

DATE 12/13/2006

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000025309

APPLICANT ERNEST FOLINO PHONE 454-3721  
ADDRESS 1818 SW CR 138 FT. WHITE FL 32038  
OWNER MICHAEL & PAMELA MURPHY PHONE 454-7222  
ADDRESS 1881 SW CR 138 FT. WHITE FL 32038  
CONTRACTOR RONNIE NORRIS PHONE 752-3871  
LOCATION OF PROPERTY 47S, TL ON 27, TR ON CR 138, 5TH LOT ON RIGHT PAST SPIRIT AVE

TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION 0.00  
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES  
FOUNDATION WALLS ROOF PITCH FLOOR  
LAND USE & ZONING A-3 MAX. HEIGHT  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 25-7S-16-04321-016 SUBDIVISION RUM ISLAND RANCHES UNREC  
LOT 4 BLOCK PHASE UNIT TOTAL ACRES

IH0000049  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING 06-0950-E BK JH N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD

Check # or Cash 1671

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic date/app. by date/app. by date/app. by  
Under slab rough-in plumbing Slab Sheathing/Nailing date/app. by date/app. by date/app. by  
Framing Rough-in plumbing above slab and below wood floor date/app. by date/app. by  
Electrical rough-in Heat & Air Duct Peri. beam (Lintel) date/app. by date/app. by date/app. by  
Permanent power C.O. Final Culvert date/app. by date/app. by date/app. by  
M/H tie downs, blocking, electricity and plumbing Pool date/app. by date/app. by  
Reconnection Pump pole Utility Pole date/app. by date/app. by date/app. by  
M/H Pole Travel Trailer Re-roof date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$  
FLOOD DEVELOPMENT FEE \$ FLOOD-ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 275.00  
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION. IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PREPARED BY/RETURN TO:

James L. Pendland, Jr.  
Post Office Box 1560  
High Springs, Florida 32643

TP# 25-7S-16-04321-016

Grantee(s) SSN 267-94-0328 MAM

Grantee(s) SSN 264-39-2778 PMM

Rec. 0 00  
Doc. Stamps 241.50 0789 PG1536  
Int. Tax \_\_\_\_\_  
Surtax \_\_\_\_\_ OFFICIAL RECORDS  
Total 247.50

**WARRANTY DEED**

THIS INDENTURE, made this 23rd day of April, 1994, between, JERRY L. HARRELL, whose mailing address is: Rt. 1, Box 99P, Ft. White, FL 32038 of the County of Columbia, State of Florida, as GRANTOR, and MICHAEL A. MURPHY and PAMELA M. MURPHY, Husband and Wife, whose mailing address is: 7481 NW 14th St., Plantation, FL 33313 of the County of Broward, State of Florida, as GRANTEES.

**WITNESSETH:**

Said Grantor, for and in consideration of the sum of Ten (\$10.00) Dollars, and other good and valuable consideration to said grantor in hand paid by said grantees, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantees and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

East 1/2 of the East 1/2 of Northwest 1/4 of Northwest 1/4, Section 25, Township 7 South, Range 16 East, less road right-of-way and utility easements, also known as Tract #4, Rum Island, Columbia County, Florida.

SUBJECT TO easements and restrictions of record, if any, and taxes and assessments for 1994 and subsequent years.

THE SUBJECT PROPERTY IS NOT THE HOMESTEAD OF THE GRANTOR.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has caused these presents to be signed the day and year above first written.

Signed, sealed, and delivered  
in our presence:

James L. Pendland, Jr.  
Alva L. Lancaster

Jerry L. Harrell  
JERRY L. HARRELL

DOCUMENTARY STAMP 241.50  
INTANGIBLE TAX -0-  
P. DeWITT CASON, CLERK OF  
COURTS, COLUMBIA COUNTY  
Paul R. Henderson

STATE OF FLORIDA  
COUNTY OF ALACHUA

THE FOREGOING WARRANTY DEED was acknowledged before me this 23rd day of April, 1994 by JERRY L. HARRELL, who is personally known to me.

94-05539

1994 APR 28 PM 12:40

RECORD 70-1-10  
Notary Public State of Florida

CLERK OF COURTS

COLUMBIA COUNTY, FLORIDA  
BY Paul R. Henderson

OFFICIAL NOTARY SEAL  
JAMES L. PENDLAND JR.  
NOTARY PUBLIC STATE OF FLORIDA  
COMMISSION NO. CC239730  
MY COMMISSION EXP. NOV. 20, 1996

# PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only

(Revised 6-23-05)

Zoning Official

Building Official

AP# 0612-04

Date Received 12-4-06

By LH

Permit # 25309

Flood Zone

Development Permit

N/A

Zoning

A-3

Land Use Plan Map Category A-3

Comments

FEMA Map# \_\_\_\_\_ Elevation \_\_\_\_\_ Finished Floor \_\_\_\_\_ River \_\_\_\_\_ In Floodway \_\_\_\_\_

☒ Site Plan with Setbacks Shown
 ☒ EH Signed Site Plan
 ☐ EH Release
 ☐ Well letter
 ☒ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner
 ☒ Letter of Authorization from Installer

- Property ID # 25-75-16-04321-016 Must have a copy of the property deed
- New Mobile Home ☒ Used Mobile Home \_\_\_\_\_ Year 2007
- Applicant ERNEST FOLINO 1st message 12/11/06 Phone # 386-454-3721
- Address 1818 SW CR 138 FORT WHITE FL. 32038
- Name of Property Owner MICHAEL + PAMELA MURPHY Phone# 954-792-3024 386-454-7222
- 911 Address 1881 S.W. CR 138 FORT WHITE, FL. 32038
- Circle the correct power company - FL Power & Light - Clay Electric (Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home MICHAEL + PAMELA MURPHY Phone # 954-792-3024 386-454-7222
- Address 1881 S.W. CR 138 FORT WHITE, FL. 32038
- Relationship to Property Owner SAME
- Current Number of Dwellings on Property 0
- Lot Size \_\_\_\_\_ Total Acreage 10 AC
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver (Circle one)
- Is this Mobile Home Replacing an Existing Mobile Home YES - moved to next property
- Driving Directions to the Property 47 S TO US 27, LEFT ON US 27 TO CR 138, RIGHT ON CR 138, 1 3/4 MILES. DRIVEWAY ON RIGHT MARKED WITH SIGN 1881. 5th lot on right past Spirit Ave.
- Name of Licensed Dealer/Installer RONNIE NORRIS Phone # 752 3871
- Installers Address 1004 SW CHESAPEAKE AVE
- License Number TX 00000419 Installation Decal # 277-857

## PERMIT NUMBER

## PERMIT WORKSHEET

Owner

Ron Newell

License #

TH0000049Address of home  
and installed

Manufacturer

Length x width

NOTE:

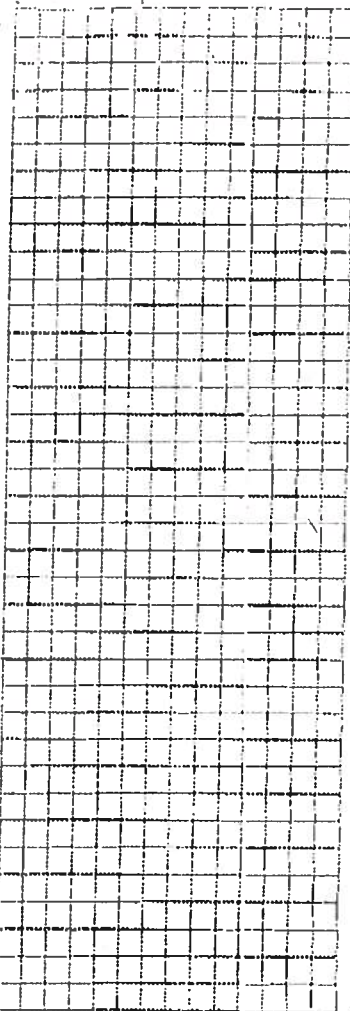
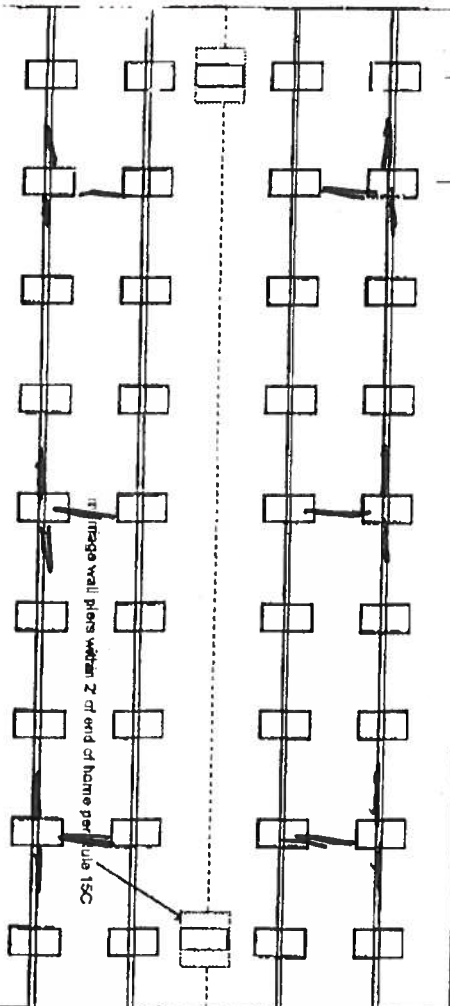
if home is a single wide fill out one half of the blocking plan  
if home is a triple or quad wide sketch in remainder of homeUnderstand Lateral Arm Systems cannot be used on any home (new or used)  
where the sidewall ties exceed 5 ft 4 in

Installer's initials

RN

Typical pier spacing

2'

lateral  
longitudinalShow locations of Longitudinal and Lateral Systems  
(use dark lines to show these locations)

New Home



Used Home



Home installed to the Manufacturer's Installation Manual



Home is installed in accordance with Rule 15-C



Single wide



Wind Zone II



Wind Zone III



Double wide



Installation Decal #

211957

Triple/Quad



Serial #

7203 model # - Not built yet

## PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footer size (256)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3"	4"	4"	5"	6"	7"	8"
1500 psf	4"	5"	6"	7"	8"	8"	8"
2000 psf	6"	8"	8"	8"	8"	8"	8"
2500 psf	7 1/2"	8"	8"	8"	8"	8"	8"
3000 psf	8"	8"	8"	8"	8"	8"	8"
3500 psf	8"	8"	8"	8"	8"	8"	8"

Interpolated from Rule 15C-1 pier spacing table.

## PIER PAD SIZES

I-beam pier pad size

17X25

Perimeter pier pad size

16X6Other pier pad sizes  
(required by the mfg.)17X25

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

8 20X204 17X224 16X16

## TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Number

## OTHER TIES

Sidewall

Longitudinal Marriage wall

Shearwall

## ANCHORS

4 5 ft

## FRAME TIES

within 2' of end of home spaced at 5' 4" oc

Number

Longitudinal Marriage wall

Shearwall



# PERMIT NUMBER

# PERMIT WORKSHEET

page 2 of 2

## POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 150 psf or check here to declare 1000 lb. soil without testing

x 150 x 160 x 150

## POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 150 x 150 x 160

## TORQUE PROBE TEST

The results of the torque probe test is \_\_\_\_\_ inch pounds or check here if you are declaring 5' anchors without testing \_\_\_\_\_ A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewalk locations. 1 understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

Installer's initials

## ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name \_\_\_\_\_

Date Tested \_\_\_\_\_

## Electrical

Connect electrical conductors between multi-wide units, but not to the main power source This includes the bonding wire between multi-wide units. Pg. \_\_\_\_\_

## Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. \_\_\_\_\_

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. \_\_\_\_\_

## Site Preparation

Debris and organic material removed ✓ Swale \_\_\_\_\_ Pad \_\_\_\_\_ Other \_\_\_\_\_

## Fastening multi wide units

Floor: Type Fastener: LP Length: 6 Spacing: 24  
Walls: Type Fastener: LP Length: 6 Spacing: 24  
Roof: Type Fastener: LP Length: 6 Spacing: 24  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

## Gasket (weathertightness requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Type gasket ✓ Installed: ✓ Between Floors Yes \_\_\_\_\_  
Pg. \_\_\_\_\_ Between Walls Yes \_\_\_\_\_  
Bottom of ridgebeam Yes \_\_\_\_\_

## Weathertightness

The bottomboard will be repaired and/or taped. Yes \_\_\_\_\_ Pg. \_\_\_\_\_  
Siding on units is installed to manufacturer's specifications. Yes \_\_\_\_\_  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes \_\_\_\_\_

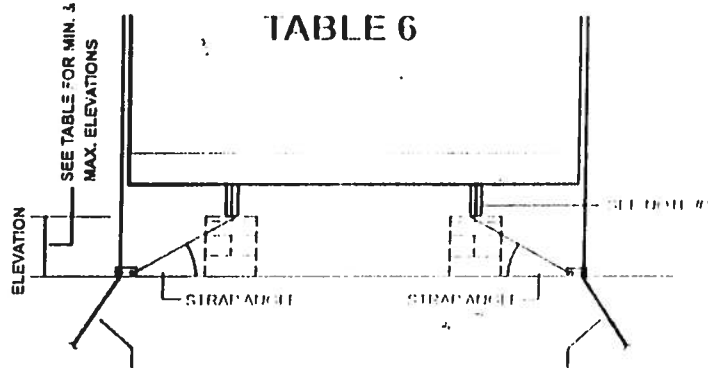
## Miscellaneous

Skirting to be installed. Yes \_\_\_\_\_ No \_\_\_\_\_  
Dryer vent installed outside of skirting. Yes \_\_\_\_\_ N/A \_\_\_\_\_  
Range downflow vent installed outside of skirting. Yes \_\_\_\_\_ N/A \_\_\_\_\_  
Drain lines supported at 4 foot intervals. Yes \_\_\_\_\_  
Electrical crossovers protected. Yes \_\_\_\_\_  
Other: \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

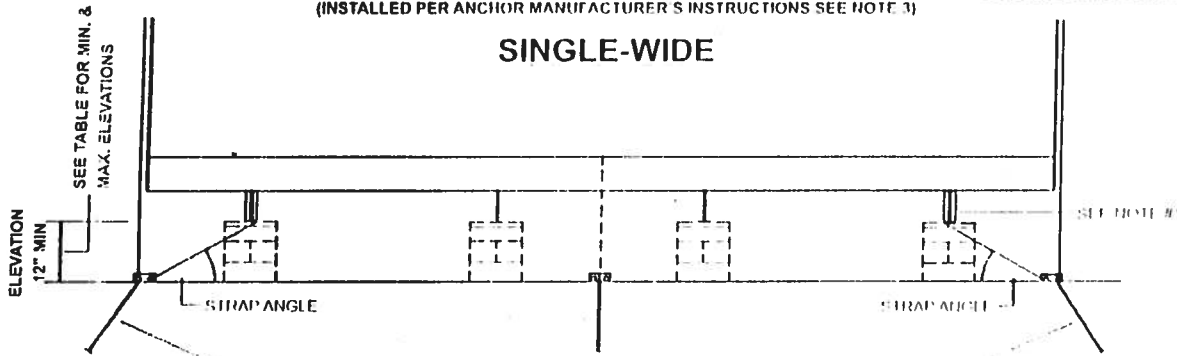
Installer Signature [Signature] Date 12-1-06

# STANDARD TIE-DOWN DETAILS



ANCHOR TO BE RATED FOR 1664# OF WORKING STRESS, TOTAL FOR BOTH STRAPS  
(INSTALLED PER ANCHOR MANUFACTURER'S INSTRUCTIONS SEE NOTE 3)

INSTALL STRAP & ANCHORS  
6'-8" @ ZONE II  
5'-4" @ ZONE III  
&  
4'-0" @ ZONE II & III  
FOR SHED ROOF  
SINGLEWIDES  
SEE TABLE FOR ELEVATION &  
STRAP ANGLE LIMITATIONS



ANCHOR TO BE RATED FOR 1664# OF WORKING STRESS, TOTAL FOR BOTH STRAPS  
(INSTALLED PER ANCHOR MANUFACTURER'S INSTRUCTIONS SEE NOTE 3)

## DOUBLE-WIDE

24' WIDE RESULTS FOR 12' HALF OF 22' WIDE DOUBLE WIDES

WIDTH	WIND ZONE II		WIND ZONE III	
	MIN. & MAX. ELEVATION	MIN. & MAX. DIAGONAL STRAP ANGLE	MIN. & MAX. ELEVATION	MIN. & MAX. DIAGONAL STRAP ANGLE
12'	14" TO 25"	25 TO 40	14" TO 26"	25 TO 41
14'	12" TO 27"	20.5 TO 40	12" TO 28"	20.5 TO 41
12' SHED ROOF	25.2" TO 34.6"	41 TO 50	25.2" TO 34.6"	41 TO 50
14' SHED ROOF	23.4" TO 38.4"	36 TO 50	23.4" TO 38.4"	36 TO 50
16'	16" TO 36"	20.5 TO 40	15.5" TO 38"	19.5 TO 41
18'	20" TO 44"	20.5 TO 40	19 TO 47"	19.5 TO 41
20' OR 22'	12" TO 15"	34 TO 40	12 TO 16"	34 TO 42
24'	12" TO 22"	24.5 TO 40	12 TO 23.5	24.5 TO 42
28'	12" TO 23.5"	23 TO 40	12 TO 25.5	23 TO 42
32'	12" TO 33"	16.6 TO 39.3	12 TO 36	16.6 TO 41.8
16' SHED ROOF	21" TO 27.5"	25.9 TO 32.4	21" TO 27.5"	25.9 TO 32.4

STRAP MATERIAL SPECIFICATION, CONNECTION TO FRAME BEAM & OTHER SET UP INFORMATION, REFER TO SKYLINE INSTALLATION MANUAL.

ANCHORING SYSTEMS, THE INSTRUCTIONS SHALL INDICATE: A) THE MINIMUM ANCHOR CAPACITY REQUIRED; B) ANCHORS SHOULD BE RATED BY PROFESSIONAL ENGINEER, ARCHITECT, OR A NATIONALLY RECOGNIZED TESTING LABORATORY AS TO THEIR RESISTANCE; C) THE MAXIMUM ANGLE OF DIAGONAL TIE AND/OR VERTICAL TIE LOADING AND ANGLE OF ANCHOR INSTALLATION, AND TYPE OF SOIL WHICH THE ANCHOR IS TO BE INSTALLED; D) GROUND ANCHORS SHOULD BE EMBEDDED BELOW THE FROST LINE AND BE AT LEAST 2 FEET ABOVE THE WATER TABLE; E) GROUND ANCHORS SHOULD BE INSTALLED TO THEIR FULL DEPTH AND STABILIZER PLATES SHOULD BE INSTALLED TO PROVIDE ADDED RESISTANCE TO OVERTURNING OR SLIDING FORCES; F) ANCHORING EQUIPMENT SHOULD BE CERTIFIED BY A PROFESSIONAL ENGINEER OR ARCHITECT TO RESIST THESE SPECIFIED FORCES IN ACCORDANCE WITH TESTING PROCEDURES IN ASTM STANDARD SPECIFICATION FOR STRAPPING, FLAT STEEL AND SEALS.

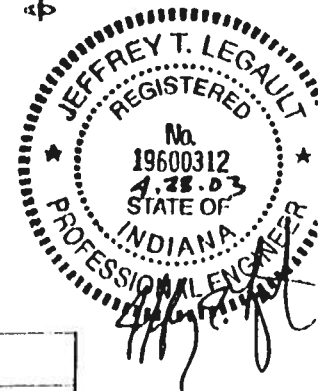
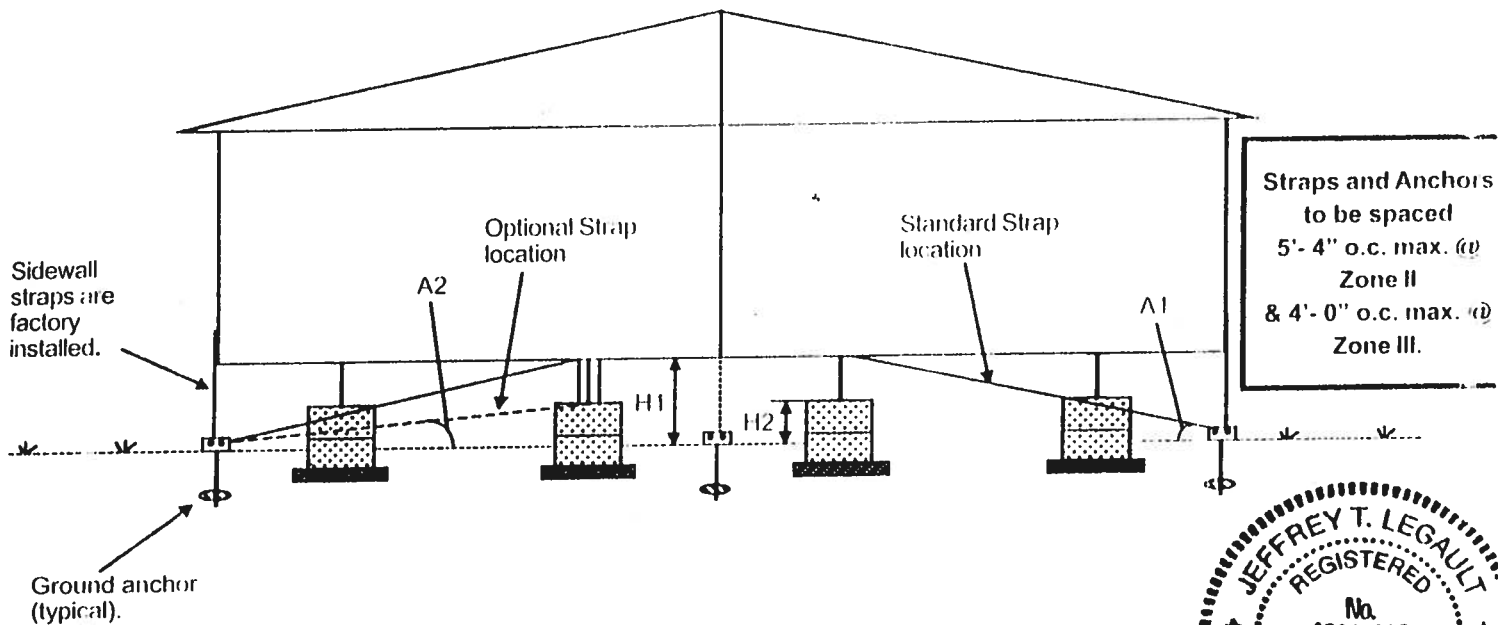
ANCHORS RATED @ 3150# OF WORKING STRESS TOTAL FOR BOTH STRAPS, MAY BE USED IF STRAP & ANCHOR SPACING IS REDUCED TO 5'-4" @ WIND ZONE II AND 4'-6" @ WIND ZONE III. STRAPS AND ANCHORS MAY BE INSTALLED 4'-0" O.C. ON SHED ROOF SINGLEWIDES WITH ANCHORS RATED @ 3150#.

ANCHOR CHANCE STRAP SEAL DEVICE DEPICTED BY FIG. 5-12 MAY BE USED AS DIRECTED FOR ATTACHING THE REQUIRED DOUBLEWIDE SKYLINE STRAPS TO GROUND ANCHORS.

STANDARD TIE-DOWN DETAILS ARE NOT APPLICABLE TO 5/12 ROOF PITCH DOUBLEWIDES @ WIND ZONE II & III.

# TIE-DOWN DETAILS FOR 5/12 ROOF PITCH DOUBLE WIDES AT WIND ZONE II & III

TABLE 6A



WIND ZONE II (100 mph)				
Unit Width	H (max.)	H (min.)	Angle (max.)	Angle (min.)
24'	48"	12"	23.2 degrees	6.12 degrees
26'	48"	12"	20.3 degrees	6.12 degrees
28'	48"	12"	20.3 degrees	5.28 degrees
32'	48"	12"	18.96 degrees	4.91 degrees

WIND ZONE III (110 mph)				
Unit Width	H (max.)	H (min.)	Angle (max.)	Angle (min.)
24'	48"	12"	25.2 degrees	6.12 degrees
26'	48"	12"	20.3 degrees	6.12 degrees
28'	48"	12"	20.3 degrees	5.28 degrees
32'	48"	12"	18.96 degrees	4.91 degrees

**NOTES:**

- 1) Straps and anchors to be rated for 3150 lbs. of working stress (min.).
- 2) Use H1 and A1 for standard strap location. Use H2 and A2 for optional strap location.
- 3) See page 25 for strap material specification, connection to I-Beam and other setup information.
- 4) The A-B chance strap seal device depicted by Fig. 5-12 may be used as directed for attaching the required doublewide centerline straps to ground anchors.

## MANUFACTURED HOME TIE-DOWN INSTRUCTIONS

support system must also resist lifting, sliding, and overturning forces resulting from side winds. A method used to install ground anchors and tie-down straps in addition to piers. Tie-downs as described are the minimum necessary for the home to withstand its design loads without uplift. On multi-section homes, sections must be tied together and level before tie-down straps are installed.

### WARNING

**BEFORE GROUND ANCHOR INSTALLATION, DETERMINE THAT THE ANCHOR LOCATIONS AROUND THE HOME WILL NOT BE CLOSE TO ANY UNDERGROUND UTILITIES. FAILURE TO DETERMINE THE LOCATION OF UNDERGROUND ELECTRICAL CABLES MAY RESULT IN PERSONAL INJURY OR DEATH.**

**IN THE FRAME TIE-DOWN SYSTEM, IT IS IMPORTANT TO USE MATERIALS OF PROPER DESIGN AND OF HIGHEST QUALITY. THE MATERIAL SPECIFICATIONS LISTED HEREIN SHOULD BE CONSIDERED AS MINIMUM REQUIREMENTS.**

Materials not furnished with the home which will be necessary to complete the tie-down system must meet the requirements set forth below. Such materials would include:

- 1/2" or steel strap with a breaking strength of at least 10,000 pounds e.g. galvanized aircraft cable at least 1/4" diameter or Type 1, Finish B, Grade 1 steel strapping 1-1/4" wide and 0.03" thick, conforming with ASTM D3953-91

- Sized connection devices such as turnbuckles, strap buckles, and cable clamps should be rated at working load minimum.

- Ground anchors --- capable of withstanding at least 10,000 lb. pull. Anchors must be installed as specified by pier or manufacturer. Stabilizers or concrete collars may be used by anchor manufacturer.

**THE HOME MUST BE IN ITS FINAL LEVEL POSITION BEFORE TYING IT DOWN.**

The procedure for tying down the manufactured home is as follows:

1. Install the ground anchors under exterior corners at the final strap angle and height (H) will be within 10" shown in tables 5 thru 6C.

2. Tie the straps to the frame and ground anchors (See Figures 5-10). Straps wrapped around the I Beam as

shown in Fig. 5-9 require protection from premature failure due to sharp corners. Fig. 5-9A illustrates one method to protect against sharp corner damage. Other methods (such as beam clamps --- Tie-Down Engineering part no. 59003 or equivalent) approved by the local building authority having jurisdiction may be used.

3. Tighten the straps using the tensioning device provided with the ground anchors. Use caution to avoid overtensioning the straps which might pull the home off the piers. It is recommended that all straps be tightened only enough to remove slack. Then, after all straps are installed and the slack removed, tension the straps.

4. The strap tension should be rechecked at frequent intervals until all pier settlement has stopped.

**CAUTION: DURING THE RELEVELING PROCESS, DO NOT JACK THE HOME AGAINST TIGHT STRAPS.**

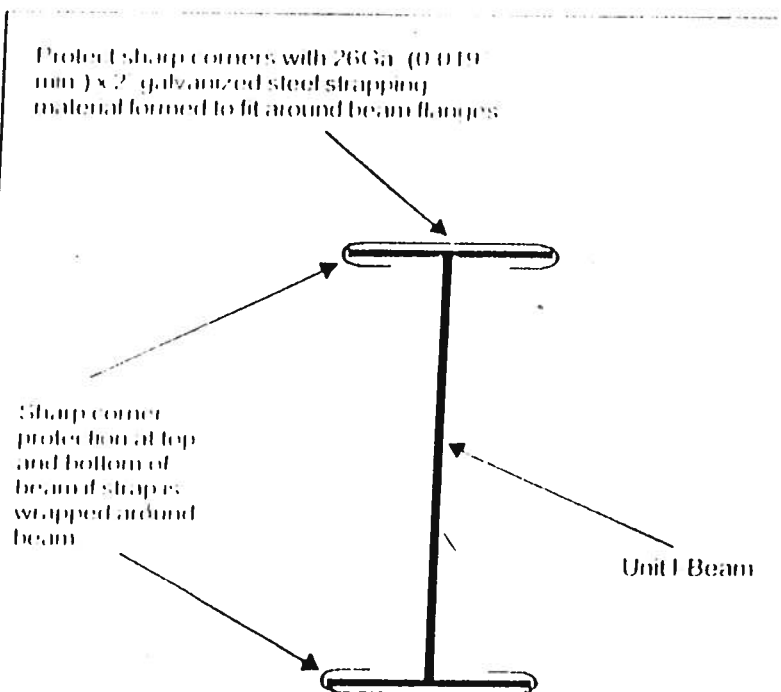


FIG. 5-9A



## DOUBLE-WIDE INTERCONNECTION (Continued)

NOTE: IT IS IMPORTANT TO HAVE ROOF/Ceilings SECTIONS FLUSH AT MATING LINE PRIOR TO FASTENING OF RIDGE BEAM HALVES. IF THEY ARE NOT FLUSH, THEN THE LOW SIDE SHOULD BE RAISED BY JACKING WITH A WOOD POST OR STEEL PIPE WITH A WOOD OR METAL PAD AT THE CEILING. PLACE THE BASE OF THE JACK ACROSS THE FLOOR MATING LINE SO THAT IT RESTS ON BOTH HALVES. JACK AGAINST CEILING ONLY IN AREAS WHERE THERE IS NO MARRIAGE WALL.

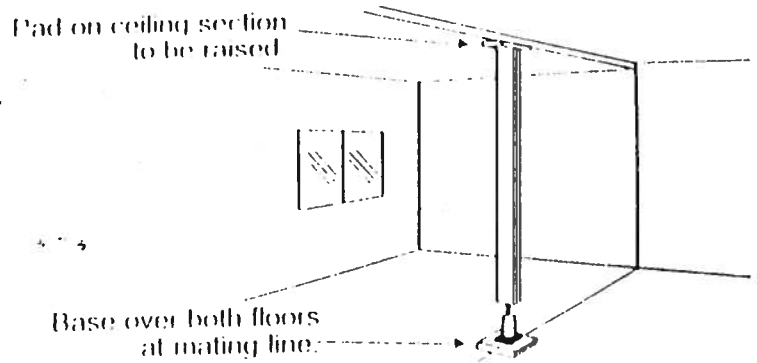


FIG. 5-8

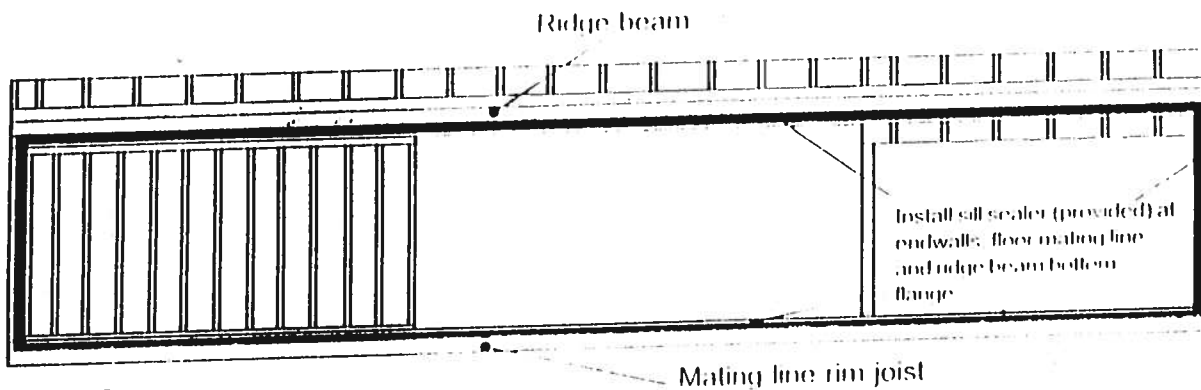


FIG. 5-8A

## ATTACHMENT OF GYPSUM PANELS AT DOUBLE-WIDE CENTERLINE

Some multiple-wide units will have a gypsum panel left off at the centerline for field attachment. Fasten the factory installed gypsum wallboard panel(s) at the center of the endwalls after the units have been attached. Fasten the panel(s) to framing as described in figure 5-8B below.

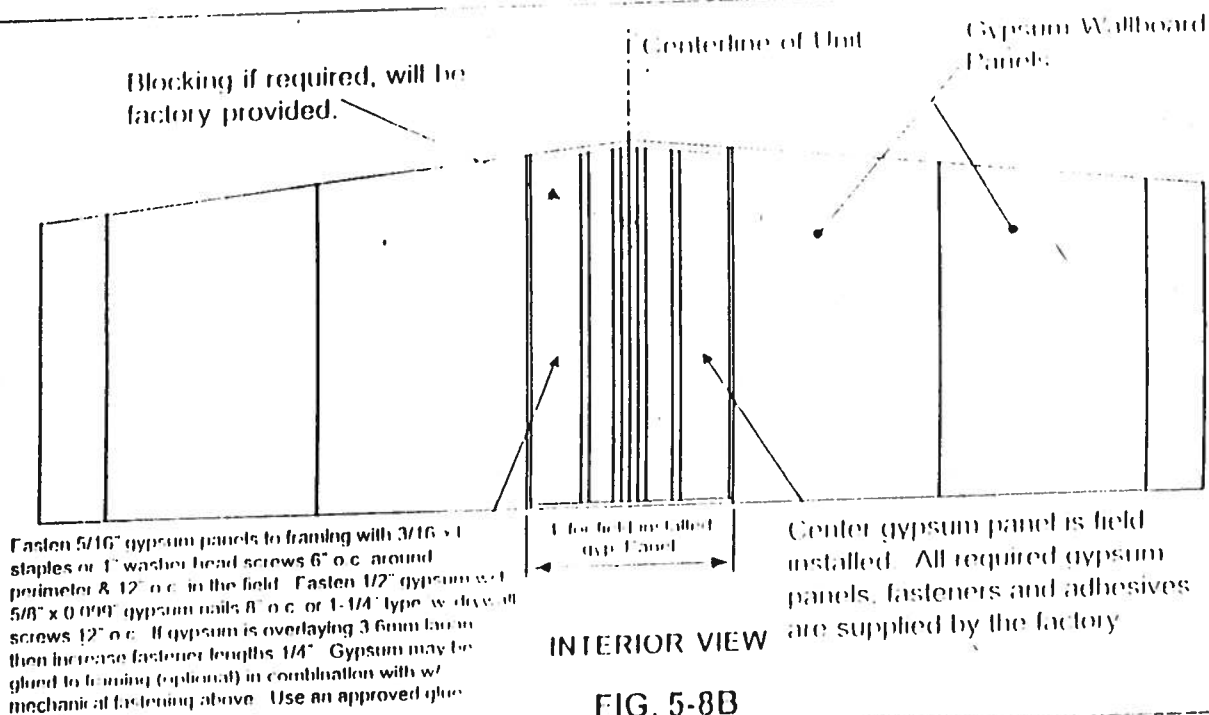


FIG. 5-8B

## SET-UP PROCEDURES (Continued)

### DOUBLE-WIDE INTERCONNECTION

the procedure for connecting the homes is as follows.

Remove the temporary closure materials (polyethylene and batten strips) and position the halves as close together as possible in the final desired location. Do not remove temporary beam supports until step 7 has been completed.

Move the first section of home into its desired position. Check and level it in the same manner as described for a single section home. Skyline Corp. recommends, if possible, the heavy half be blocked and leveled first as it is easier to lift. Then roll the light half and fit into place.

Install sill sealer insulating material (provided) around the home (to the ridge beam at the ceiling panel line), endwalls and floor mating line. Fasten sill sealer with staples or nails. See figure 5-8A.

Slide the two halves together with rolling and jacking equipment. Care must be taken during rolling and jacking operations to avoid overstressing structural members. With the halves together at the floor, align the floors at the ends of the home. It is better to have a minor misalignment under the eave where it cannot be seen and will not cause a problem, than a small misalignment that will be observed in the interior of the home.

With the home aligned at the floor and supported by its foundation, join the floors using  $3/8"$  x  $3"$  ( $4\text{--}1/2"$  lags with double perimeter joist) lag screws 2 to 3 feet on center. The centerline gap at the floor should be a maximum of  $3/16"$ . Follow the procedures outlined on page 19 to level the home. Check supports and footings with tables 2 and 3.

To obtain access into the ceiling cavity to bolt or alternatively lag screw the ridge beam sections together, fold back underlayment paper and remove the  $16"$  wide sheathing panel(s) at the peak. Note that the shingles may not have been installed on one or both halves, at the  $16"$  wide area at

the peak. If one side is shingled, it is intended that the beam be lag screwed together. If neither side is shingled, the beam may be lag screwed or bolted together. Bolts to be  $3/8"$  x  $4\text{--}1/2"$  at  $48"$  o.c. with 3 additional bolts at  $3"$  o.c. over interior beam supports. Lag screws to be  $3/8"$  x  $5"$  at  $24"$  o.c. with 3 additional lag screws at  $3"$  o.c. over interior beam supports. (If marriage walls and ridge beam halves have been plated with  $3/8"$  sheathing, then the bolts/lags must be increased in length by  $3/4"$  to  $5\text{--}3/4"$ .) Predrill  $1/4"$  pilot holes for the lag screws at  $1\text{--}1/2"$  down from the top of the beam and with a maximum offset from the horizontal of 45 degrees. A gap between beam halves up to  $1"$  is allowable. Gaps larger than  $1/2"$  must be filled with plywood or lumber shims. For  $1/2"$  max gaps, increase fastener length  $1/2"$ . For  $1"$  max. gaps, increase fastener length  $1\text{--}1/4"$ . See Fig. 5-7.

7. Prior to interconnecting the ridge beam halves, examine the ridge beam ends. Should there be a slight misalignment, it can be eliminated by placing a jack under the low side of the main beam on one half and use the jack to raise the beam. The alignment can be held by properly bolting or lag screwing the beam halves together. See Fig. 5-8.

8. Place additional pier supports at the centerline at the interior column locations marked on the floor with indicator straps or paint (see Figure 5-3 and 5-4 and Table 3). Skyline Corp. provides pier location diagrams for all multiwide models. These diagrams show the required locations of piers and are very useful in determining pier placement prior to taking receipt of home. Additional piers are required each side of exterior doors and sidewall openings greater than  $4'$  in width. See Table 3A for these pier load requirements.

9. Toe-nail endwall centerline studs together using 16d nail  $10"$  o.c.

10. If home has double mating walls, then fasten the mating wall columns together with  $\#8$  x  $4"$  screws  $16"$  o.c. See Figure 5-7A.

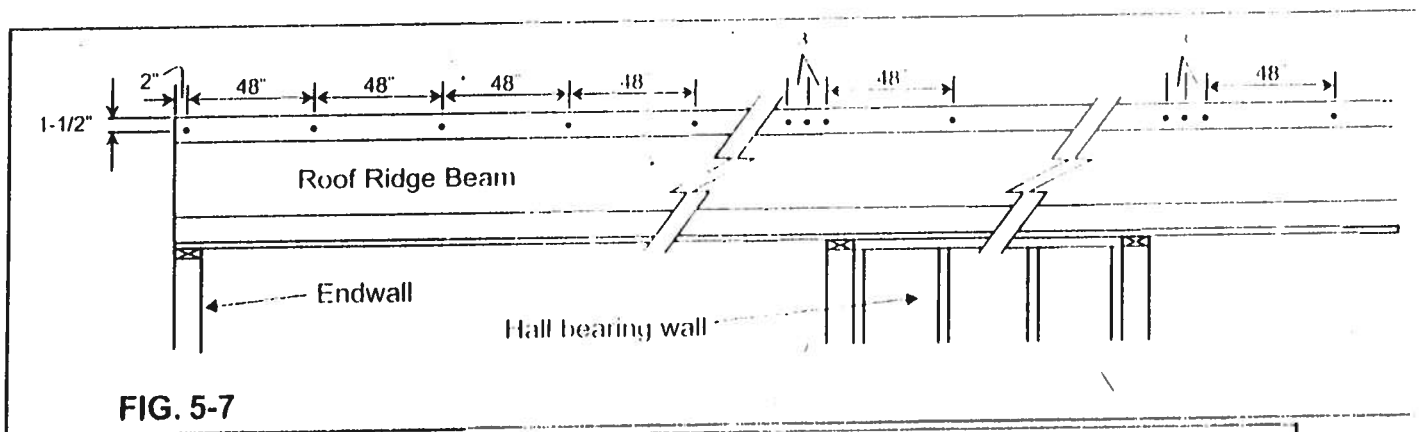


FIG. 5-7

**APPROVED**  
**PFS Corporation**  
**Madison WI**  
**01/31/05**  
**HUD Manufactured**  
**Home**  
**Construction &**  
**Safety Standard**

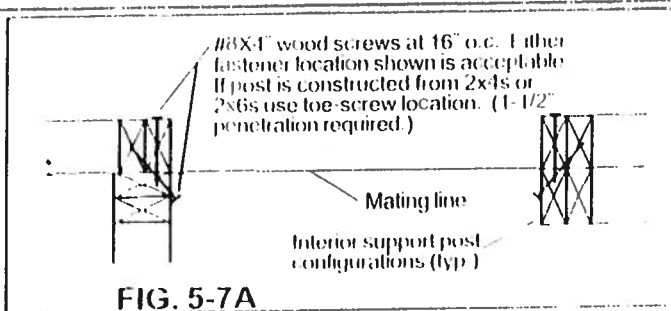
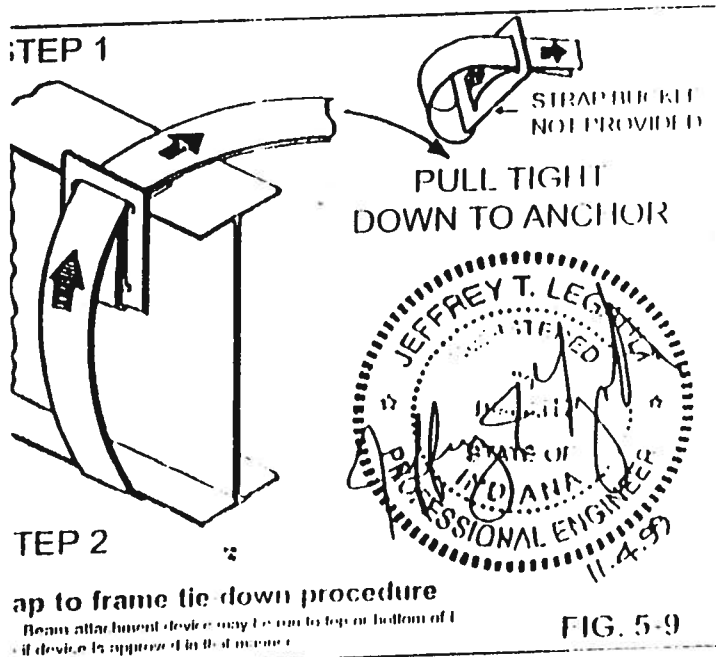


FIG. 5-7A

## MANUFACTURED HOME TIE-DOWN INSTRUCTIONS (Continued)

**OPTIONAL OVER-THE-ROOF STRAP PROCEDURE**  
 over-the-roof straps are provided (optional on all homes) may be connected to ground anchors as specified in the following procedure in order to achieve additional stability in severe winds. Note that the frame tie-down procedure on page 25 is still mandatory.



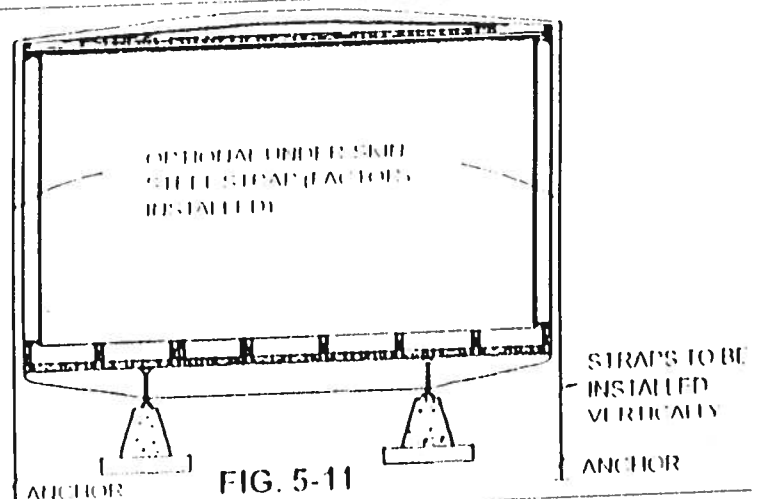
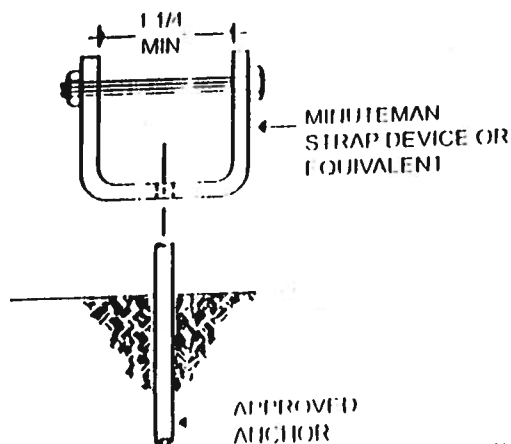
Materials not furnished with the home which will be necessary to properly connect the over the roof straps are:

1. Ground anchors capable of withstanding at least 4,750 pound pull when installed in the soil at the site.
2. Strap end connection devices (See Fig. 5-10).

**THE HOME MUST BE IN ITS FINAL LEVEL POSITION WITH FRAME TIES INSTALLED BEFORE CONNECTING THE OVER-THE-ROOF STRAPS.**

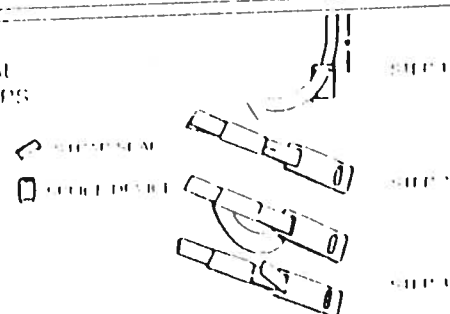
The procedure for over-the roof strap installation is as follows:

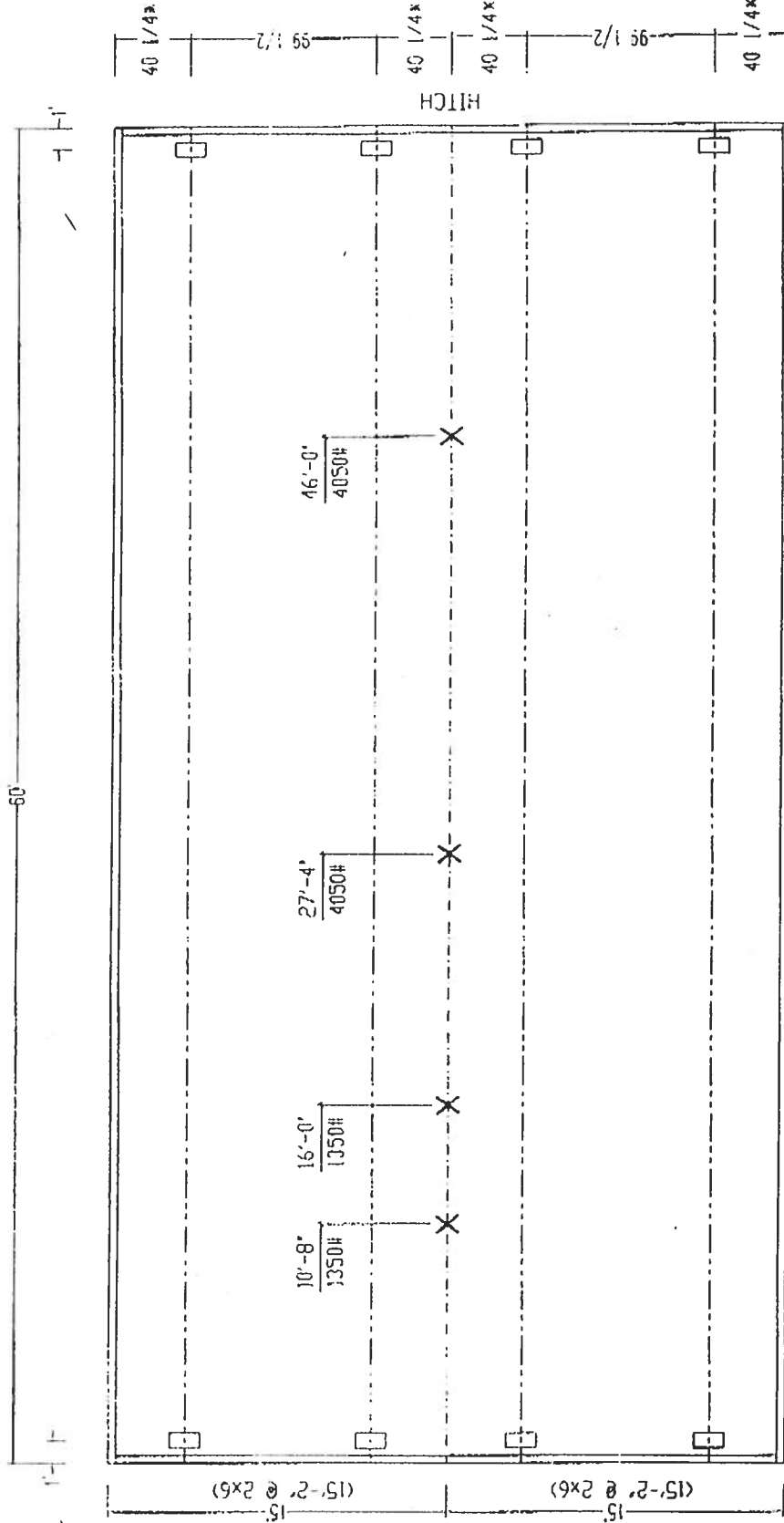
1. Position and install the ground anchors so that the strap will be vertical after attachment to the anchor. The anchor may be installed slightly beneath the home to avoid interference with skirting (See Fig. 5-11).
2. Insert the minuteman connector yoke through the eye of the anchor and insert slotted bolt through the yoke.
3. Place end of strap through slotted bolt and remove strap by turning bolt. DO NOT TENSION UNTIL BOTH ENDS OF STRAP ARE CONNECTED.
4. Tension and lock minuteman connector in position, per instructions furnished with connectors.
5. Check strap tension (See step 4 under frame tie down procedure).
6. For double wide homes see Fig. 5-12 for the splice connection at the centerline.



Insert end of the strap through the slot on the splice device, allow end of strap to extend through the device. Make a 180 degree bend in the strap and slide a strap seal over the thickness of strap, positioning the strap seal as close to the splice device as possible. Compress the strap seal on the strap with a pair of vise grip pliers or hammer, or crimp strap seal with an A B vice crimping tool. (Make all bends in the strap as sharp as possible by crimping with a vise grip or larger pliers.) Feed strap back over the seal and insert back through the slot on splice device. Flatten bend with vise grip pliers or hammer. Repeat steps 1 through 5 with the mating strap. Draw the joined assembly down to the ridge beam by tensioning the strap on ground anchor.

DOUBLE WIDE OPTIONAL OVER-THE-ROOF STRAPS





\* ADD ONE INCH @ 2x6 APPLICATION

PIER POINT LAYOUT (PIERS @ I-BEAM & CENTERLINE WITHOUT PERIMETER FOUNDATION)

DIVISIONS		REVISED		BOX LENGTH		DESCRIPTION		DRAWING NUMBER	
111	341	552		60'-0"		6032-3CK-2B-CATH		7603-CT	
112	344	553							
115	345	571							
125	355	591							
131	528	812							
143	531								
163	535								
171	536								
181	538								

20 PSF ROOF ZONE

X COLUMN SUPPORTS : SEE ABOVE DIAGRAM FOR LOCATIONS & LOAD REQUIREMENTS @ 20# ROOF ZONE.

□ I-BEAM PIER SUPPORTS : SEE PAGE 11 OF INSTALLATION MANUAL FOR LOADING CAPACITIES @ 20# ROOF ZONE.

NOTE : CONTACT MANUFACTURING DIVISION FOR LOCATION OF OPTIONAL PATIO DOORS OR OTHER LARGE OPENINGS.

SKYLIT

DRAWN BY: YAM

DATE: 6/21/2002

ROOF 1

SHEET 2 OF 2



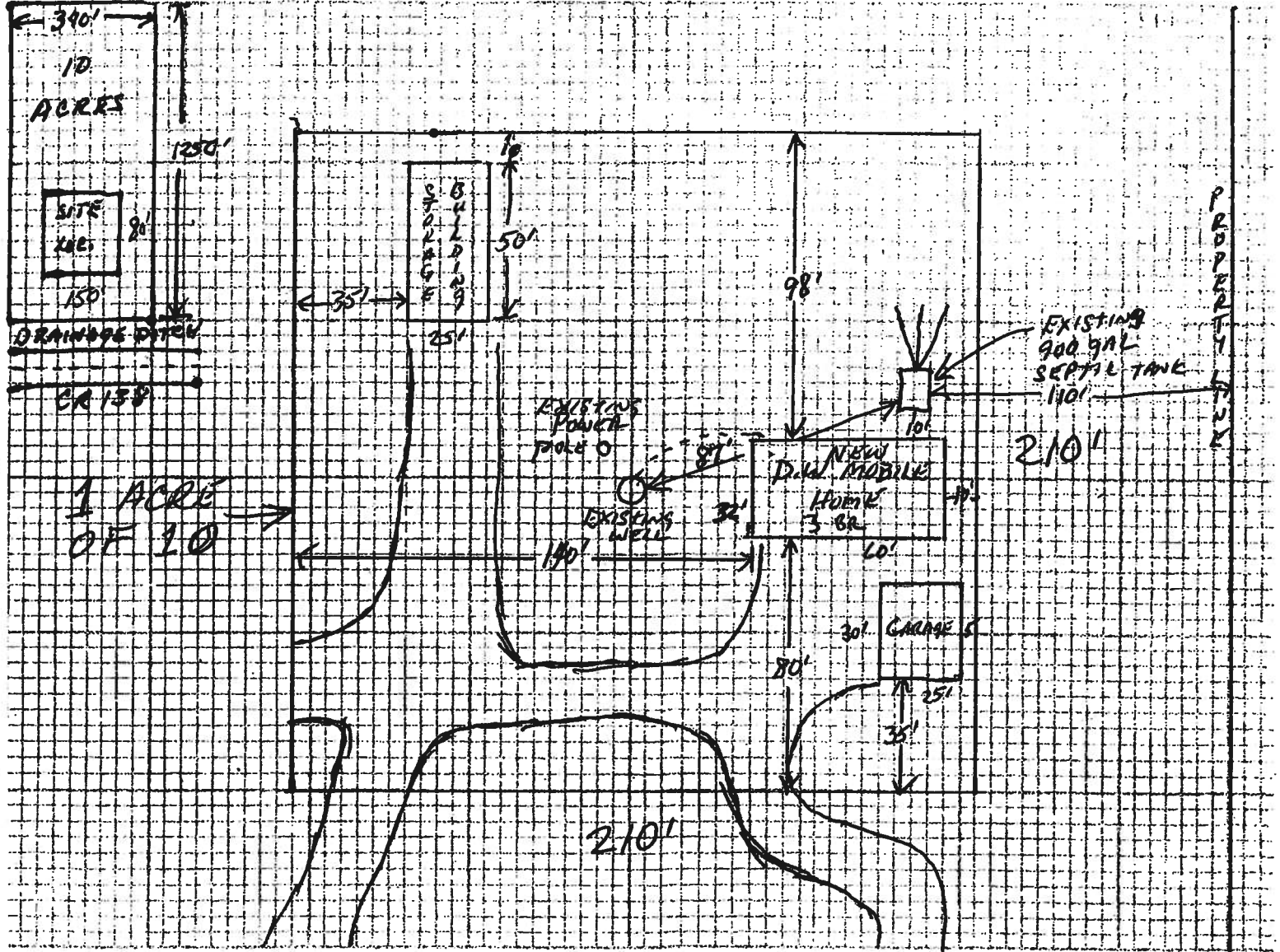
STATE OF FLORIDA  
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 06-0950E

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: Site Plan For MURPHY, 1881 S.W. CR 138, Fort White, FL. 32038  
386-454-7222

Site Plan submitted by:

Albert L. Johnson  
Signature

Agent  
Title

Plan Approved

**APPROVED**

Not Approved

Date 10/26/6

**Columbia CHD**

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

RETAIN BLUE PORTION OR RETURN ENTIRE NOTICE WITH A SELF-ADDRESSED STAMPED ENVELOPE FOR A VALIDATED RECEIPT

FROM : RICK PETERSON, PA

PHONE NO. : 954 680 1649

Mar. 07 2006 06:08PM P1

TONNIE BRANNON - CFC  
COLUMBIA COUNTY TAX COLLECTOR

2006 REAL ESTATE  
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

01172110000

ACCOUNT NUMBER	ESCROW CD	ASSESSED VALUE	EXEMPTIONS	TAXABLE VALUE	MILLAGE CODE
04321-016		65,311	0	65,311	003

0011508 D11A/C0 275 14070 11 0 0840 32038 123

MURPHY MICHAEL A & PAMELA M  
1881 SW COUNTY RD 138  
FT WHITE FL 32098-2641

25-7S-16 0200/0200 10.00 Acres  
E1/2 OF E1/2 OF NW1/4 OF NW1/4  
EX RD R/W. (AKA LOT 4 RUM  
ISLAND RANCHES UNREC)  
ORB 391-393, 782-190,  
789-1536,

SEE INSERT FOR IMPORTANT INFO  
AND TELEPHONE NUMBERS  
WWW.COLUMBIATAXCOLLECTOR.COM

AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE (DOLLARS PER \$1,000 OF TAXABLE VALUE)	TAXES LEVIED
C004 BOARD OF COUNTY COMMISSIONERS	8.7260	569.90
S002 COLUMBIA COUNTY SCHOOL BOARD		
DISCRETIONARY	.7800	49.84
LOCAL	5.1950	339.29
CAPITAL OUTLAY	2.0000	130.62
W SR SUWANNEE RIVER WATER MGT DIST	.4914	32.09
HLSH SHANDS AT LAKE SHORE	1.7500	114.29
110A INDUSTRIAL DEVELOPEMENT AUTH	.1380	9.01
TOTAL MILLAGE 19.0604		AD VALOREM TAXES \$1,244.84

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	RATE	AMOUNT
FF1R FIRE ASSESSMENTS		99.09
GGAR SOLID WASTE - ANNUAL		147.00
PAY ONLY ONE AMOUNT IN YELLOW SHADED AREA		NON-AD VALOREM ASSESSMENTS \$246.09

COMBINED TAXES AND ASSESSMENTS		\$1,490.93		PAY ONLY ONE AMOUNT		See reverse side for Important Information.
IF PAID BY	Nov 30	Dec 31	Jan 31	Feb 28	Mar 31	



## MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said license shall be renewed annually, and each licensee shall pay a fee of \$150.

I, ROANNE NORRIS, license number IH 00000419  
Please Print

do hereby state that the installation of the manufactured home for MICHAEL & PAMELA  
Applicant

MURPHY at 1881 S.W. CR 138 FORT WHITE, FL. 32038  
911 Address

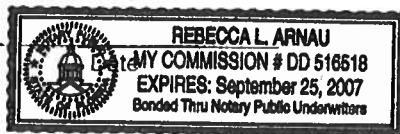
will be done under my supervision.

[Signature]  
Signature

Sworn to and subscribed before me this 1 day of December,  
2006.

Notary Public: Rebecca L. Arnau  
Signature

My Commission Expires: \_\_\_\_\_



## AFFIDAVIT

I certify that the following described mobile home being placed on the referenced parcel is not a Wind Zone 1 mobile home.

Customer's Name: MICHAEL + PAMELA MURPHY

Property ID: Sec: 25 Twp: 7S Rge: 16 Tax Parcel No: 25-7S-16-04321-016

Lot: 4 Block: \_\_\_\_\_ Subdivision: RUM ISLAND RANCHES

Mobile Home Year/Make: 2007 SKYLINE Size: 32x60

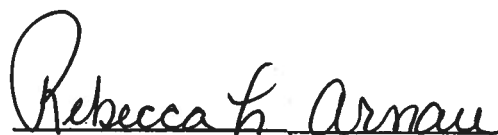


Signature of Mobile Home Installer

Sworn to and subscribed before me this 1 day of December, 20 06  
by Bonnie Norris



Notary

  
Notary Public, State of Florida  
Commission No. DD 516518  
Personally Known: ✓  
Produced ID (type): \_\_\_\_\_

LETTER OF AUTHORIZATION TO PULL PERMITS

I, Bonnie Norris, DO HEREBY GRANT  
ERNEST Folino, AUTHORIZATION TO PULL THE NECESSARY  
PERMITS REQUIRED FOR THE DELIVERY AND SET OF A MANUFACTURED  
HOME IN Columbia COUNTY, FLORIDA.

[Signature]  
Signature

THIS FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS  
1 DAY OF December, 2006, BY  
Bonnie Norris, WHO IS PERSONALLY KNOWN TO ME.

STATE OF FLORIDA  
COUNTY OF Columbia

Rebecca L. Arnau  
NOTARY PUBLIC



(STAMP)

# Columbia County Property Appraiser

DB Last Updated: 11/20/2006

## 2007 Proposed Values

Parcel: 25-7S-16-04321-016

Tax Record

Property Card

Interactive GIS Map

Print

### Owner & Property Info

Search Result: 1 of 1

<b>Owner's Name</b>	MURPHY MICHAEL A & PAMELA M		
<b>Site Address</b>	COUNTY RD 138		
<b>Mailing Address</b>	1881 SW COUNTY RD 138 FT WHITE, FL 32038		
<b>Use Desc. (code)</b>	MOBILE HOM (000200)		
<b>Neighborhood</b>	25716.02	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA02	<b>Market Area</b>	02
<b>Total Land Area</b>	10.000 ACRES		
<b>Description</b>	E1/2 OF E1/2 OF NW1/4 OF NW1/4 EX RD R/W. (AKA LOT 4 RUM ISLAND RANCHES UNREC) ORB 391-393, 782-190, 789-1536,		

### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (2)	\$66,000.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (1)	\$17,169.00
<b>XFOB Value</b>	cnt: (4)	\$10,680.00
<b>Total Appraised Value</b>		\$93,849.00

<b>Just Value</b>	\$93,849.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$93,849.00
<b>Exempt Value</b>	\$0.00
<b>Total Taxable Value</b>	\$93,849.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
4/23/1994	789/1536	WD	V	U	06	\$34,500.00
10/25/1993	782/190	WD	V	U	12	\$20,000.00

### Building Characteristics

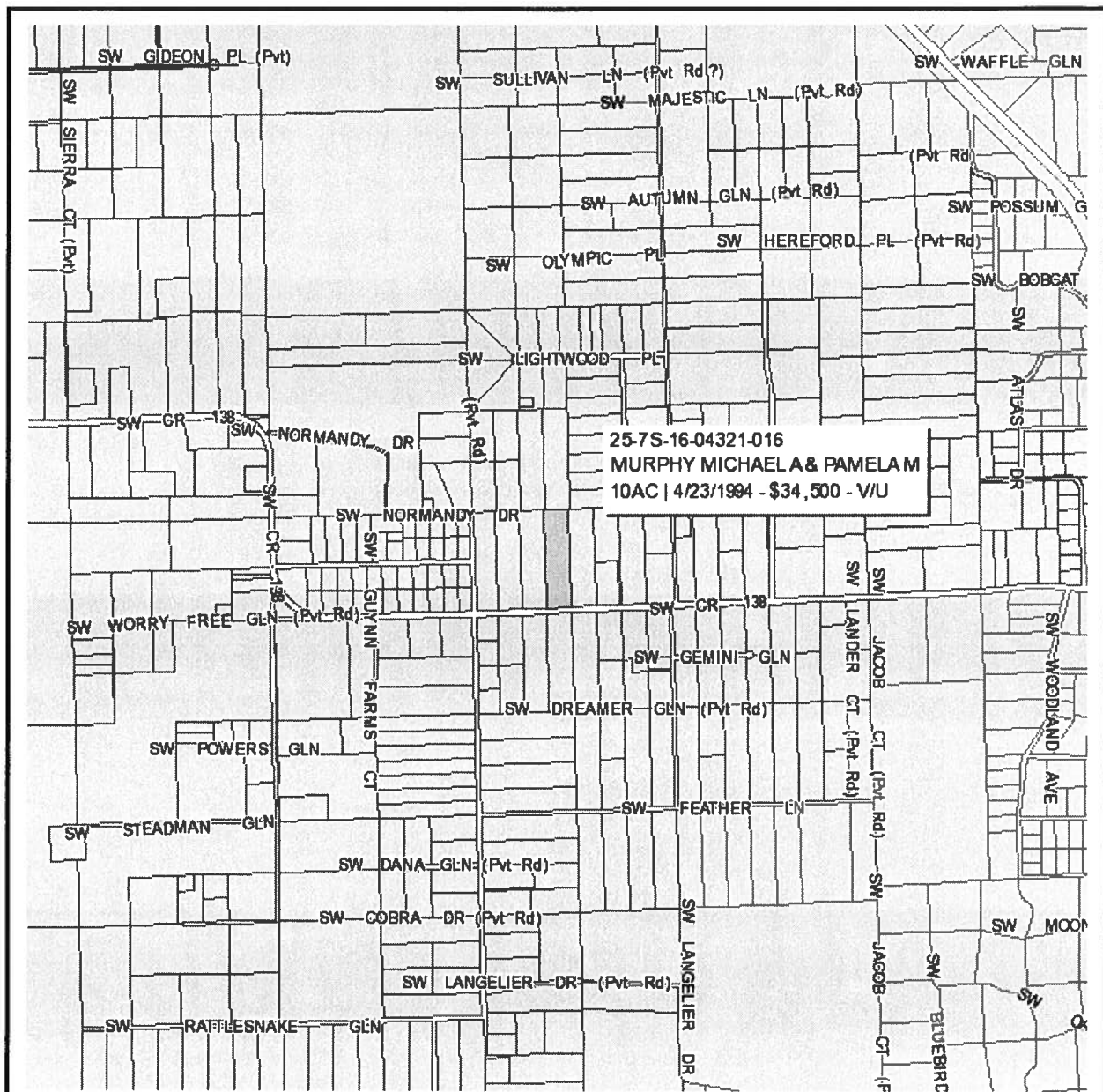
Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	1994	Below Avg. (03)	924	924	\$17,169.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0294	SHED WOOD/	1994	\$4,320.00	576.000	24 x 24 x 0	(.00)
0252	LEAN-TO W/	1994	\$480.00	240.000	10 x 24 x 0	(.00)
0252	LEAN-TO W/	1994	\$480.00	240.000	10 x 24 x 0	(.00)
0294	SHED WOOD/	1994	\$5,400.00	720.000	24 x 30 x 0	(.00)

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000102	SFR/MH (MKT)	10.000 AC	1.00/1.00/1.00/1.00	\$6,400.00	\$64,000.00



25-7S-16-04321-016  
MURPHY MICHAELA & PAMELA M  
10AC | 4/23/1994 - \$34,500 - V/U

## Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

### PARCEL: 25-7S-16-04321-016 - MOBILE HOM (000200)

Name: MURPHY MICHAEL A & PAMELA M	LandVal	\$66,000.00
Site: COUNTY RD 138	BldgVal	\$17,169.00
1881 SW COUNTY RD 138	ApprVal	\$93,849.00
Mail: FT WHITE, FL 32038	JustVal	\$93,849.00
Sales 4/23/1994 \$34,500.00V / U	Assd	\$93,849.00
Info 10/25/1993 \$20,000.00V / U	Exmpt	\$0.00
	Taxable	\$93,849.00

0 0.1 0.2 0.3 mi



This information, GIS Map Updated: 11/20/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.