

DATE 10/25/2005

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000023773

APPLICANT ROCKY FORD/KELLY FORD PHONE 497.2311
ADDRESS POB 39 FT. WHITE FL 32038
OWNER CHRISTINA LORD PHONE 904.509.5162
ADDRESS 259 NE SPIVEY LANE LAKE CITY FL 32055
CONTRACTOR RONNIE NORRIS PHONE 386.752.3871
LOCATION OF PROPERTY 441-N TO DREW RD,TR TO OWL RUN,TR TO SPIVEY,TL AND IT'S
@ THE END ON L.

TYPE DEVELOPMENT M/H & UTILITY ESTIMATED COST OF CONSTRUCTION .00
HEATED FLOOR AREA TOTAL AREA HEIGHT .00 STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE A DEVELOPMENT PERMIT NO.

PARCEL ID 01-2S-17-04659-023 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES 5.90

IH0000049
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
18"X32"MITERED 05-1029-N BLK JTH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE. 1 FOOT ABOVE PAVED RD/2FT ABOVE GRADED RD FOR 1ST. FLOOR
ELEVATION.

Check # or Cash 11932

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$.00 CERTIFICATION FEE \$.00 SURCHARGE FEE \$.00
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 99.09 WASTE FEE \$ 147.00
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 521.09
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS
PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED
FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR
IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY
BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER
THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK
AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

#11932

1st message 10/25/05

For Office Use Only

Zoning Official BK 29.10.05 Building Official OK JTH 10-20-03

AP# 0510-58 Date Received 10/29/05 By JTH Permit # 23773 866

Flood Zone A Development Permit N/A Zoning A-2 Land Use Plan Map Category A-2

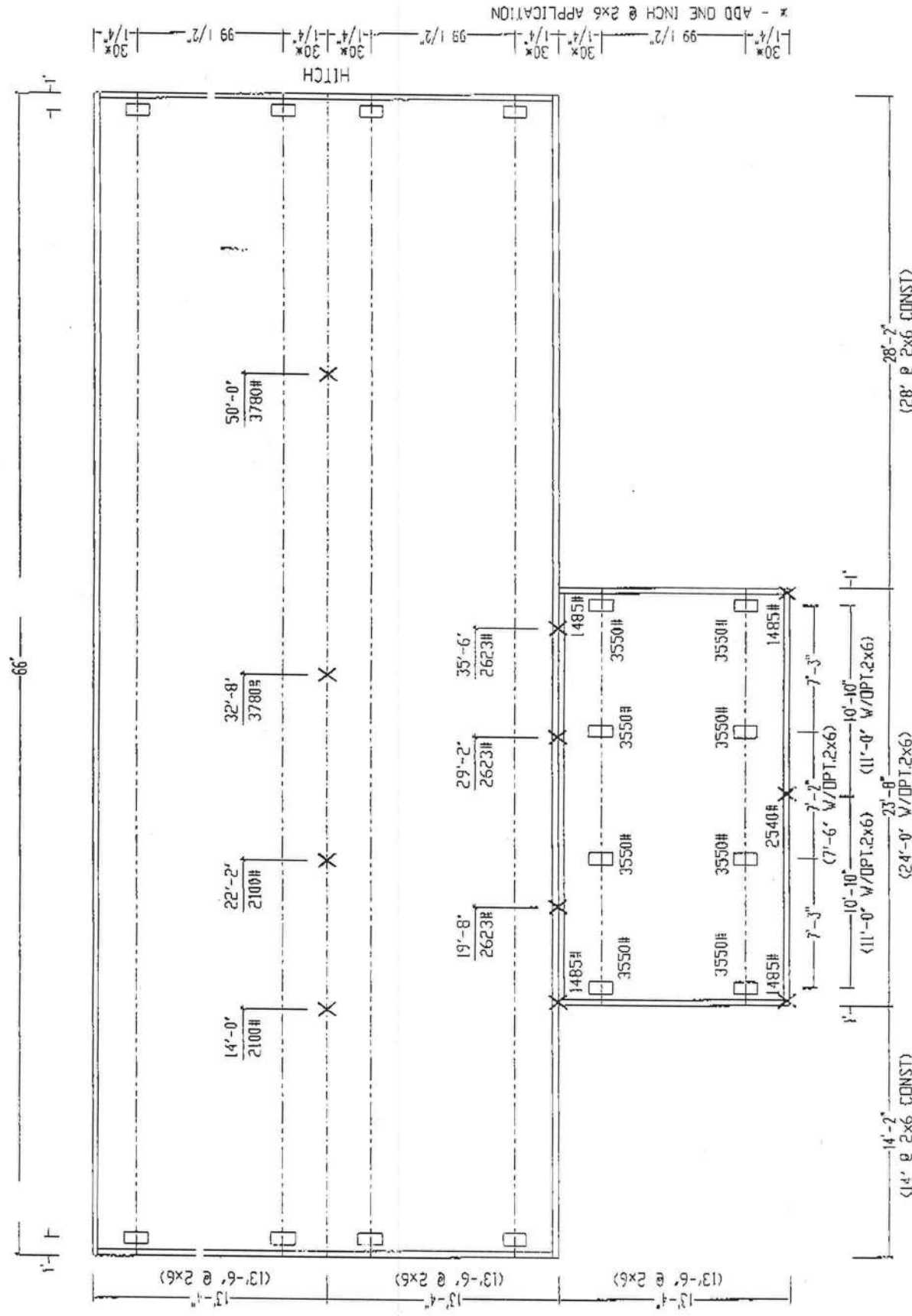
Comments 1st above paved Rd 2nd above graded Rd for 1st Floor Elevation

FEMA Map # _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks shown ☒ Environmental Health Signed Site Plan ☐ Env. Health Release
☒ Well letter provided ☒ Existing Well Revised 9-23-04

- Property ID 1-2-17-04659-023 Must have a copy of the property deed
- New Mobile Home X Used Mobile Home _____ Year 2006
- Subdivision Information NA
- Applicant Rocky Ford or Kelly Ford Phone # 386-497-2311
- Address PO Box 39, Ft White, FL 32038
- Name of Property Owner Christina Lord Phone# 904-509-5162
- 911 Address 259 NE SPIVEY LN Lake City FL 32055
- Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Progressive Energy
- Name of Owner of Mobile Home SAME Phone # SAME
- Address 5701 SILVER PLAZA, JACKSONVILLE FL, 32208
- Relationship to Property Owner SAME
- Current Number of Dwellings on Property 0
- Lot Size 323x166x373 - 800 Total Acreage 5.9
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver Permit
- Driving Directions 441 North, Rt on New Road, Right on Owl Run, Left on Spivey to end on Left
- Is this Mobile Home Replacing an Existing Mobile Home NO ones
- Name of Licensed Dealer/Installer RONNIE NARRIS Phone # 752-3871
- Installers Address 1004 SW CHARLES TERRACE
- License Number IH 0000049 Installation Decal # 253642

866



20 PSF ROOF ZONE

× COLUMN SUPPORTS - SEE ABOVE DIAGRAM FOR LOCATIONS & LOAD REQUIREMENTS @ 20# ROOF ZONE, SEE TABLE 4 OF INSTALLATION MANUAL FOR FOOTING SIZES.

□ I-BEAM PIER SUPPORTS - 8" MAX. SPACING - SEE INSTALLATION MANUAL TABLE 2 FOR SPACING AND TABLE 4 FOR FOOTING SIZES.

NOTE - CONTACT MANUFACTURING DIVISION FOR LOCATION OF OPTIONAL PATIO DOORS OR OTHER LARGE OPENINGS.

20 PSF ROOF ZONE

111	341	552
112	344	553
115	345	571
126	356	591
131	528	612
143	531	
163	535	
171	536	
181	538	

FLORIDA ONLY

111	341	552
112	344	553
115	345	571
126	356	591
131	528	612
143	531	
163	535	
171	536	
181	538	

SKYLINE

DRAWN BY: VM	WIND ZONE: W/A
DATE: 6/5/2002	ROOF ZONE: 20
SHEET: 1	OF: 1
DRAWING NUMBER: 7537-C1	
DESCRIPTION: 6628-3TK-28-CATH (W/2414 TAG)	
BOX LENGTH: 66'-0"	
DESCRIPTION: 28'-7" (28' @ 2x6 CONST)	

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

X 1500

X 1500

X 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1500

X 1500

X 1500

TORQUE PROBE TEST

The results of the torque probe test is 4 inch pounds or check here if you are declaring 5' anchors without testing 275 A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

James H. Lane

Date Tested

10-15-05

Electrical

Inspect electrical conductors between multi-wide units, but not to the main power race. This includes the bonding wire between multi-wide units. Pg.

Plumbing

Inspect all sewer drains to an existing sewer tap or septic tank. Pg.
Inspect all potable water supply piping to an existing water meter, water tap, or other dependent water supply systems. Pg.

Site Preparation

Debris and organic material removed ✓ Compacted fill
Water drainage: Natural Swale Pad Other

Fastening multi wide units

Floor: Type Fastener: 4x8 Length: 6 Spacing: 24
Walls: Type Fastener: 2x4 Length: 6 Spacing: 24
Roof: Type Fastener: CP Length: 6 Spacing: 24
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

HL

Type gasket

HL

Installed:

Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No
Dryer vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

James H. Lane

Date 10-15-05

Installer Benue Norris License # TH0000049

Address of home being installed NE SPUR 4

Manufacturer SKLINE Length x width 16' x 32'08"

NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials BN

New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual

Home is installed in accordance with Rule 15-C

Single wide ☐ Wind Zone II ☒

Double wide ☒ Installation Decal # 253642

Triple/Quad ☒ Serial # 253642

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'		4'	5'	6'	7'	8'
1500 psf	4'6"		6'	7'	8'	8'	8'
2000 psf	6'		8'	8'	8'	8'	8'
2500 psf	7'6"		8'	8'	8'	8'	8'
3000 psf	8'		8'	8'	8'	8'	8'
3500 psf	8'		8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17X22
Perimeter pier pad size 16X16
Other pier pad sizes (required by the mfg.) 16X16

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

Opening 4" Pier pad size 5 ft

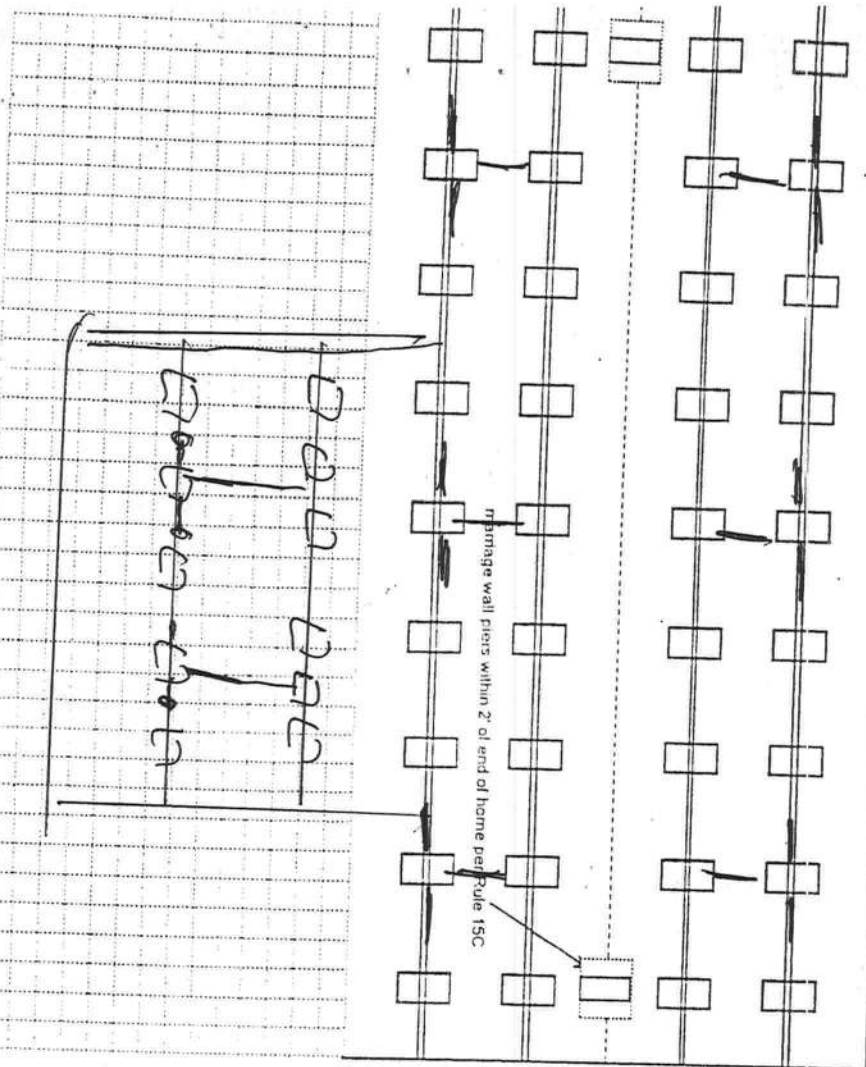
FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

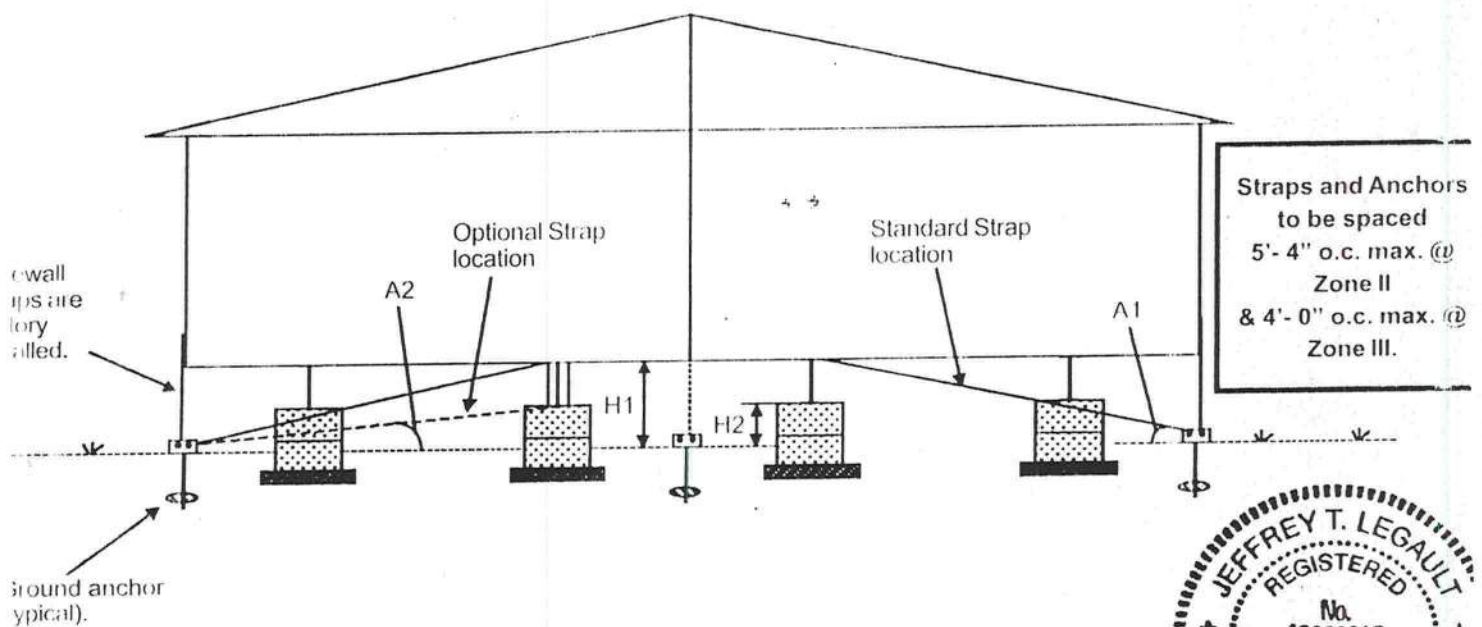
Longitudinal Stabilizing Device (LSD)
Manufacturer Number
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer 7

Sidewall 8
Longitudinal Marriage wall 8
Shearwall 7



TIE-DOWN DETAILS FOR 5/12 ROOF PITCH DOUBLE WIDES AT WIND ZONE II & III

TABLE 6A



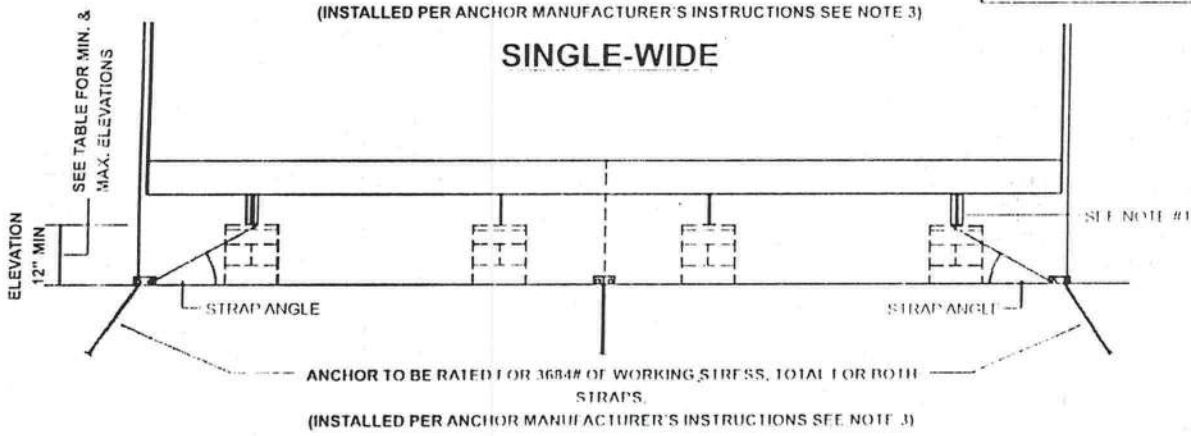
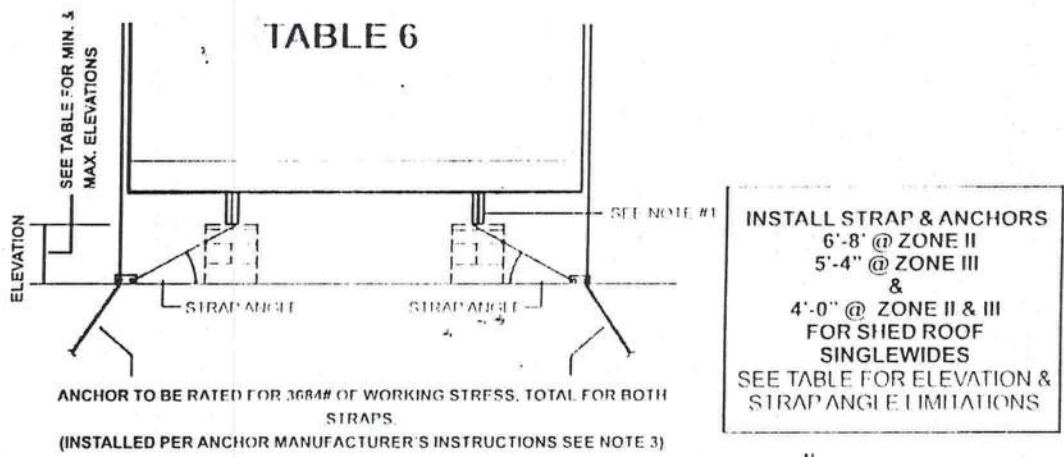
WIND ZONE II (100 mph)				
Unit Width	H (max.)	H (min.)	Angle (max.)	Angle (min.)
24'	48"	12"	23.2 degrees	6.12 degrees
26'	48"	12"	20.3 degrees	6.12 degrees
28'	48"	12"	20.3 degrees	5.28 degrees
32'	48"	12"	18.96 degrees	4.91 degrees

WIND ZONE III (110 mph)				
Unit Width	H (max.)	H (min.)	Angle (max.)	Angle (min.)
24'	48"	12"	25.2 degrees	6.12 degrees
26'	48"	12"	20.3 degrees	6.12 degrees
28'	48"	12"	20.3 degrees	5.28 degrees
32'	48"	12"	18.96 degrees	4.91 degrees

NOTES:

- 1) Straps and anchors to be rated for 3150 lbs. of working stress (min.).
- 2) Use H1 and A1 for standard strap location. Use H2 and A2 for optional strap location.
- 3) See page 25 for strap material specification, connection to I-Beam and other setup information.
- 4) The A-B chance strap seal device depicted by Fig. 5-12 may be used as directed for attaching the required doublewide centerline straps to ground anchors.

STANDARD TIE-DOWN DETAILS



DOUBLE-WIDE

WIDE RESULTS FOR 12" HALF OF 22" WIDE DOUBLE WIDES

WIDTH	WIND ZONE II		WIND ZONE III	
	MIN. & MAX. ELEVATION	MIN. & MAX. DIAGONAL STRAP ANGLE	MIN. & MAX. ELEVATION	MIN. & MAX. DIAGONAL STRAP ANGLE
12'	14" TO 25"	25 TO 40	14" TO 26"	25 TO 41
14'	12" TO 27"	20.5 TO 40	12" TO 28"	20.5 TO 41
12' SHED ROOF	25.2" TO 34.6"	41 TO 50	25.2" TO 34.6"	41 TO 50
14' SHED ROOF	23.4" TO 38.4"	36 TO 50	23.4" TO 38.4"	36 TO 50
16'	16" TO 36"	20.5 TO 40	15.5" TO 38"	19.5 TO 41
18'	20" TO 44"	20.5 TO 40	19" TO 47"	19.5 TO 41
20' OR 22' *	12" TO 15"	34 TO 40	12" TO 16"	34 TO 42
24'	12" TO 22"	24.5 TO 40	12" TO 23.5	24.5 TO 42
28'	12" TO 23.5"	23 TO 40	12" TO 25.5"	23 TO 42
32'	12" TO 33"	16.6 TO 39.3	12" TO 36"	16.6 TO 41.8
16' SHED ROOF	21" TO 27.5"	25.9 TO 32.4	21" TO 27.5"	25.9 TO 32.4

STRAP MATERIAL SPECIFICATION, CONNECTION TO FRAME BEAM & OTHER SETUP INFORMATION, REFER TO SKYLINE INSTALLATION MANUAL.

ANCHORING SYSTEMS, THE INSTRUCTIONS SHALL INDICATE: A) THE MINIMUM ANCHOR CAPACITY REQUIRED, B) ANCHORS SHOULD BE RATED BY PROFESSIONAL ENGINEER, ARCHITECT, OR A NATIONALLY RECOGNIZED TESTING LABORATORY AS TO THEIR RESISTANCE, C) ON THE MAXIMUM ANGLE OF DIAGONAL TIE AND/OR VERTICAL TIE LOADING AND ANGLE OF ANCHOR INSTALLATION, AND TYPE OF SOIL WHEN THE ANCHOR IS TO BE INSTALLED; C) GROUND ANCHORS SHOULD BE EMBEDDED BELOW THE FROST LINE AND BE AT LEAST 2 FEET ABOVE THE WATER TABLE; D) GROUND ANCHORS SHOULD BE INSTALLED TO THEIR FULL DEPTH, AND STABILIZER PLATES SHOULD BE USED TO PROVIDE ADDED RESISTANCE TO OVERTURNING OR SLIDING FORCES, E) ANCHORING EQUIPMENT SHOULD BE CERTIFIED BY A PROFESSIONAL ENGINEER OR ARCHITECT TO RESIST THESE SPECIFIED FORCES IN ACCORDANCE WITH TESTING PROCEDURES IN ASTM STANDARD SPECIFICATION FOR STRAPPING, FLAT STEEL AND SEALS.

ANCHORS RATED @ 3150# OF WORKING STRESS TOTAL FOR BOTH STRAPS, MAY BE USED IF STRAP & ANCHOR SPACING IS REDUCED TO 5'-4" @ WIND ZONE II AND 4'-6" @ WIND ZONE III. STRAPS AND ANCHORS MAY BE INSTALLED 4'-0" O.C. ON SHED ROOF SINGLEWIDES WITH ANCHORS RATED @ 3150#.

ANCHOR STRAP SEAL DEVICE DEPICTED BY FIG. 5-12 MAY BE USED AS DIRECTED FOR ATTACHING THE REQUIRED DOUBLEWIDE STRAP LINE STRAPS TO GROUND ANCHORS.

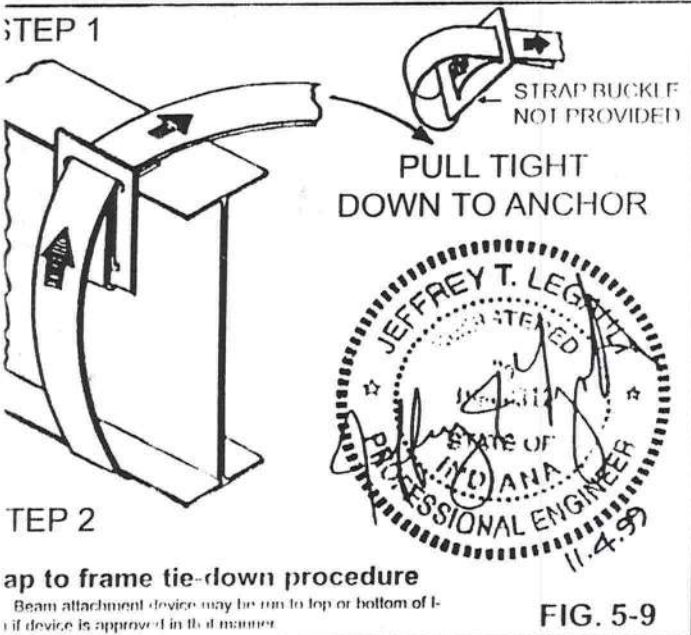
STANDARD TIE-DOWN DETAILS ARE NOT APPLICABLE TO 5/12 ROOF PITCH DOUBLEWIDES @ WIND ZONE II & III

SKYLINE CORP.

MANUFACTURED HOME TIE-DOWN INSTRUCTIONS (Continued)

TIONAL OVER-THE-ROOF STRAP PROCEDURE

over-the-roof straps are provided (optional on all homes) / may be connected to ground anchors as specified in the owing procedure in order to achieve additional stability in eme winds. Note that the frame tie-down procedure on e 25 is still mandatory.



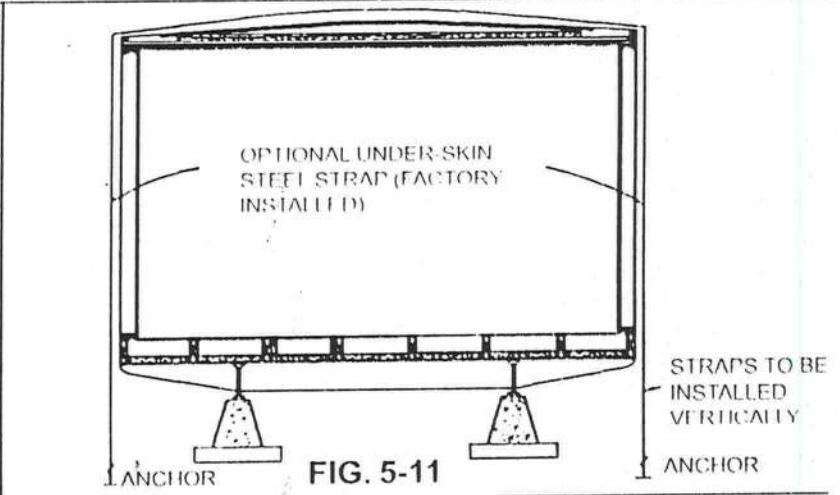
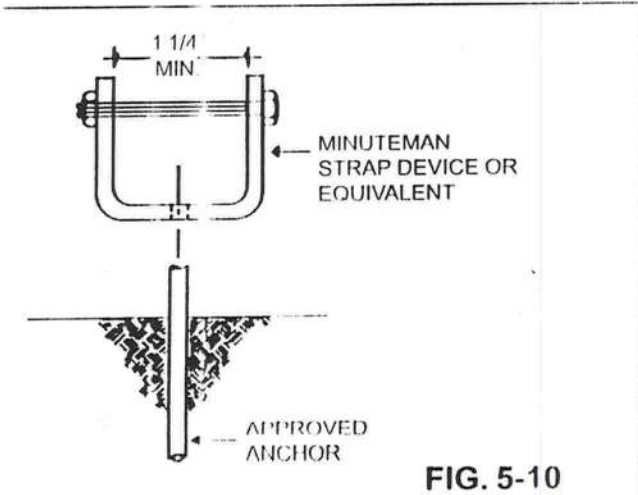
Materials not furnished with the home which will be necessary to properly connect the over-the-roof straps are:

1. Ground anchors capable of withstanding at least 4,750 pound pull when installed in the soil at the site.
2. Strap end connection devices (See Fig. 5-10).

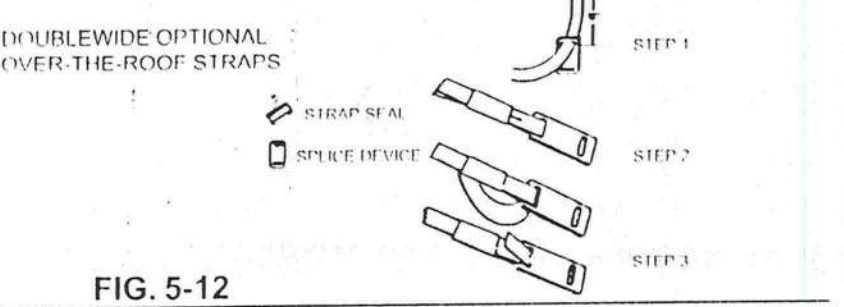
THE HOME MUST BE IN ITS FINAL LEVEL POSITION WITH FRAME TIES INSTALLED BEFORE CONNECTING THE OVER-THE-ROOF STRAPS.

The procedure for over-the-roof strap installation is as follows:

1. Position and install the ground anchors so that the strap will be vertical after attachment to the anchor. The anchor may be installed slightly beneath the home to avoid interference with skirting (See Fig. 5-11).
2. Insert the minuteman connector yoke through the eye of the anchor and insert slotted bolt through the yoke.
3. Place end of strap through slotted bolt and remove strap by turning bolt. DO NOT TENSION UNTIL BOTH ENDS OF STRAP ARE CONNECTED.
4. Tension and lock minuteman connector in position; consult instructions furnished with connectors.
5. Check strap tension (See step 4 under frame tie-down procedure).
6. For double-wide homes see Fig. 5-12 for the splice connection at the centerline.



sert end of the strap through the slot on the splice device, allowing if strap to extend through the device.
ake a 180 degree bend in the strap and slide a strap seal over the le thickness of strap, positioning the strap seal as close to the e device as possible. Compress the strap seal on the strap with a of vise grip pliers or hammer, or crimp strap seal with an A-B ice crimping tool. (Make all bends in the strap as sharp as ible by crimping with vise grip or larger pliers).
and strap back over the seal and insert back through the slot on pllice device. Flatten bend with vise grip pliers or hammer.
epeat steps 1 through 3 with the mating strap. Draw the eteled assembly down to the ridge beam by tensioning the strap in round anchor.



MANUFACTURED HOME TIE-DOWN INSTRUCTIONS

support system must also resist lifting, sliding, and rining forces resulting from side winds. A method used stall ground anchors and tie-down straps in addition to rs. Tie-downs as described are the minimum neces- the home is to withstand its design loads without ition. On multi-section homes, sections must be ed together and level before tie-down straps are in-

WARNING

BEFORE GROUND ANCHOR INSTALLATION, DETER- THAT THE ANCHOR LOCATIONS AROUND THE WILL NOT BE CLOSE TO ANY UNDERGROUND TRICAL CABLES, WATER LINES OR SEWER PIP- FAILURE TO DETERMINE THE LOCATION OF RGROUND ELECTRICAL CABLES MAY RESULT IN US PERSONAL INJURY OR DEATH.

IN THE FRAME TIE-DOWN SYSTEM, IT IS IMPOR- TO USE MATERIALS OF PROPER DESIGN AND OF JATE QUALITY. THE MATERIAL SPECIFICATIONS VINED HEREIN SHOULD BE CONSIDERED AS UM REQUIREMENTS.

ials not furnished with the home which will be neces- complete the tie-down system must meet the require- set forth below. Such materials would include:

e or steel strap with a breaking strength of at least ounds e.g. galvanized aircraft cable at least 1/4" r or Type 1, Finish B, Grade 1 steel strapping 1-1/4" d 0.03" thick, conforming with ASTM D3953-91.

vanized connection devices such as turnbuckles, i, strap buckles, and cable clamps should be rated at orking load minimum.

nd anchors — capable of withstanding at least a ound pull. Anchors must be installed as specified by or manufacturer. Stabilizers or concrete collars may red by anchor manufacturer.

ME MUST BE IN ITS FINAL LEVEL POSITION TO TYING IT DOWN.

cedure for tying down the manufactured home is as

on and install the ground anchors under exterior that the final strap angle and height (H) will be within : shown in tables 5 thru 6C.

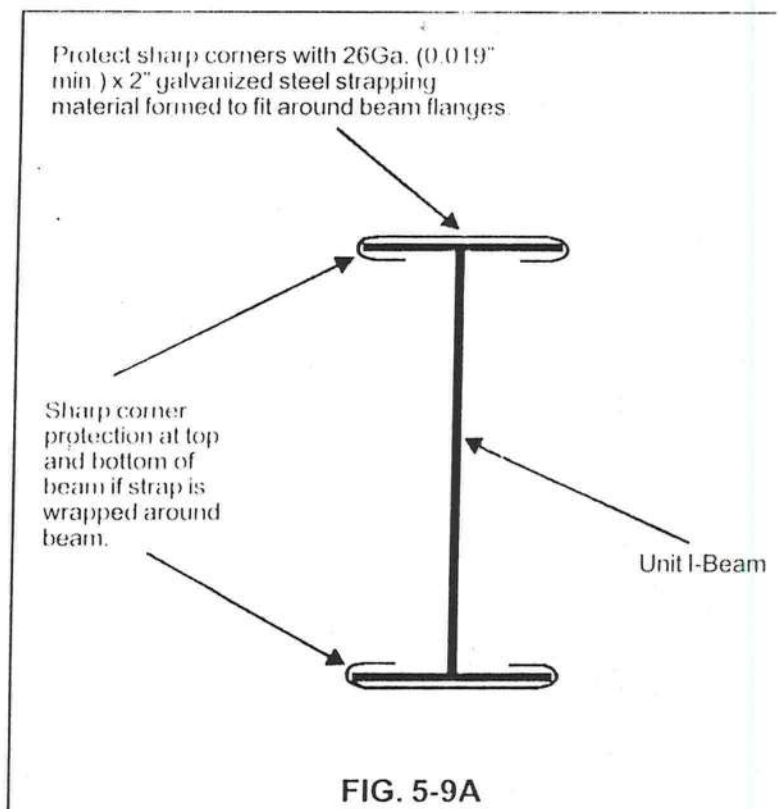
ect the straps to the frame and ground anchors (See and 5-10). Straps wrapped around the I-Beam as

shown in Fig. 5-9 require protection from premature failure due to sharp corners. Fig. 5-9A illustrates one method to protect against sharp corner damage. Other methods (such as beam clamps — Tie-Down Engineering part no. 59003 or equivalent) approved by the local building authority having jurisdiction may be used.

3. Tighten the straps using the tensioning device provided with the ground anchors. Use caution to avoid overtensioni the straps which might pull the home off the piers. It is recommended that all straps be tightened only enough to remove slack. Then, after all straps are installed and the slack removed, tension the straps.

4. The strap tension should be rechecked at frequent intervals until all pier settlement has stopped.

CAUTION: DURING THE RELEVELING PROCESS, DO NOT JACK THE HOME AGAINST TIGHT STRAPS.



DOUBLE-WIDE INTERCONNECTION (Continued)

NOTE: IT IS IMPORTANT TO HAVE ROOF/CEILING SECTIONS FLUSH AT MATING LINE PRIOR TO FASTENING OF RIDGE BEAM HALVES. IF THEY ARE NOT FLUSH, THEN THE LOW SIDE SHOULD BE RAISED BY JACKING WITH A WOOD POST OR STEEL PIPE WITH A WOOD OR METAL PAD AT THE CEILING. PLACE THE BASE OF THE JACK ACROSS THE FLOOR MATING LINE SO THAT IT RESTS ON BOTH HALVES. JACK AGAINST CEILING ONLY IN AREAS WHERE THERE IS NO MARRIAGE WALL.

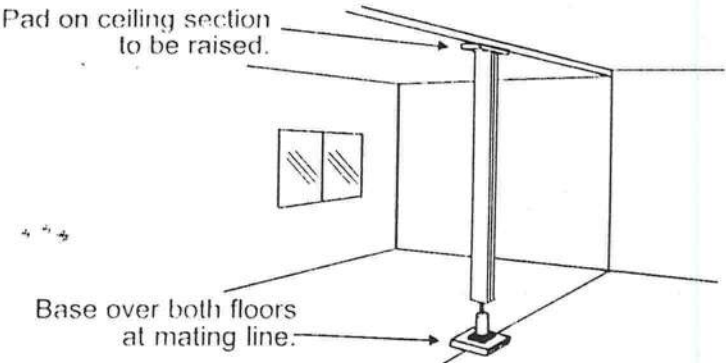


FIG. 5-8

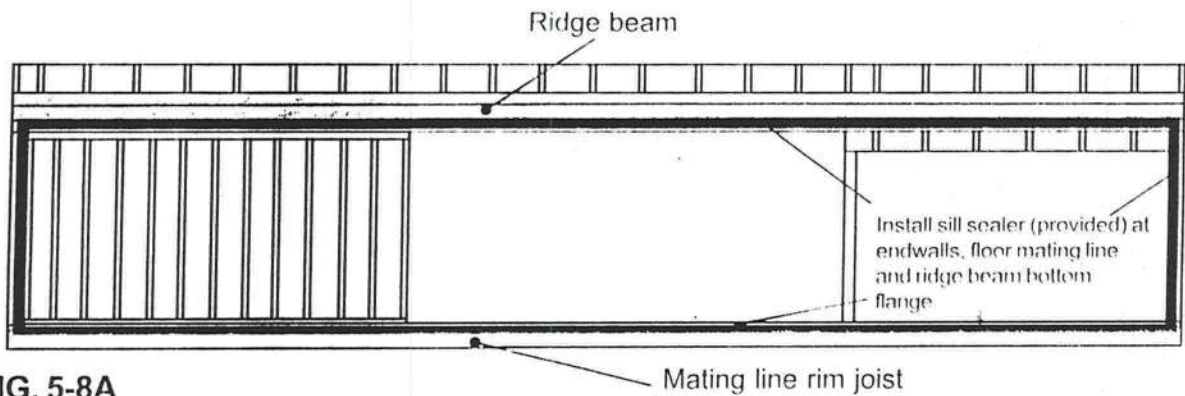


FIG. 5-8A

ATTACHMENT OF GYPSUM PANELS AT DOUBLE-WIDE CENTERLINE

Some multiple-wide units will have a gypsum panel left off at the centerline for field attachment. Fasten the factory supplied gypsum wallboard panel(s) at the center of the endwalls after the units have been attached. Fasten the panel(s) to framing as described in figure 5-8B below.

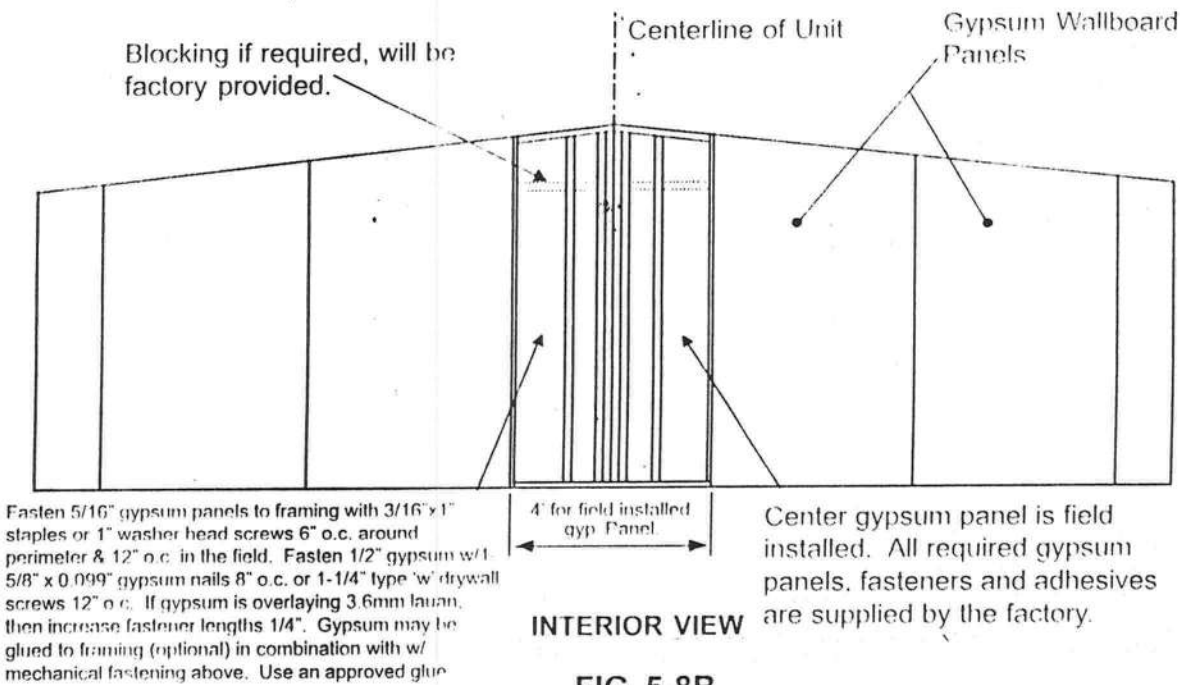


FIG. 5-8B

DOUBLE-WIDE INTERCONNECTION

Procedure for connecting the homes is as follows.

move the temporary closure materials (polyethylene atten strips) and position the halves as close together as possible in the final desired location. Do not remove temporary beam supports until step 7 has been completed.

move the first section of home into its desired position, and level it in the same manner as described for a single section home. Skyline Corp. recommends, if possible, heavy half be blocked and leveled first as it is easier to lift the light half and fit into place.

install sill sealer insulating material (provided) around the home (to the ridge beam at the ceiling panel line), endwalls and mating line. Fasten sill sealer with staples or nails. See Figure 5-8A.

Join the two halves together with rolling and jacking equipment. Care must be taken during rolling and jacking operations to avoid overstressing structural members. With the halves together at the floor, align the floors at the ends of the home. It is better to have a minor misalignment under the heavy half where it cannot be seen and will not cause a problem, than a small misalignment that will be observed in the interior of the home.

With the home aligned at the floor and supported by its temporary jacking system, join the floors using 3/8" x 3" (4-1/2" lags with perimeter joist) lag screws 2 to 3 feet on center. The maximum gap at the floor should be a maximum of 3/16". Follow the procedures outlined on page 19 to level the home on temporary jack supports and footings with tables 2 and 3.

Obtain access into the ceiling cavity to bolt or alter-lag screw the ridge beam sections together, fold back underlayment paper and remove the 16" wide sheathing (if any) at the peak. Note that the shingles may not have been installed on one or both halves, at the 16" wide area at

the peak. If one side is shingled, it is intended that the beam may be lag screwed together. If neither side is shingled, the beam may be lag screwed or bolted together. Bolts to be 3/8" x 4 1/2" at 48" o.c. with 3 additional bolts at 3" o.c. over interior beam supports. Lag screws to be 3/8" x 5" at 24" o.c. with 6 additional lag screws at 3" o.c. over interior beam supports (If marriage walls and ridge beam halves have been plated with 3/8" sheathing, then the bolts/lags must be increased in length by 3/4" to 5-3/4".) Predrill 1/4" pilot holes for the lag screws at 1-1/2" down from the top of the beam and with a maximum offset from the horizontal of 45 degrees. A gap between beam halves up to 1" is allowable. Gaps larger than 1/2" must be filled with plywood or lumber shims. For 1/2" max gaps, increase fastener length 1/2". For 1" max. gaps, increase fastener length 1-1/4". See Fig. 5-7.

7. Prior to interconnecting the ridge beam halves, examine the ridge beam ends. Should there be a slight misalignment, it can be eliminated by placing a jack under the low side of the main beam on one half and use the jack to raise the beam. The alignment can be held by properly bolting or lag screwing the beam halves together. See Fig. 5-8.

8. Place additional pier supports at the centerline at the interior column locations marked on the floor with indicator straps or paint (see Figure 5-3 and 5-4 and Table 3). Skyline Corp. provides pier location diagrams for all multiwide models. These diagrams show the required locations of piers and are very useful in determining pier placement prior to taking receipt of home. Additional piers are required each side of exterior doors and sidewall openings greater than 4' in width. See Table 3A for these pier load requirements.

9. Toe-nail endwall centerline studs together using 16d nail 10" o.c.

10. If home has double mating walls, then fasten the mating wall columns together with #8 x 4" screws 16" o.c. See Figure 5-7A.

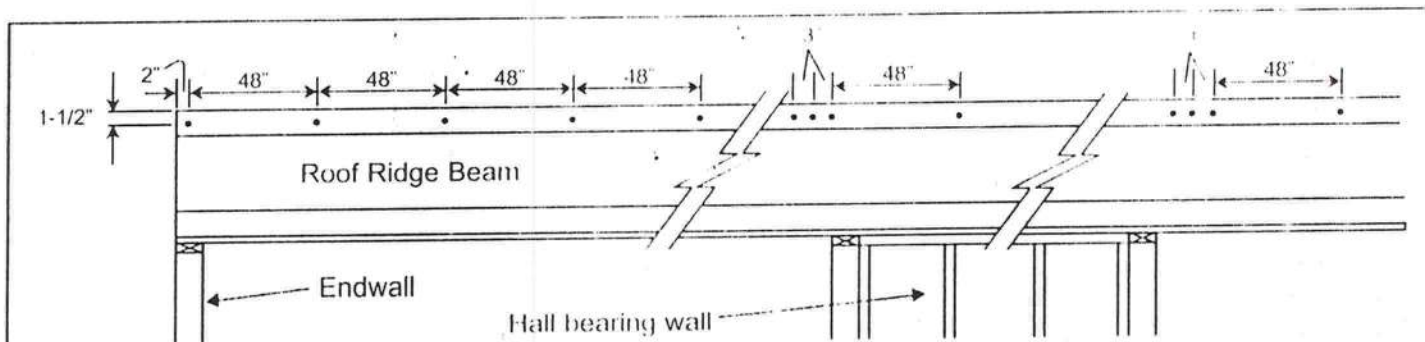


FIG. 5-7

APPROVED
PFS Corporation
Madison WI
01/31/05
HUD Manufactured
Home
Construction &
Safety Standard

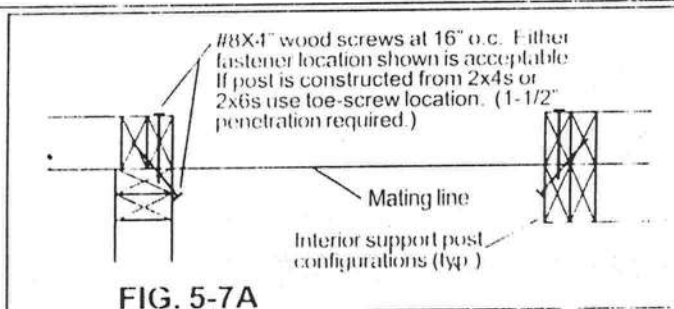


FIG. 5-7A

RON E. BIAS WELL DRILLING
RT.2 BOX 5340
FT. WHITE, FLORIDA 32038
(904) 497-1045
MOBILE: 364-9233

TO: Columbia County Building Department

Description of well to be installed for Customer: Lord

Located at Address: NE SPIVET LANE

1 hp - 1 1/4" drop over 86 gallon tank, 250 gallon equivalent captive with back flow preventer. 35-gallon draw down with check valve pass requirements.

Ron Bias
Ron Bias

1041

Return To Keystone Title Agency, Inc.
9735 U.S. Hwy. 19
Port Richey, FL 34668
File # 3451462

Prepared by and Return to:
Katie Lilly
Gateway Title Agency, LLC
4255 SW Cambridge Glen
Lake City, Florida 32024
File Number: 34514GW
Parcel I.D. Number: 01-2S-17-04659-023
Incidental to the issuance of a Title Insurance Policy

Inst: 2005024594 Date: 10/04/2005 Time: 12:20
Doc Stamp-Deed : 367.50
DC, P. Dewitt Cason, Columbia County B: 1060 P: 1870

General Warranty Deed

Parcel ID Number: 01-2S-17-04659-023

Made this 16th September 2005 A.D. by Steve D. Seppala and Kelli F. Seppala, husband and wife, whose mailing address is: 32801 N Hwy 441 #127, Okeechobee, FL 34972, hereinafter called the grantor, to Christina Lord, a single person, whose post office address is: 3591 Kernan Blvd. S Apartment 814, Jacksonville, FL 32224, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of **Fifty Two Thousand Five Hundred dollars & no cents, (\$52,500.00)** and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

LOTS 49 AND 50 OF FRANK THOMAS SUBDIVISION, UNRECORDED, SAID LOTS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 49:

POINT OF REFERENCE IS THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 2 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA; THENCE RUN SOUTH 00°12'15" WEST FROM POINT OF REFERENCE ALONG THE EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4, A DISTANCE OF 323.73 FEET TO A CONCRETE MONUMENT AND THE SOUTH RIGHT OF WAY OF A COUNTY GRADED ROAD; THENCE RUN SOUTH 87°04'40" WEST ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 185.62 FEET TO THE POINT OF BEGINNING AND A CONCRETE MONUMENT; THENCE CONTINUE SOUTH 87°04'40" WEST, ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 185.61 FEET TO A CONCRETE MONUMENT; THENCE RUN SOUTH 00°12'15" WEST, PARALLEL TO SAID EAST LINE, A DISTANCE OF 699.51 FEET; THENCE RUN SOUTH 82°39'10" EAST, A DISTANCE OF 186.79 FEET; THENCE RUN NORTH 00°12'15" EAST, PARALLEL TO SAID EAST LINE, A DISTANCE OF 732.85 FEET TO THE POINT OF BEGINNING. THE SOUTH 25 FEET THEREOF IS SUBJECT TO AN EASEMENT FOR ROAD AND UTILITY PURPOSES.

LOT 50:

POINT OF REFERENCE IS THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 2 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA; THENCE RUN SOUTH 00°12'15" WEST FROM THE POINT OF REFERENCE ALONG THE EAST LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4, A DISTANCE OF 323.76 FEET TO A CONCRETE MONUMENT, THE POINT OF BEGINNING, AND THE SOUTH RIGHT OF WAY LINE OF A COUNTY GRADED ROAD; THENCE CONTINUE SOUTH 00°12'15" WEST ALONG SAID EAST LINE, A DISTANCE OF 766.21 FEET TO A CONCRETE MONUMENT; THENCE RUN NORTH 82°39'10" WEST, A DISTANCE OF 186.79 FEET; THENCE RUN NORTH 00°12'15" EAST, PARALLEL TO SAID EAST LINE, A DISTANCE OF 732.85 FEET TO A CONCRETE MONUMENT ON THE SOUTH RIGHT OF WAY LINE OF A COUNTY GRADED ROAD; THENCE RUN NORTH 87°04'40" EAST ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 185.62 FEET TO THE POINT OF BEGINNING, LYING AND BEING IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 2 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA; THE SOUTH 25 FEET AND THE EAST 10 FEET THEREOF IS SUBJECT TO AN EASEMENT FOR ROAD AND UTILITY PURPOSES.

Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon.

Subject, however, to all covenants, conditions, restrictions, reservations, limitations, easements and to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any..
Closer's Choice Individual Warranty Deed

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor her fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2005.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

REQUIRES TWO DIFFERENT WITNESSES

Witness #1 signature

Donis m Drake

Print Witness #2 signature

Witness #2 signature

Kathryn Lilly

Print Witness #2 signature

Steve D Seppala

Steve D. Seppala

(Seal)

Kelli F. Seppala

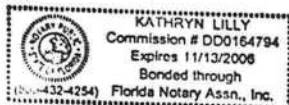
Kelli F. Seppala

(Seal)

State of FL
County of Columbia

The foregoing instrument was acknowledged before me this 16th September 2005, by Steve D. Seppala and Kelli F. Seppala, husband and wife, who has produced a drivers license as identification.

Notary Seal



Kathryn Lilly

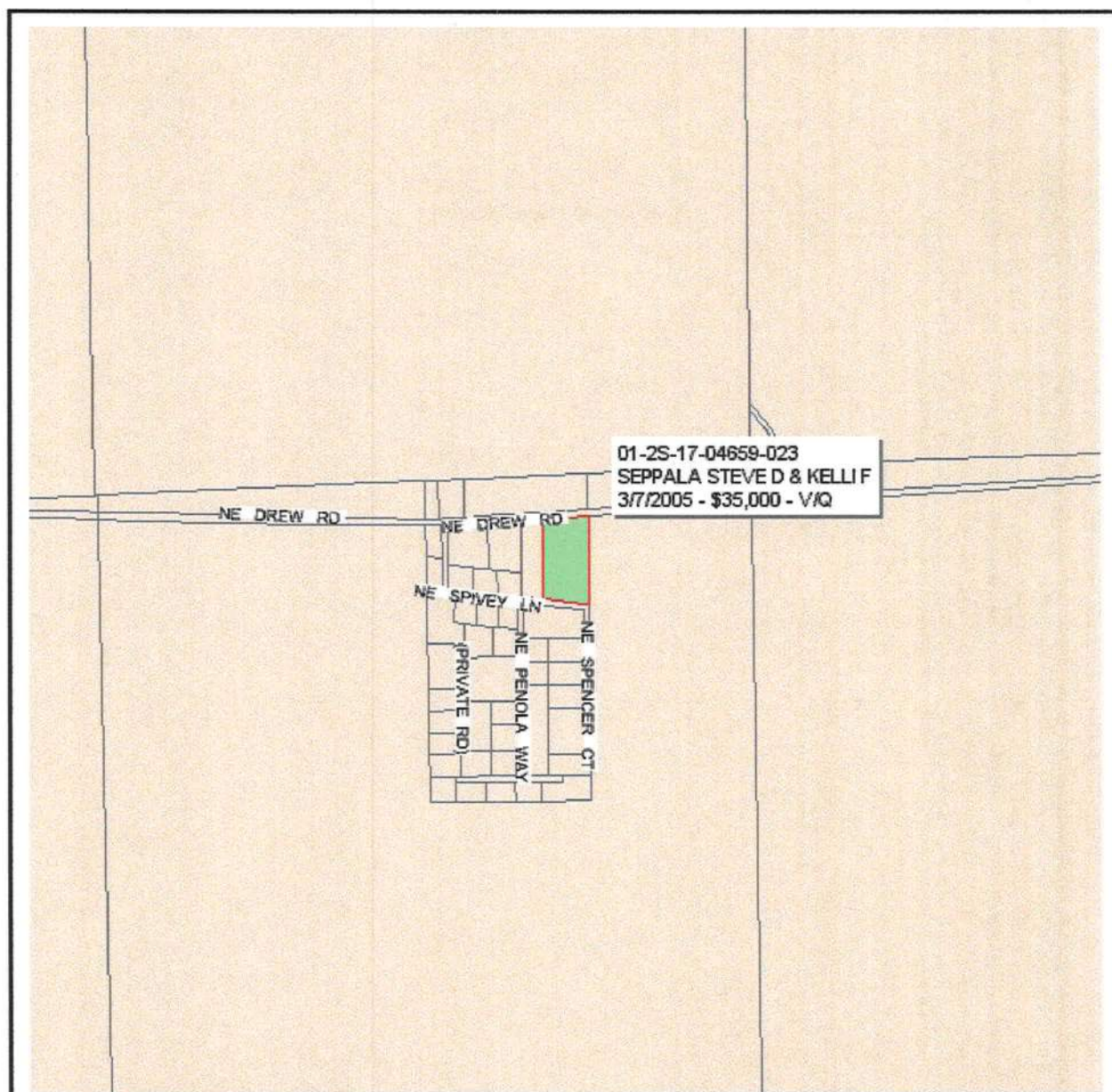
Notary Public

My Commission Expires: 11/13/2006

Inst:2005024594 Date:10/04/2005 Time:12:20

Doc Stamp-Deed : 367.50

DC,P.Dewitt Cason,Columbia County B:1060 P:1871



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 01-2S-17-04659-023 - NO AG ACRE (009900)

COMM AT NE COR OF NW1/4 OF NE1/4, RUN S 323.76 FT FOR A POB, RUN S 766.21 FT, W 373.58

Name: SEPPALA STEVE D & KELLI F

Site:

Mail: 32801 N HWY 441 #127
OKEECHOBEE, FL 34972

Sales Info: 3/7/2005 \$35,000.00 V / Q

LandVal	\$10,430.00
BldgVal	\$0.00
ApprVal	\$10,430.00
JustVal	\$10,430.00
Assd	\$10,430.00
Exmpt	\$0.00
Taxable	\$10,430.00

0 0.1 0.2 0.3 mi

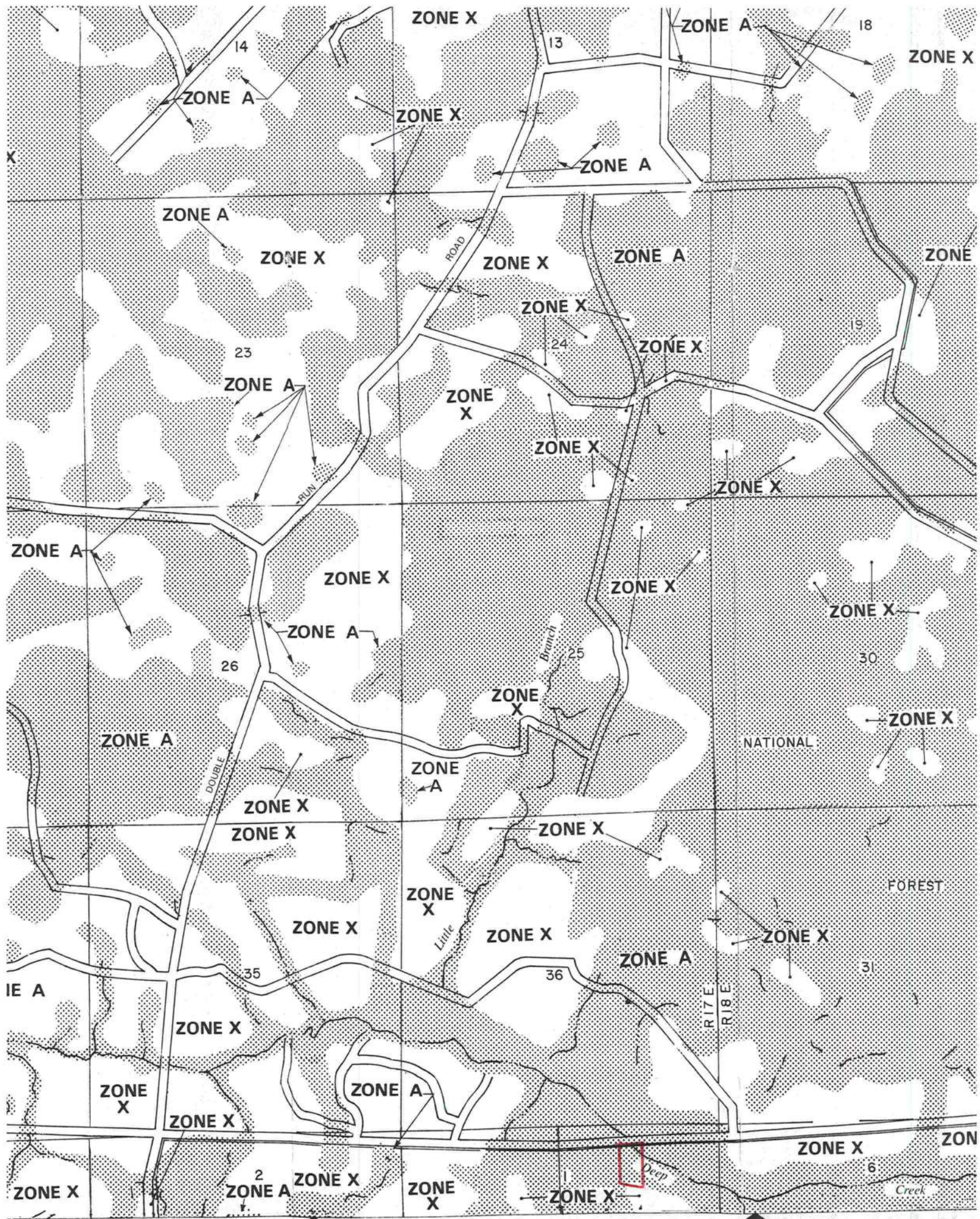


This information, GIS Map Updated: 8/3/2005, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Zone A

70

http://appraiser.columbiacountyfla.com/GIS/Print_Map.asp?pjbnlkplhgmeclpoffddhfacb... 10/20/2005



0510-58

Permit Application Number 05-1029N

PART II - SITEPLAN

Scale: 1 inch = 50 feet.

Left Diagram:

- Rectangular area labeled "DRAIN GRADE" at the top.
- North arrow pointing upwards.
- Bottom-left corner contains a scribbled area.
- Bottom edge labeled "SPURVEY".
- Right edge labeled "ROAD DITCH".

Right Diagram:

- Rectangular area labeled "N.E. S PIVEY" at the top.
- Left edge labeled "ROAD DITCH" with a vertical dimension of "210'".
- Bottom edge labeled "210'".
- Bottom-right corner labeled "DRY DRAINAGE SWALE".
- Right edge features a "DRIVE" with a vertical dimension of "115'".
- Center features a structure labeled "20' SSG" with dimensions "64", "26", and "13".
- Two "WELL" locations are marked with dimensions "100'" and "40'".
- Other dimensions include "142'", "60'", "63'", and "55' +".
- A "SLOPE" arrow points to the right.
- A "SRP" label is near the bottom right.

Notes:

2 of 5.6 Acres

Site Plan submitted by:

MASTER CONTRACTOR

Plan Approved

Not Approved

Date 10/10/05

34

Columbia

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

PH 4015, 10/96 (Replaces HRS-H Form 4016 which may be used)
Stock Number: 5744-002-4015-6)

Page 2 of 4

OCT 18'05 15:57 No.018 P.01

COL. CO. HEALTH DEPT. ID:386-758-2187

LETTER OF AUTHORIZATION TO PULL PERMITS

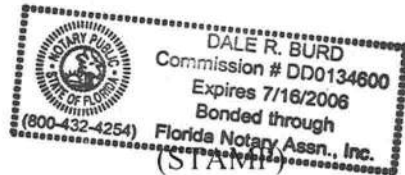
I, Rennia Norris, DO HEREBY GRANT
Rocky Fordon Kelly Ford, AUTHORIZATION TO PULL THE NECESSARY
PERMITS REQUIRED FOR THE DELIVERY AND SET OF A MANUFACTURED
HOME IN Columbia COUNTY, FLORIDA.

Rennia Norris
Signature

THIS FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS
18 DAY OF Oct, 2005, BY Rennia
Norris, WHO IS PERSONALLY KNOWN TO ME.

STATE OF FLORIDA
COUNTY OF Columbia

[Signature]
NOTARY PUBLIC



MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home Installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said license shall be renewed annually, and each licensee shall pay a fee of \$150.00.

I, Ronnie Noffs, license number IH 0000049
Please Print

Do hereby state that the installation of the manufactured home for:
Rocky Ford or Kelly Ford at NR SPIKEY LANE
Applicant 911 Address

will be done under my supervision.

Ronnie Noffs
Signature

Sworn to and subscribed before me this 18 day of OCT,
2005.

Notary Public: [Signature]
Signature



My Commission Expires: 7/16/06
Date

COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 1787 * Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: October 21, 2005

Christina Lord

ENHANCED 9-1-1 ADDRESS:

^{Spivey}
259 NE ~~SPRUEY~~ LN (LAKE CITY, FL 32055)

Addressed Location 911 Phone Number: NOT AVAIL.

OCCUPANT NAME: NOT AVAIL.

OCCUPANT CURRENT MAILING ADDRESS: _____

PROPERTY APPRAISER PARCEL NUMBER: 01-28-17-04659-023

Other Contact Phone Number (If any): _____

Building Permit Number (If known): _____

Remarks: _____

Address Issued By: _____


Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

COLUMBIA COUNTY
9-1-1 ADDRESSING
APPROVED

23773

**Columbia County Building Department
Culvert Permit**

**Culvert Permit No.
000000866**

DATE 10/25/2005 PARCEL ID # 01-2S-17-04659-023
APPLICANT KELLY/ROCKY FORD PHONE 386.497.2311
ADDRESS POB 39 FT. WHITE FL 32038
OWNER CHRISTINA LORD PHONE 386.752.3871
ADDRESS 259 NE SPIVEY LANE LAKE CITY FL 32055
CONTRACTOR RONNIE NORRIS PHONE 386.752.3871
LOCATION OF PROPERTY 441-N TO DREW ROAD,TR ON OWL RUN,TR TO SPIVEY,TL TO THE END
ON L.

SUBDIVISION/LOT/BLOCK/PHASE/UNIT _____

SIGNATURE Rocky D Ford

INSTALLATION REQUIREMENTS

☒ Culvert size will be 18 inches in diameter with a total length of 32 feet, leaving 24 feet of driving surface. Both ends will be mitered 4 foot with a 4 : 1 slope and poured with a 4 inch thick reinforced concrete slab.

INSTALLATION NOTE: Turnouts will be required as follows:
a) a majority of the current and existing driveway turnouts are paved, or;
b) the driveway to be served will be paved or formed with concrete.
Turnouts shall be concrete or paved a minimum of 12 feet wide or the width of the concrete or paved driveway, whichever is greater. The width shall conform to the current and existing paved or concreted turnouts.

- ☐ Culvert installation shall conform to the approved site plan standards.
- ☐ Department of Transportation Permit installation approved standards.
- ☐ Other _____

**ALL PROPER SAFETY REQUIREMENTS SHOULD BE FOLLOWED
DURING THE INSTALATION OF THE CULVERT.**

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

Amount Paid 25.00



COLUMBIA COUNTY
OF
FLORIDA

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 01-2S-17-04659-023

Building permit No. 000023773

Permit Holder RONNIE NORRIS

Owner of Building CHRISTINA LORD

Location: 259 NE SPIVEY LANE



Date: 12/22/2005

Thany Steele

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)