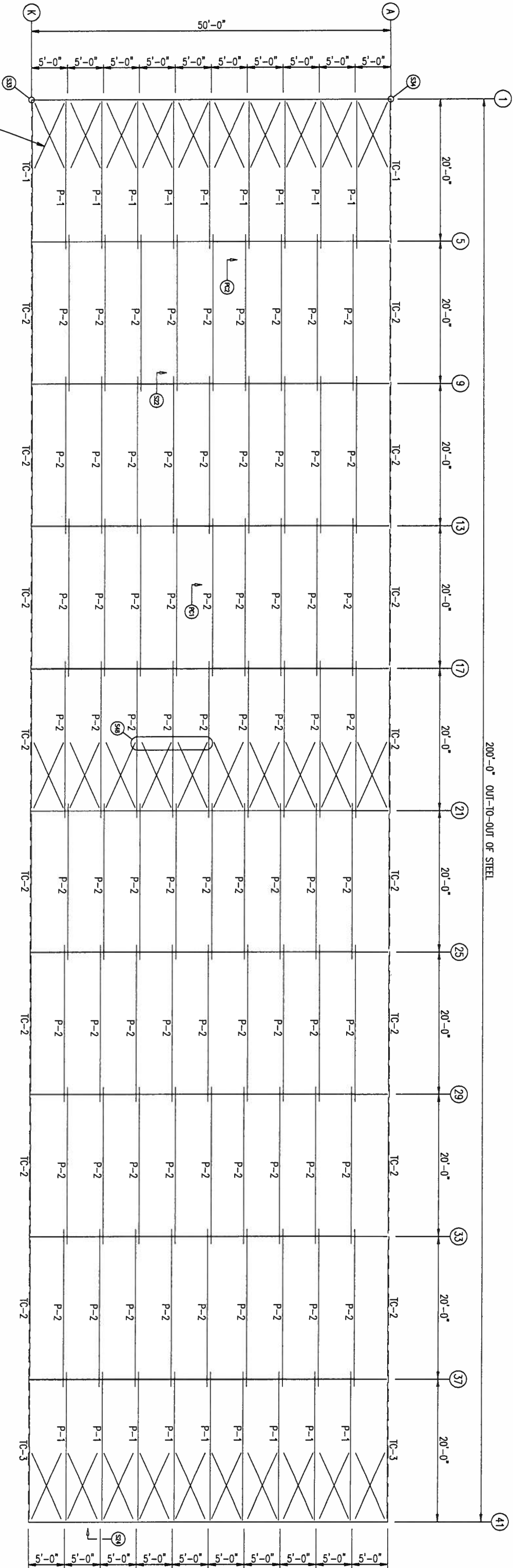
2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

PROJECT: United Access Properties INC				OWNER:			
CUSTOMER: Paul Borcia							
LOCATION: Fort White, FL 32038							
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825	E3	0

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.



MEMBER TABLE			
MARK	PART	LENGTH	
TC-1	HE 100-1	19'-10 5/8"	
TC-2	HE 100-2	19'-11 3/4"	
TC-3	HE 100-3	20'-0 5/8"	
P-1	4X25Z16	21'-0"	
P-2	4X25Z16	22'-0"	



ROOF FRAMING

(60) SC564A x 11'-8"
3 15/16 x 16GA ROOF X-BRACE STRAP
(3) #12 SDS (FAST. #29) EA CONN. (TPP)

ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE

BUILDING SYSTEMS

Established 1979

2612 GRIBBLE STREET

NORTH LITTLE ROCK, AR 721114

1-800-643-5555

PROJECT: Limited Access Properties INC

CUSTOMER: Paul Barcia

LOCATION: Fort White, FL 32038

OWNER:

CAD SW

DATE 10/29/19

SCALE N.T.S.

PHASE 01/02

BUILDING ID A/B

JOB NUMBER 17-B-34825

SHEET NUMBER E4

ISSUE 0

CORY S. HANN

FLORIDA

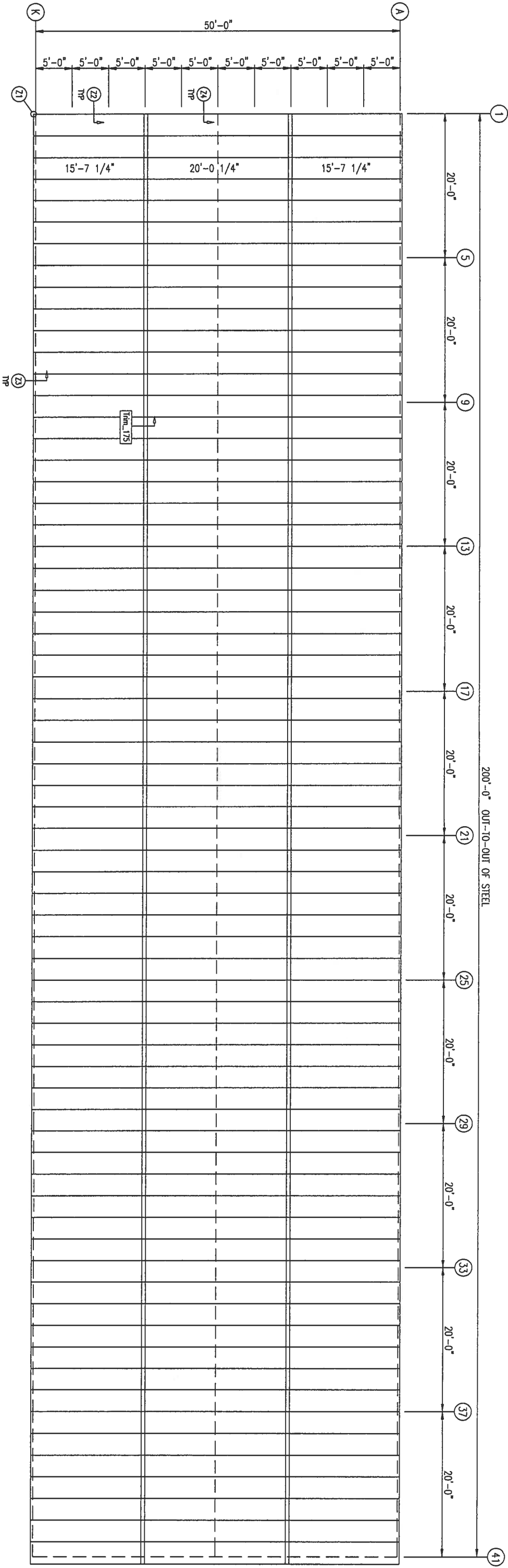
STATE OF

NO. 79966

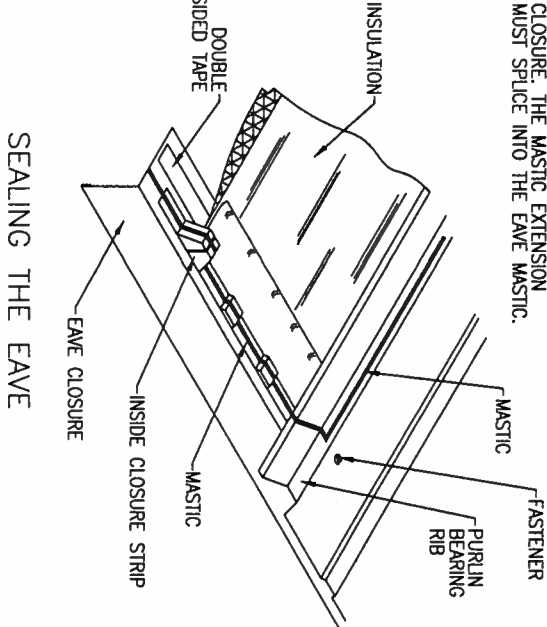
11/11/19

PROFESSIONAL ENGINEER

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.



MASTIC LOCATION AT THE EAVE IS CRITICAL. TO INSURE A WEATHER TIGHT SEAL, THE SIDELAP MASTIC MUST EXTEND DOWN FROM THE TOP OF THE RIB TO THE MASTIC ON THE EAVE CLOSURE. THE MASTIC EXTENSION MUST SPLICE INTO THE EAVE MASTIC.



ALLOW ROOM TO INSTALL MASTIC AND CLOSURE STRIP

MASTIC

INSIDE CLOSURE

ROOF PANEL

CUT FIBERGLASS FROM VAPOR BARRIER AND FOLD BARRIER OVER.

1 1/2" APRX.

INSULATION

DOUBLE SIDED TAPE

OUTSIDE CLOSURE

EAVE TRIM (SHAPE MAY VARY)

#14 SELF TAPPING WALL FASTENER

CAULK CLOSURE SPLICE

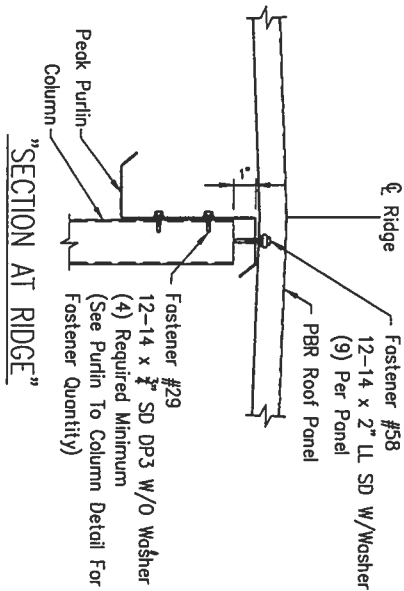
WALL PANEL

NOTE: INSULATION MUST BE INSTALLED AS SHOWN OR ROOF WILL LEAK.

SEALING THE EAVE

ROOF SHEETING & TRIM

PANELS: 26 Ga. PBR - Galvalume



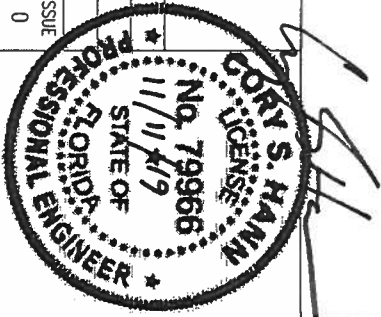
ERECTOR'S NOTE:
FIELD CUT ROOF
PANELS AT END
OF BUILDING

ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE
BUILDINGSYSTEMS
Established 1979

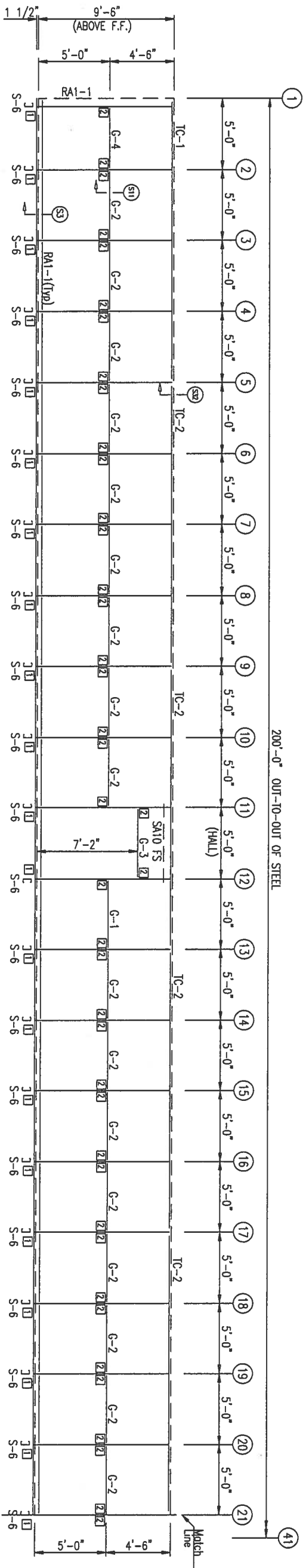
2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

PROJECT: United Access Properties INC				OWNER:			
CUSTOMER: Paul Barcio							
LOCATION: Fort White, FL 32038							
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825	E5	0

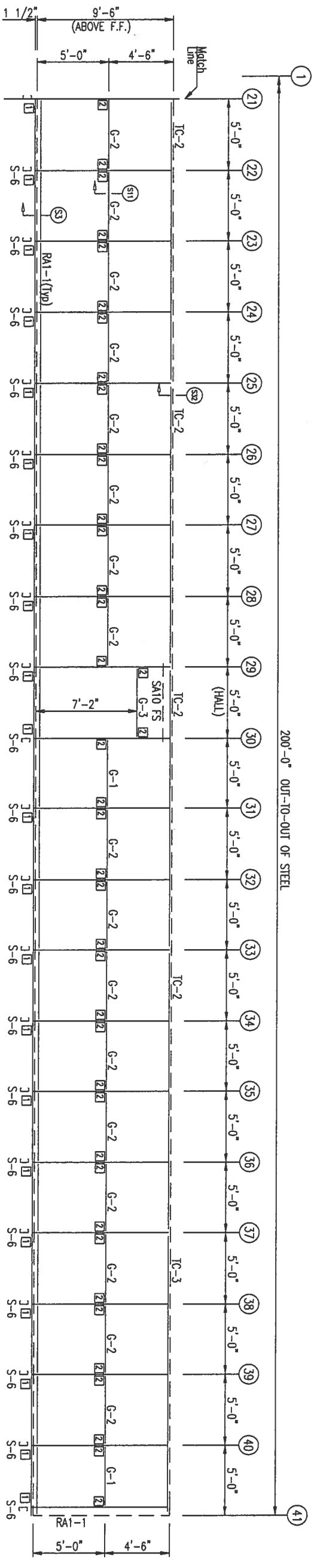


MEMBER TABLE		
MARK	PART	LENGTH
S-6	4X2C16	9'-5 3/4"
TC-1	HE100-1	19'-10 5/8"
TC-2	HE100-2	19'-11 3/4"
TC-3	HE100-3	20'-0 5/8"
G-1	4X2C16	4'-7 1/2"
G-2	4X2C16	4'-9 1/2"
G-3	4X2C16	4'-11 1/2"
G-4	4X2C16	4'-5 1/2"

CONNECTION PLATES	
<input type="checkbox"/> CID	MARK/PART
<input checked="" type="checkbox"/> 1	HW2/8
<input type="checkbox"/> 2	HW2/6



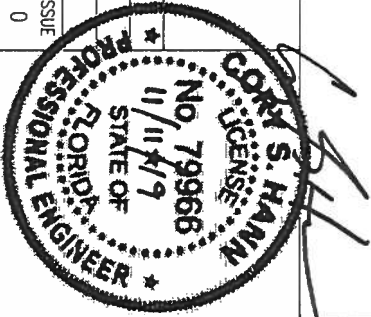
SIDEWALL FRAMING FRAME LINE: K

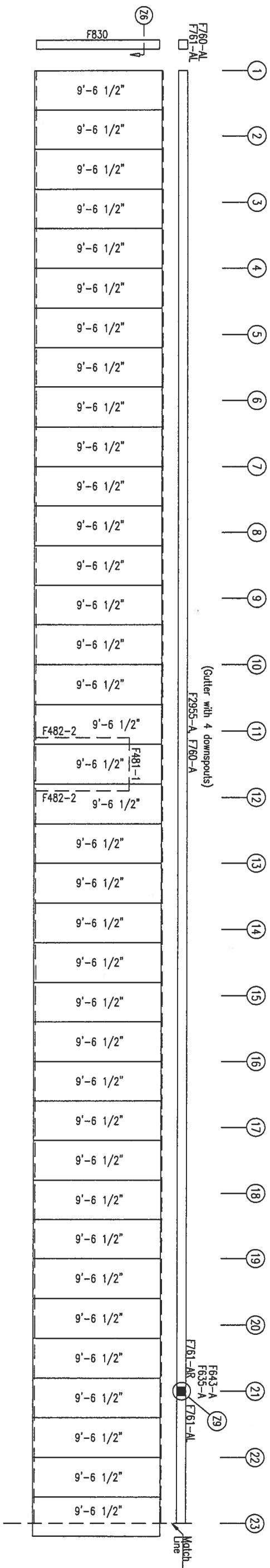


SIDEWALL FRAMING FRAME LINE: K

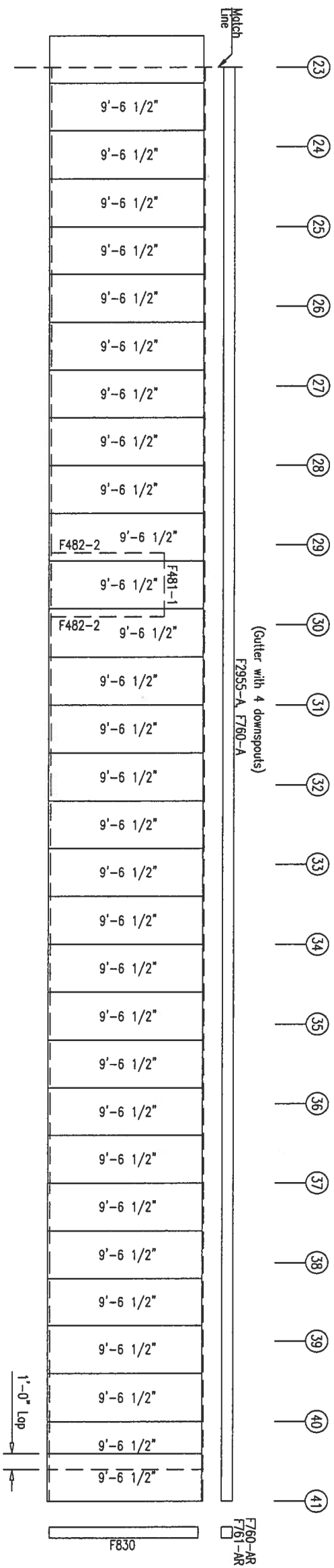
ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH
<div><div>HERITAGE</div><div>BUILDING SYSTEMS</div><div><small>Established 1979</small></div></div> <div>2612 GRIBBLE STREET NORTH LITTLE ROCK, AR 72114 1-800-643-5555</div> <div>PROJECT: United Access Properties INC CUSTOMER: Paul Borgia LOCATION: Fort White, FL 32038</div> <div>OWNER:</div> <div>CAD DATE SCALE PHASE BUILDING ID JOB NUMBER SHEET NUMBER SW 10/29/19 N.T.S. 01/02 A/B 17-B-34825 E6</div>					

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.





SIDEWALL SHEETING & TRIM FRAME LINE: K
PANELS: 26 Ga. PBR – Ash Grey



SIDEWALL SHEETING & TRIM FRAME LINE: K
PANELS: 26 Ga. PBR - Ash Gray

ERECTOR'S NOTE:
BACK LAP PANELS
@ END OF RUN.

DOWNSPOUT SPACING LOCATIONS

DOWNSPOUTS ARE TO BE PLACED AT A SPACING NOT TO EXCEED 48 FT. WITH A DOWNSPOUT WITHIN 24 FT. OF EACH END OF THE GUTTER RUN. GUTTER RUN IS FROM END TO END OF BLDG OR END TO GUTTER EXPANSION. SEE TRIM_93 & TRIM_94 FOR DOWNSPOUT ATTACHMENT.

[illegible]

HERITAGE

BUILDING SYSTEMS

Established 1979

PROJECT: Limited Access Properties INC

CUSTOMER: Paul Barcia

LOCATION: Fort White, FL 32038

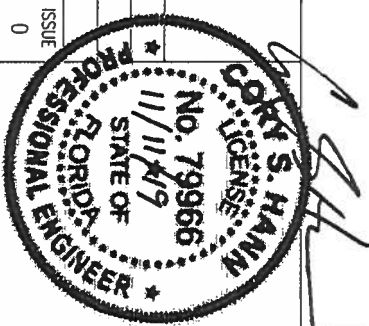
2612 GRIBBLE STREET

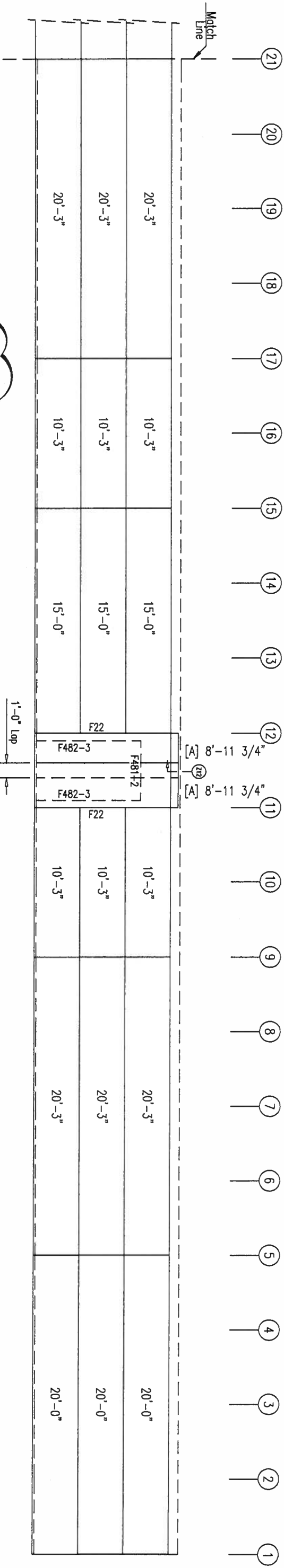
NORTH LITTLE ROCK, AR 72114

1-800-643-5555

CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825	E7	0

OWNER:

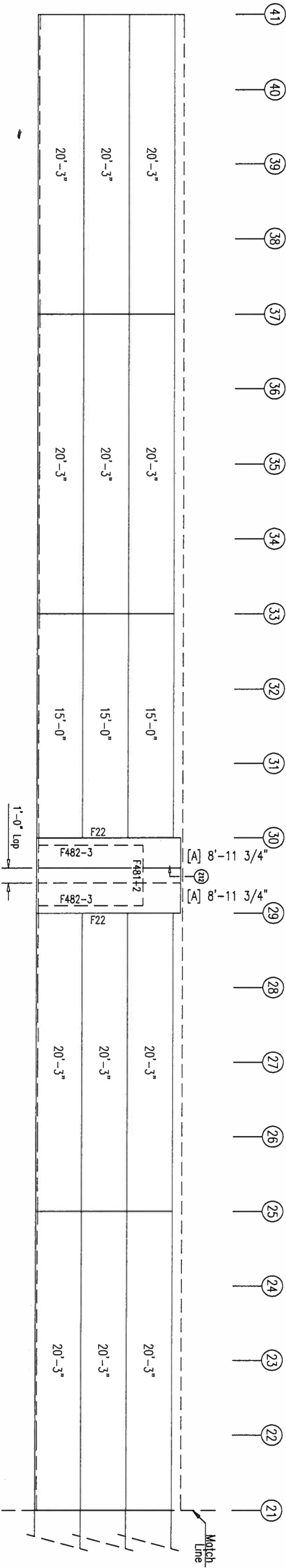




ERECTOR'S NOTE:
BACK LAP PANELS
@ END OF RUN.

SIDEWALL LINER & TRIM FRAME LINE: K

[A] PANELS: 26 Ga. PBR - Polar White
PANELS: 29 Ga. PBU - Galvalume



SIDEWALL LINER & TRIM FRAME LINE: K

[A] PANELS: 26 Ga. PBR - Polar White
PANELS: 29 Ga. PBU - Galvalume

ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

PROJECT: United Access Properties INC

CUSTOMER: Paul Borcia

LOCATION: Fort White, FL 32038

CAD SW

DATE 10/29/19

SCALE N.T.S.

PHASE 01/02

BUILDING ID A/B

JOB NUMBER 17-B-34825

SHEET NUMBER E8

ISSUE 0

HERITAGE BUILDINGSYSTEMS

Established 1979

2612 GRIBBLE STREET

NORTH LITTLE ROCK, AR 72114

1-800-643-5555

OWNER:

PROJECT: United Access Properties INC

CUSTOMER: Paul Borcia

LOCATION: Fort White, FL 32038

CAD SW

DATE 10/29/19

SCALE N.T.S.

PHASE 01/02

BUILDING ID A/B

JOB NUMBER 17-B-34825

SHEET NUMBER E8

ISSUE 0

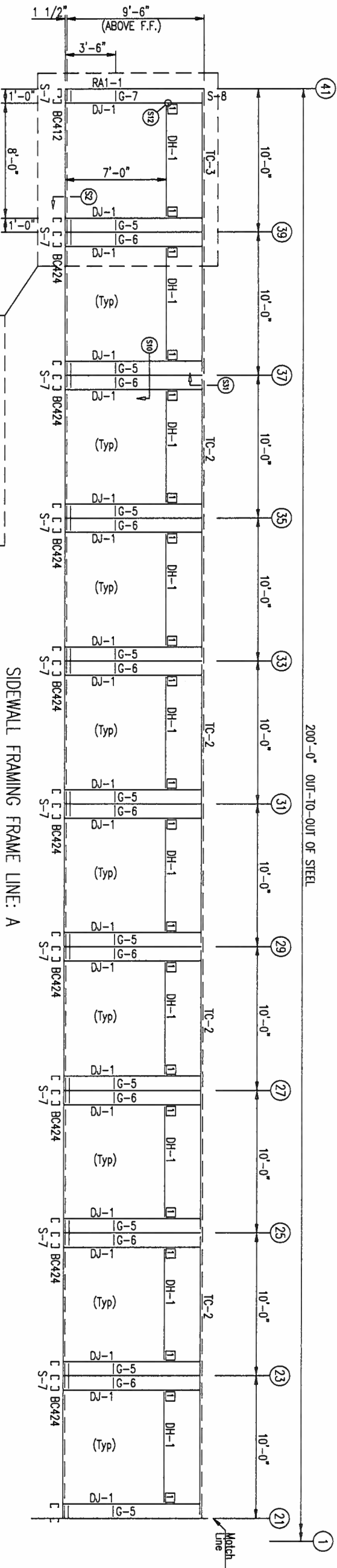
PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.

MEMBER TABLE

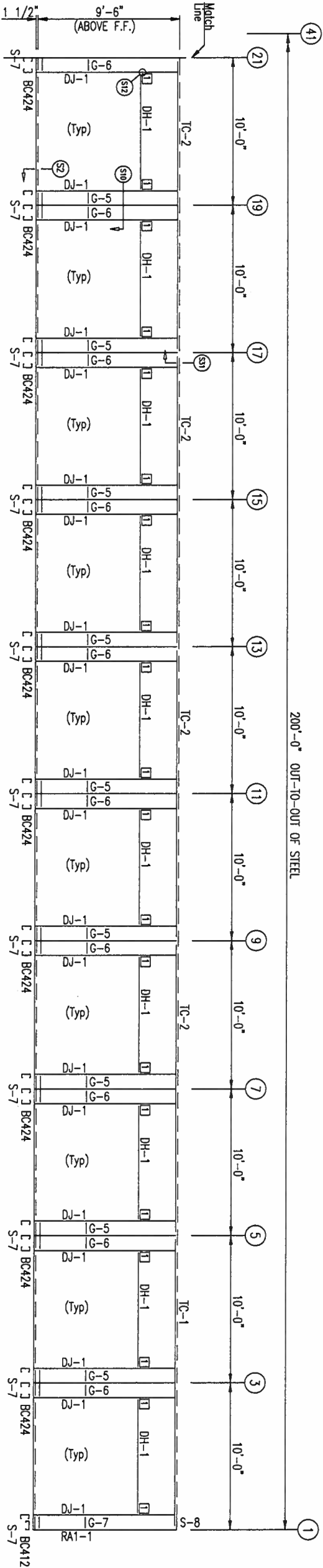
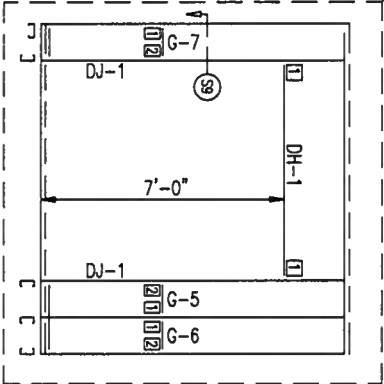
MARK	PART	LENGTH
S-7	4X2C16	9'-7 1/4"
S-8	4X2C16	1'-0" 1/4"
DJ-1	4X25C14	9'-7 1/4"
TC-1	HE100-1	19'-10 5/8"
TC-2	HE100-2	19'-11 3/4"
TC-3	HE100-3	20'-0 5/8"
DH-1	4X2C16	7'-11 1/2"
G-5	4X2C16	0'-9 1/2"
G-6	4X2C16	0'-7"
G-7	4X2C16	0'-5"
BC412	4.25X2CH16	0'-11 1/2"
BC424	4.25X2CH16	1'-11 1/2"

CONNECTION PLATES

ID	MARK/PART
1	HW2/6
2	SC563



TYP CLIP LOCATIONS



SIDEWALL FRAMING FRAME LINE: A

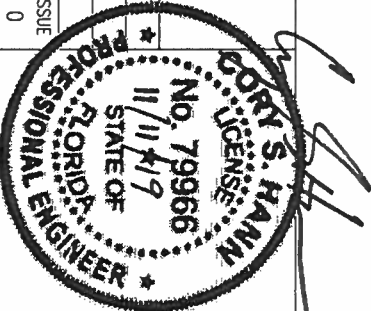
HERITAGE
BUILDINGSYSTEMS
Established 1979

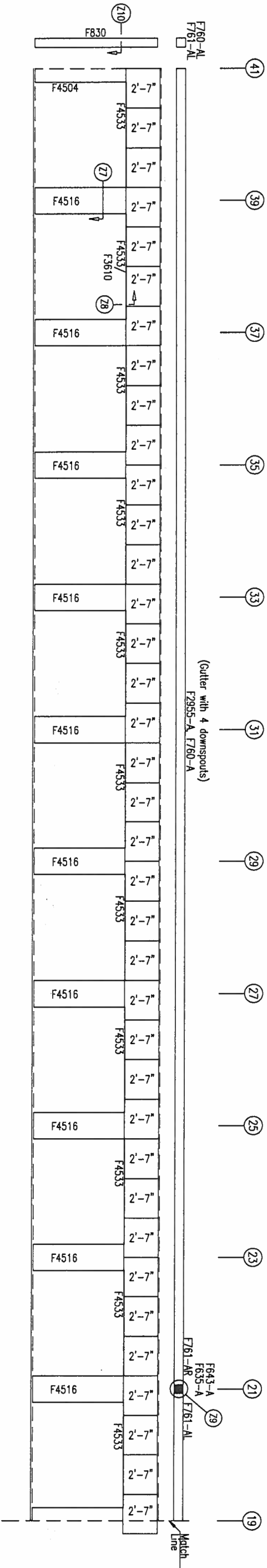
2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

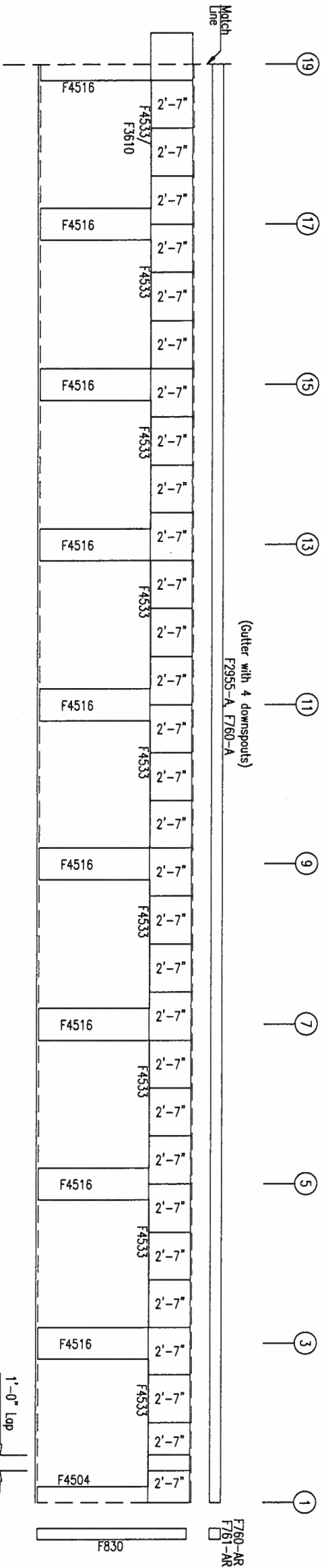
PROJECT: United Access Properties INC					
CUSTOMER: Paul Barco					
LOCATION: Fort White, FL 32038					
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER
SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825
SHEET NUMBER					ISSUE
E9					0

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.





SIDEWALL SHEETING & TRIM FRAME LINE: A
PANELS: 26 Ga. PBR - Ash Gray



SIDEWALL SHEETING & TRIM FRAME LINE: A
PANELS: 26 Ga. PBR - Ash Gray

DOWNSPOUT SPACING LOCATIONS

DOWNSPOUTS ARE TO BE PLACED AT A SPACING NOT TO EXCEED 48 FT. WITH A DOWNSPOUT WITHIN 24 FT. OF EACH END OF THE GUTTER RUN.
GUTTER RUN IS FROM END TO END OF BLDG OR END TO GUTTER EXPANSION.
SEE TRIM_93 & TRIM_94 FOR DOWNSPOUT ATTACHMENT.

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE

BUILDING SYSTEMS

Established 1979

2612 GRIBBLE STREET

NORTH LITTLE ROCK, AR 72114

1-800-643-5555

PROJECT: United Access Properties INC

CUSTOMER: Paul Barcia

LOCATION: Fort White, FL 32038

CAD SW

DATE 10/29/19

SCALE N.T.S.

PHASE 01/02

BUILDING ID A/B

JOB NUMBER 17-B-34825

SHEET NUMBER E10

ISSUE 0

OWNER:

DATE 10/29/19

SCALE N.T.S.

PHASE 01/02

BUILDING ID A/B

JOB NUMBER 17-B-34825

SHEET NUMBER E10

ISSUE 0

NO. 79966

H/11/19

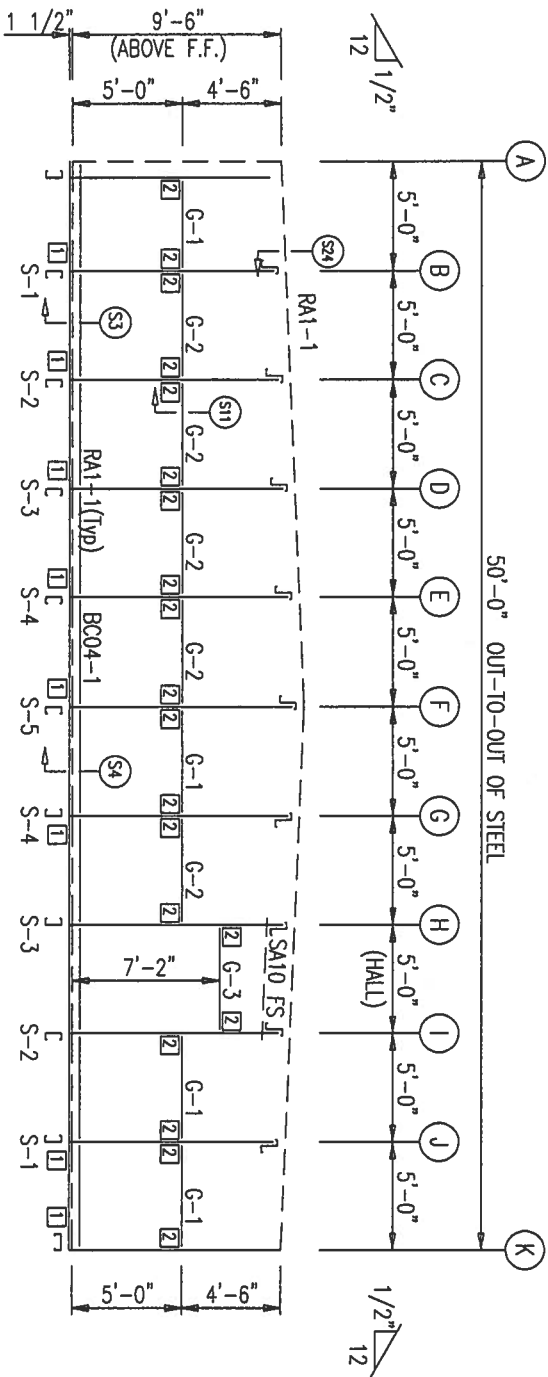
STATE OF FLORIDA

PROFESSIONAL ENGINEER

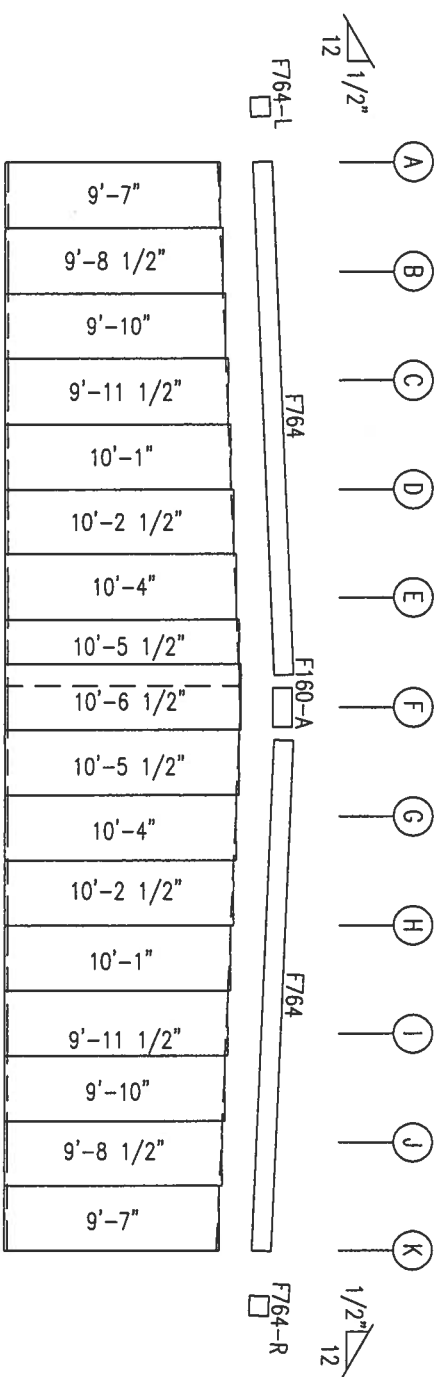
ERECTOR'S NOTE:
BACK LAP PANELS
@ END OF RUN.

MEMBER TABLE		
MARK	PART	LENGTH
S-1	4X2C16	9'-8"
S-2	4X2C16	9'-10 1/2"
S-3	4X2C16	10'-1"
S-4	4X2C16	10'-3 1/2"
S-5	4X2C16	10'-5 1/2"
G-1	4X2C16	4'-7 1/2"
G-2	4X2C16	4'-9 1/2"
G-3	4X2C16	4'-11 1/2"

CONNECTION PLATES		
ID	MARK/PART	
1	HM2/8	
2	HM2/6	



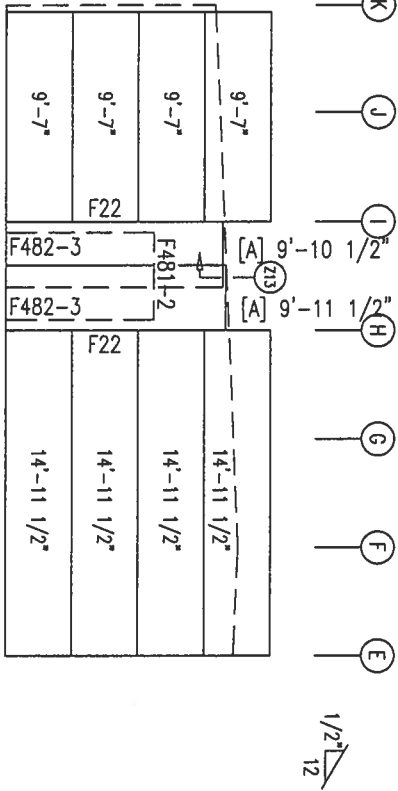
ENDWALL FRAMING FRAME LINE: 1



ENDWALL SHEETING & TRIM FRAME LINE: 1

PANELS: 26 Ga. PBR - Ash Gray

ERECTOR'S NOTE:
OVER LAP PANELS
@ END OF RUN.



ENDWALL LINER & TRIM FRAME LINE: 1

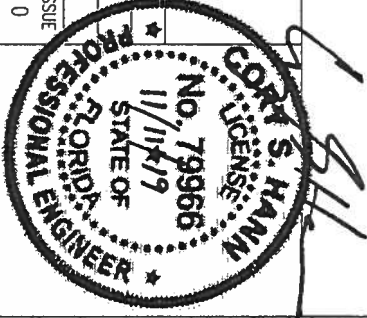
[A] PANELS: 26 Ga. PBR - Polar White
PANELS: 29 Ga. PBU - Galvalume

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE
BUILDINGSYSTEMS
Established 1979

2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

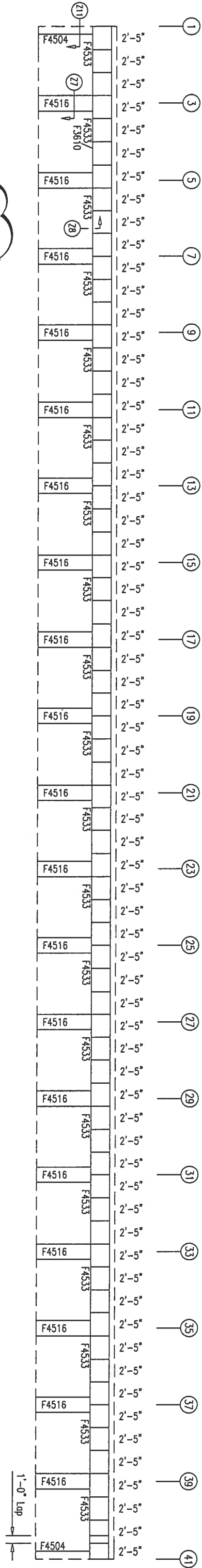
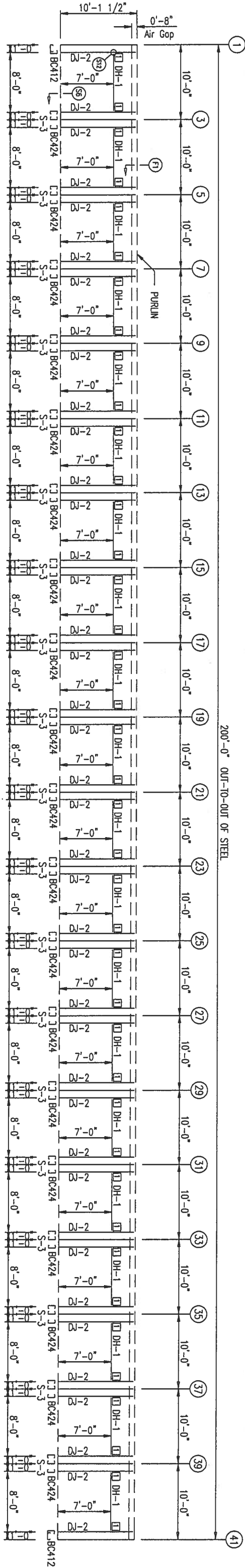
PROJECT: United Access Properties INC		OWNER:	
CUSTOMER: Paul Barcio			
LOCATION: Fort White, FL 32038			
CAD	DATE	SCALE	PHASE
SW	10/29/19	N.T.S.	01/02
			BUILDING ID
			JOB NUMBER
			17-B-34825
			SHEET NUMBER
			E11
			ISSUE
			0



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MEMBER TABLE			
MARK	PART	LENGTH	
S-3	4X2C16	10'-1"	
DJ-2	4X2C16	10'-1"	
DH-1	4X2C16	7'-11 1/2"	
BC412	4.25X2CH16	0'-11 1/2"	
BC424	4.25X2CH16	1'-11 1/2"	

CONNECTION PLATES	
<input type="checkbox"/> IID	MARK/PART
1	FW2/6



ERECTOR'S NOTE:
BACK LAP PANELS
© END OF RUN.

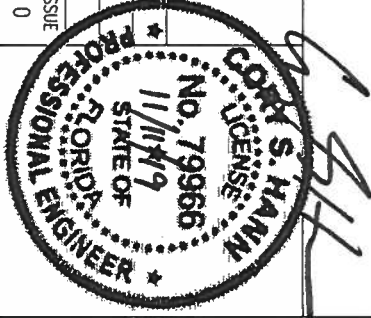
WALL SHEETING & TRIM FRAME LINE: H
PANELS: 26 Ga. PR - Polar White

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.

ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH
PROJECT: Limited Access Properties INC					
CUSTOMER: Paul Buncio					
LOCATION: Fort White, FL 32038					
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER
SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825
SHEET NUMBER					ISSUE
E14					0

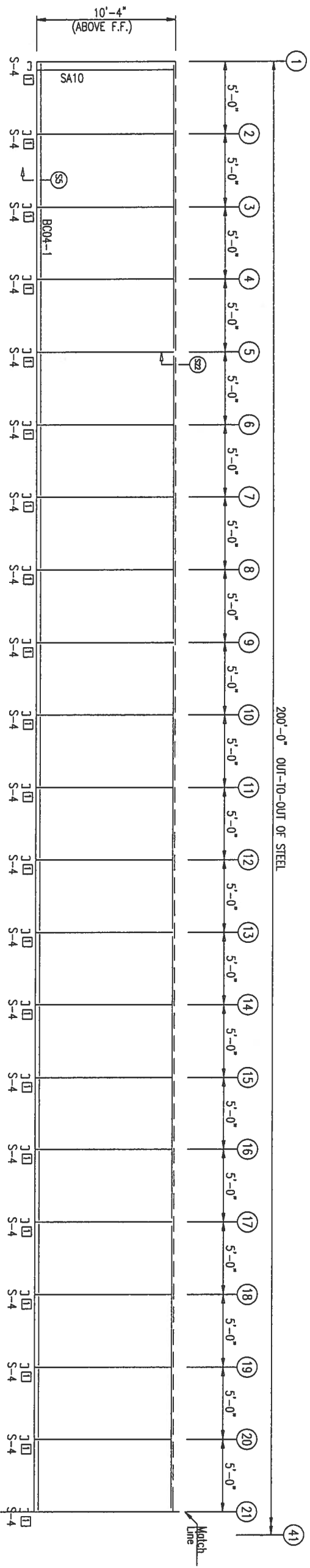
HERITAGE
BUILDINGSYSTEMS
Established 1979

2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

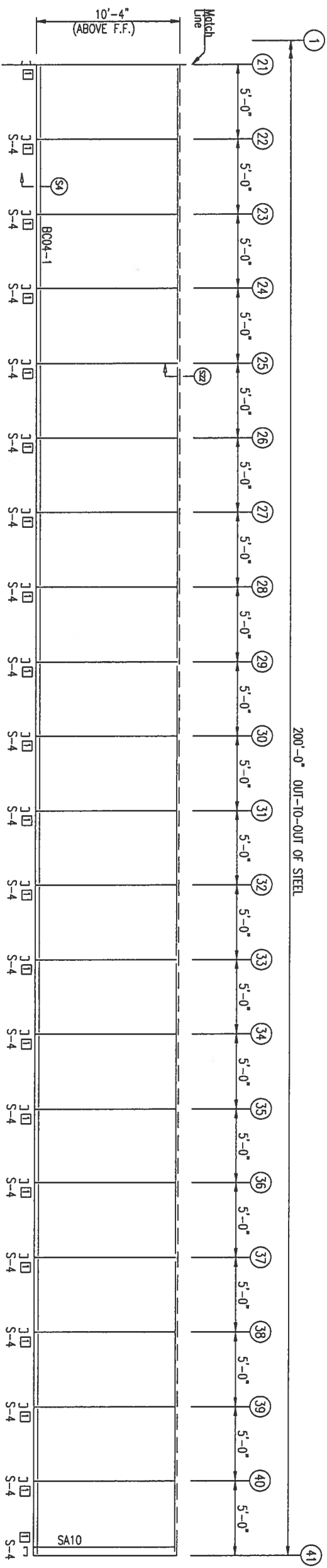


MEMBER TABLE		
MARK	PART	LENGTH
S-4	4X2C16	10'-3 1/2"

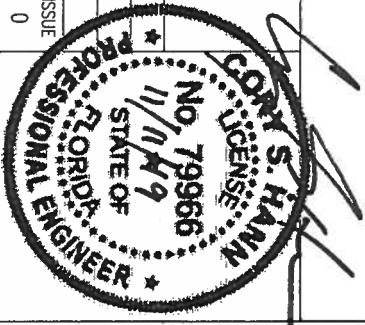
CONNECTION PLATES	
<input type="checkbox"/> ID	MARK/PART
1	HW278

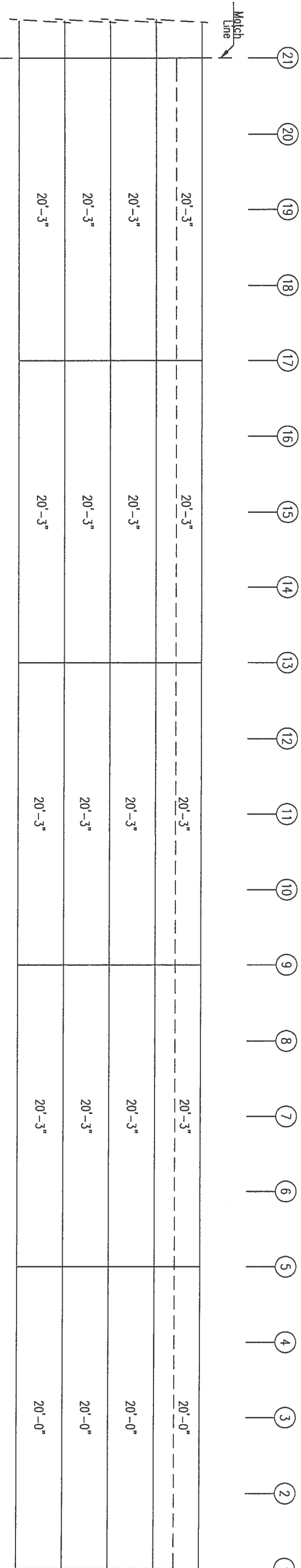


INTERIOR WALL FRAMING FRAME LINE: E

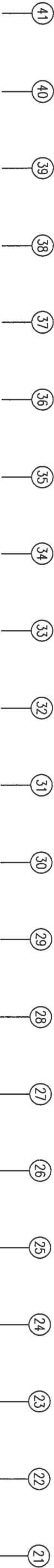


INTERIOR WALL FRAMING FRAME LINE: E

[illegible]



SIDEWALL LINER & TRIM FRAME LINE: E
PANELS: 29 Ga. PBU – Galvalume



20'-3"	20'-3"	20'-3"	20'-3"
20'-3"	20'-3"	20'-3"	20'-3"
20'-3"	20'-3"	20'-3"	20'-3"
20'-3"	20'-3"	20'-3"	20'-3"

SIDEWALL LINER & TRIM FRAME LINE: E
PANELS: 29 Ga. PBU – Galvalume

ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN	PROJECT: Limited Access Properties INC							
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH	CUSTOMER: Paul Borcia							
						LOCATION: Fort White, FL 32038							
						OWNER:							
						PROJECT: Limited Access Properties INC							
						CUSTOMER: Paul Borcia							
						LOCATION: Fort White, FL 32038							
						CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
						SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825	E17	0

HERITAGE BUILDINGSYSTEMS

Established 1979

2612 GRIBBLE STREET

NORTH LITTLE ROCK, AR 72114

1-800-643-5555

CORRY S. HANN

FLORIDA

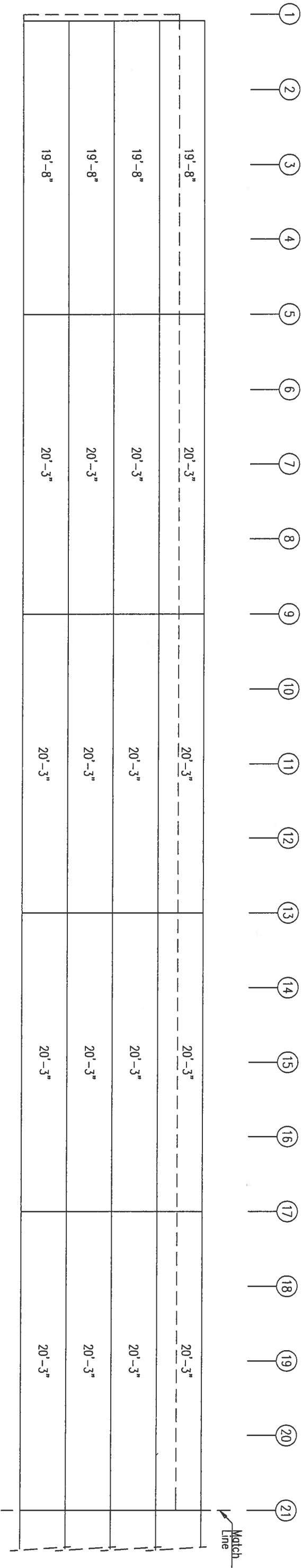
PROFESSIONAL ENGINEER

11/11/19

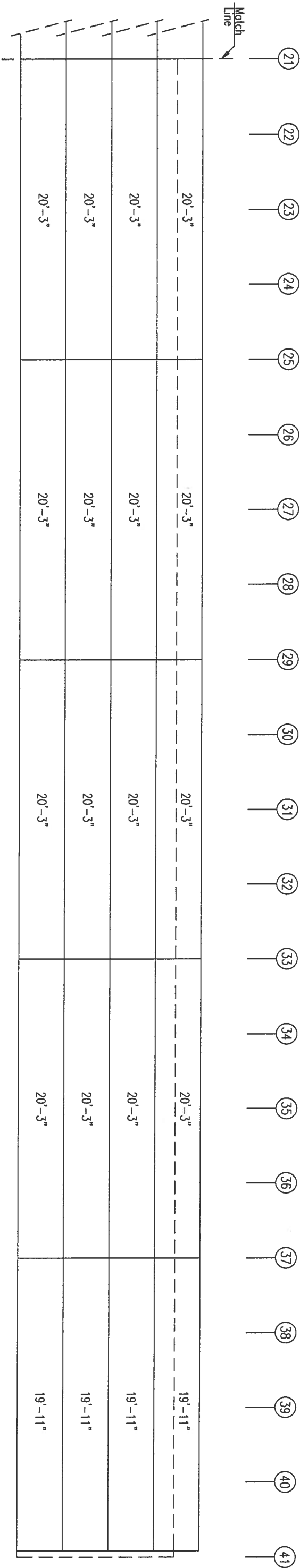
No. 79966

STATE OF

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.



SIDEWALL LINER & TRIM FRAME LINE: E
PANELS: 29 Ga. PBU – Galvalume



SIDEWALL LINER & TRIM FRAME LINE: E
PANELS: 29 Ga. PBU – Galvalume

ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE

BUILDINGSYSTEMS

Established 1979

2612 GRIBBLE STREET

NORTH LITTLE ROCK, AR 72114

1-800-643-5555

PROJECT: United Access Properties INC

CUSTOMER: Paul Barcio

LOCATION: Fort White, FL 32038

OWNER:

CAD SW

DATE 10/29/19

SCALE N.T.S.

PHASE 01/02

BUILDING ID A/B

JOB NUMBER 17-B-34825

SHEET NUMBER E18

ISSUE 0

NO. 79966

11/11/19

STATE OF FLORIDA

PROFESSIONAL ENGINEER

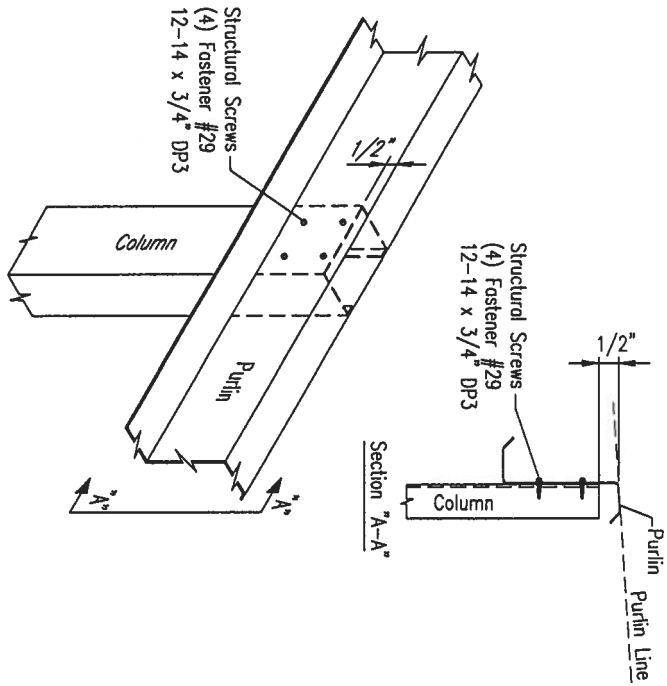
PAUL S. HANN

11/11/19

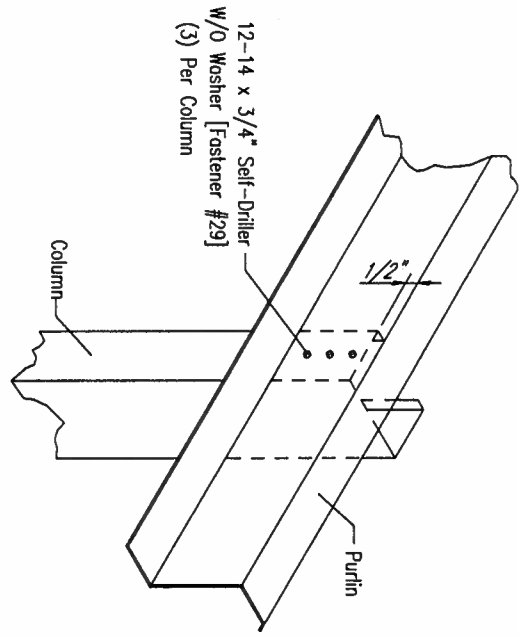
STATE OF FLORIDA

PROFESSIONAL ENGINEER

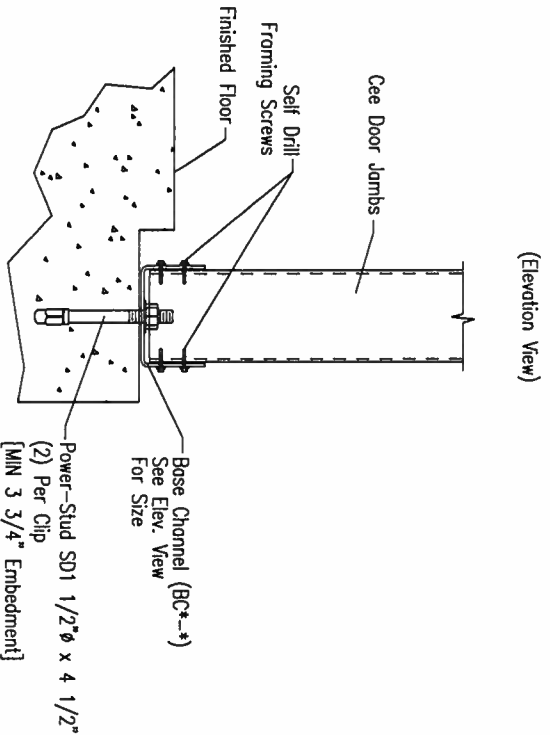
PANEL, DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.



PC1 PURLIN TO COLUMN CONNECTION MS0010

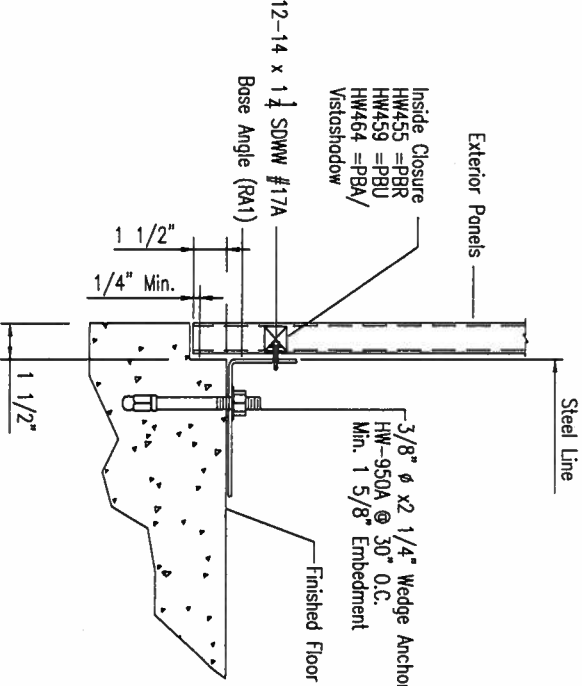


PC2 PURLIN TO INTERMEDIATE COLUMN CONNECTION

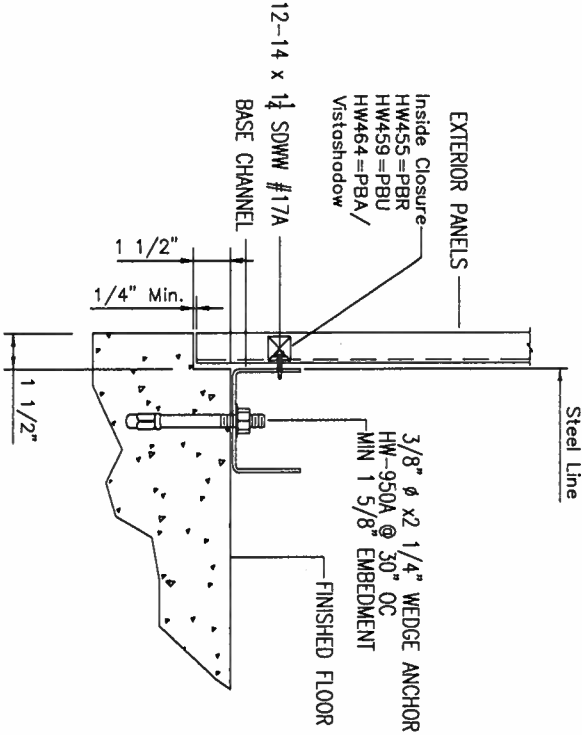


S2 BASE AT DOOR JAMB

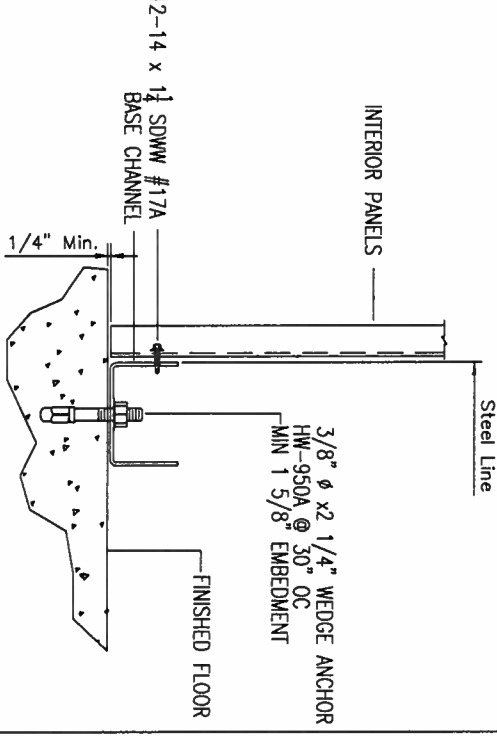
"See A3 Detail for Additional information."



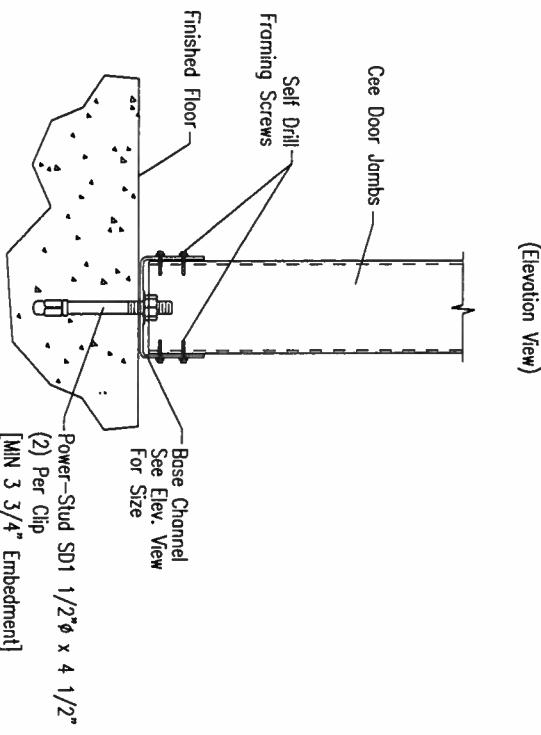
S3 SHEETED WALL



S4 SHEETED WALL

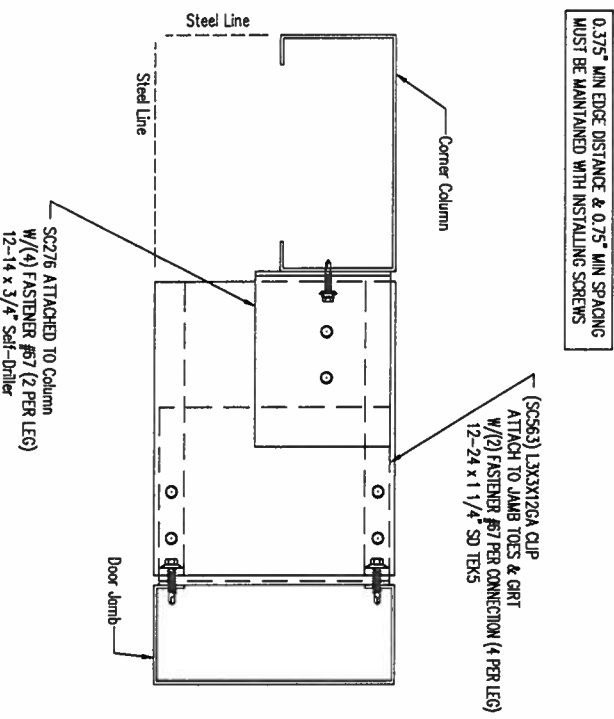


S5 INTERIOR SHEETED WALL



S6 BASE AT DOOR JAMB

"See A4 Detail for Additional information."



S9 SCREW FASTENED JAMB TO GIRT CLIP DETAIL @ CORNER

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE
BUILDING SYSTEMS
Established 1979

2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

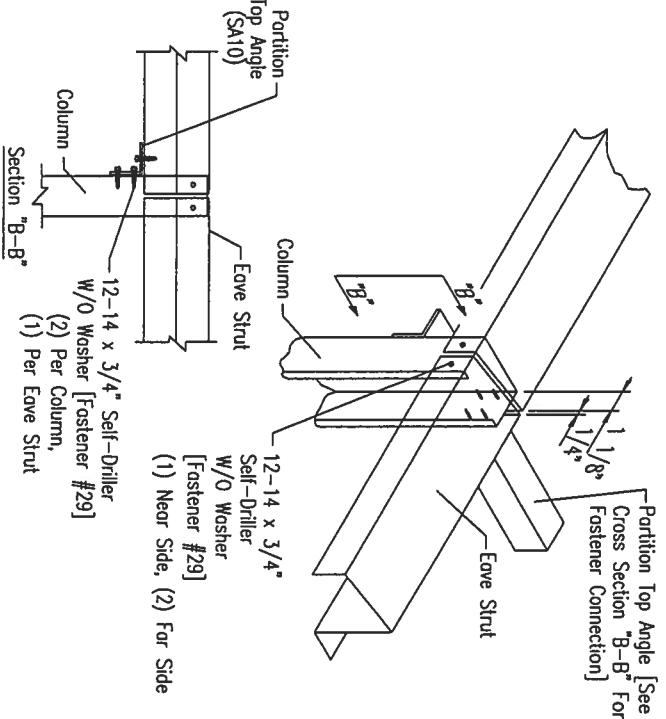
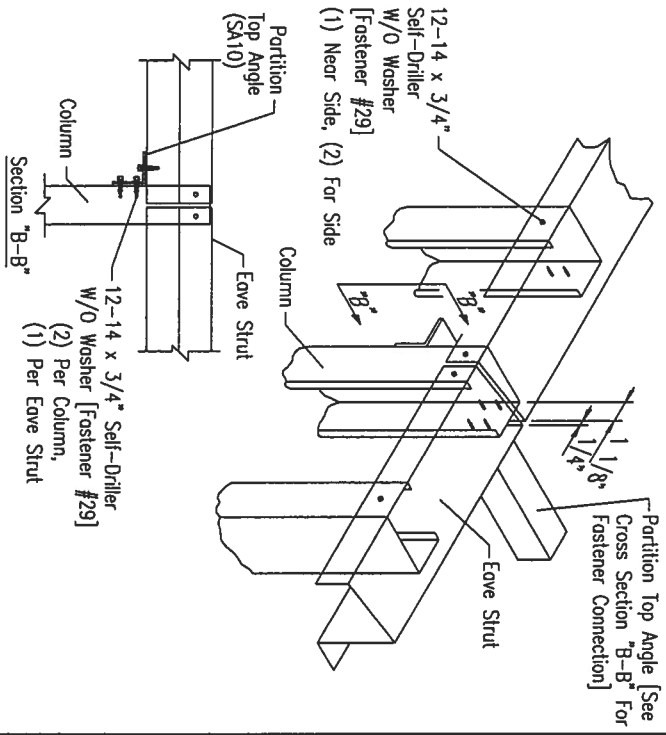
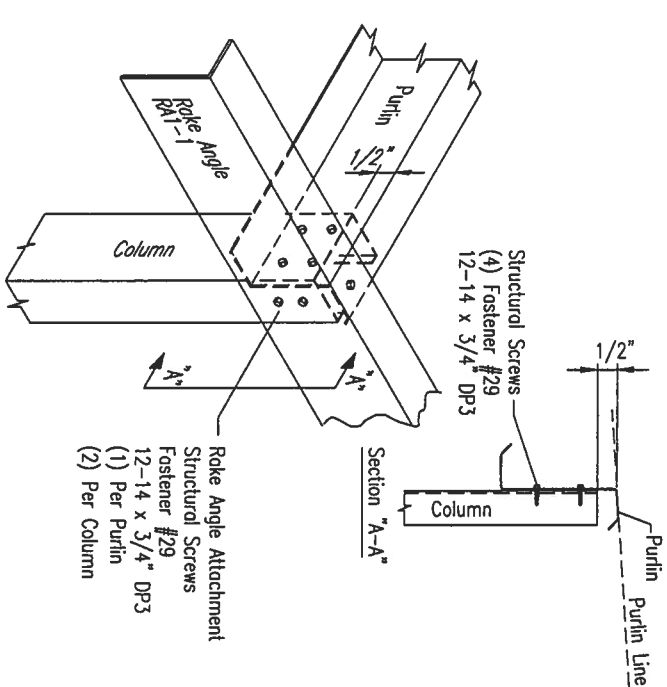
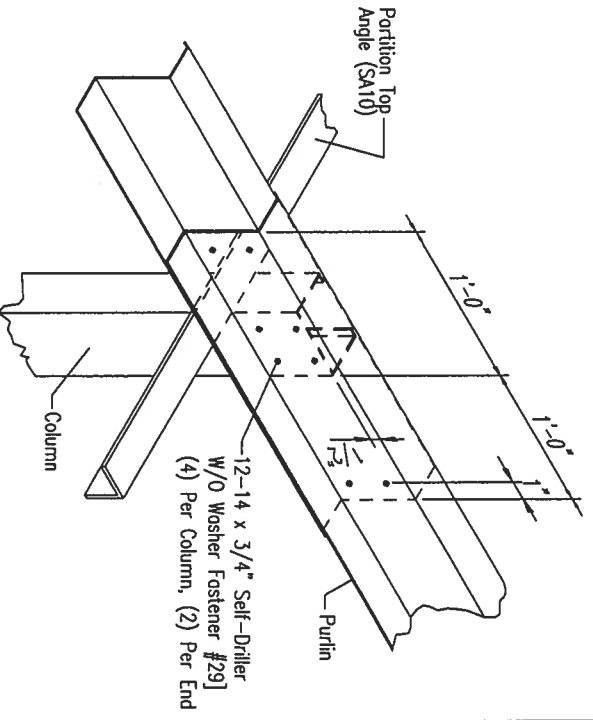
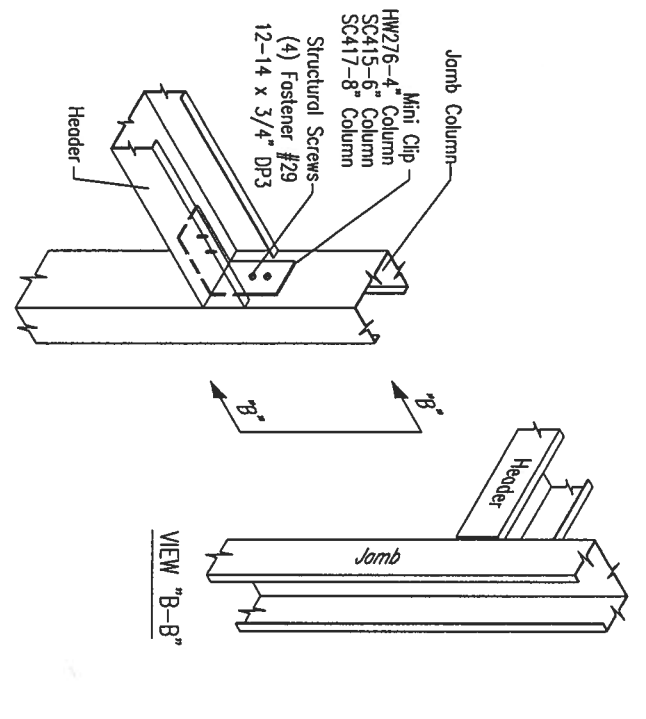
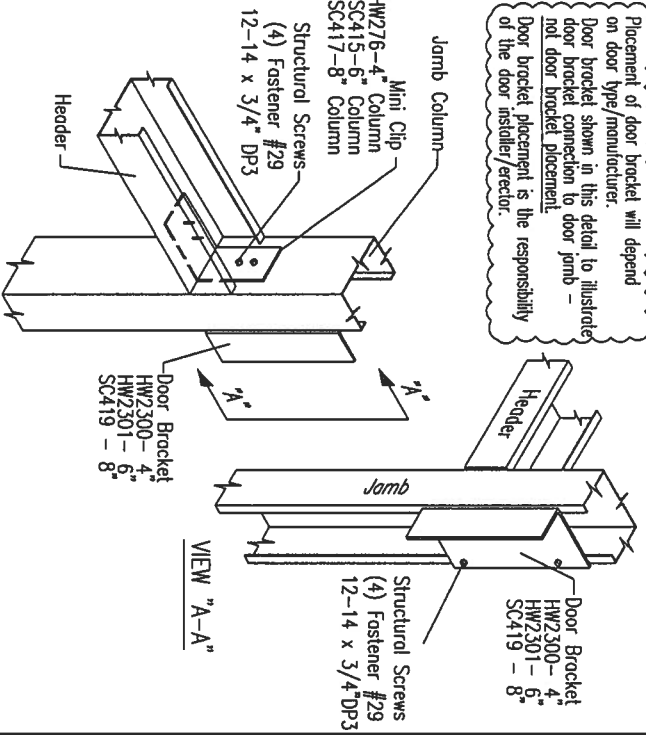
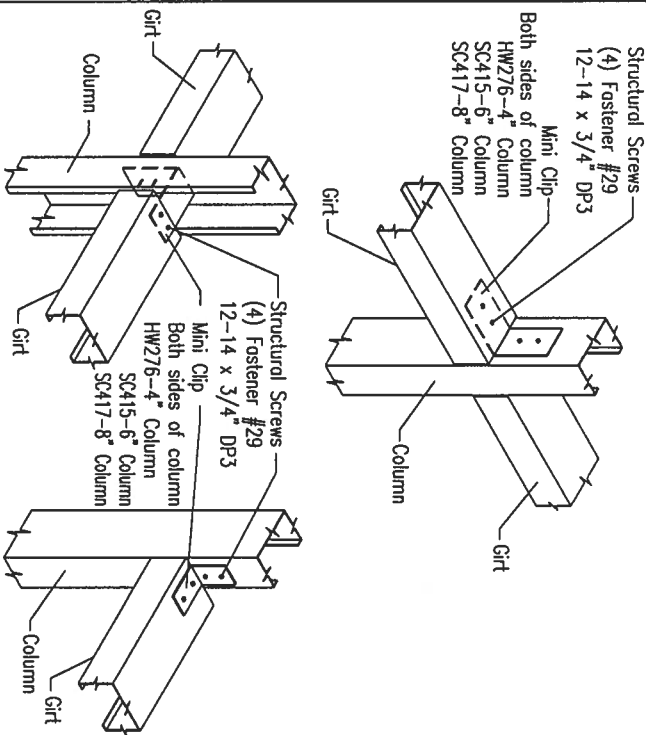
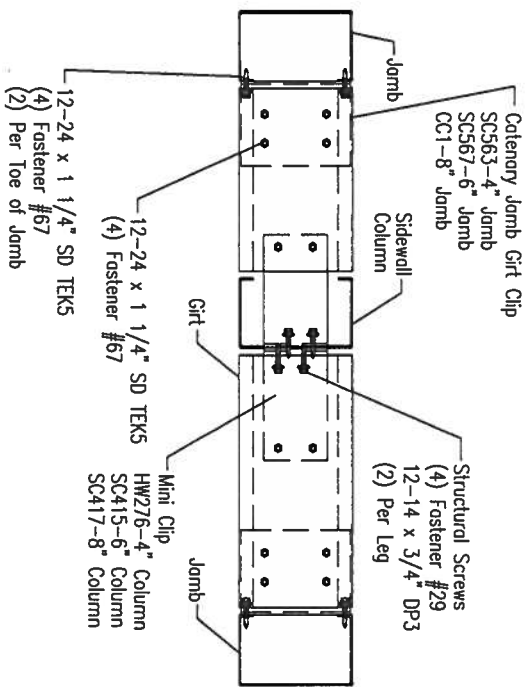
PROJECT: United Access Properties INC
CUSTOMER: Paul Borcia
LOCATION: Fort White, FL 32038

OWNER:

CAD DATE SCALE PHASE BUILDING ID JOB NUMBER SHEET NUMBER ISSUE
SW 10/29/19 N.T.S. 01 A/B 17-B-34825 DET2 0

11/11/19
No. 79966
STATE OF FLORIDA
PROFESSIONAL ENGINEER

11/11/19
No. 79966
STATE OF FLORIDA
PROFESSIONAL ENGINEER



ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE

BUILDINGSYSTEMS

Established 1979

2612 GRIBBLE STREET

NORTH LITTLE ROCK, AR 72114

1-800-643-5555

PROJECT: Limited Access Properties INC

CUSTOMER: Paul Barcia

LOCATION: Fort White, FL 32038

OWNER:

CAD SW

DATE 10/29/19

SCALE N.T.S.

PHASE 01

BUILDING ID A/B

JOB NUMBER 17-B-34825

SHEET NUMBER DET3

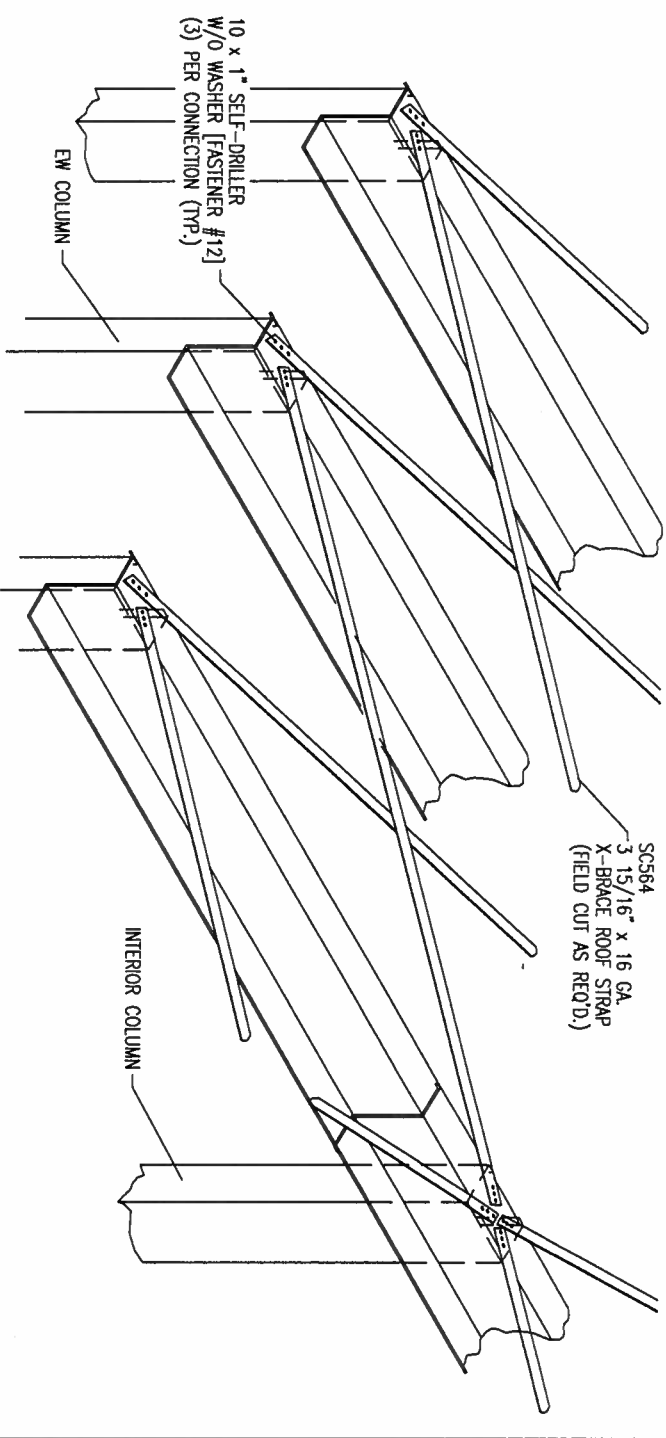
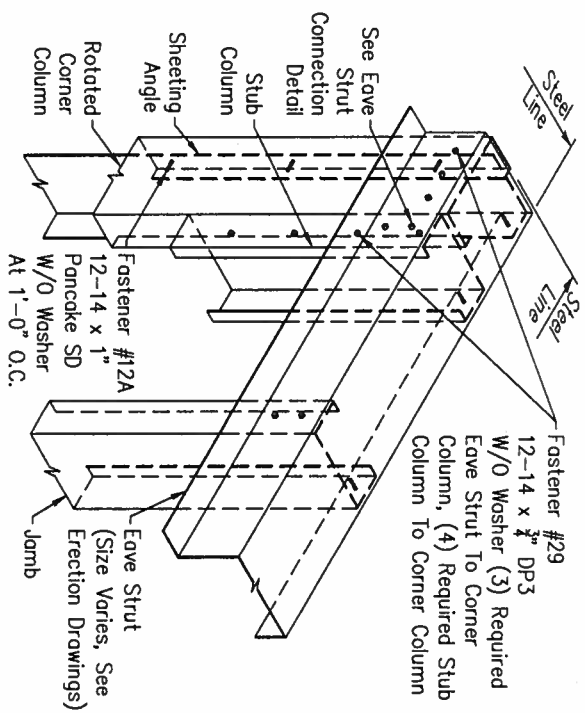
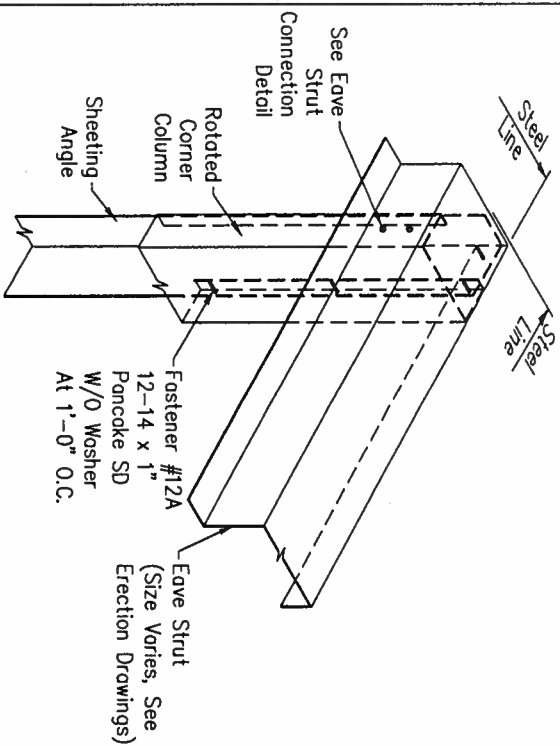
ISSUE 0

NO. 79966

11/11/19

STATE OF FLORIDA

PROFESSIONAL ENGINEER

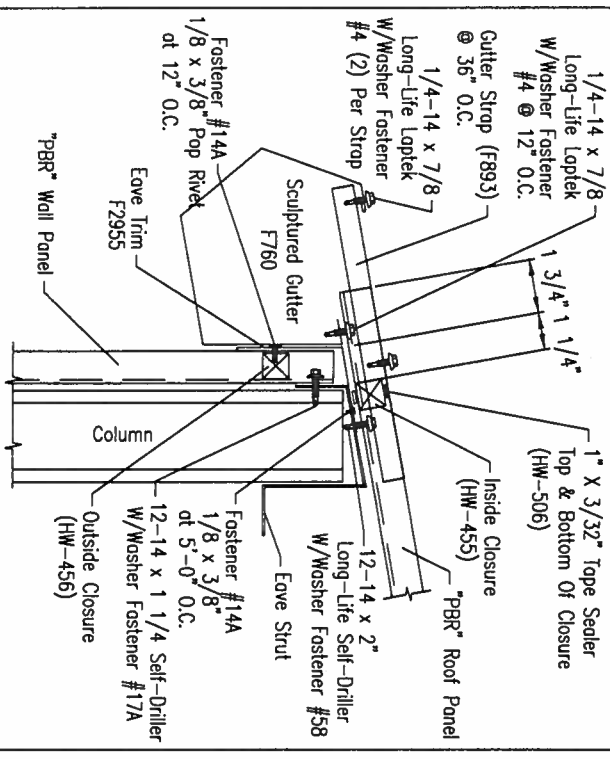
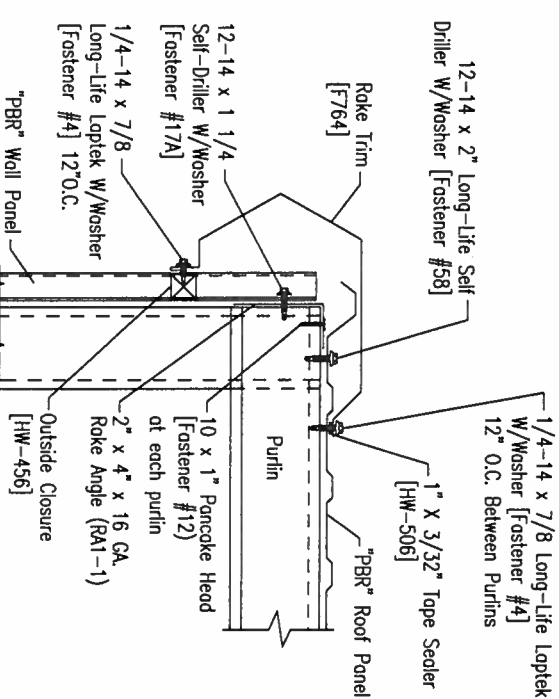
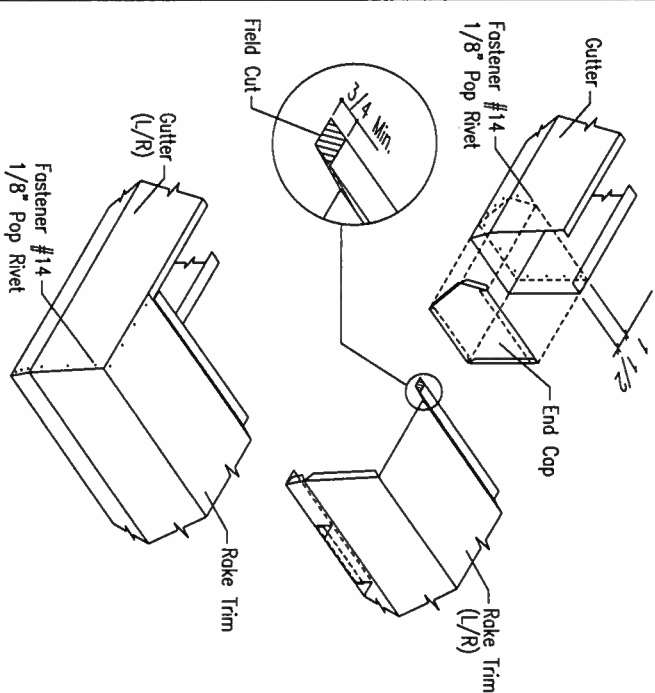
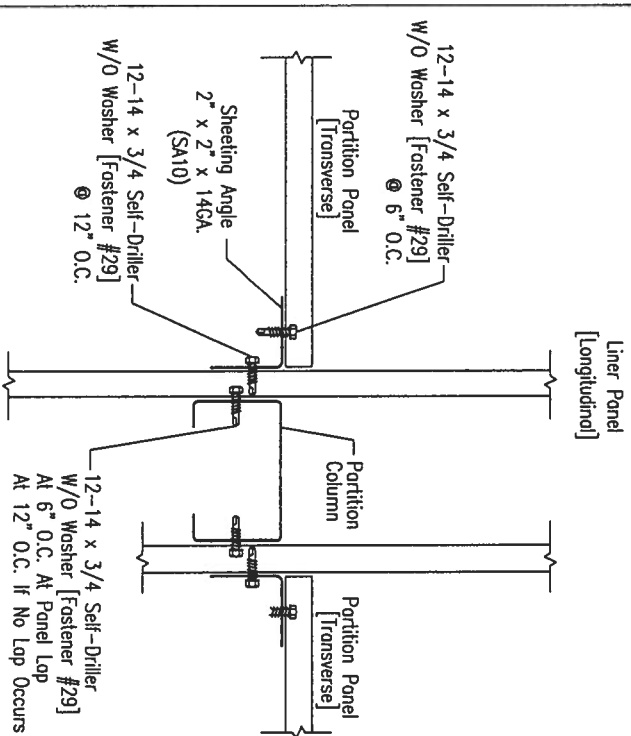


(S33) HAVE STRUT TO ROTATED CORNER

(S34) EAVE STRUT w/STUB COLUMN TO ROTATED CORNER

S48

ROOF BRACING



(S51) PARTITION INTERSECTION CONNECTION

(Z1)

GUTTER TO RAKE MITER

(72)

RAKE TRIM SECTION

(Z3)

LOW EAVE W/ GUTTER (PBR ROOF - PBR WALL)

[illegible]HERITAGE
BUILDING SYSTEMS

2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

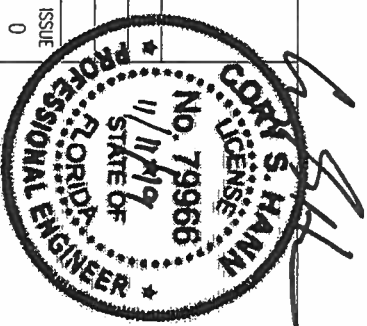
PROJECT: Limited Access Properties INC

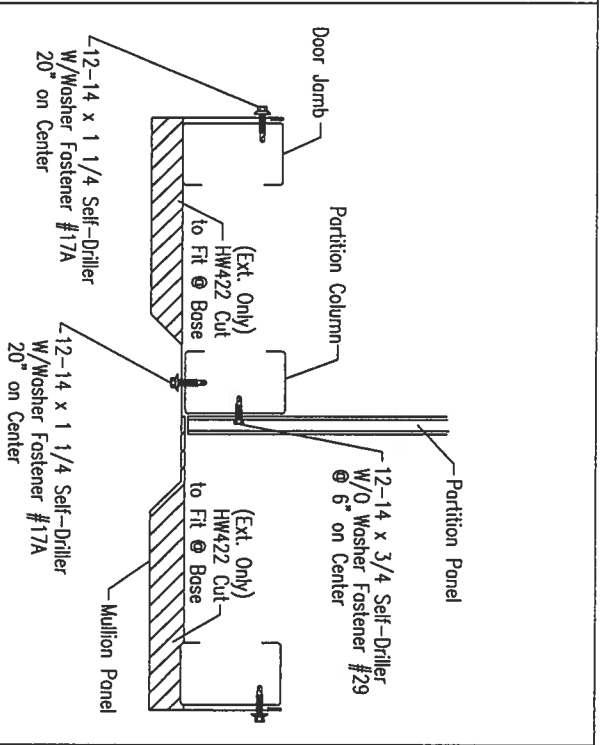
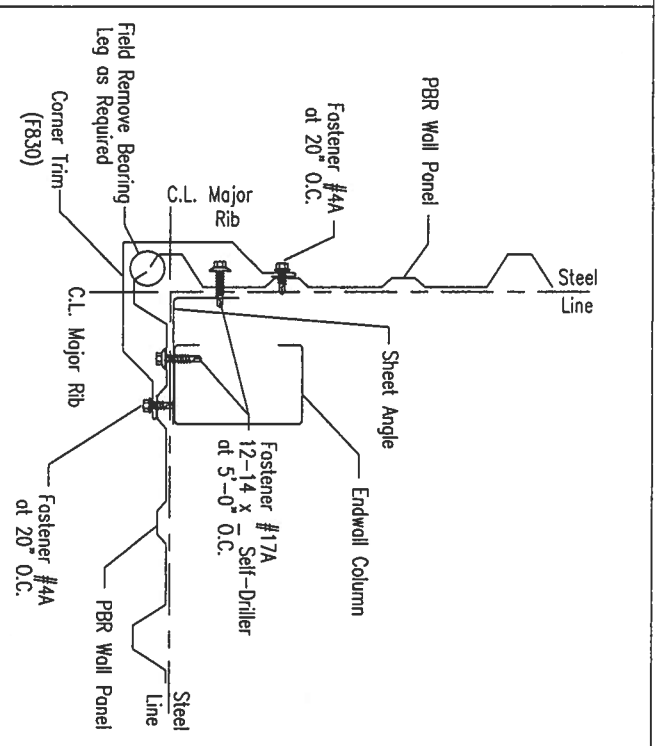
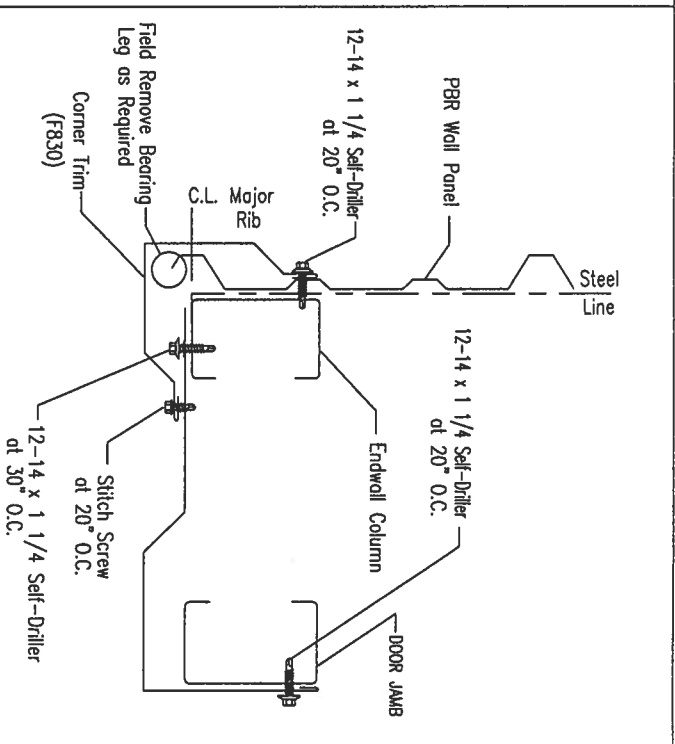
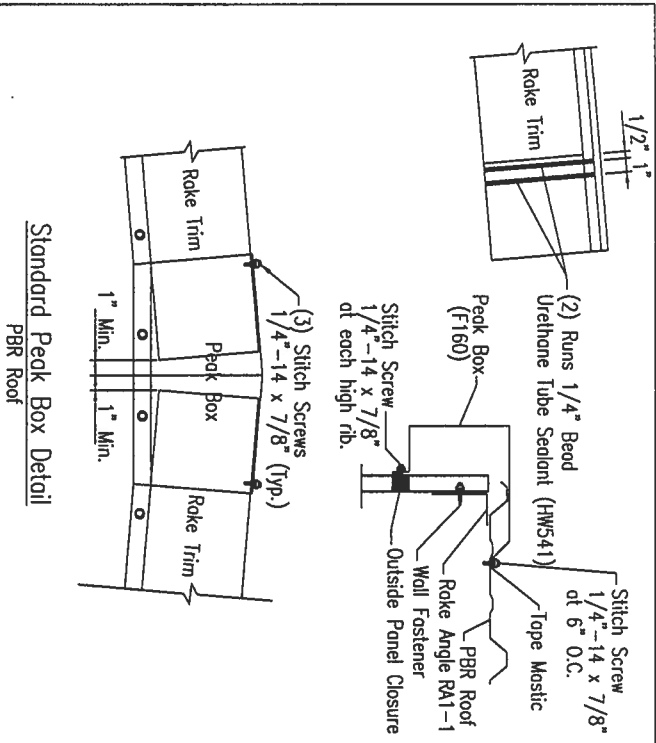
CUSTOMER: Paul Barcio

OWNER:

LOCATION: Fort White, FL 32038

DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
10/29/19	N.T.S.	01	A/B	17-B-34825	DET4	0



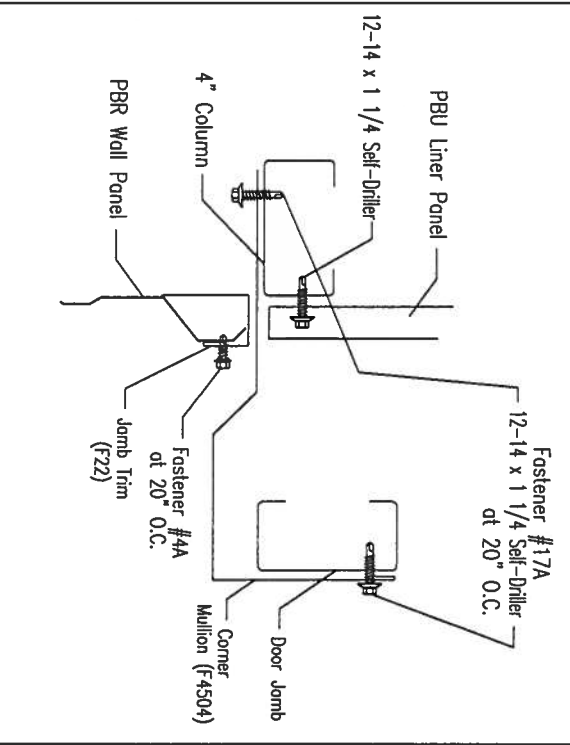
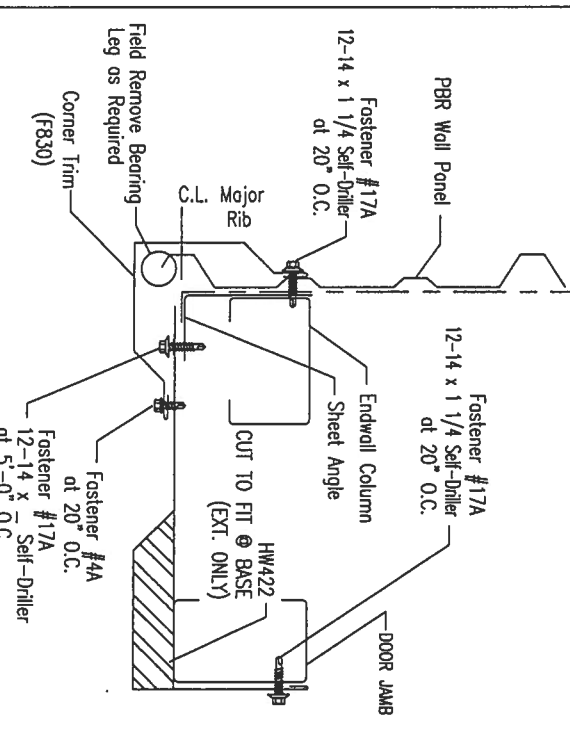
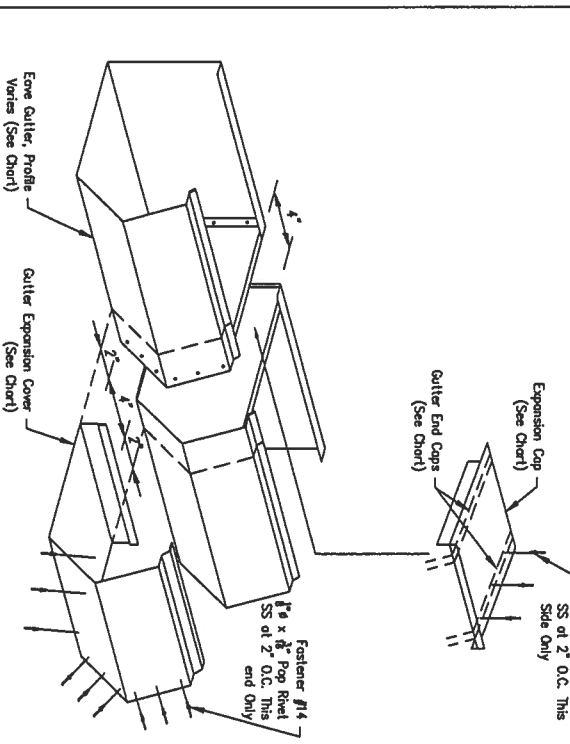
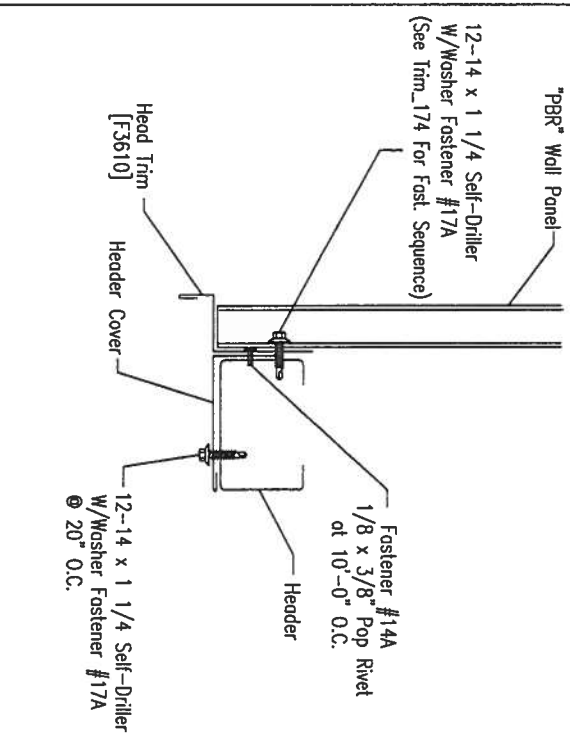


STANDARD PEAK BOX				
Gutter Type	Gutter	Gutter End Cap	Expansion Cap	Expansion Cap
Southern Standard	F760	F761	F843	F635
Northern Standard	F391	F392	F656	F658

CORNER TRIM W/CORNER MULLION				
Gutter Type	Gutter	Gutter End Cap	Expansion Cap	Expansion Cap
Southern Standard	F760	F761	F843	F635
Northern Standard	F391	F392	F656	F658

CORNER TRIM				
Gutter Type	Gutter	Gutter End Cap	Expansion Cap	Expansion Cap
Southern Standard	F760	F761	F843	F635
Northern Standard	F391	F392	F656	F658

TYPICAL MULLION CONNECTION				
Gutter Type	Gutter	Gutter End Cap	Expansion Cap	Expansion Cap
Southern Standard	F760	F761	F843	F635
Northern Standard	F391	F392	F656	F658



HEAD TRIM DETAIL				
GUTTER EXPANSION				
CORNER TRIM W/CORNER MULLION				
INSIDE CORNER W/ 12\"/>				

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE

BUILDINGSYSTEMS

Established 1979

2612 GRIBBLE STREET

NORTH LITTLE ROCK, AR 72114

1-800-643-5555

PROJECT: Limited Access Properties INC

CUSTOMER: Paul Borcio

LOCATION: Fort White, FL 32038

OWNER:

DATE

10/29/19

SCALE

N.T.S.

PHASE

01

BUILDING ID

A/B

JOB NUMBER

17-B-34825

SHEET NUMBER

DETS

ISSUE

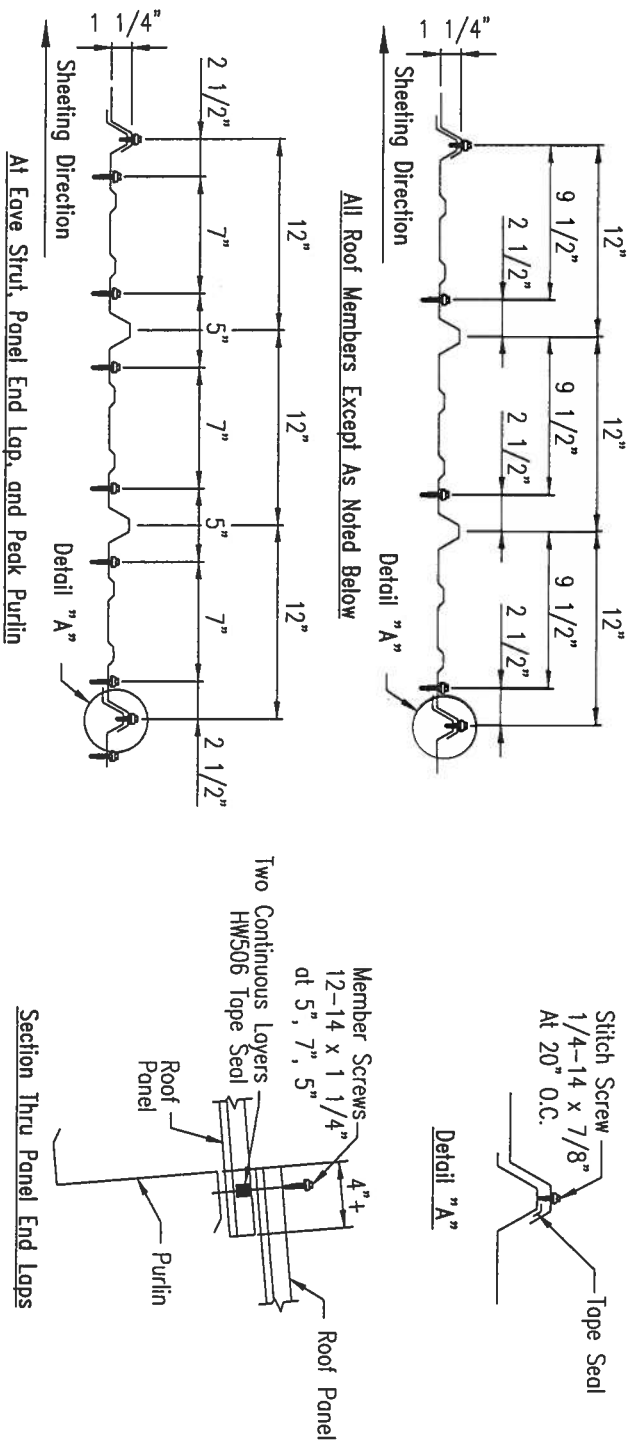
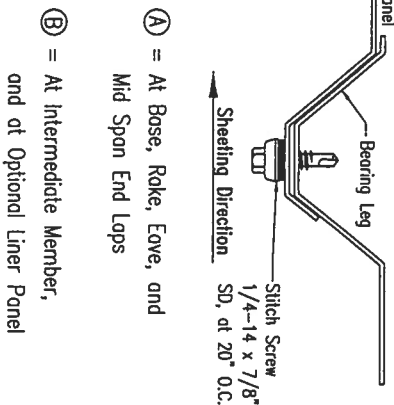
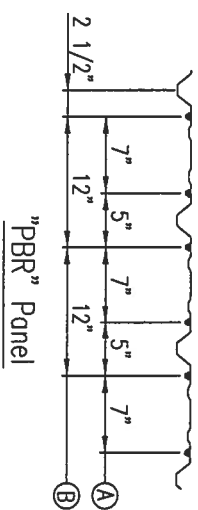
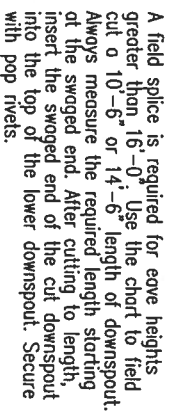
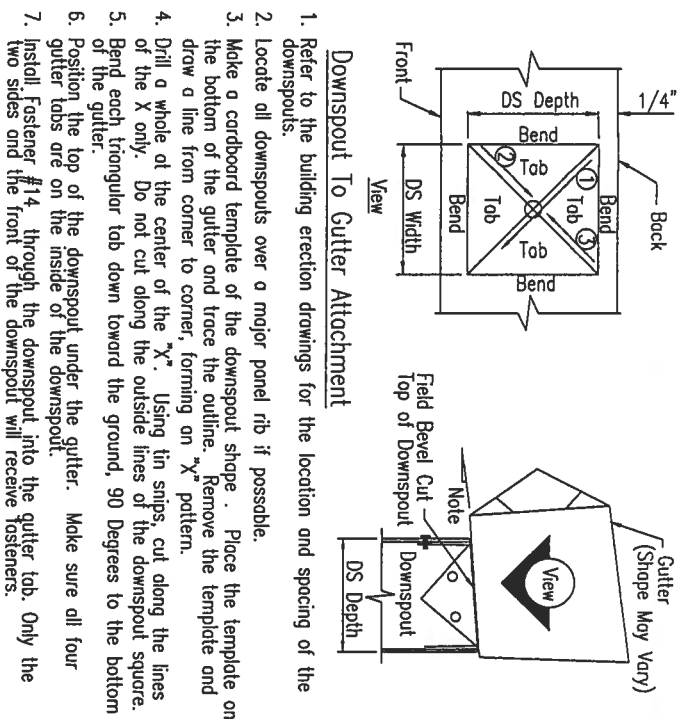
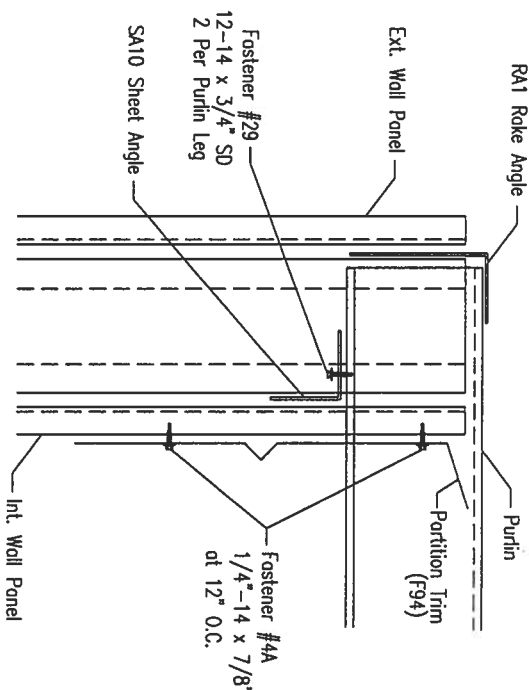
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NO. 79966

11/11/19

STATE OF FLORIDA

PROFESSIONAL ENGINEER



TRIM_95	GUTTER LAP DETAIL	TRIM_174	"PBR" WALL FASTENER PATTERN	TRIM_175	"PBR" ROOF FASTENER PATTERN
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[illegible]