

11343

## Columbia County Swimming Pool/Spa Permit Application

20-0012

11347

For Office Use Only Application # 44288 Date Received 1/7 By MG Permit # 39201  
 Zoning Official LW/LH Date 1-8-20 Flood Zone X Land Use EL0 Zoning RSF-2  
 FEMA Map # \_\_\_\_\_ Elevation \_\_\_\_\_ MFE \_\_\_\_\_ River \_\_\_\_\_ Plans Examiner TR Date 1-15-20

## Comments

- ☒ NOC ☒ DEH ☐ Deed or PA ☐ Site Plan ☐ 911 Sheet (If NO Address Exists) ☐ Owner Builder Disclosure Statement  
☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter  
☐ Land Owner Affidavit ☐ Ellisville Water ☐ App Fee Paid ☐ Sub VF Form

## Notes:

Septic Permit No. 20-0012 Or City Water System Fax peelerpools@gmail

Applicant (Who will sign/pickup the permit) Raymond or Alice Peeler Phone 386 755-2848

Address 158 S.W. Elk Hunter Glen Fort White FL 32038

Owners Name Charles Perry & Jenny Perry Phone \_\_\_\_\_

911 Address 425 SW Woodcrest Drive Lake City FL 32024

Contractors Name Raymond Peeler Phone 386 867 4888

Address 158 S.W. Elk Hunter Glen Fort White, FL

Contractor Email peelerpools@gmail.com \*\*\*Include to get updates on this job.

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address \_\_\_\_\_

Architect/Engineer Name & Address Gary Bill, 426 SW Commerce Dr. Lake City FL 32025

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Duke Energy

Property ID Number 11 45 16 02905 359 Cost of Construction 32,000

Subdivision Name Woodcrest Lot 59 Block \_\_\_\_\_ Unit 2 Phase \_\_\_\_\_

Driving Directions US 90 W - (L) 2475 - (L) SW Kirby Ave.

(L) Woodcrest - .3 miles # 425

Construction of Swimming Pool Residential ☒ OR Commercial \_\_\_\_\_

Actual Distance of Pool from Property Lines - Front 100' Side 40' Side 40' Rear 50'

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Florida Building Code 2014 and the 2011 National Electrical Code.

6 sent email

Columbia County Building Permit Application

**TIME LIMITATIONS OF APPLICATION:** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless a permit has been issued.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT:** YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Charles Perry  
Print Owners Name

Owners Signature

**\*\*Property owners must sign here before any permit will be issued.**

**\*\*If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature

Contractor's License Number CPC 057105  
Columbia County  
Competency Card Number 515

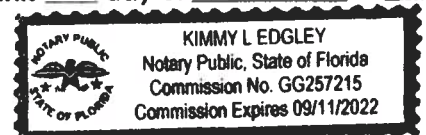
Affirmed under penalty of perjury to by the Contractor and subscribed before me this 2 day of Jan 2020

Personally known ☒ or Produced Identification ☐

State of Florida Notary Signature (For the Contractor)

SEAL:

*Kimmy L. Edgley*



**NOTICE OF COMMENCEMENT****STATE OF FLORIDA COUNTY OF** Columbia **CITY OF** Lake City

THE UNDERSIGNED hereby gives notice that improvement(s) will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

**DESCRIPTION OF PROPERTY:**

LOT 59 BLOCK \_\_\_\_\_ SECTION \_\_\_\_\_ TOWNSHIP \_\_\_\_\_ RANGE \_\_\_\_\_  
TAX PARCEL # 1145 16 02905 359  
SUBDIVISION: Woodcrest PLATBOOK: \_\_\_\_\_ MAP PAGE# \_\_\_\_\_  
STREET ADDRESS: 425 SW Woodcrest Dr.  
Lake City FL 32024

**GENERAL DESCRIPTION OF IMPROVEMENT:**

TO CONSTRUCT: SWIMMING POOL- RESIDENTIAL

**OWNER INFORMATION:**

OWNER(S) NAME: Charles & Jenny Perry  
ADDRESS: 425 SW Woodcrest Dr PHONE \_\_\_\_\_  
CITY: Lake City STATE FL ZIP 32024  
INTEREST IN THE PROPERTY: Owner  
FEE SIMPLE TITLEHOLDER NAME: \_\_\_\_\_  
FEE SIMPLE TITLEHOLDER ADDRESS: (IF OTHER THAN OWNER) \_\_\_\_\_

**CONTRACTOR NAME: Peeler Pools, Inc**ADDRESS: 158 SW Elk Hunter Glen Ft. White, FL 32038 386-755-2848

BONDING COMPANY: N/A ADDRESS: N/A PHONE NUMBER N/A

CITY: N/A STATE N/A ZIP CODE: N/A

LENDER NAME: N/A

ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_

Inst: 202012000391 Date: 01/07/2020 Time: 9:20AM  
Page 1 of 1 B: 1402 P: 1823, P. DeWitt Cason, Clerk of Court  
Columbia, County, By: BD  
Deputy Clerk

Prepared by: Peeler Pools, Inc. (Raymond Peeler)

Return to : Peeler Pools, Inc. 158 SW Elk Hunter Glen Ft. White, FL 32038 386-755-2848

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1) (a) 7., Florida Statutes.

NAME: None ADDRESS: N/A

In addition to himself, Owner designates: Raymond Peeler of Peeler Pools, Inc.158 SW Elk Hunter Glen Ft. White, FL 32038 386-755-2848

to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

Expiration date is 1 year from date of recording unless a different date is specified.

SIGNATURE OF OWNER Charles PerrySWORN to and subscribed before me this 2 day of Jan year of 2020

Notary Public \_\_\_\_\_ My commission expires \_\_\_\_\_

Signature: Alice Burke Peeler

ALICE BURKE PEELER  
Commission # GG 122000  
Expires September 15, 2021  
Bonded Thru Budget Notary Services

\*\*\*WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.



# SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT #

44288

JOB NAME

Perry

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

**NOTE:** It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

**NOTE:** If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

|  |   |  |   |
|--|---|--|---|
| <b>ELECTRICAL</b><br><input checked="" type="checkbox"/> | Print Name <u>MAT Burns</u>                   | Signature <u>[Signature]</u>             | <b>Need</b><br>Lic<br>Liab<br>W/C<br>EX<br>DE |
| CC# <u>309</u>   | Company Name: <u>MAT Burns Electric, Inc.</u> | Phone #: <u>386-365-3688</u> <u>Cell</u> |   |
|  | License #: <u>EC 1300 6531</u>                | Phone #: <u>386-935-0444</u>             |   |
| <b>MECHANICAL/A/C</b><br><input type="checkbox"/>        | Print Name _____                              | Signature _____                          | <b>Need</b><br>Lic<br>Liab<br>W/C<br>EX<br>DE |
| CC# _____  | Company Name: _____                           | Phone #: _____                           |   |
| <b>PLUMBING/GAS</b><br><input type="checkbox"/>          | Print Name _____                              | Signature _____                          | <b>Need</b><br>Lic<br>Liab<br>W/C<br>EX<br>DE |
| CC# _____  | Company Name: _____                           | Phone #: _____                           |   |
| <b>ROOFING</b><br><input type="checkbox"/>               | Print Name _____                              | Signature _____                          | <b>Need</b><br>Lic<br>Liab<br>W/C<br>EX<br>DE |
| CC# _____  | Company Name: _____                           | Phone #: _____                           |   |
| <b>SHEET METAL</b><br><input type="checkbox"/>           | Print Name _____                              | Signature _____                          | <b>Need</b><br>Lic<br>Liab<br>W/C<br>EX<br>DE |
| CC# _____  | Company Name: _____                           | Phone #: _____                           |   |
| <b>FIRE SYSTEM/SPRINKLER</b><br><input type="checkbox"/> | Print Name _____                              | Signature _____                          | <b>Need</b><br>Lic<br>Liab<br>W/C<br>EX<br>DE |
| CC# _____  | Company Name: _____                           | Phone #: _____                           |   |
| <b>SOLAR</b><br><input type="checkbox"/>                 | Print Name _____                              | Signature _____                          | <b>Need</b><br>Lic<br>Liab<br>W/C<br>EX<br>DE |
| CC# _____  | Company Name: _____                           | Phone #: _____                           |   |
| <b>STATE SPECIALTY</b><br><input type="checkbox"/>       | Print Name _____                              | Signature _____                          | <b>Need</b><br>Lic<br>Liab<br>W/C<br>EX<br>DE |
| CC# _____  | Company Name: _____                           | Phone #: _____                           |   |

## Columbia County Property Appraiser

Jeff Hampton

2018 Tax Roll Year

updated: 6/25/2019

Parcel: &lt;&lt; 11-4S-16-02905-359 &gt;&gt;

## Owner &amp; Property Info

Result: 1 of 1

|              |  |              |          |
|--------------|--|--------------|----------|
| Owner        | PERRY CHARLES A & JENNY L<br>425 SW WOODCREST DR<br>LAKE CITY, FL 320241123        |              |          |
| Site         | 425 WOODCREST DR, LAKE CITY  |              |          |
| Description* | LOT 59 WOODCREST S/D UNIT 2. ORB 803-1853,<br>884-1259, WD 1098-1236, WD 1320-635, |              |          |
| Area         | 0.51 AC  | S/T/R        | 11-4S-16 |
| Use Code**   | SINGLE FAM (000100)  | Tax District | 2        |

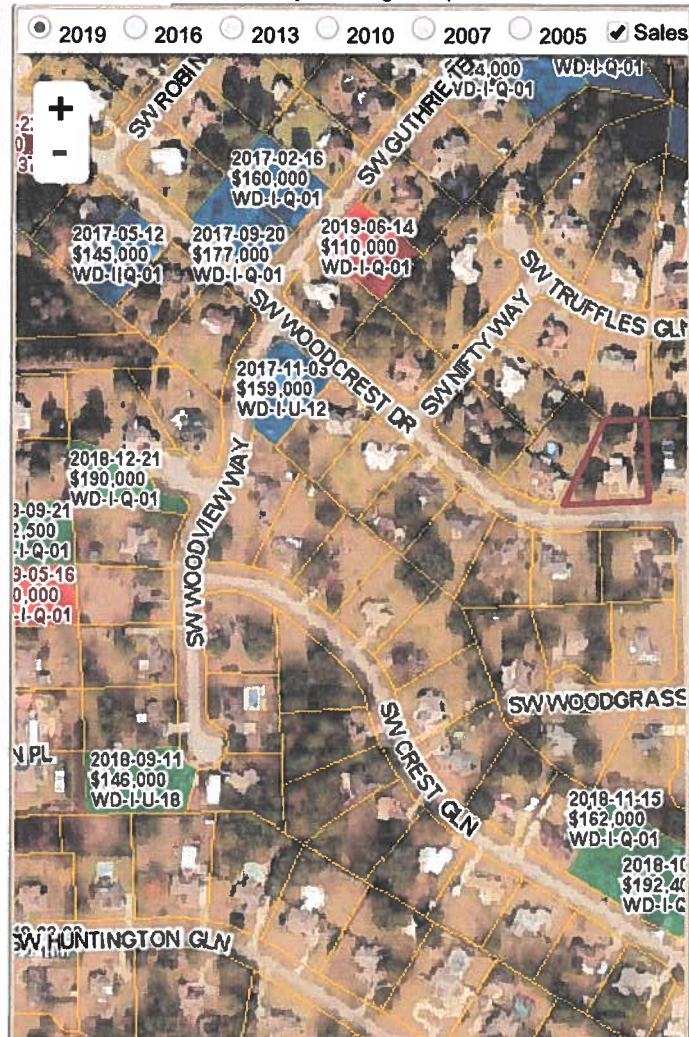
\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

\*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

## Property &amp; Assessment Values

| 2018 Certified Values |   | 2019 Working Values |   |
|-----------------------|---|---------------------|---|
| Mkt Land (1)          | \$14,500  | Mkt Land (1)        | \$16,000  |
| Ag Land (0)           | \$0   | Ag Land (0)         | \$0   |
| Building (1)          | \$96,461  | Building (1)        | \$103,981   |
| XFOB (4)              | \$6,846   | XFOB (4)            | \$6,846   |
| Just                  | \$117,807   | Just                | \$126,827   |
| Class                 | \$0   | Class               | \$0   |
| Appraised             | \$117,807   | Appraised           | \$126,827   |
| SOH Cap [?]           | \$968   | SOH Cap [?]         | \$8,345   |
| Assessed              | \$116,273   | Assessed            | \$118,482   |
| Exempt                | HX H3 \$50,000  | Exempt              | HX H3 \$50,000  |
| Total Taxable         | county:\$66,273<br>city:\$66,273<br>other:\$66,273<br>school:\$91,273 | Total Taxable       | county:\$68,482<br>city:\$68,482<br>other:\$68,482<br>school:\$93,482 |

Aerial Viewer Pictometry Google Maps



## Sales History

| Sale Date | Sale Price | Book/Page | Deed | V/I | Quality (Codes) | RCode |
|-----------|------------|-----------|------|-----|-----------------|-------|
| 8/12/2016 | \$149,000  | 1320/0635 | WD   | I   | Q               | 01    |
| 10/4/2006 | \$100      | 1098/1236 | WD   | I   | U               | 01    |
| 7/14/1999 | \$97,900   | 884/1259  | WD   | I   | Q               |       |

## Building Characteristics

| Bldg Sketch | Bldg Item | Bldg Desc*          | Year Blt | Base SF | Actual SF | Bldg Value |
|-------------|-----------|---------------------|----------|---------|-----------|------------|
| Sketch      | 1         | SINGLE FAM (000100) | 1999     | 1546    | 2432      | \$103,981  |

\*Bldg\_Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

## Extra Features &amp; Out Buildings (Codes)

| Code | Desc       | Year Blt | Value      | Units    | Dims      | Condition (% Good) |
|------|------------|----------|------------|----------|-----------|--------------------|
| 0166 | CONC,PAVMT | 1999     | \$2,001.00 | 1334.000 | 0 x 0 x 0 | (000.00)           |
| 0120 | CLFENCE 4  | 1999     | \$1,350.00 | 300.000  | 0 x 0 x 0 | (000.00)           |
| 0169 | FENCE/WOOD | 1999     | \$1,020.00 | 136.000  | 0 x 0 x 0 | (000.00)           |
| 0296 | SHED METAL | 2009     | \$2,475.00 | 450.000  | 0 x 0 x 0 | AP (050.00)        |

## Land Breakdown





## COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21, Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

[www.columbiacountyfla.com/BuildingandZoning.asp](http://www.columbiacountyfla.com/BuildingandZoning.asp)

### NOTICE TO SWIMMING POOL OWNERS

I Charles and/or Penny Perry have been informed and I understand that prior to the final inspection approval and use of my pool, I will need all the inspections approved and the required fencing installed in accordance with applicable regulations. The Florida Building Code requires private residential swimming pools, hot tubs, or non-portable spas containing water over 24 inches deep to meet the following pool barrier safety feature requirements:

- The pool access must be isolated by a barrier at least 4 feet high and installed around the perimeter of the pool.

Unless the pool is equipped with a safety cover complying with the specifications of American Society for Testing and Materials standard F-1346-91.

- The barrier shall not have any gaps or openings which would allow a child to crawl under, squeeze through or climb over and must be placed no less than 20 inches from the water's edge.
- Gates located in the pool barrier must open outward away from the pool and be both self-closing and self latching, with a release mechanism not less than 54" above the standing surface at the gate.
- The barrier must be separate from any other fence, wall, or other enclosure surrounding the yard unless the fence, wall or other enclosure or portion thereof is situated on the perimeter of the pool and meets the pool barrier requirements.
- Where a wall of a dwelling serves as part of the barrier **one** of the following shall apply:
  - 1) All doors and first floor windows with a sill height of less than 48 inches providing direct access from the home to the pool must be equipped with an alarm that has a minimum sound pressure rating of 85 decibels at 10 feet. The alarm shall sound immediately upon opening the window or door unless the temporary bypass mechanism is activated.
  - 2) **Or;** all doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with a release mechanism located at least 54 inches above the floor.

According to Florida statutes chapter 515: Residential Swimming Pool Safety Act, failure to comply with these requirements is a misdemeanor of the second degree, punishable by imprisonment for up to 60 days or a fine of up to \$500, except that no penalty shall be imposed if within 45 days after arrest or issuance of a summons or notice to appear, the pool is equipped with the aforementioned safety features and the responsible person attends a drowning prevention education program developed by the Florida Department of Health. I also understand that there are several inspections required in addition to a final inspection for my swimming pool.

Charles Perry  
Owner Signature / Date

Address: 425 SW Woodcrest Drive Lake City FL 32024

Raymond G. Allen 0573119 CPC 057105  
Contractor Signature / Date License Number



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ON-SITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 20-0012  
DATE PAID: 11/7/20  
FEE PAID: \$1,000.00  
RECEIPT #: 1460577

## APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☒ Pool

APPLICANT: Charles PerryAGENT: Raymond or Alko PederTELEPHONE: 7552848MAILING ADDRESS: 158 SW Elk Hunter Glen Ft White FL

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

## PROPERTY INFORMATION

LOT: 59 BLOCK: \_\_\_\_\_ SUBDIVISION: Woodcrest PLATTED: \_\_\_\_\_PROPERTY ID #: 11451602905359 ZONING: \_\_\_\_\_ I/M OR EQUIVALENT: [ Y / N ]PROPERTY SIZE: .51 ACRES WATER SUPPLY: [ ] PRIVATE PUBLIC [ ] <=2000GPD [ ] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [ Y / N ] DISTANCE TO SEWER: \_\_\_\_\_ FT

PROPERTY ADDRESS: 425 SW Woodcrest Drive Lake CityDIRECTIONS TO PROPERTY: 90W - (L) 2475 - (L) SW Kirby Ave -

(L) Woodcrest - .3 miles #425

## BUILDING INFORMATION

[ ☒ ] RESIDENTIAL [ ] COMMERCIAL

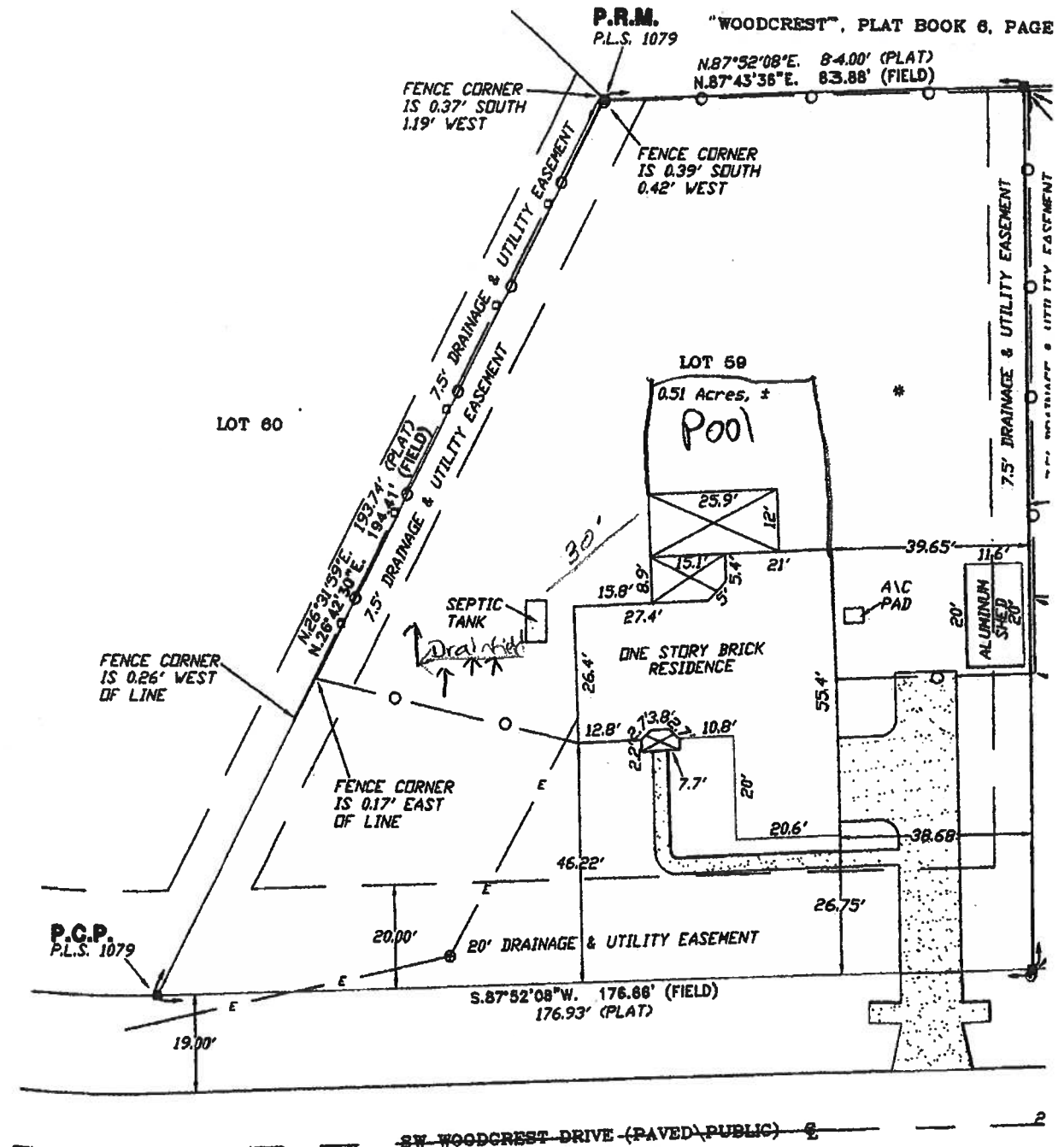
| Unit No | Type of Establishment | No. of Bedrooms | Building Area Sqft | Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC |
|---------|-----------------------|-----------------|--------------------|--|
| 1       | Swimming Pool         |                 |                    |  |
| 2       |                       |                 |                    |  |
| 3       |                       |                 |                    |  |
| 4       |                       |                 |                    |  |

|   |               |  |  |  |
|---|---------------|--|--|--|
| 1 | Swimming Pool |  |  |  |
| 2 |               |  |  |  |
| 3 |               |  |  |  |
| 4 |               |  |  |  |

[ ] Floor/Equipment Drains [ ] Other (Specify) \_\_\_\_\_

SIGNATURE: Raymond Peder DATE: 12/30/19

20-0012



## CERTIFIED TO:

CHARLES A. & JENNY L. PERRY  
ABSTRACT TRUST TITLE, LLC  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
USAA FEDERAL SAVINGS BANK

## SURVEYOR'S CER

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER  
TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA  
IN CHAPTER 3J-17, FLORIDA ADMINISTRATIVE CODE, P.U.

08/01/16

08/03/16

FIELD SURVEY DATE

DRAWING DATE

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL  
MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFO

FIELD BOOK, SEE PAGE(S), FILE

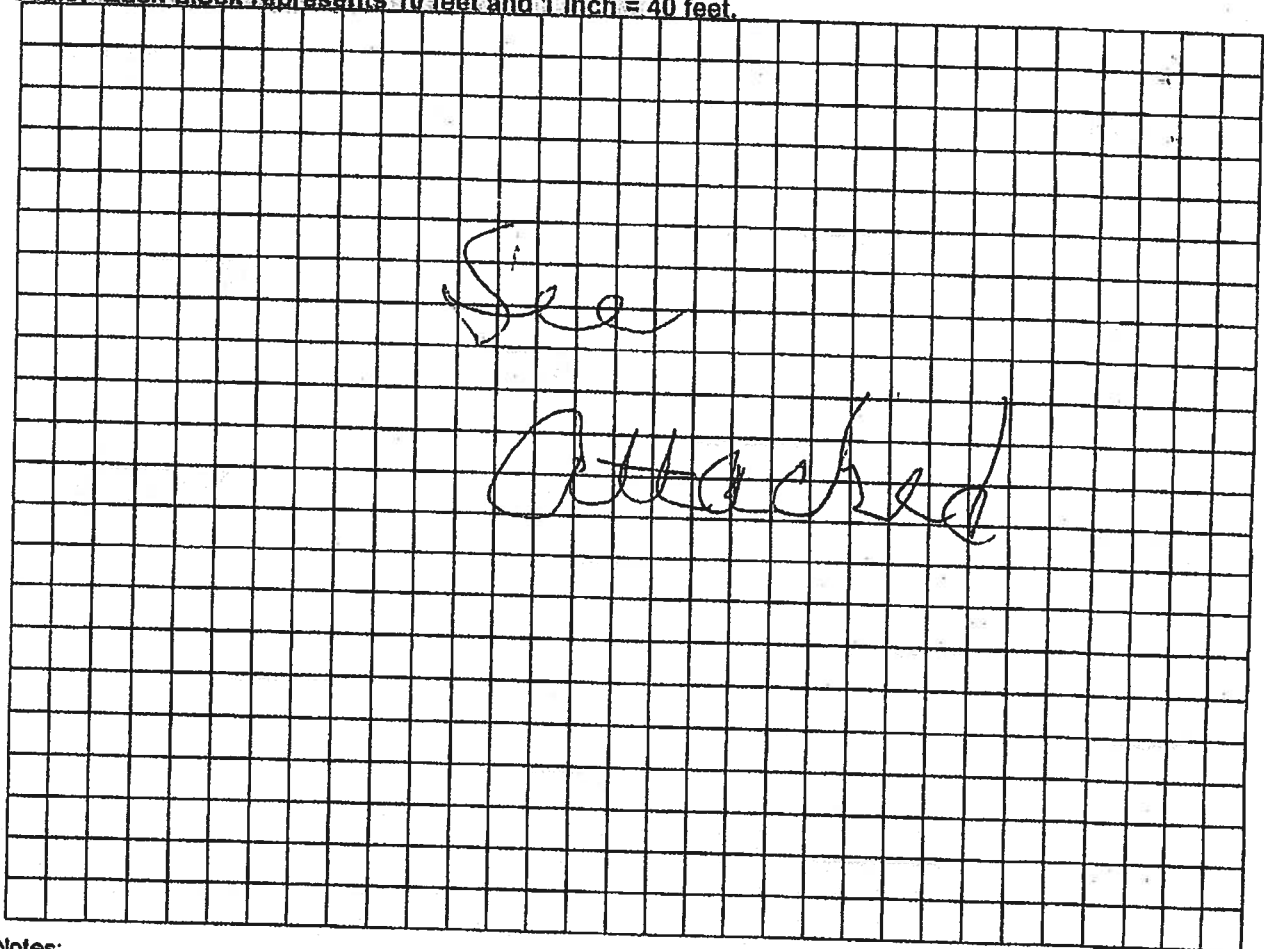


STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 20-0012

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes: \_\_\_\_\_

Site Plan submitted by: [Signature]

Agent: ☒

Owner: \_\_\_\_\_

Date: 01072020

Plan Approved ☒

Not Approved \_\_\_\_\_

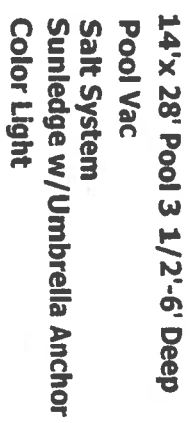
Date: 1/23/20

By: [Signature]

COLUMBIA County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

# PEELER POOLS



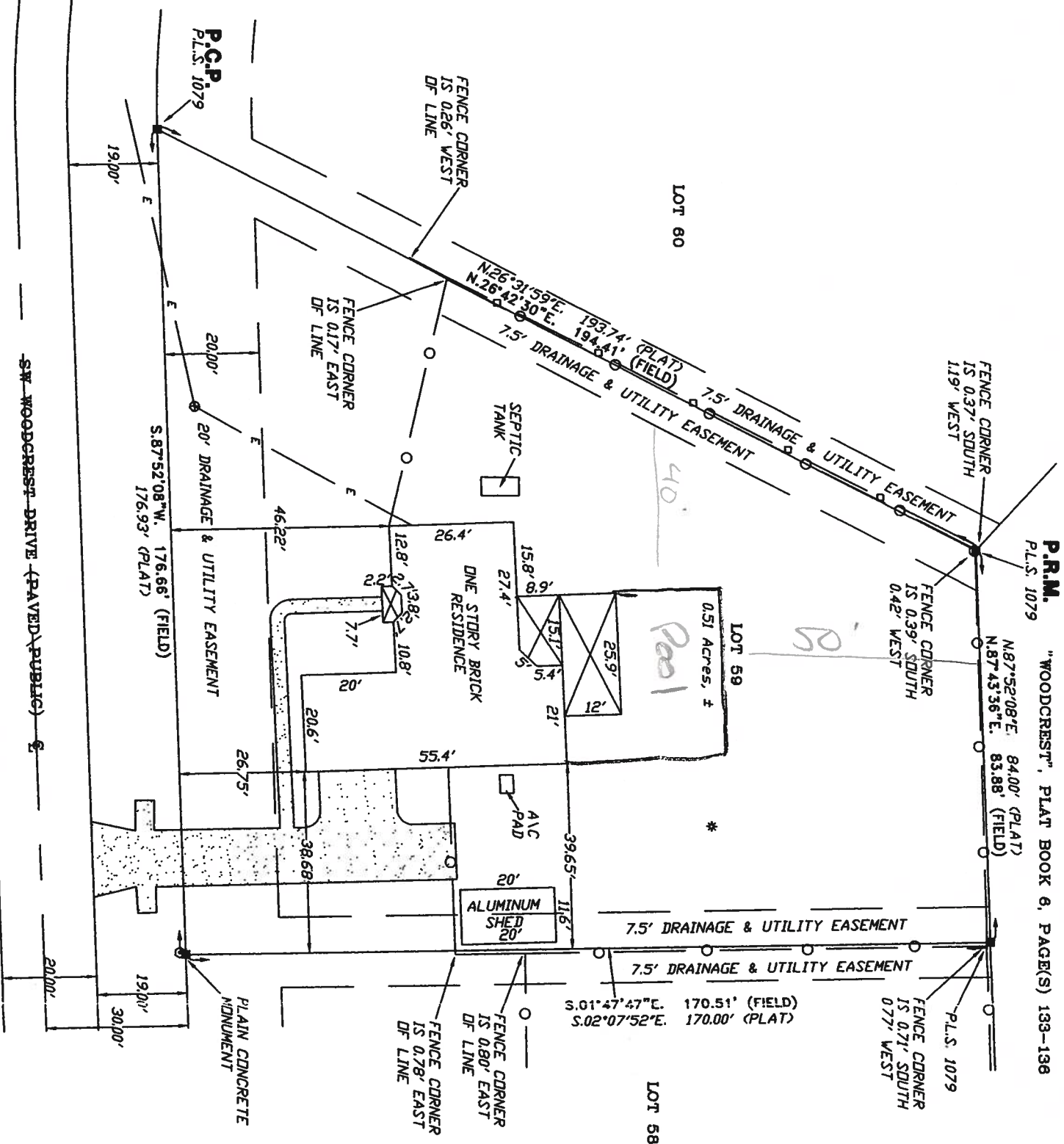
**775 sf Deck**  
**462 sf Pool**



Scale: 1/8" = 1 ft

BOUNDARY SURVEY IN SECTION 11, TOWNSHIP 4 SOUTH,  
RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.

P.R.M. "WOODCREST", PLAT BOOK 6, PAGE(S) 138-139  
P.L.S. 1079



SCALE: 1" = 30'



| SYMBOL LEGEND:                |                             |
|-------------------------------|-----------------------------|
| 4"x4" CONCRETE MONUMENT FOUND | 4"x4" CONCRETE MONUMENT SET |
| IRON PIPE FOUND               | IRON PIN AND CAP SET        |
| 2" CUT IN PAVEMENT            | CALCULATED PROPERTY CORNER  |
| MAIL & DISK                   | POWER POLE                  |
| SIGN POST                     | WATER METER                 |
| UTILITY BOX                   | WELL                        |
| SANITARY MANHOLE              | CENTERLINE                  |
| SECTION LINE                  | ELECTRIC LINE               |
| WINE FENCE                    | CHAIN LINK FENCE            |
| WOODEN FENCE                  | WOODEN FENCE                |
| GRAT                          | AS PER A PLAT OF RECORD     |
| DEED                          | AS PER A PLAT OF RECORD     |
| CHALC                         | AS PER CALCULATIONS         |
| (FIELD)                       | AS PER FIELD MEASUREMENTS   |
| P.R.M.                        | PERMANENT REFERENCE MARKER  |
| P.C.P.                        | PERMANENT CONTROL POINT     |

DESCRIPTION:  
LOT 59 IN "WOODCREST", UNIT 2" AS PER PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGES 138 THRU 139 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

- SURVEYOR'S NOTES:
1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
  2. BEARINGS ARE BASED ON SAID PLAT OF RECORD AND THE BEARING BASIS SHOWN HEREON.
  3. IT IS APPARENT THAT THIS PARCEL IS IN ZONE 2" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD RATE MAP, DATED 4 FEBRUARY, 2009 FROM PANEL NUMBER 120230293C. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
  4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
  5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
  6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
  7. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
  8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
  9. THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

CERTIFIED TO:

CHARLES A. & JENNY L. PERRY  
ABSTRACT TRUST TITLE, LLC  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
USAA FEDERAL SAVINGS BANK

FIELD BOOK, SEE PAGE(S) FILE

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 32-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 470.02, FLORIDA STATUTES.

08/01/16 FIELD SURVEY DATE  
08/03/16 DRAWING DATE

L. SCOTT BRITT, P.S.M.  
CERTIFICATION # 5757

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.



BRITT SURVEYING  
& MAPPING, LLC

LAND SURVEYORS AND MAPPERS, L.B. # 8016  
2086 SW MAIN BLVD., SUITE 112, LAKE CITY, FLORIDA 32025  
(386)752-7163 FAX (386)752-5573  
www.brittsurveying.com  
WORK ORDER # L-24197



| REVISION SCHEDULE |      |                      |
|-------------------|------|----------------------|
| REV.              | DATE | REVISION DESCRIPTION |

|   |         |                      |
|---|---------|----------------------|
| 1 | 1/24/18 | UPDATED TO 2017 CODE |
|---|---------|----------------------|

# PEELER POOLS

# CERTIFIED POOL PLANS

APPLICABLE CODES:  
 FLORIDA BUILDING CODE 6TH EDITION (2017)- BUILDING  
 NATIONAL ELECTRIC CODE (NFPA 70)  
 FLORIDA BUILDING CODE 6TH EDITION (2017) - PLUMBING  
 FLORIDA BUILDING CODE 6TH EDITION (2017)- MECHANICAL  
 FLORIDA FIRE PROTECTION CODE (INCLUDES LIFE SAFETY 101)

**GENERAL DESIGN REQUIREMENTS:**

- DESIGN DIMENSIONS SHALL COMPLY WITH SPECIFICATIONS INANS/NSPI 5 RESIDENTIAL IN-GROUND POOLS BASED ON THE POOL TYPE AND NSPI 3 PERMANENTLY INSTALLED RESIDENTIAL SPAS.
- SEE ANS/NSPI 5 FOR DIVING WATER ENVELOPES.
- SLIDES SHALL MEET MANUFACTURER'S INSTALLATION REQUIREMENTS
- ENTRY/EXIT: SHALL COMPLY WITH ANS/NSPI 5 AND NSPI LADDERS, UNDERWATER SEATS AND SWIM OUTFS (MAX. 20" BELOW WATER)
- CIRCULATION SYSTEMS, COMPONENTS & EQUIPMENT SHALL COMPLY W/ NSF 50
- THE MAXIMUM TURNOVER RATE IS 12 HOURS.
- FILTERS SHALL HAVE AN AIR RELIEF AND PRESSURE GAUGE
- PUMPS 3 HP AND LESS SHALL MEET ANSIUL 1081, CORROSION RESISTANT STRAINER AND MEET THE REQUIRED FLOW.
- SURFACE SKIMMERS SHALL MEET NSF 50 AND THERE SHALL BE ONE FOR EVERY 800 SQUARE FEET OF SURFACE AREA
- RETURN INLETS SHALL BE A MINIMUM OF ONE FOR EVERY 600 SQ. FT.
- HEATERS SHALL MEET ANSI-Z21.56 OR UL 1261 OR UL559
- DISINFECTANT EQUIPMEENT SHALL COMPLY WITH NSF 50
- PRESSURE TEST PIPING AT 35 PSI FOR 15 MINUTES OR MEET LOCAL CODE IF GREATER
- POOL SHAPE IS FREE FORM, ABOVE SHAPE AND DIMENSION ARE APPROXIMATE
- ASSUMED SOIL BEARING = 1.5 KSF
- INSTALL CONTROL JOINTS @ 20'-0" O.C. IN POOL DECKING.
- CONCRETE STAIRS ARE 12" TREAD WITH AND 10" MAX. HEIGHT
- LIGHTING IF INSTALLED WILL BE FIBER OPTIC OR LED
- ALL EQUIPOTENTIAL BONDING SHALL BE INSTALLED PER 2008 NEC 680.26
- SLAB AND FOOTING : 2500 PSI CONCRETE, GRADE STEEL REBAR

**SPECIAL SPA REQUIREMENTS:**

- MAXIMUM WATER DEPTH 4'. MAXIMUM SEAT DEPTH 28". MAXIMUM FLOOR SLOPE 1:12
- STEPS: MINIMUM TREAD = 10"x12". MINIMUM RISER=7" MAXIMUM RISER= 12" EXCEPT THE BOTTOM STEP MAY BE 14" IF IT IS THE SEAT. INTERMEDIATE TREADS AND RISERS TO BE UNIFORM
- SLIDES SHALL MEET MANUFACTURER'S INSTALLATION REQUIREMENTS.
- IF THE SPA IS OPERATED INTERMITTENTLY IT SHALL HAVE A ONE HOUR TURNOVER
- MAXIMUM TEMPERATURE IS 104° FARENHEIT
- MEET ANS/NSPI ARTICLE XVII SAFETY INSTRUCTIONS/SAFETY SIGN
- PRESSURE TEST PIPING AT 35 PSI FOR 15 MINUTES OR MEET LOCAL CODE IF GREATER

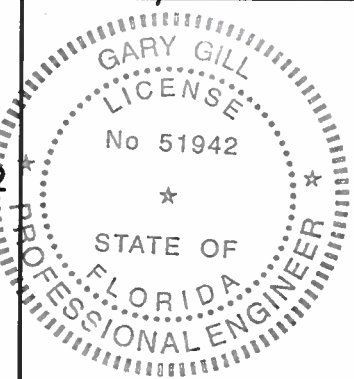
**ELECTRICAL REQUIREMENTS**

- WIRING AND BONDING AND ALL ELECTRICAL TO NEC ARTICLE 680 OR LOCAL CODE.
- NO OUTLET OR OVERHEAD POWER WITHIN 10' IF WITHIN 15' PROTECT BY GFI TRANSFORMER MINIMUM 10' FROM POOL. 8" ABOVE WATER J BOX 4' FROM POOL. BRASS TO J BOX OR TRANSFORMER WHICH EVER IS FIRST EXCEPT WHERE PVC IS APPROVED
- EQUIPOTENTIAL BONDING GRID TO BE ACCOMPLISHED PER THE NEC 2014, SECTION

**ADDITIONAL NOTES:**


- POOL INSTALLATION SHALL BE BY A QUALIFIED AND LICENSED/ APPROVED BY LOCAL BUILDING DEPARTMENT) POOL CONTRACTOR. THE INSTALLATION SHALL CONFORM TO ALL LOCAL BUILDING CODES, IE. PERMITS, SPECIFICATIONS, CODES, RULES, INSPECTIONS, WORKMANSHIP, ETC.
- POOL SHELL SHALL BEAR ON UNDISTURBED SOIL, FREE OF PEAT, MUCK, OR OTHER DELETERIOUS MATERIAL OF ANY SIGNIFICANT AMOUNT
- BACKFILL MATERIAL MUST NOT CONTAIN ROCKS OR OTHER MATERIALS THAT COULD DAMAGE POOL WALLS
- POOL TURNOVER SHALL BE 12 HOURS, MAXIMUM WITH CARTRIDGE FILTER, APPROVED PUMP (M, 4 HP WITH 29 GPM 60 TDH)
- STEPS SHALL BE PROVIDED AT THE SHALLOW END OF THE POOL.
- LADDERS ARE TO BE PROVIDED IN POOLS WITH GREATER THAN 5' DEPTH WITHOUT SWMOUTS
- INSTALL LOW VOLTAGE LIGHT PER NEC 680
- DURING HURRICANE WARNING OR ALERT, THIS POOL SHALL BE FILLED WITH WATER
- ALL GLASS WITHIN 5' OF WATERS EDGE SHALL COMPLY WITH R308.4(9) FOR SAFETY GLAZING.

| DRAWING INDEX - BUILDING PACKAGE |                      |               |  |
|----------------------------------|----------------------|---------------|--|
| SHEET NUMBER                     | SHEET NAME           | REVISION DATE |  |
| T-001                            | TITLE SHEET          | 1/24/18       |  |
| S-001                            | POOL LAYOUT PLAN     | 1/24/18       |  |
| S-002                            | SECTIONS AND DETAILS | 1/24/18       |  |



GILL ENGINEERING SERVICES, INC.  
 AUTH #30824  
 GARY GILL, PE #51942  
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 386-590-1242

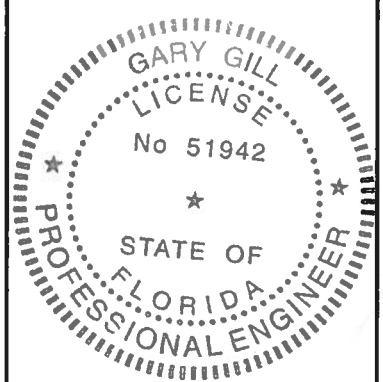


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| CERTIFIED CONCRETE<br>POOL PLANS |       | <br>Gill<br>Engineering Services, Inc. |
| PEELER POOLS                     |       |   |
| TITLE SHEET                      |       |   |
| 1532-054                         | T-001 | 1   |

| REVISION SCHEDULE |      |                      |
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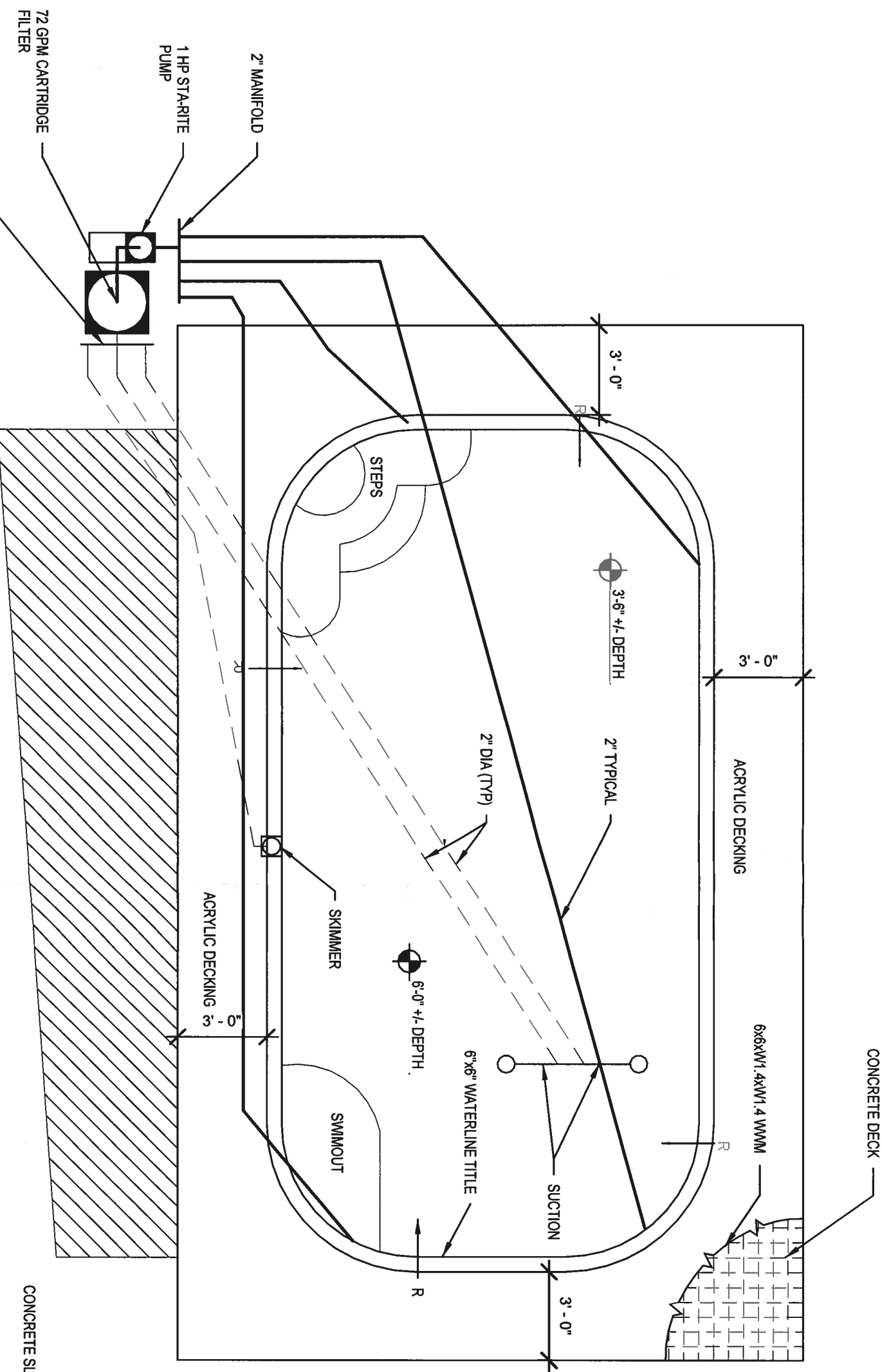
4/25/18



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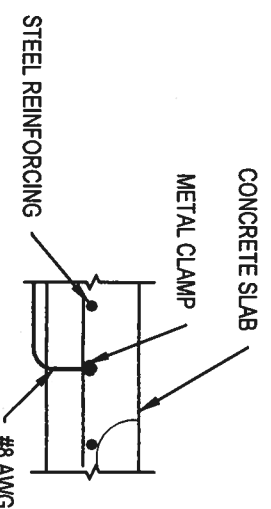


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| CERTIFIED CONCRETE<br>POOL PLANS |       |
| PEELER POOLS                     |       |
| POOL LAYO                        |       |
| 1532-054                         | S-001 |



1 CONCRETE PLAN  
 1/4" = 1'-0"

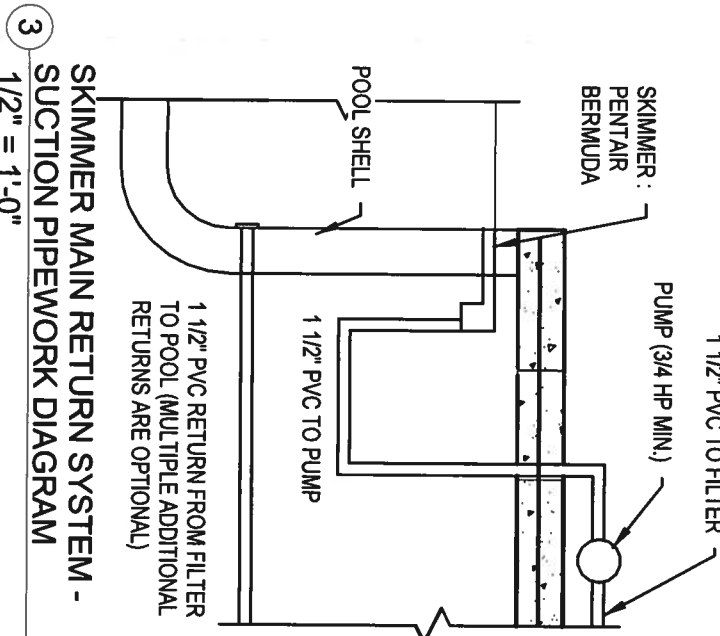
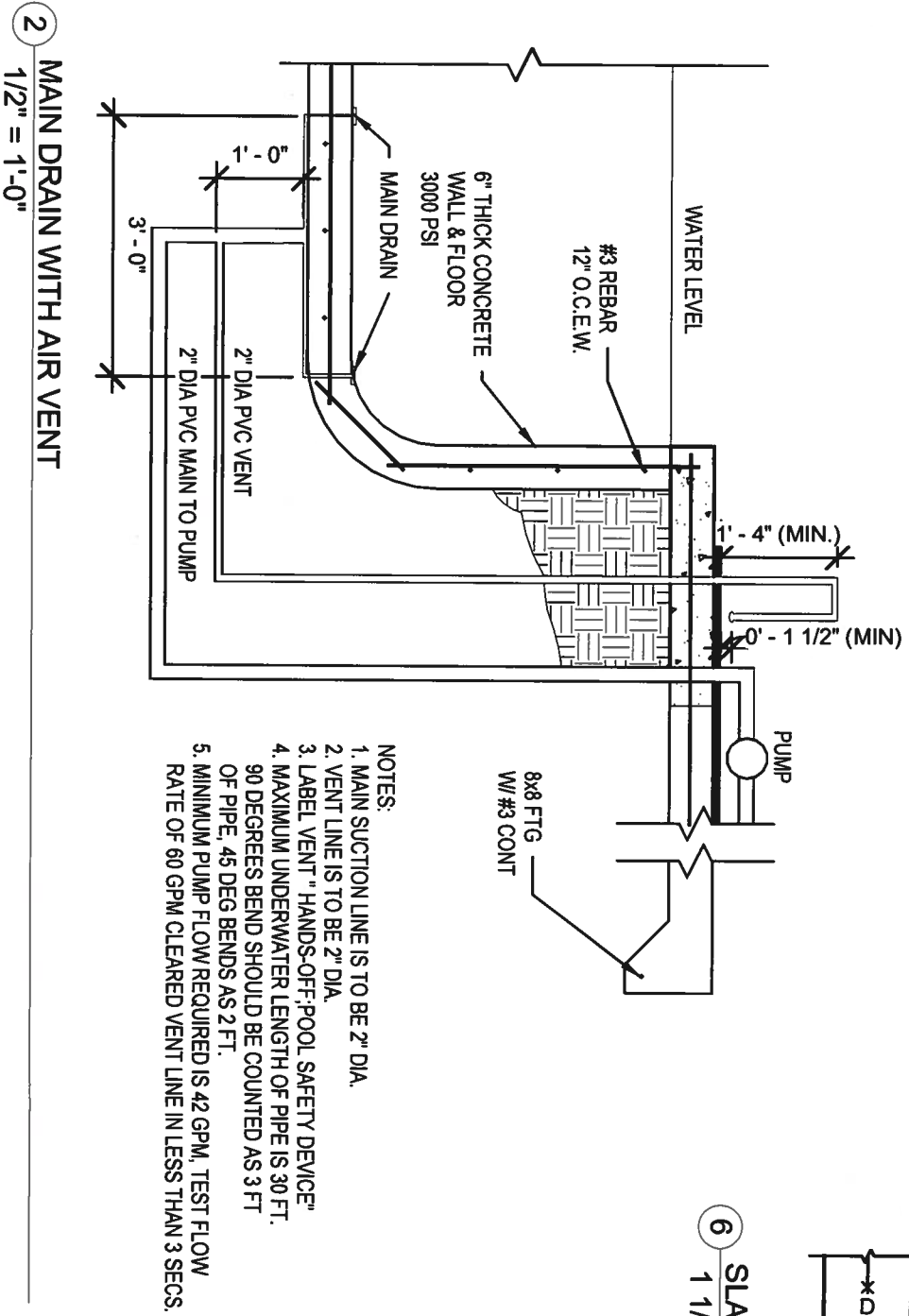
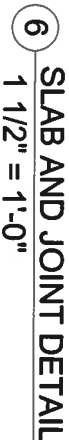
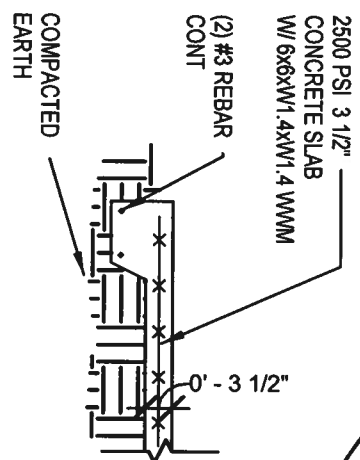
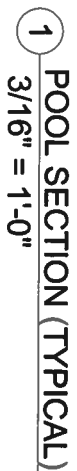
NOTE:  
 1. EQUIPOTENTIAL BONDING GRID  
 A. USE SOLID #8 AWG OR LARGER COPPER CONDUCT TO BOND ALL THE METAL IN AND AROUND THE POOL TOGETHER INTO AN INTERCONNECTED GRID.  
 B. THE REINFORCED CONCRETE DECK AND POOL SHELL WILL SERVE AS AN EQUIPOTENTIAL BONDING GRID  
 2. CONTRACTOR TO SPECIFY AND DESIGN FINAL PUMPING AND PIPING



2 EQUIPOTENTIAL BOND DETAIL  
 1 1/2" = 1'-0"

|   |         |                         |
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**4** **PIPE SIZING**  
**3/8" = 1'-0"**



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