

(Need 2 permits 2 Bldgs.)

* Town of Ft. White *

#1 Mini Warehouse

1025

Columbia County New Building Permit Application

For Office Use Only Application # 44549 & 44719 Date Received 2/18 By SW Permit # 39525
Zoning Official _____ Date _____ Flood Zone _____ Land Use _____ Zoning _____
FEMA Map # _____ Elevation _____ MFE _____ River _____ Plans Examiner J.C. Date 3-10-20
Comments _____
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☐ Well letter ☒ 911 Sheet ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter _____
☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. 20-0189 OR City Water ☒ Fax 386-497-1263
Applicant (Who will sign/pickup the permit) PAUL P. BARCIA Phone 386-497-4770
Address 498 SW Manatee Ter., Ft. White, FL 32038
Owners Name Limited Access Properties, INC Phone 386-497-4770
911 Address 18072 SW STATE ROAD 47, Ft. White, FL 32038
Contractors Name MANGRAM, DAVID Phone 386-623-3617
Address PO Box 2103, Lake City, FL 32056
Contractor Email ppbarcia@windstream.net - OWNER ***Include to get updates on this job.
Fee Simple Owner Name & Address _____
Bonding Co. Name & Address _____
Architect/Engineer Name & Address N. FLA. Professional Serv., PO Box 3823, Lake City, FL 32056
Mortgage Lenders Name & Address _____
Circle the correct power company ☐ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☒ Duke Energy
Property ID Number 00-00-00 14305-004 Estimated Construction Cost \$100,000
Subdivision Name NONE Lot _____ Block 1 Unit _____ Phase _____
Driving Directions from a Major Road SR 47 & Fort White Ave Hardware

Construction of Ace Secure Storage - Mini Warehouse #1 ☒ Commercial OR ☐ Residential
Proposed Use/Occupancy Mini Warehouse storage Number of Existing Dwellings on Property 0
Is the Building Fire Sprinkled? NO If Yes, blueprints included _____ Or Explain _____
Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☒ D.O.T. Permit or ☐ Have an Existing Drive
Actual Distance of Structure from Property Lines - Front 20' Side 10' Side 10' Rear 15'
Number of Stories 1 Heated Floor Area _____ Total Floor Area 10,000 sq Acreage 2.387
Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) Industrial & Approved
SW Spoke with Date 3.11.20 - Ref documents needed

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

✓ Limited Access Properties Inc.
Print Owners Name

[Signature]
Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

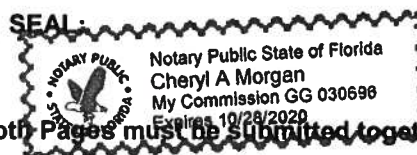
[Signature]
Contractor's Signature

Contractor's License Number CGC 1513 670
Columbia County
Competency Card Number 504

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 13th day of February 2020.

Personally known ☒ or Produced Identification _____

[Signature]
State of Florida Notary Signature (For the Contractor)



CERTIFICATE OF COMPLIANCE & REQUEST FOR ISSUANCE OF BUILDING PERMIT

The undersigned hereby certify the following property is in compliance with the Town of Fort White's Comprehensive Plan and Land Development Regulations for the stated development purposes:

FILE No. **20-05**

OWNER'S NAME: LIMITED ACCESS PROPERTIES

ADDRESS: 18072 STATE ROAD 47 , FORT WHITE FL 32038

PARCEL: 00-00-00-14305-004

PROPERTY DESCRIPTION: COMM NE COR BLK I TOWN OF FORT WHITE, RUN W 210 FT, N 210 FT, E 210 TO R/W SR 47, S ALONG R/W LINE OF SR 47 FOR 210 FT TO POB & COMM SE COR BLK 8 TOWN OF FORT WHITE, RUN NORTH 483.83 FT TO POB, N 178.96 FT, N 82 DEG E 313.63 FT, SOUTH 209.78 FT, W 309.93 FT TO POB. 898-1594, DC 1056-791, WD 1085 -1882, PB 1243-1766, PR 1284- 717, CT 1298-806, WD 1315-525, WD 1383-1113,1411, QC 1389- 2131,

DEVELOPMENT: INDUSTRIAL

You are hereby authorized to issue the appropriate permits

Please email a copy of the Applicants permit to town@fortwhitefl.com

DATE February 6, 2020

AUTHORIZED BY: Katie Hughes, Town Clerk

SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # 44849 JOB NAME Limited Access Properties, Inc

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

ELECTRICAL <input checked="" type="checkbox"/>	Print Name <u>Gary Shine</u> Signature <u>[Signature]</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# <u>1053</u>	Company Name: <u>Shine and Company, Inc</u> License #: <u>EC-0001119</u> Phone #: <u>386 454 2034</u>	
MECHANICAL/A/C <input checked="" type="checkbox"/>	Print Name <u>DAVID HALL</u> Signature <u>[Signature]</u>	Need <input checked="" type="checkbox"/> Lic <input checked="" type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# <u>568</u>	Company Name: <u>DAVID HALL'S INC</u> License #: <u>CACO 57424</u> Phone #: <u>386-755-9792</u>	
PLUMBING/GAS <input type="checkbox"/>	Print Name <u>David E. Mangrum</u> Signature <u>[Signature]</u>	Need <input type="checkbox"/> Lic <input checked="" type="checkbox"/> Liab <input checked="" type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# <u>503</u>	Company Name: <u>Mangrum Const. Inc</u> License #: <u>CFC029756</u> Phone #: <u>386-423-3417</u>	
ROOFING <input checked="" type="checkbox"/>	Print Name <u>Dana Johnson</u> Signature <u>[Signature]</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# <u>1</u>	Company Name: <u>Mac Johnson Roofing</u> License #: <u>CCC 1325497</u> Phone #: <u>352 538 2867</u>	
SHEET METAL <input checked="" type="checkbox"/>	Print Name <u>Dana Johnson</u> Signature <u>[Signature]</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# <u>1</u>	Company Name: <u>Mac Johnson Roofing</u> License #: <u>CCC 1325497</u> Phone #: <u>352-472-4943</u>	
FIRE SYSTEM/SPRINKLER <input type="checkbox"/>	Print Name _____ Signature _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# _____	Company Name: _____ License #: _____ Phone #: _____	
SOLAR <input type="checkbox"/>	Print Name _____ Signature _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# _____	Company Name: _____ License #: _____ Phone #: _____	
STATE SPECIALTY <input type="checkbox"/>	Print Name <u>TONY E JORDAN SR</u> Signature <u>[Signature]</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# _____	Company Name: <u>JORDAN'S CONTRACTING LLC</u> License #: <u>000218</u> Phone #: <u>386 961-5289</u>	

44549



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

LETTER OF AUTHORIZATION TO SIGN FOR PERMITS

I, David E. Mangrum (license holder name), licensed qualifier
for Limited Access Properties, Inc (Paul P. Barcia pres.) (company name), do certify that
the below referenced person(s) listed on this form is/are contracted/hired by me, the license
holder, or is/are employed by me directly or through an employee leasing arrangement; or, is an
officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said
person(s) is/are under my direct supervision and control and is/are authorized to purchase
permits, call for inspections and sign on my behalf.

Printed Name of Person Authorized	Signature of Authorized Person
1. <u>Paul P. Barcia</u>	1. <u>[Signature]</u>
2.	2.
3.	3.
4.	4.
5.	5.

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances. I understand that the State and County Licensing Boards have the power and authority to discipline a license holder for violations committed by him/her, his/her agents, officers, or employees and that I have full responsibility for compliance with all statutes, codes and ordinances inherent in the privilege granted by issuance of such permits.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

David E. Mangrum
License Holders Signature (Notarized)

CGC1513670
License Number

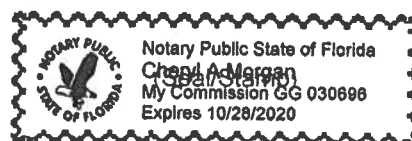
13 Feb 2020
Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Columbia

The above license holder, whose name is David E. Mangrum
personally appeared before me and is known by me or has produced identification
(type of I.D.) on this 13th day of February, 20 20.

Cheryl A. Morgan
NOTARY'S SIGNATURE



CERTIFICATE OF COMPLIANCE & REQUEST FOR ISSUANCE OF BUILDING PERMIT

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DEVELOPMENT: INDUSTRIAL

You are hereby authorized to issue the appropriate permits

Please email a copy of the Applicants permit to town@fortwhitefl.com

DATE February 6, 2020


AUTHORIZED BY: Katie Hughes, Town Clerk



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Profit Corporation
LIMITED ACCESS PROPERTIES, INC.

Filing Information

Document Number P94000087929
FEI/EIN Number 65-0546386
Date Filed 12/05/1994
State FL
Status ACTIVE

Principal Address

498 SW MANATEE TERR
FORT WHITE, FL 32038

Changed: 02/16/2007

Mailing Address

498 SW MANATEE TERR
FORT WHITE, FL 32038

Changed: 02/16/2007

Registered Agent Name & Address

BARCIA, PAUL P
498 SW MANATEE TERR
FORT WHITE, FL 32038

Address Changed: 02/16/2007

Officer/Director Detail

Name & Address

Title D

BARCIA, PAUL P
498 SW MANATEE TERE
FORT WHITE, FL 32038

Title D

BARCIA, ANN R
498 SW MANATEE TERR
FORT WHITE. FL 32038

Proudly Serving The People Of Columbia County
 135 NE Hernando Ave. Suite 125
 Lake City, Florida 32055-4006
www.columbiataxcollector.com

2019 REAL ESTATE

Skip The Trip! www.columbiataxcollector.com

- eCheck (Electronic payment from your checking account with no fee)
 - Credit Card (Fee added by payment processor - see website for fees)
- Print Your Receipt Instantly Online

Account #: R14305-004

004

R



LIMITED ACCESS PROPERTIES INC
 498 SW MANATEE TER
 FORT WHITE FL 32038

00-00-00 0000/0000 2.387 acres
 COMM NE COR BLK I TOWN OF FORT
 WHITE, RUN W 210 FT, N 210 FT,
 E 210 TO R/W SR 47, S ALONG
 R/W LINE OF SR 47 FOR 210 FT
 See Tax Roll for extra legal.

AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS	8.0150	62,392		62,392	500.07
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	62,392		62,392	46.67
LOCAL	3.9880	62,392		62,392	248.82
CAPITAL OUTLAY	1.5000	62,392		62,392	93.59
SUWANNEE RIVER WATER MGT DIST	0.3840	62,392		62,392	23.96
LAKE SHORE HOSPITAL AUTHORITY	0.9620	62,392		62,392	60.02

PAID
 12/29/19

TOTAL MILLAGE

15.5970

TOTAL TAXES

\$973.13

eBill



Scan to view your
 bill or sign up to
 receive future bills
 by email.



columbiataxcollector.com
 Click "Register for eBilling"

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	RATE	AMOUNT
FFIR FIRE ASSESSMENTS	Per Parcel	60.78

TOTAL ASSESSMENTS

\$60.78

COMBINED TAXES AND ASSESSMENTS

\$1,033.91

IF POSTMARKED BY:
 PLEASE PAY ONLY
 ONE AMOUNT

NOV 30 2019
 \$992.55

DEC 31 2019
 \$1,002.89

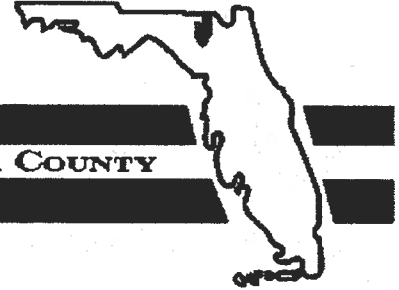
JAN 31 2020
 \$1,013.23

FEB 29 2020
 \$1,023.57

MAR 31 2020
 \$1,033.91

Keep this portion for your records.
 WALK-IN CUSTOMERS PLEASE BRING FOR YOUR RECEIPT

District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Bucky Nash
District No. 4 - Toby Witt
District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **5/16/2019 10:14:04 AM**
Address: **18072 SW STATE ROAD 47**
City: **FORT WHITE**
State: **FL**
Zip Code **32038**

Parcel ID **14305-004**

REMARKS: Address for proposed structure on parcel.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

**COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT**

**263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com**

Windstream Webmail**ppbarcia@windstream.net**

Hydrant GPM

From : Tad Cervantes
<tad_cervantes@columbiacountyfla.com>

Wed, Jan 22, 2020 05:00 PM

Subject : Hydrant GPM

To : ppbarcia@windstream.net

Mr. Barcia

The information you have asked for is as followed:

Holstein Hydrant to the south of your location: static pressure 26, residual pressure 32, pitot pressure 40 @ 2.5 orifice, flow rate 954 gpm.

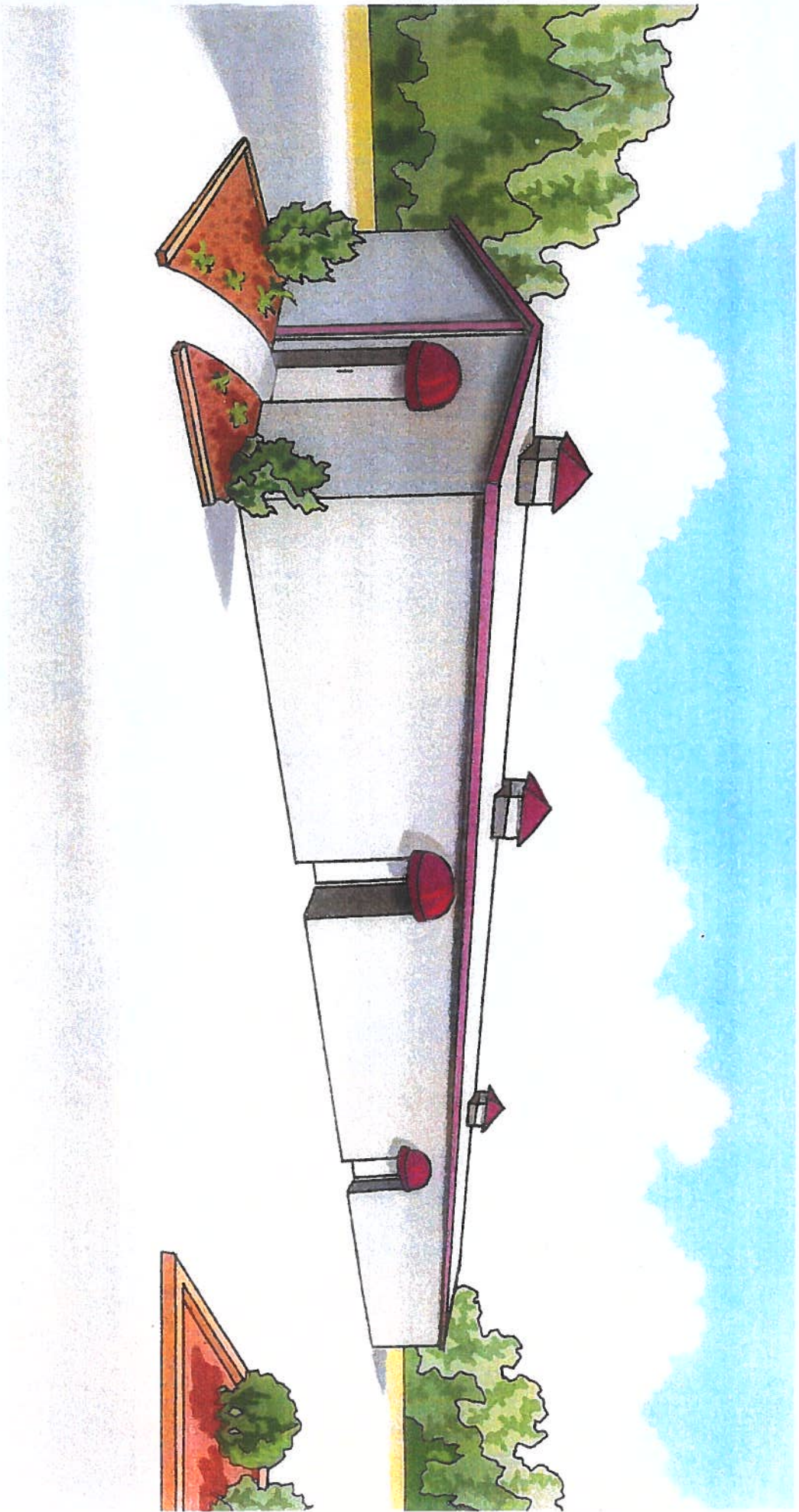
SR 47 and high school entrance hydrant north of your location: static pressure 60, residual pressure 40, pitot pressure 30 @ 2.5 orifice, flow rate 919 gpm.

If you have any further questions please contact be by email or a phone call.

Thank you,

Tad J Cervantes
Assistant Fire Chief
Columbia County Fire Rescue
P.O. Box 1529
Lake City, Florida 32056
Office 386-754-7071
Mobile (386) 867-2979

CONFIDENTIALITY NOTICE: This e-mail message, including any attachments, is for the sole use of the intended recipient(s) and may contain confidential, proprietary, and/or privileged information protected by law. If you are not the intended recipient, you may not use, copy or distribute this e-mail message or its attachments. If you believe you have received this e-mail message in error, please contact the sender by reply e-mail and telephone immediately and destroy all copies of the original message



Mini Storage Climate Control Building



COLUMBIA COUNTY FIRE RESCUE

Life Safety Services

P.O. BOX 1529 Lake City, Florida 32056
Office (386) 758-2120 Fax (386) 754-7064

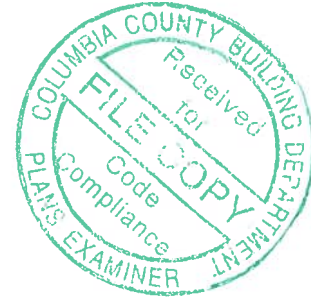
Fire Inspector
Chief Jeffery Crawford

26 February 2020

TO: Troy Crews
Columbia County Building and Zoning

FROM: Chief Jeffery Crawford
Fire Inspector #136416

RE: New Construction: Ace Secure Storage #44549



A plan review was performed on the proposed new construction for Ace Secure Storage, located on Hwy 47 in Fort White, FL 32055. This building was classified under Chapter 12 New Occupancy, of the Florida Fire Prevention Code, 2012 Fifth Edition.
I recommend Approval of the building with the following conditions:
Pending:

- Light Weight Truss Marking
 - Florida Statue, Section 633.027, (2008) requires the owner of any commercial, industrial, or multi-unit residential structure of three units or more constructed of light-frame trusses, to install a symbol adopted by the rule of the State Fire Marshal's Office. This rule establishes the dimensions, color, and location of the symbol to be applied to every commercial, industrial, and multi-unit residential structure of three units or more constructed of light-frame trusses.



- Emergency Lighting/Exit signs
 - NFPA 101 Life Safety Code, Chapter 42.2.9 emergency lighting shall be provided in normally occupied storage occupancies in accordance with section 7.9, except for

spaces occupied only during daylight hours with natural illumination in accordance with 42.2.8.2.

- Fire Extinguishers – ABC Fire extinguisher per exit door
- Access Box(es)
 - NFPA 1:18.2.2.1 states, The AHJ shall have the authority to require an access box(es) to be installed in an accessible location where access to or within a structure or area is difficult because of security. The access box(es) shall be of an approved type listed in accordance with UL1037.Knox Boxes are now a requirement for all new construction
- Electrical Disconnect
 - NFPA 1:11.1.7 states, “means shall be provided for the fire department to disconnect the electrical service to a building, structure or facility when the electrical is covered under the scope of NFPA70.”
 - NFPA 101:7.2.1.5.1 states, “Doors shall be arranged to be opened readily from egress side whenever building is occupied.”

Sincerely,

A handwritten signature in cursive script, reading "Jeffrey Crawford". The signature is written in dark ink and is positioned below the "Sincerely," text.



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 20-0189
DATE PAID: 3/6/20
FEE PAID: 310.00
RECEIPT #: 1472060

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Limited Access Properties Inc

AGENT: ROCKY FORD, A & B CONSTRUCTION

TELEPHONE: 386-497-2311

MAILING ADDRESS: 546 SW Dortch Street, FT. WHITE, FL, 32038

=====

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

=====

PROPERTY INFORMATION

LOT: NA BLOCK: NA SUB: NA PLATTED: _____

PROPERTY ID #: 00-00-00-14305-004 ZONING: _____ I/M OR EQUIVALENT: ☒ Y ☐ N

PROPERTY SIZE: 2.387 ACRES WATER SUPPLY: ☐ PRIVATE PUBLIC ☒ <=2000GPD ☐ >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☐ N DISTANCE TO SEWER: NA FT

PROPERTY ADDRESS: 18072 State Road 47, Fort White, FL

DIRECTIONS TO PROPERTY: Head W on NE Franklin St toward NE Calhoun Ave, TL onto NW main Blvd, slight right onto FL-47S

BUILDING INFORMATION

☐ RESIDENTIAL ☒ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	Storage Building	Ø	10x15	1 Bathroom 5x10
2				
3				

☐ Floor/Equipment Drains ☐ Other (Specify) _____

SIGNATURE: William D. Bishop II

DATE: 3/3/2020

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 20-0189

Limited Access Properties Inc.

PART II - SITEPLAN

Scale: 1 inch = 40 feet.

All
attached

Notes: _____

Site Plan submitted by: William A. Bishop II

MASTER CONTRACTOR

Plan Approved ☒ Not Approved ☐

Date 3-3-20

By Julie Ford Env Health Director 1-25-20

Columbiana

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

**SITE BENCHMARK SET ON
TOP OF FOUND 4" X 4"
CONCRETE MONUMENT
WITH DISK STAMPED "LB7042"
ELEV. = 69.4' NAVD'88**

PROPERTY BOUNDARY

**CONSTRUCT 5' X 5'
CONCRETE PAD**

— EDGE
OF
PAVEMENT

— EDGE
OF
TRAVELWAY

- PROPERTY BOUNDARY

**PROPOSED BUILDING
10,000 SF**

Bath
5x10

Office
10x15

3

**PROPOSED BUILDING
10,000 SF**

**CONSTRUCT 5' X 5'
CONCRETE PAD**

- CONSTRUCT
- 10' X 6' SIGN

— EXISTING UTILITY
POLES TO BE
PROTECTED

- SITE BENCHMARK SET ON
TOP OF FOUND 4" X 4"
CONCRETE MONUMENT
WITH DISK STAMPED "LB7042"
ELEV. = 74.1' NAVD'88

North Florida Professional Services, Inc.
P.O. BOX 3823
Lake City, FL 32025
Ph. 386-752-4675
Fax. 386-752-4674



SITE PLAN

REVISIONS:

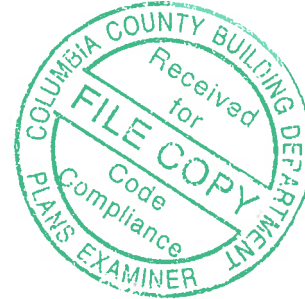
JOB NUMBER: L190117LAP	
DESIGNED BY:	CHECKED BY:
RD	JC TH
ENGINEER OF RECORD:	
GREGORY G. BAILEY	
P.E. NO.: 43858	

HERITAGE
BUILDING SYSTEMS.
Established 1979
An NCI Company

September 25, 2019

Limited Access Properties INC
498 SW Manatee Terrace
Fort White, FL 32038

17-B-34825
Paul Barcia
18072 SW State Road 47
Fort White, FL 32038
(2) 50 x 200 x 9.5



To Whom It May Concern:

This is to certify that materials for the subject structure have been designed in accordance with the order documents, specifically as shown per the attached Engineering Design Criteria Sheet.

Aspects of code compliance as related to use or occupancy, such as sprinkler requirements, are not addressed by these documents.

These materials, when properly erected on an adequate foundation in accordance with the erection drawings as supplied and using the components as furnished, will meet the attached loading requirements.

This certification does not cover field modifications or the design of materials not furnished by Heritage Building Systems.

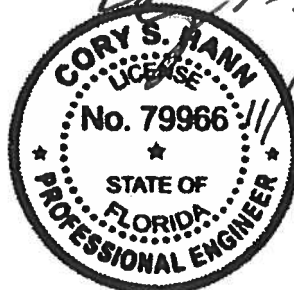
The attached design criteria information is to remain with and form part of this Letter of Certification.

The calculations and the metal building they represent are the product of Heritage Building Systems or a division of its affiliate NCI Building Systems. The engineer whose seal appears hereon is employed by either Heritage Building Systems or a division of its affiliate NCI Building Systems and is not the engineer of record for this project.

Cordially,

Heritage Building Systems
Materials for Metal Buildings
An NCI Company

Cory S. Hann, P.E.
Engineering Manager



HERITAGE BUILDING SYSTEMS.

Established 1979
An NCI Company

Building Code Florida Building Code 6th Ed(2017)

Occupancy Category..... I - Low

Roof Dead Load

Superimposed..... 2.000 psf

Collateral..... 3 psf

Roof Live Load..... 20.00 psf

Snow

Ground Snow Load (Pg)..... 0.00 psf

Snow Load Importance Factor (Is) 0.80

Snow Exposure Factor (Ce)..... 1.0

Thermal Factor (Ct)..... 1.2

Flat Roof Snow Load (Pf)..... 0 psf

Minimum Roof Snow Load (Pm)..... 0.00 psf

Wind

Basic Wind Speed..... 115 mph

Wind Importance Factor (Iw)..... 1.00

Wind Exposure Category C

Internal Pressure Coef (GCpi) 0.18/-0.18

Loads for components not provided by building manufacturer

Corner Areas 26.42 psf pressure -35.2026 psf suction

Other Areas 26.42 psf pressure -28.62 psf suction

These values are the maximum values required based on a 10 sq ft area.

Components with larger areas may have lower wind loads.

Seismic.

Seismic Importance Factor (Ie) 1.00

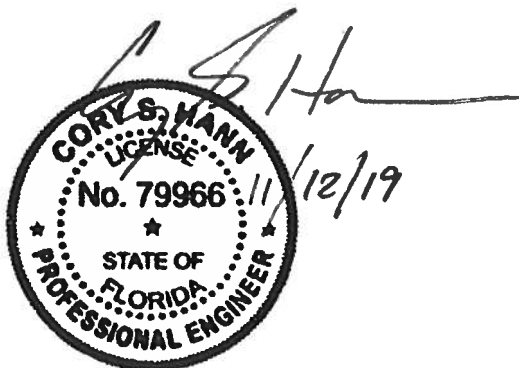
Seismic Design Category..... B

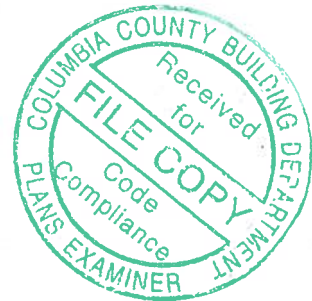
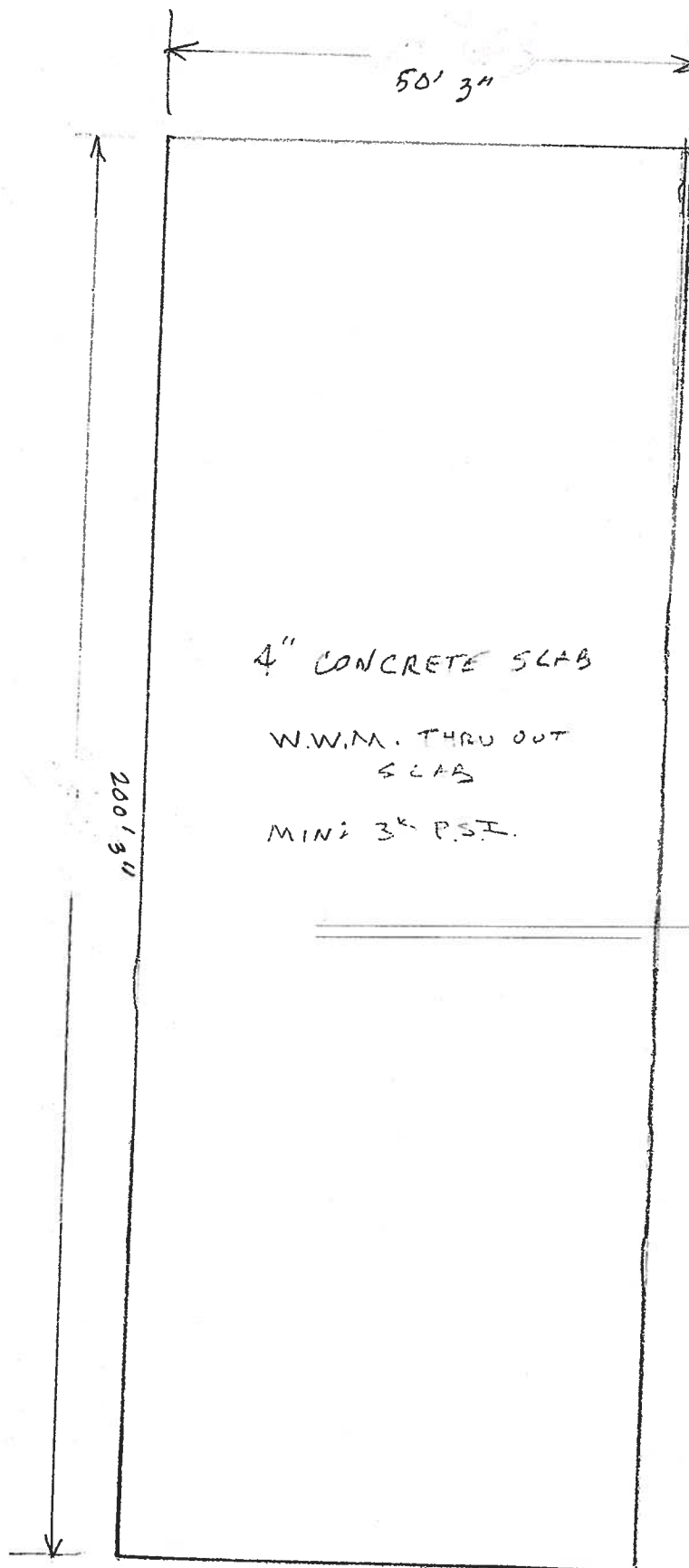
Soil Site Class..... D Stiff Soil

Ss..... 0.091 g Sds 0.097 g

Sl..... 0.052 g Sd1 0.083 g

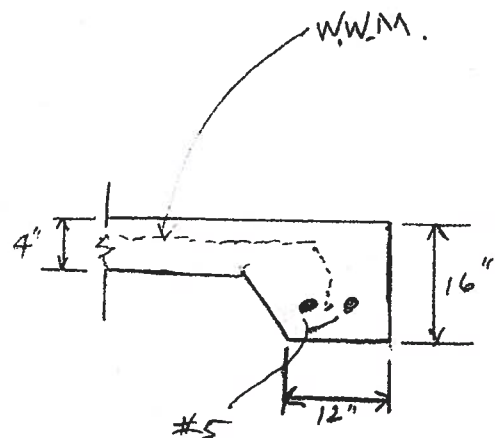
Design Base Shear in kips (V) Transverse 2.33 Longitudinal 2.36





Douglas H. Cox
1/14/15

TYPICAL FOOTING
N.T.S.



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY CONNECTION PERMIT
FOR ALL CATEGORIES****PART 1: PERMIT INFORMATION**APPLICATION NUMBER: 2019-A-292-00031Permit Category: B - 21 to 600 VTPD

Access Classification: _____

Project: Limited Access PropertiesPermittee: TORI HUMPHRIESSection/Mile Post: /

State Road: _____

Section/Mile Post: /

State Road: _____

PART 2: PERMITTEE INFORMATIONPermittee Name: TORI HUMPHRIESPermittee Mailing Address: PO Box 3823City, State, Zip: Lake City, Florida 32056Telephone: (386) 752-4675 ext.

Engineer/Consultant/or Project Manager: _____

Engineer responsible for construction inspection: _____

NAME

P.E. #

Mailing Address: _____

City, State, Zip: _____

Telephone: _____

FAX, Mobile Phone, etc. _____

Fax: / Mobile: _____

PART 3: PERMIT APPROVAL

The above application has been reviewed and is hereby approved subject to all Provisions as attached.

Permit Number: 2019-A-292-00031

Department of Transportation

Signature: Troy RegisterTitle: MAINTENANCE MANAGER/PERMITSDepartment Representative's Printed Name Troy RegisterTemporary Permit ☐ YES ☒ NO (If temporary, this permit is only valid for 6 months)Special provisions attached ☐ YES ☒ NODate of Issuance: 12/19/2019

If this is a normal (non-temporary) permit it authorizes construction for one year from the date of issuance. This can only be extended by the Department as specified in 14-96.007(6).

See following pages for General and Special Provisions

Approved

2019-A-292-00031

Troy Register

12/19/2019

PART 4: GENERAL PROVISIONS

1. Notify the Department of Transportation Maintenance Office at least 48 hours in advance of starting proposed work.
Phone: 3869617153 , Attention: Troy Register
2. A copy of the approved permit must be displayed in a prominent location in the immediate vicinity of the connection construction.
3. Comply with Rule 14-96.008(1), F.A.C., Disruption of Traffic.
4. Comply with Rule 14-96.008(7), F.A.C., on Utility Notification Requirements.
5. All work performed in the Department's right of way shall be done in accordance with the most current Department standards, specifications and the permit provisions.
6. The permittee shall not commence use of the connection prior to a final inspection and acceptance by the Department.
7. Comply with Rule 14-96.003(3)(a), F.A.C., Cost of Construction.
8. If a Significant Change of the permittee's land use, as defined in Section 335.182, Florida Statutes, occurs, the Permittee must contact the Department.
9. Medians may be added and median openings may be changed by the Department as part of a Construction Project or Safety Project. The provision for a median might change the operation of the connection to be for right turns only.
10. All conditions in NOTICE OF INTENT WILL APPLY unless specifically changed by the Department.
11. All approved connection(s) and turning movements are subject to the Department's continuing authority to modify such connection(s) or turning movements in order to protect safety and traffic operations on the state highway or State Highway System.
12. **Transportation Control Features and Devices in the State Right of Way.** Transportation control features and devices in the Department's right of way, including, but not limited to, traffic signals, medians, median openings, or any other transportation control features or devices in the state right of way, are operational and safety characteristics of the State Highway and are not means of access. The Department may install, remove or modify any present or future transportation control feature or device in the state right of way to make changes to promote safety in the right of way or efficient traffic operations on the highway.
13. The Permittee for him/herself, his/her heirs, his/her assigns and successors in interest, binds and is bound and obligated to save and hold the State of Florida, and the Department, its agents and employees harmless from any and all damages, claims, expense, or injuries arising out of any act, neglect, or omission by the applicant, his/her heirs, assigns and successors in interest that may occur by reason of this facility design, construction, maintenance, or continuing existence of the connection facility, except that the applicant shall not be liable under this provision for damages arising from the sole negligence of the Department.
14. The Permittee shall be responsible for determining and notify all other users of the right of way.
15. Starting work on the State Right of Way means that I am accepting all conditions on the Permit.

Approved
2019-A-292-00031
Troy Register
12/19/2019

PART 5: SPECIAL PROVISIONSNON-CONFORMING CONNECTIONS: ☐ YES ☒ NO

If this is a non-conforming connection permit, as defined in Rule Chapters 14-96 and 14-97, then the following shall be a part of this permit.

1. The non-conforming connection(s) described in this permit is (are) not permitted for traffic volumes exceeding the Permit Category on page 1 of this permit, or as specified in "Other Special Provisions" below.
2. All non-conforming connections will be subject to closure or relocation when reasonable access becomes available in the future.

OTHER SPECIAL PROVISIONS:

Pre-construction meeting required

PART 6: APPEAL PROCEDURES

You may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. If you dispute the facts stated in the foregoing Notice of Intended Department Action (hereinafter Notice), you may petition for a formal administrative hearing pursuant to section 120.57 (1), Florida Statutes. If you agree with the facts stated in the Notice, you may petition for an informal administrative hearing pursuant to section 120.57(2), Florida Statutes. You must file the petition with:

Clerk of Agency Proceedings
Department of Transportation
Haydon Burns Building
605 Suwannee Street, M.S. 58
Tallahassee, Florida 32399-0458

The petition for an administrative hearing must conform to the requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code, and be filed with the Clerk of Agency Proceedings by 5:00 p.m. no later than 21 days after you received the Notice. The petition must include a copy of the Notice, be legible, on 8 1/2 by 11 inch white paper, and contain:

1. Your name, address, telephone number, any Department of Transportation identifying number on the Notice, if known, the name and identification number of each agency affected, if known, and the name, address, and telephone number of your representative, if any, which shall be the address for service purposes during the course of the proceeding.
2. An explanation of how your substantial interests will be affected by the action described in the Notice;
3. A statement of when and how you received the Notice;
4. A statement of all disputed issues of material fact. If there are none, you must so indicate;
5. A concise statement of the ultimate facts alleged, including the specific facts you contend warrant reversal or modification of the agency's proposed action, as well as an explanation of how the alleged facts relate to the specific rules and statutes you contend require reversal or modification of the agency's proposed action;
6. A statement of the relief sought, stating precisely the desired action you wish the agency to take in respect to the agency's proposed action.

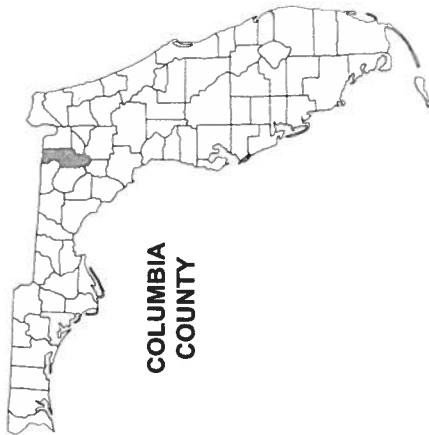
If there are disputed issues of material fact a formal hearing will be held, where you may present evidence and argument on all issues involved and conduct cross-examination. If there are no disputed issues of material fact an informal hearing will be held, where you may present evidence or a written statement for consideration by the Department.

Mediation, pursuant to section 120.573, Florida Statutes, may be available if agreed to by all parties, and on such terms as may be agreed upon by all parties. The right to an administrative hearing is not affected when mediation does not result in a settlement.

Your petition for an administrative hearing shall be dismissed if it is not in substantial compliance with the above requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code. If you fail to timely file your petition in accordance with the above requirements, you will have waived your right to have the intended action reviewed pursuant to chapter 120, Florida Statutes, and the action set forth in the Notice shall be conclusive and final.

Approved
12/19/2019
Troy Register

ACE SECURE STORAGE FORT WHITE, FLORIDA SECTION 33, TOWNSHIP 6 S, RANGE 16 E

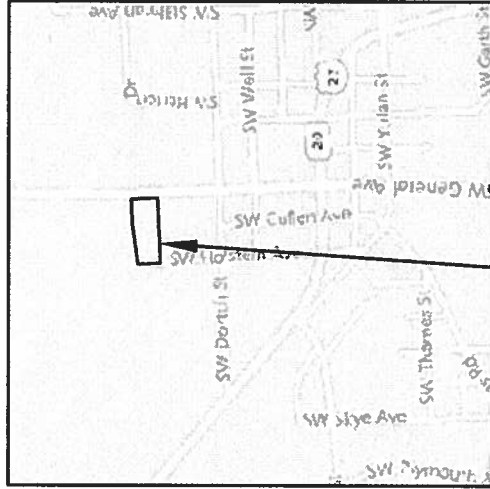


COLUMBIA
COUNTY

SHEET INDEX

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EROSION CONTROL PLAN	C-11
MISC DETAILS	C-12 - C-13

ATTACHMENT: SURVEY BY GEOLINE
SURVEYING, INC.

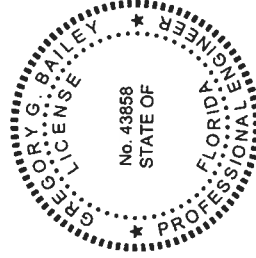


PROJECT LOCATION

PLANS PREPARED FOR:
LIMITED ACCESS PROPERTIES INC.
498 SW MANATEE TER.
FORT WHITE, FL 32038

11/2019
FDOT - 2ND SUBMITTAL
NOT FOR CONSTRUCTION

THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND
SEALED BY:
**Gregory G
Bailey**
Digitally signed by Gregory G
Bailey
Date: 2019.11.18 10:21:32 -05'00'
ON THE DATE ADJACENT TO THE SEAL



PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED. THE
SIGNATURE MUST BE VERIFIED IN THE
ELECTRONIC DOCUMENTS.

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
P.O. BOX 3823
LAKE CITY, FL 32056
CERTIFICATE OF AUTHORIZATION: 29011
GREGORY G. BAILEY, P.E. NO. 43858

Approved
19-A-292
Troy Reg
12/19/20

COVER SHEET

North Florida Professional Services, Inc.
P.O. BOX 3823
LAKE CITY, FL 32056
TEL: 877-355-1523
FAX: 352-792-4874
Eng. Lic. 29011



FILED
NOV 19 2019
LAKE CITY
FLORIDA
COUNTY CLERK
P.E. NO. 43858
GREGORY G. BAILEY
RD
JC
TH

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO ENSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE TOWN OF FORT WHITE OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE ISSUED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION 102 SELF-CERTIFICATION, FLORIDA DEPARTMENT OF TRANSPORTATION DRIVEWAY CONNECTION PERMIT.
3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. BOUNDARY INFORMATION SHOWN, WAS OBTAINED FROM A SURVEY CONDUCTED BY GEOLINE SURVEYING INC., FLORIDA CERTIFICATE NO. 1681.
5. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED, IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
6. THE SITE IS LOCATED IN SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.
7. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED. THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.
8. THE STORMWATER BASIN IS DESIGNED IN ACCORDANCE WITH SRWD APPLICANT HANDBOOK VOLUME II AND 62-330 F.A.C.
9. ALL SLOPES OF THE STORMWATER BASIN SHALL BE GRASSED. ALL SLOPES STEEPER THAN 3:1 SHALL BE STAPLED SOD.
10. ALL DISTURBED AREAS NOT SODDED SHALL BE SEED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
11. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.
12. ALL UTILITY CONSTRUCTION SHALL MEET THE TOWN OF FORT WHITE WATER AND WASTEWATER UTILITY STANDARDS, AVAILABLE FROM TOWN HALL OR PUBLIC WORKS.
13. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF FORT WHITE LAND DEVELOPMENT REGULATIONS.
14. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE CONNECTION TO THE EXISTING UTILITIES. THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE CORING, WET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.
15. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.
16. CONTRACTOR SHALL PROVIDE ACTUAL INVERT ELEVATIONS ON ALL DRAINAGE STRUCTURES, INCLUDING CULVERTS, PRIOR TO PLACING ANY BASE MATERIAL. DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE ENGINEER BEFORE CONTINUING WORK.
17. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE F.D.O.T. STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION). THE TOWN OF FORT WHITE SPECIFICATIONS AND THE TOWN OF FORT WHITE DEVELOPMENT STANDARDS UNLESS OTHERWISE NOTED.
18. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING GRADING, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL TO A DEPTH OF 24" BELOW FINISHED GRADE WITHIN THE CONSTRUCTION LIMITS.
19. THE CONTRACTOR SHALL NOTIFY THE TOWN OF FORT WHITE AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
20. THE CONTRACTOR SHALL SUBMIT A NOTICE OF CONSTRUCTION COMMENCEMENT TO THE WATER MANAGEMENT DISTRICT AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
21. NO WORK SHALL BE PERFORMED ON SATURDAY OR SUNDAY WITHOUT WRITTEN NOTIFICATION TO THE TOWN AND THE TOWN ENGINEER.
22. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER 61G17 F.A.C. PRIOR TO THE BEGINNING OF CONSTRUCTION. THE AS-BUILT HORIZONTAL AND VERTICAL DIMENSIONS SHALL BE TO THE IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. A COPY OF THE AS-BUILT SURVEY (IN PAPER AND DIGITAL AUTOCAD FORMAT) MUST BE SUBMITTED TO THE TOWN OF FORT WHITE, FLORIDA AND THE ENGINEER.
23. THE CONTRACTOR SHALL SUBMIT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTICE OF INTENT TO THE TOWN OF FORT WHITE PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMIT FEES.
24. IF DURING CONSTRUCTION OR OPERATION OF THE STORM WATER MANAGEMENT SYSTEM, A STRUCTURAL FAILURE IS OBSERVED THAT HAS THE POTENTIAL TO CAUSE THE DIRECT DISCHARGE OF SURFACE WATER INTO THE FLORIDIAN ACQUIFER SYSTEM, CORRECTIVE ACTIONS SHALL BE TAKEN IMMEDIATELY BY A REGISTERED PROFESSIONAL ENGINEER. A REPORT PREPARED BY A REGISTERED PROFESSIONAL MUST BE PROVIDED AS SOON AS PRACTICAL TO THE DEPARTMENT FOR REVIEW AND APPROVAL THAT PROVIDES REASONABLE ASSURANCE THAT THE BREACH WILL BE PERMANENTLY CORRECTED.
25. ALL CONCRETE SLABS ABUTTING EXTERIOR WALLS SHALL BE SOIL TREATED FOR TERMITES.

SITE DATA TABLE

ACE SECURE STORAGE				
PARCEL ID NUMBER	00-00-00-14305-004			
ZONING	A			
LAND USE	A			
CITY COUNCIL	4			
DISTRICT NUMBER				
PHYSICAL ADDRESS	18072 SW SR 47 FORT WHITE, FLORIDA 32038			
PROJECT PROPERTY BOUNDARY		SF	ACRES	% OF SITE
TOTAL PROPERTY BOUNDARY AREA		104532	2.40	100.00%
PROJECT AREA / LIMITS OF CONSTRUCTION (LOC)		104532	2.40	100.00%
BOTH ON-SITE & LOC		104532	2.40	100.00%
EXISTING IMPERVIOUS AREA ON-SITE		0	0.00	0.00%
EXISTING ASPHALT PAVEMENT		0	0.00	0.00%
EXISTING CONCRETE		0	0.00	0.00%
EXISTING BUILDING		0	0.00	0.00%
EXISTING STORMWATER MANAGEMENT FACILITY		0	0.00	0.00%
TOTAL EXISTING IMPERVIOUS AREA		0	0.00	0.00%
PROPOSED IMPERVIOUS AREA		0	0.00	0.00%
EXISTING ASPHALT PAVEMENT TO REMAIN		0	0.00	0.00%
EXISTING CONCRETE TO REMAIN		0	0.00	0.00%
EXISTING BUILDING TO REMAIN		0	0.00	0.00%
EXISTING STORMWATER MANAGEMENT FACILITY TO REMAIN		0	0.00	0.00%
PROPOSED ASPHALT PAVEMENT		34822	0.80	33.31%
PROPOSED CONCRETE		590	0.01	0.56%
PROPOSED BUILDING		20000	0.48	19.13%
PROPOSED STORMWATER MANAGEMENT FACILITY		15423	0.35	14.75%
TOTAL PROPOSED IMPERVIOUS AREA (INCLUDING SWMF)		70835	1.63	67.76%
TOTAL PROPOSED PAVEMENT AREA		33697	0.77	32.24%
PROPOSED LANDSCAPE AREA		3828	0.09	3.66%
(1 PER COMPANY VEHICLE @ 20.00 SF = (1 X 20 = 20) + (1 PER COMPANY VEHICLE @ 0 = (1 X 0 = 0) TOTAL = 20 + 1 ADA = 21 (INCLUDING 1 ADA SPACE) PLUS 2 MOTORCYCLE SPACE; 2 BICYCLE SPACES; 21 PARKING SPACES (INCLUDING 1 ADA SPACE)				
REQUIRED PARKING				
PROVIDED PARKING				

GENERAL NOTES
ACE SECURE STORAGE
FORT WHITE, FLORIDA

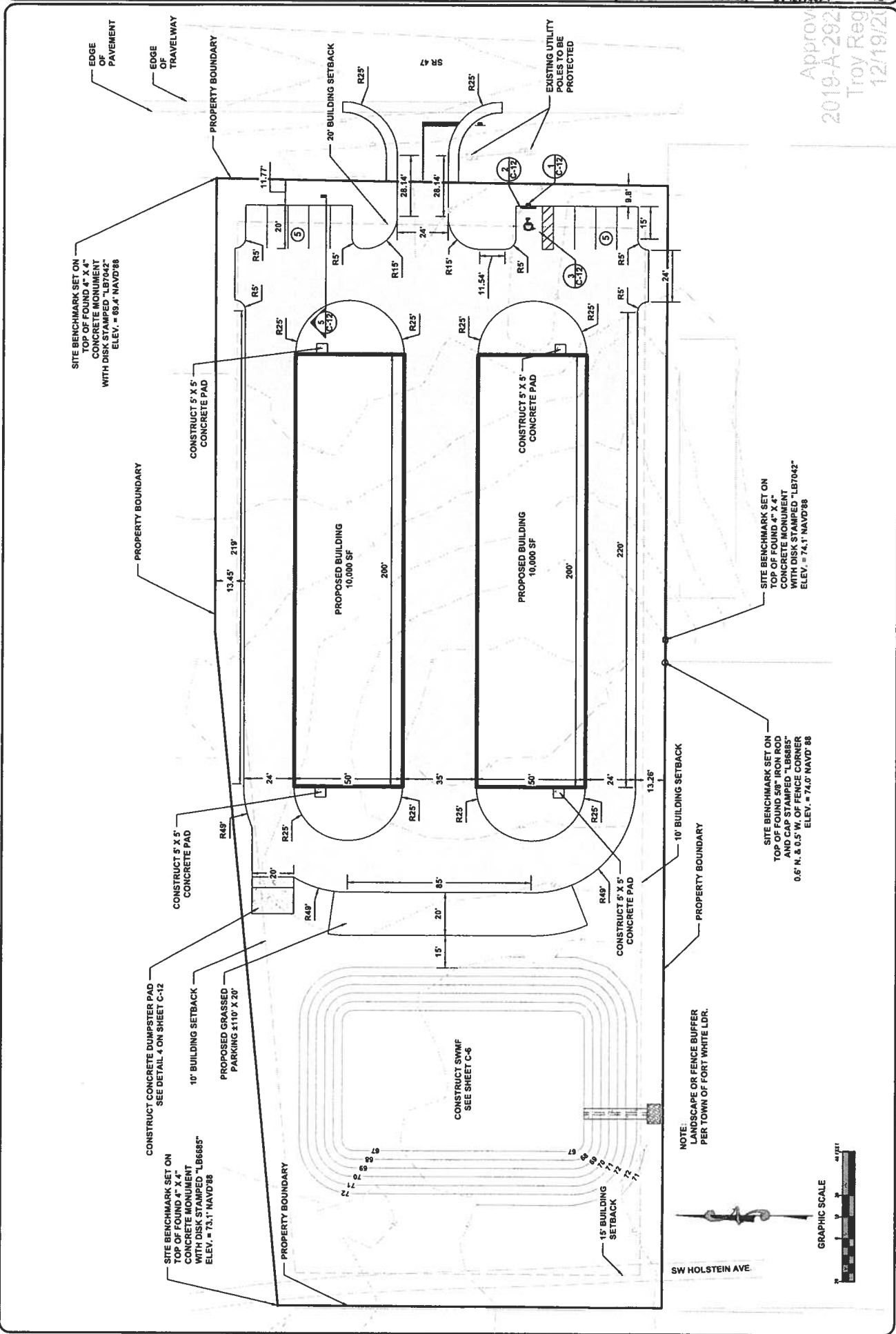
North Florida Professional Services, Inc.
P.O. BOX 180998
Tallahassee, FL 32318
P: 904.735.1555
F: 904.735.4875
Eng. Lic. 29011



APPROVED BY: [Signature]
DATE: 11/11/2019
PROJECT: ACE SECURE STORAGE
SHEET: 18072/174P
TROY REGAN
19-A-292
12/19/20

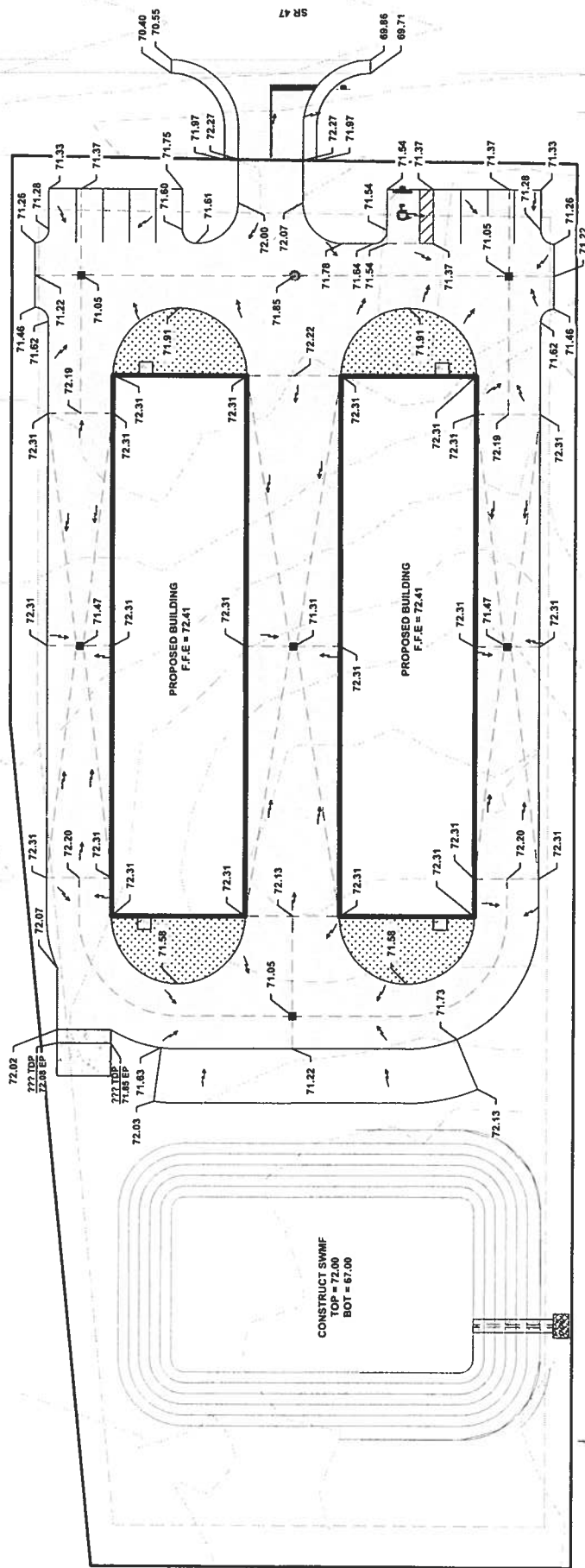
SITE PLAN

Approved:
2019-A-292
Troy Reg
12/19/20





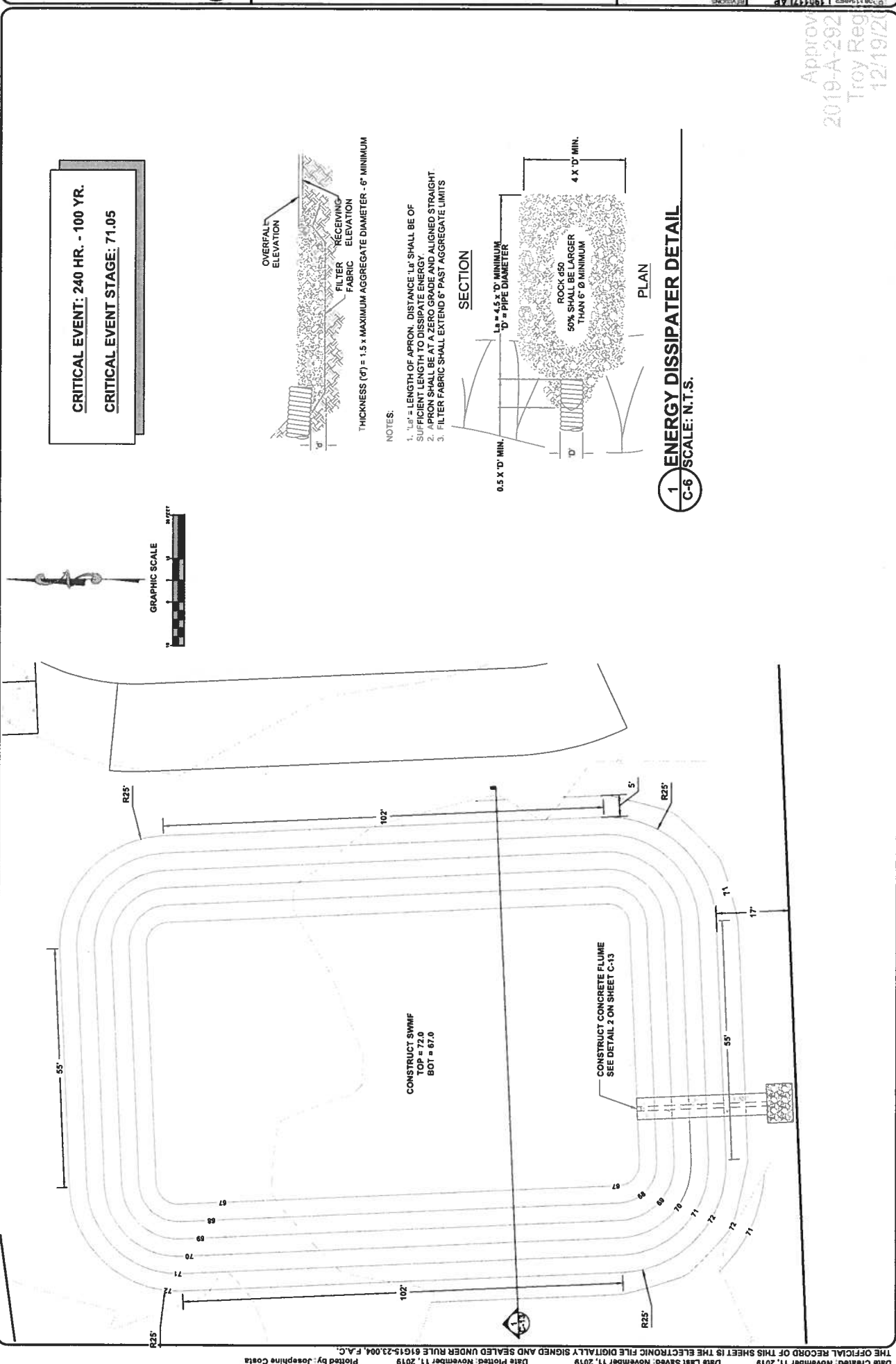
Approved
2019-A-292
Troy Reg
12/19/20



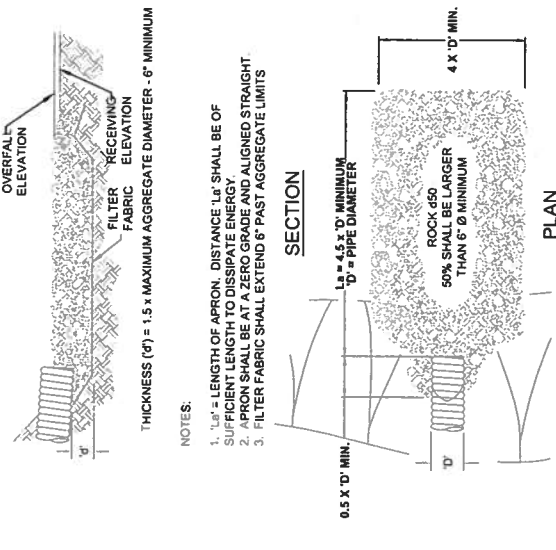
ABBREVIATION LEGEND

EP	EDGE OF PAVEMENT
TDP	TOP OF DUMPSTER PAD



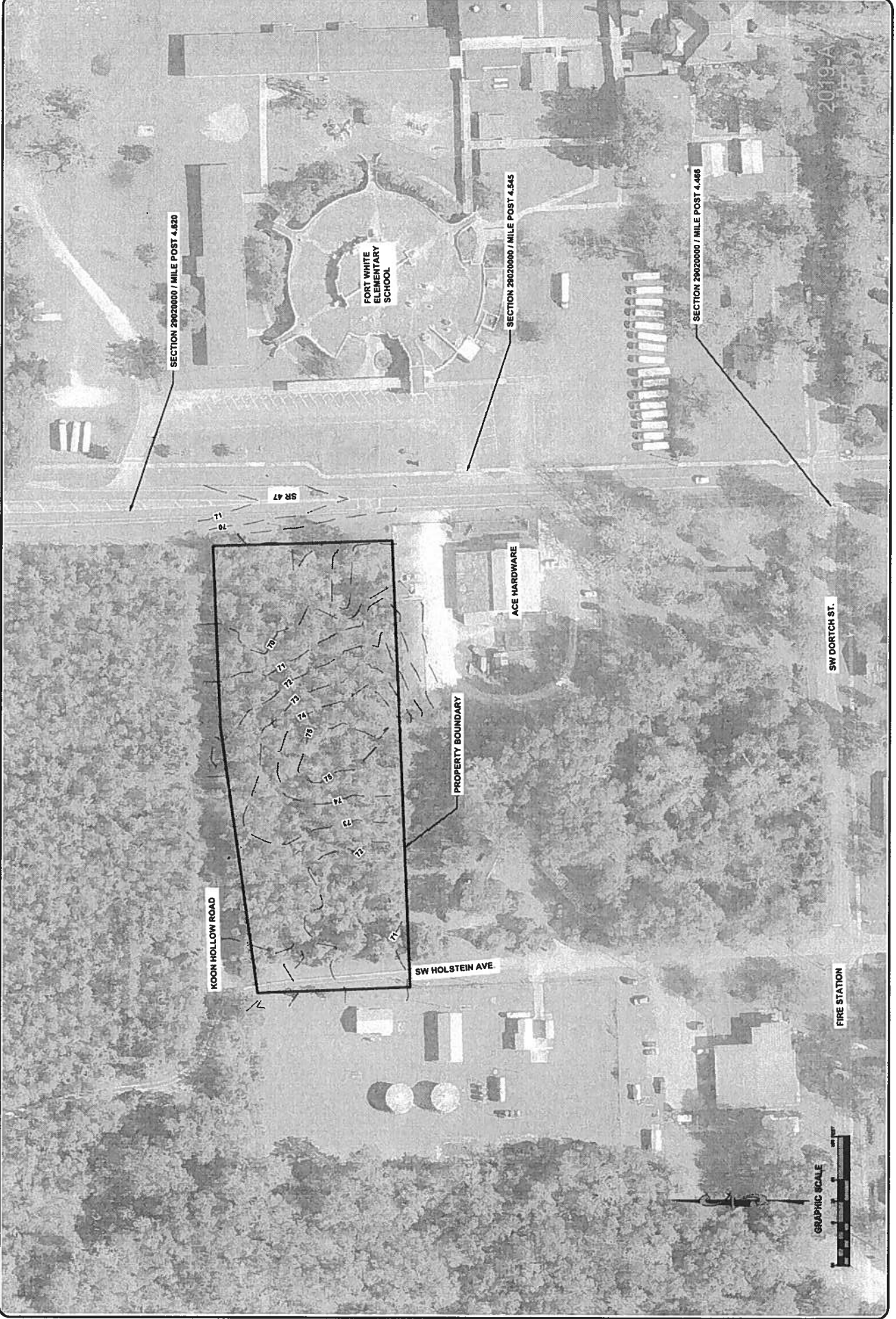


CRITICAL EVENT: 240 HR. - 100 YR.
 CRITICAL EVENT STAGE: 71.05



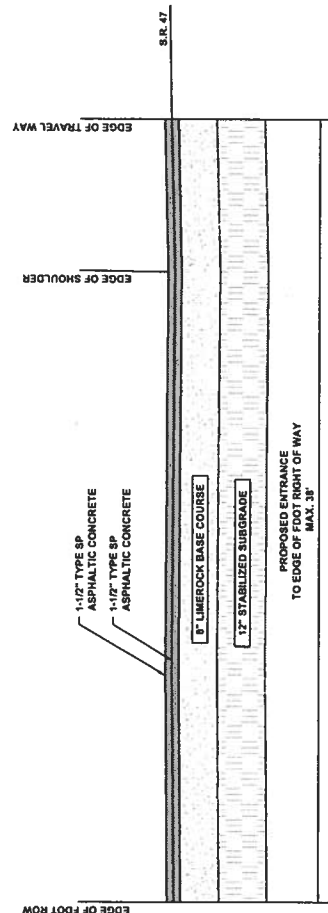
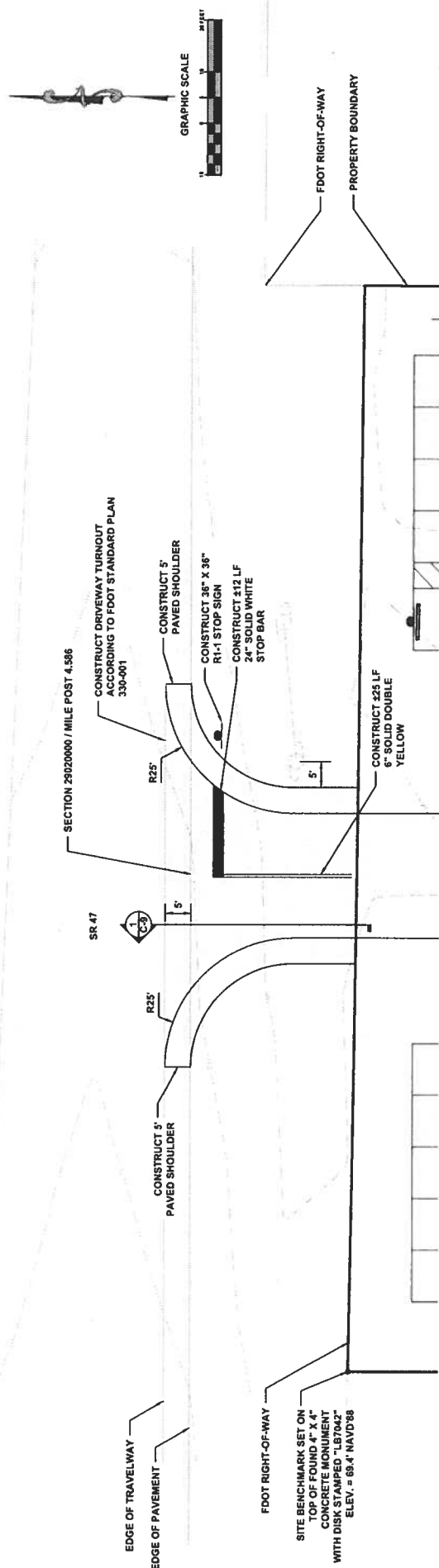
1 ENERGY DISSIPATER DETAIL
 C-6 SCALE: N.T.S.

Approved
 2019-A-292
 Troy Reg
 12/19/20



SR 47 DRIVEWAY CONNECTION PLAN

Approved: 2019-A-292
Troy Reg
12/19/19



FDOT ACCESS CONNECTION PROFILE

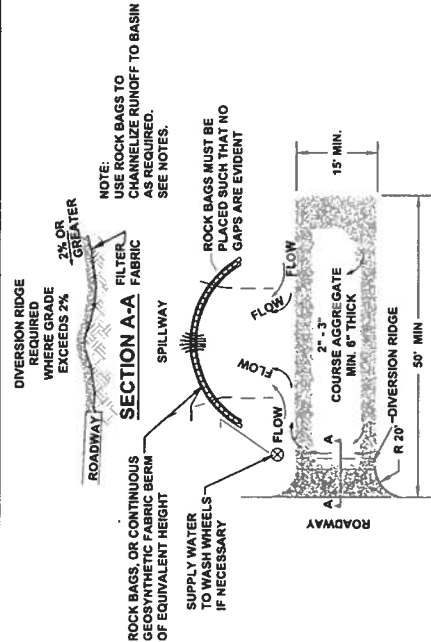
SCALE: N.T.S.

FDOT CONNECTION NOTES:

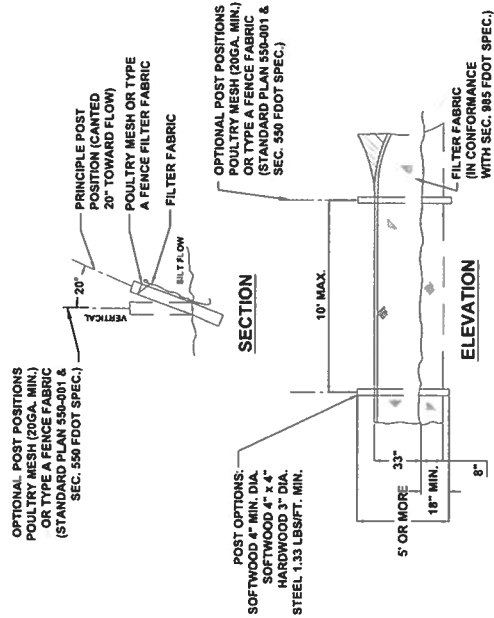
- ALL THE EXISTING ASPHALT PAVED SHOULDER SHALL BE MECHANICALLY SAW CUT AND REMOVED AS WELL AS ALL PRE-EXISTING SUBGRADE MATERIALS WITHIN THE LIMITS OF THE PROJECT IMPROVEMENTS WORK ZONE OR AS MAY BE CALLED FOR UNDER THE STATE DOT PERMIT.
2. ALL PERMITTED PAVEMENT STRIPING PERTAINING TO THIS ACCESS PERMIT SHALL REQUIRE CERTIFIED LEAD FREE, THERMOPLASTIC MARKING MATERIALS AS THE FINAL PLACEMENT ITEM. TEMPORARY TRAFFIC BEARING SHALL BE REQUIRED TO BE IN PLACE 30 MINS. BEFORE OFFICIAL SUNDOWN. BOTH TEMPORARY TRAFFIC BEARING PAINTS AND TEMPORARY TRAFFIC MARKING MATERIALS SHALL BE LEAD FREE AND SHALL MEET/OBTAIN DOT MINIMUM SPECIFICATIONS FOR NIGHT REFLECTIVITY.
- TEMPORARY RW'S SHALL BE INSTALLED DURING BOTH TEMPORARY AND PERMANENT STRIPING PHASES. REMOVAL OF EXISTING STRIPING SHALL BE LIMITED TO A DEPTH OF 1".
3. FAILURE BY THE PERMITTEE AND/OR HIS/HER CONTRACTOR TO HAVE A CERTIFIED STRIPING CREW IN PLACE AT THE TIME OF PAVING CAN BE REASON TO SUSPEND THE PERMITTEE AND/OR HIS/HER CONTRACTOR CORRECTS THE SITUATION TO THE SATISFACTION OF THE ON-SITE STATE DOT PERMITS PERSONNEL/SPECTOR.
4. FOR MAINTENANCE OF TRAFFIC PLAN REFER TO DOT STANDARD PLANS INDEX 102-402 AND 102-403.
5. 24 INCH STOP BARS TO BE PLACED AT ALL INTERSECTIONS IN ACCORDANCE WITH CURRENT EDITION FOOT STANDARD PLANS INDEX 111-001.

EROSION CONTROL NOTES

- THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
- THE CONTRACTOR SHALL ADHERE TO THE TOWN OF FORT WHITE, FLORIDA, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP'S FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
- THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
- SEDIMENT AND EROSION CONTROL FACILITIES, STORM DRAINAGE FACILITIES AND DETENTION BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
- EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCHES OR GREATER, AND REPAIRED OR REPLACED AS NECESSARY.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
- ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
- SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
- CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
- DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
- ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
- A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED. NO BROKEN CONCRETE WILL BE ACCEPTED.
- ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF SYNTHETIC BALES OR SODDING.
- ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
- ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
- LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
- EXCESS DIRT SHALL BE REMOVED DAILY.
- THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS. PERMIT REQUIRED FROM SRWMD HAS BEEN OBTAINED.
- QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES. THE LOCATION WHERE STOCKPILES ARE STORED, THE SILT FENCE AND STRAW BALES THAT HAVE NOT BEEN FINALLY STABILIZED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5 INCHES OR GREATER.
- SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.



- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN SPRING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CURBED GRASS OR SEDIMENT THAT IS ADEQUATELY PROTECTED FROM EROSION. ROCK BAGS OR SANDBAGS SHALL BE PLACED SUCH THAT NO GAPS ARE EVIDENT.
- 1 TEMPORARY CONSTRUCTION ENTRANCE**
C-10 SCALE: N.T.S.



EROSION CONTROL NOTES

AGE SECURE STORAGE
FORT WHITE, FLORIDA

North Florida Professional Services, Inc.
P.O. BOX 180998
Tallahassee, FL 32318
P: 904.432.4155
F: 904.432.4155
E: info@nfpss.com



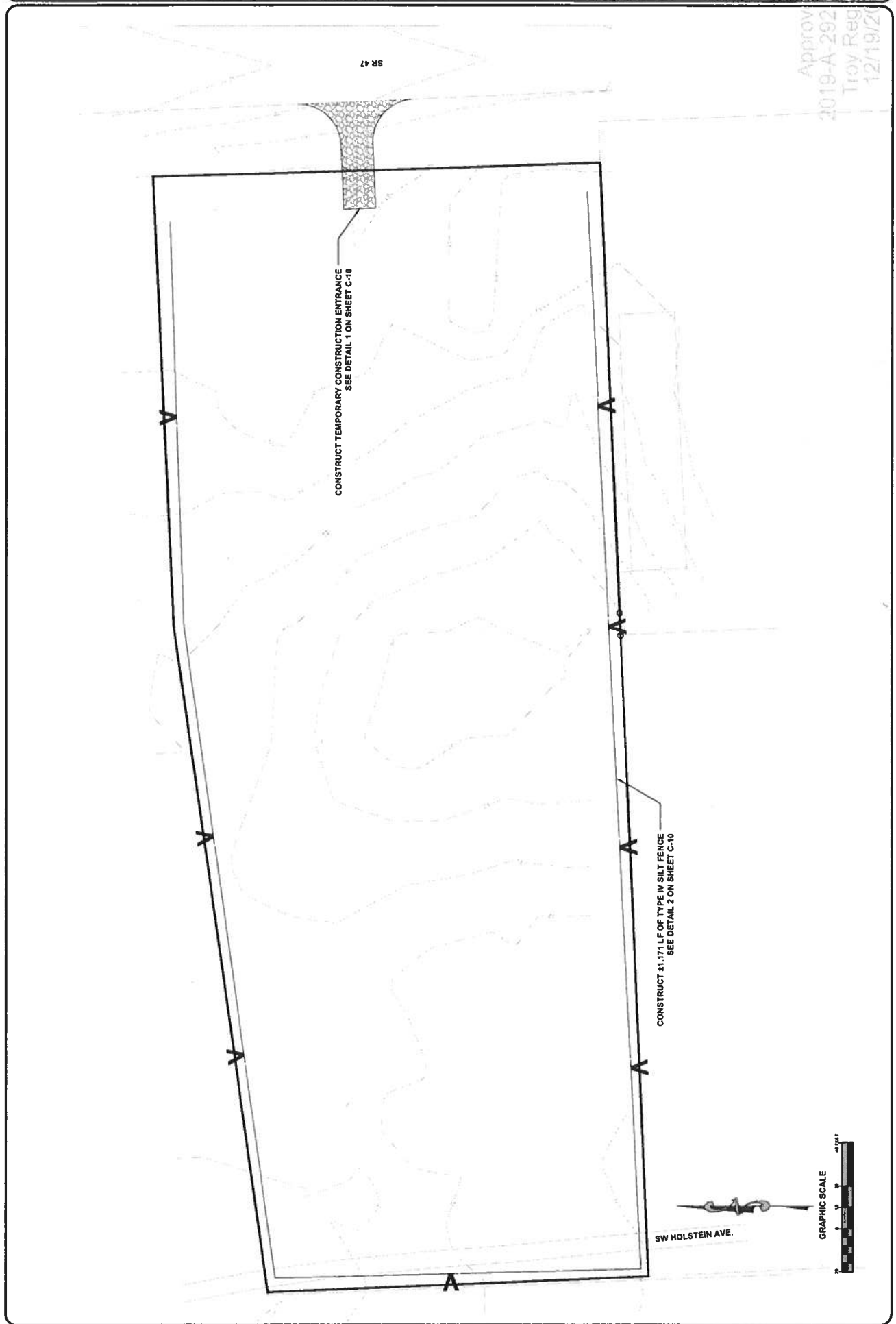
APPROVED FOR CONSTRUCTION
DATE: 11/19/2019
BY: [Signature]
CHECKED BY: [Signature]
DATE: 11/19/2019
C-10

North Florida Professional Services, Inc.
 P.O. BOX 180998
 Tallahassee, FL 32318
 Tel: 904-752-4674
 Fax: 904-752-4674
 Eng. Lic. 29011



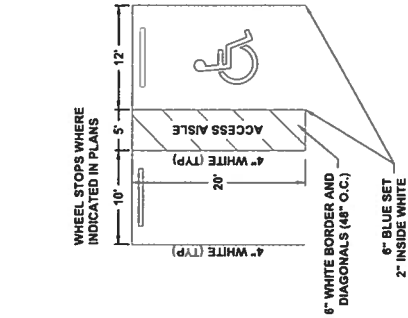
EROSION CONTROL PLAN ACE SECURE STORAGE FORT WHITE, FLORIDA

PROJECT NO. 1901171/LAP
 DATE: 12/19/2019
 DRAWN BY: J.C.
 CHECKED BY: J.C.
 APPROVED BY: J.C.
 P.E. NO. 43608



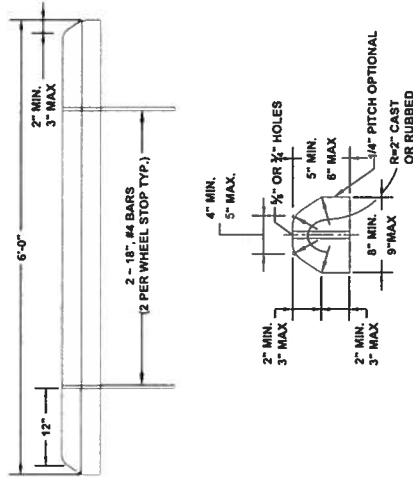
Approved
 2019-A-292
 Troy Reg
 12/19/20

3 HANDICAP PARKING STALL DETAIL

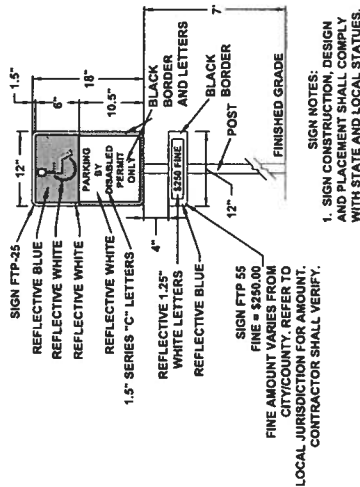


1. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
2. 5' HANDICAPPED AISLE MAY BE PLACED ON THE RIGHT OR LEFT SIDE OF PARKING STALL.
3. HANDICAPPED PARKING SYMBOL SHALL BE 3 OR 5 FT. HIGH.
4. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 485A.

2 WHEEL STOP DETAIL



1 HANDICAP PARKING SIGN DETAIL



SIGN NOTES:

**LOCAL JURISDICTION FOR AMOUNT:
CONTRACTOR SHALL VERIFY.**

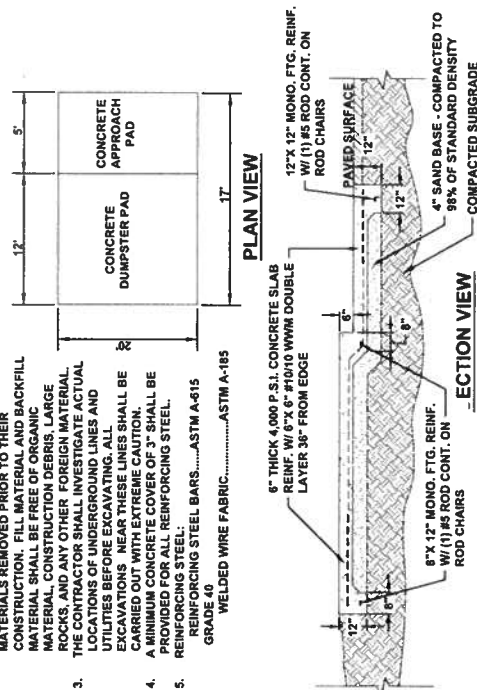
1 HANDICAP

C-12/SCALE: N.T.S.

CONCRETE NOTES:

1. THE DESIGN OF FOUNDATIONS AND SLAB-ON-GRADE IS BASED ON AN ASSUMED MINIMUM BEARING CAPACITY OF 2,000 PSF.
2. THE AREA UNDER FOOTINGS, FOUNDATIONS, AND CONCRETE SLABS-ON-GRADE SHALL HAVE ALL VEGETATION, STUMPS, ROOTS, AND FOREIGN MATERIALS REMOVED PRIOR TO THEIR CONSTRUCTION. FILL MATERIAL AND BACKFILL MATERIAL SHALL BE FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, LARGE ROCKS, AND ANY OTHER FOREIGN MATERIAL.
3. LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION. A MINIMUM CONCRETE COVER OF 3" SHALL BE PROVIDED FOR ALL REINFORCING STEEL.
5. REINFORCING STEEL:
REINFORCING STEEL BARS.....ASTM A-615
GRADE 60, 10" MIN. WIDE A-BARS

PLAN VIEW

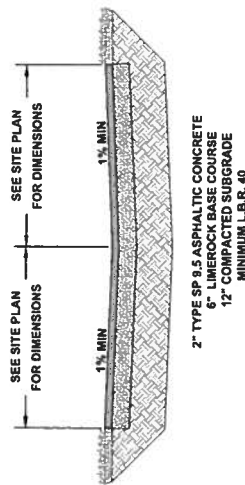


4 DUMPSTER PAD DETAIL

C-12/SCALE: N.T.S.

5 PARKING APRON TYPICAL SECTION

C-12 / SCAI F-N T S

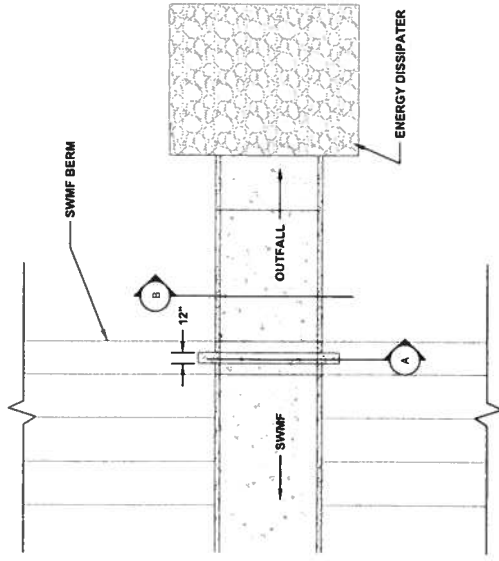


2" TYPE SP 9.5 ASPHALTIC CONCRETE
6" LIMEROCK BASE COURSE
12" COMPACTED SUBGRADE
MINIMUM L.B.R. 40

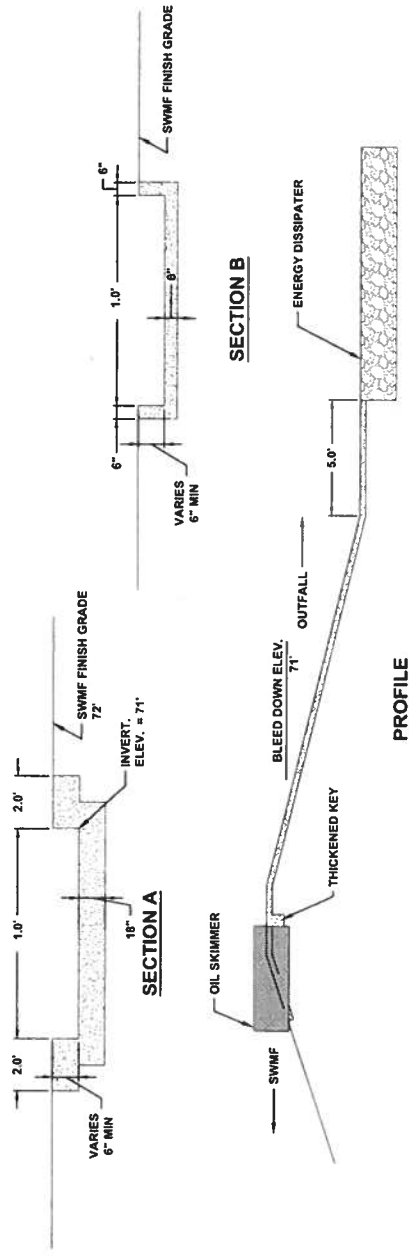
Approved:
2019-A-292
Troy Reg
12/10/20



1 DRY STORMWATER MANAGEMENT FACILITY DETAIL
 C-13 SCALE: N.T.S.



2 CONCRETE FLUME DETAIL
 C-13 SCALE: N.T.S.



2019-A-292
 TROY REED
 12/19/20

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**RECEIPT OF CONNECTION APPLICATION
 AND FEE (OR WAIVER OF FEE)**

IMPORTANT NOTE: Even though your application has been accepted, it may not be complete. We will contact you if more information is needed.

(1) APPLICATION NUMBER: 2019-A-292-00031

APPLICANT:

(2) Name/Address: TORI HUMPHRIES
PO Box 3823
Lake City, Florida 32056

(3) Project Name: _____

	VEHICLES PER DAY	FEE
(4) Fee	<input type="checkbox"/> Category A 1-20	\$50.00
	<input checked="" type="checkbox"/> Category B 21-600	\$250.00
	<input type="checkbox"/> Category C 601-1,200	\$1,000.00
	<input type="checkbox"/> Category D 1,201-4,000	\$2,000.00
	<input type="checkbox"/> Category E 4,001-10,000	\$3,000.00
	<input type="checkbox"/> Category F 10,001-30,000	\$4,000.00
	<input type="checkbox"/> Category G 30,001 +	\$5,000.00
	<input type="checkbox"/> Temporary	\$250.00
	<input type="checkbox"/> Safety	NO FEE
	<input type="checkbox"/> Government Entity	NO FEE

(5) Application Fee Collected \$ 250

Payment Type:

- ☐ Money Order
☒ Check (check number 1009)
☐ Cash
☐ Credit Card (online only)

(6) Fee Collected By

Name Dan Morgan

Signature Dan Morgan

Date 10/30/2019 District 2 Unit 292

(7) Receipt Given Back to Applicant Via

☐ Hand Delivery ☒ Mail ☐ Courier Service ☐ Other ☐ Electronically

Applicant (or Agent) Signature (if available) TORI HUMPHRIES

This form bears your application number and serves as your receipt.

(8) If fee is waived, give justification below or on separate sheet.

FOR AGENCY USE ONLY – ATTACH COPY OF CHECK ON THE NEXT PAGE

Make Checks payable to: State of Florida Department of Transportation

Approved

2019-A-292-00031

Froy Register

12/19/2019

2019 Preliminary Certified Values

updated: 8/14/2019

Result: 2 of 2

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

2019 Preliminary Certified

Mkt Land (1)	\$26,136	Mkt Land (2)	\$62,392
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (0)	\$0
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$26,136	Just	\$62,392
Class	\$0	Class	\$0
Appraised	\$26,136	Appraised	\$62,392
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$26,136	Assessed	\$62,392
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$26,136 city:\$26,136 other:\$26,136 school:\$26,136	Total Taxable	county:\$62,392 city:\$62,392 other:\$62,392 school:\$62,392

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
4/30/2019	\$100	1384/2088	WD	V	U	11
4/30/2019	\$27,500	1383/1411	WD	V	Q	03
4/26/2019	\$25,000	1383/1113	WD	V	Q	03
5/18/2016	\$18,000	1315/0525	WD	V	U	12
7/22/2015	\$100	1298/0806	CT	V	U	18
11/5/2014	\$100	1284/0717	PR	V	U	19
5/31/2006	\$60,000	1085/1882	WD	V	Q	
2/28/2000	\$8,000	898/1594	QC	V	U	01

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
-------------	-----------	------------	----------	---------	-----------	------------



N O N E

▼ **Extra Features & Out Buildings** (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
N O N E						

▼ **Land Breakdown**

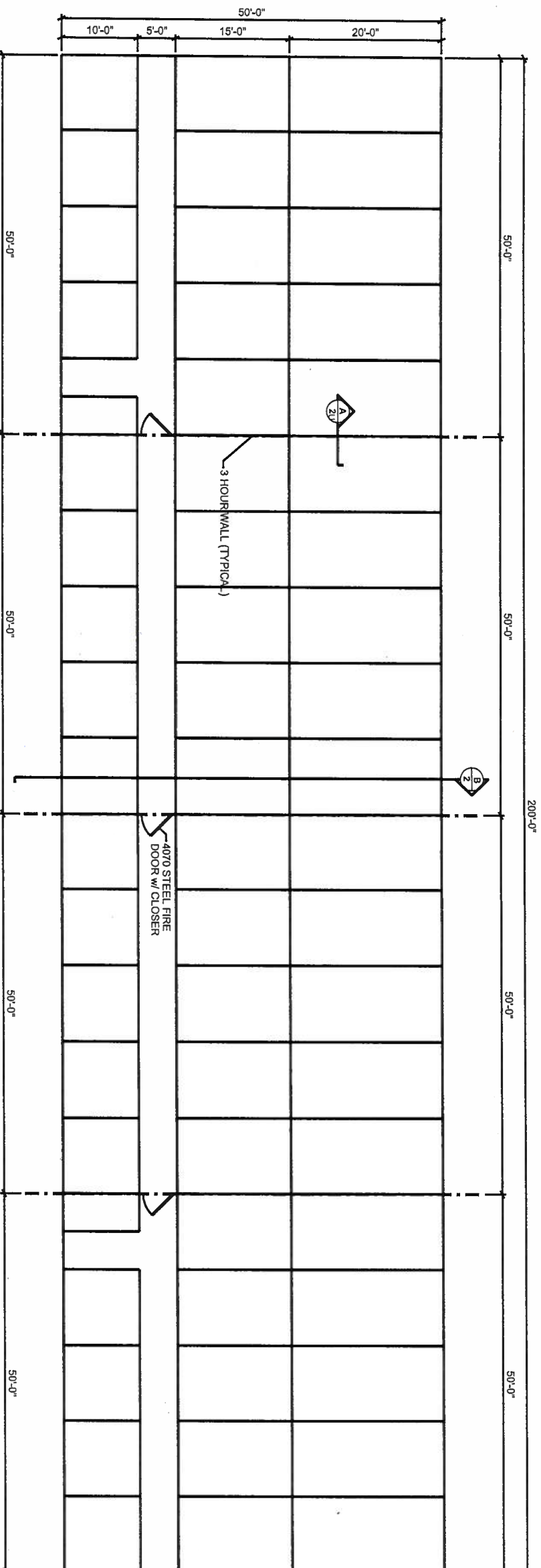
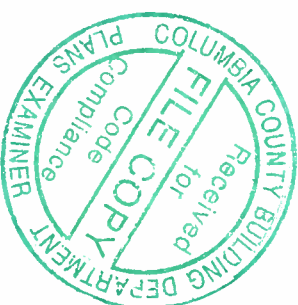
Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000000	VAC RES (MKT)	43,560.000 SF - (1.000 AC)	1.00/1.00 1.00/1.00	\$1	\$26,136
000000	VAC RES (MKT)	60,427.000 SF - (1.387 AC)	1.00/1.00 1.00/1.00	\$1	\$36,256

Search Result: 2 of 2

© Columbia County Property Appraiser | Jeff Hampton | Lake City, Florida | 386-758-1083

by: GrizzlyLogic.com

Approved
 2019-A-292-00031
 Troy Register
 12/19/2019



FIRE WALL LAYOUT



THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY:
Robert P Bishop
ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED IN THE ELECTRONIC DOCUMENTS.

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
P.O. BOX 3823
LAKE CITY, FL 32056
CERTIFICATE OF AUTHORIZATION: 29011
ROBERT PHILLIP BISHOP, JR., P.E. NO. 38546



North Florida Professional Services, Inc.
P.O. BOX 3823
Lake City, FL 32025
Ph. 386-752-4675
Fax. 386-752-4674

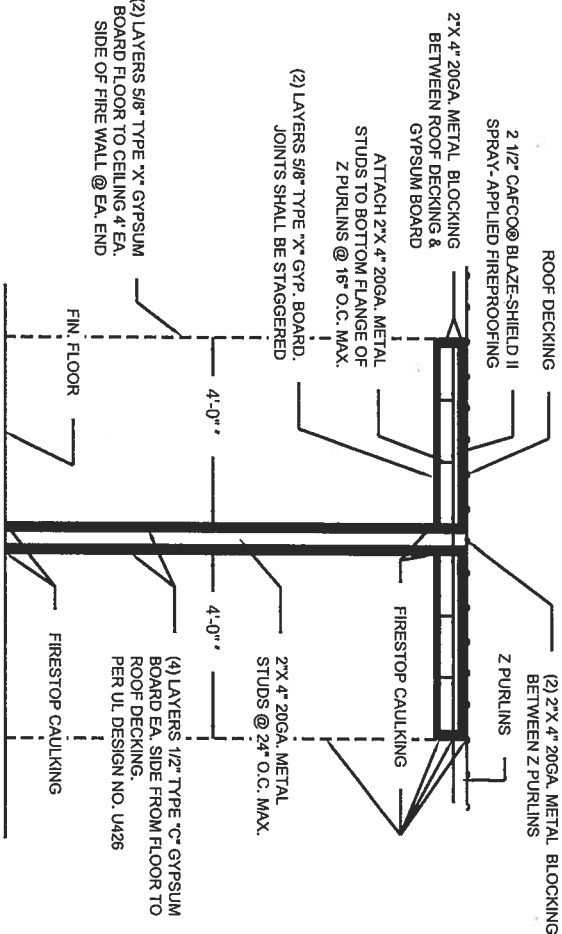
P.O. BOX 180998
Tallahassee, FL 32318
Ph. 877-335-1525
Eng. Lic.29011

LIMITED ACCESS PROPERTIES, INC.
PAUL BARCIA
DATE COUNTY PROJECT ID NUMBER

FIRE WALL LAYOUT

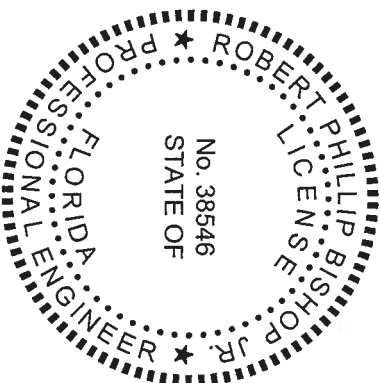
SHEET NO.

1



A FIREWALL SECTION
2 SCALE : 1/4" = 1'-0"

- NOTE:
1. PROVIDE AUTOMATIC ACTUATED FIRE DAMPERS IN HVAC DUCTS THAT PENETRATE ANY FIRE WALLS.
 2. PROVIDE FIRESTOP CAULKING @ ALL FIRE WALL PENETRATIONS

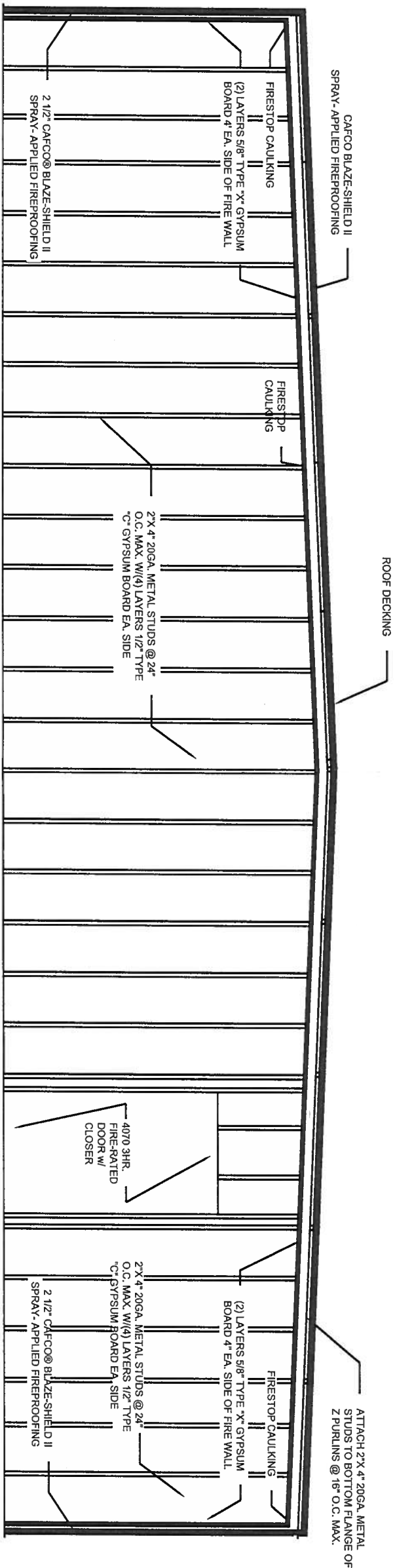


THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY:

Robert P Bishop
Digitally signed by Robert P Bishop
DN: c=US, o=NORTH FLORIDA PROFESSIONAL SERVICES INC.,
ou=Engineering, email=robert@nfpss.com, cn=Robert P Bishop
Date: 2023.09.15 15:59:59 -0400

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NORTH FLORIDA PROFESSIONAL SERVICES, INC.
P.O. BOX 3823
LAKE CITY, FL 32056
CERTIFICATE OF AUTHORIZATION: 29011
ROBERT PHILLIP BISHOP, JR., P.E. NO. 38546



B FIREWALL SECTION
2 SCALE : 1/4" = 1'-0"

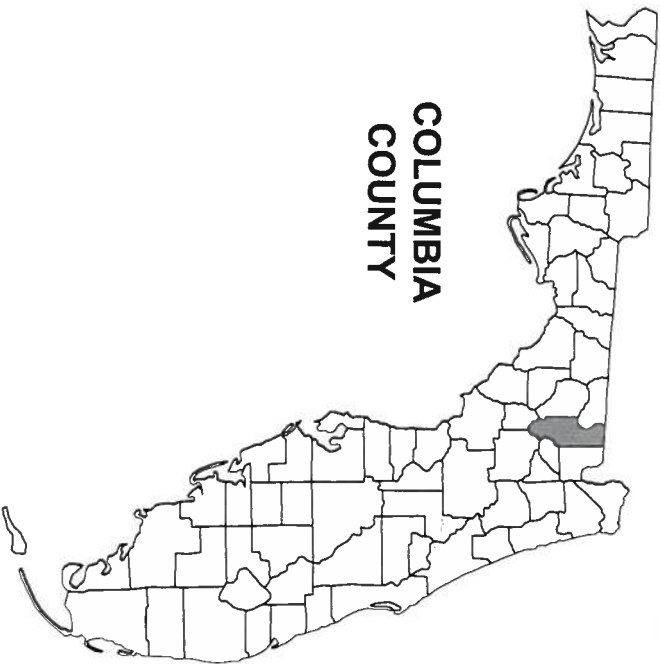
REVISIONS				LIMITED ACCESS PROPERTIES, INC.				SHEET NO.	
DATE	DESCRIPTION	DATE	DESCRIPTION	DATE	COUNTY	PROJECT ID NUMBER	FIREWALL DETAILS		
				North Florida Professional Services, Inc.					
P.O. BOX 3823				P.O. BOX 180998					
Lake City, FL 32025				Tallahassee, FL 32318					
Ph. 386-752-4675				Ph. 877-335-1525					
Fax. 386-752-4674				Eng. Lic.29011					



North Florida Professional Services, Inc.
P.O. BOX 3823
Lake City, FL 32025
Ph. 386-752-4675
Fax. 386-752-4674

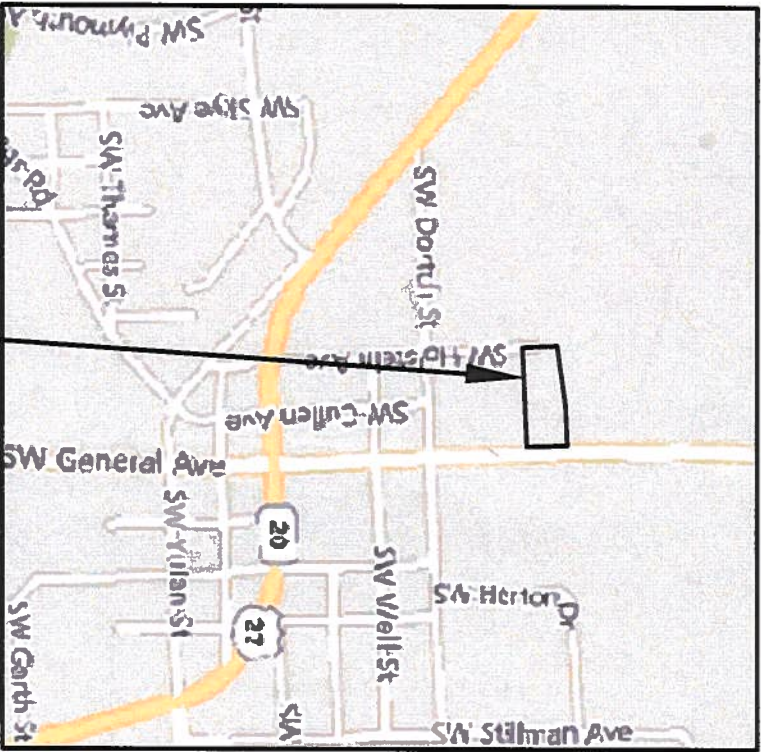
P.O. BOX 180998
Tallahassee, FL 32318
Ph. 877-335-1525
Eng. Lic. 29011

01/2020
FINAL CONSTRUCTION PLANS



COLUMBIA
COUNTY

ACE SECURE STORAGE FORT WHITE, FLORIDA SECTION 33, TOWNSHIP 6 S, RANGE 16 E



PROJECT LOCATION

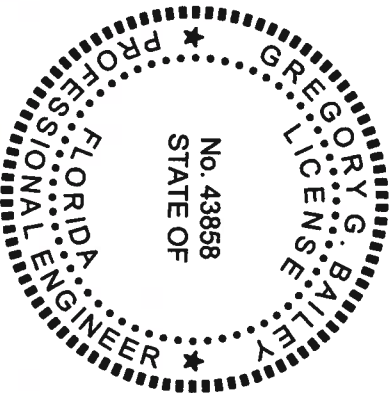
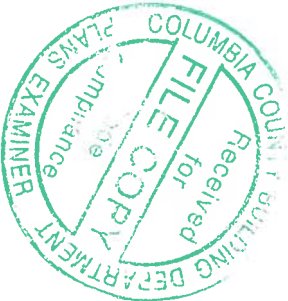
PLANS PREPARED FOR:

LIMITED ACCESS PROPERTIES INC.
498 SW MANATEE TER.
FORT WHITE, FL 32038

SHEET INDEX

COVER SHEET	C-1
GENERAL NOTES	C-2
SITE PLAN	C-3
GRADING PLAN	C-4
STORMWATER PLAN	C-5
SWMF PLAN	C-6
LANDSCAPING PLAN	C-7
SR 47 EXISTING CONDITIONS PLAN	C-8
SR 47 DRIVEWAY CONNECTION PLAN	C-9
EROSION CONTROL NOTES	C-10
EROSION CONTROL PLAN	C-11
MISC DETAILS	C-12 - C-13

ATTACHMENT: SURVEY BY GEOLINE
SURVEYING, INC.



THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND
SEALED BY:

Gregory G
Bailey
Digitally signed by Gregory G
Bailey
Date: 2020.01.08 10:28:08
-05'00'

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED. THE
SIGNATURE MUST BE VERIFIED IN THE
ELECTRONIC DOCUMENTS.

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
P.O. BOX 3823
LAKE CITY, FL 32056
CERTIFICATE OF AUTHORIZATION: 29011
GREGORY G. BAILEY, P.E. NO. 43858

COVER SHEET



North Florida Professional Services, Inc.
P.O. BOX 3823
Lake City, FL 32025
Ph. 386-752-4675
Fax. 386-752-4674
P.O. BOX 180998
Tallahassee, FL 32318
Ph. 877-335-1525
Eng. Lic. 29011

JOB NUMBER: L190117LAP	REVISIONS:
DESIGNED BY: RD	DRAFTED BY: JC
ENGINEER OF RECORD: TH	CHECKED BY:
GREGORY G. BAILEY	
P.E. NO. 43858	

DATE: 01/2018
SHEET NO.

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO ENSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE TOWN OF FORT WHITE OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.

2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE ISSUED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION 102 SELF-CERTIFICATION, FLORIDA DEPARTMENT OF TRANSPORTATION DRIVEWAY CONNECTION PERMIT.

3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.

4. BOUNDARY INFORMATION SHOWN, WAS OBTAINED FROM A BOUNDARY SURVEY PREPARED BY GEOLINE SURVEYING INC., FLORIDA CERTIFICATE NO. 7082.

5. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.

6. THE SITE IS LOCATED IN SECTION 33, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.

7. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED. THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.

8. THE STORMWATER BASIN IS DESIGNED IN ACCORDANCE WITH SRWMD APPLICANT HANDBOOK VOLUME II AND 62-330 F.A.C.

9. ALL SLOPES OF THE STORMWATER BASIN SHALL BE GRASSED. ALL SLOPES STEEPER THAN 3:1 SHALL BE STAPLED SOD.

10. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.

11. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.

12. ALL UTILITY CONSTRUCTION SHALL MEET THE TOWN OF FORT WHITE WATER AND WASTEWATER UTILITY STANDARDS, AVAILABLE FROM TOWN HALL OR PUBLIC WORKS.

13. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF FORT WHITE LAND DEVELOPMENT REGULATIONS.

14. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE CONNECTION TO THE EXISTING UTILITIES. THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE CORING, WET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.

15. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.

16. CONTRACTOR SHALL PROVIDE ACTUAL INVERT ELEVATIONS ON ALL DRAINAGE STRUCTURES, INCLUDING CULVERTS, PRIOR TO PLACING ANY BASE MATERIAL. DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE ENGINEER BEFORE CONTINUING WORK.

17. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE F.D.O.T. STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION), AWWA SPECIFICATIONS, AND THE TOWN OF FORT WHITE DEVELOPMENT STANDARDS UNLESS OTHERWISE NOTED.

18. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING GRADING, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL TO A DEPTH OF 24" BELOW FINISHED GRADE WITHIN THE CONSTRUCTION LIMITS.

19. THE CONTRACTOR SHALL NOTIFY THE TOWN OF FORT WHITE AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.

20. THE CONTRACTOR SHALL SUBMIT A NOTICE OF CONSTRUCTION COMMENCEMENT TO THE WATER MANAGEMENT DISTRICT AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.

21. NO WORK SHALL BE PERFORMED ON SATURDAY OR SUNDAY WITHOUT WRITTEN NOTIFICATION TO THE TOWN AND THE TOWN ENGINEER.

22. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER 61G17 F.A.C. FOR THE STORMWATER MANAGEMENT SYSTEMS. INCLUDE HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. A COPY OF THE AS-BUILT SURVEY (IN PAPER AND DIGITAL AUTOCAD FORMAT) MUST BE SUBMITTED TO THE TOWN OF FORT WHITE, FLORIDA AND THE ENGINEER.

23. THE CONTRACTOR SHALL SUBMIT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTICE OF INTENT ALONG WITH SUPPORTING DOCUMENTATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMIT FEES.

24. IF DURING CONSTRUCTION OR OPERATION OF THE STORM WATER MANAGEMENT SYSTEM, A STRUCTURAL FAILURE IS OBSERVED THAT HAS THE POTENTIAL TO CAUSE THE DIRECT DISCHARGE OF SURFACE WATER INTO THE FLORIDAN AQUIFER SYSTEM, CORRECTIVE ACTIONS DESIGNED OR APPROVED BY A REGISTERED PROFESSIONAL SHALL BE TAKEN AS SOON AS PRACTICAL TO CORRECT THE FAILURE. A REPORT PREPARED BY A REGISTERED PROFESSIONAL MUST BE PROVIDED AS SOON AS PRACTICAL TO THE DEPARTMENT FOR REVIEW AND APPROVAL THAT PROVIDES REASONABLE ASSURANCE THAT THE BREACH WILL BE PERMANENTLY CORRECTED.

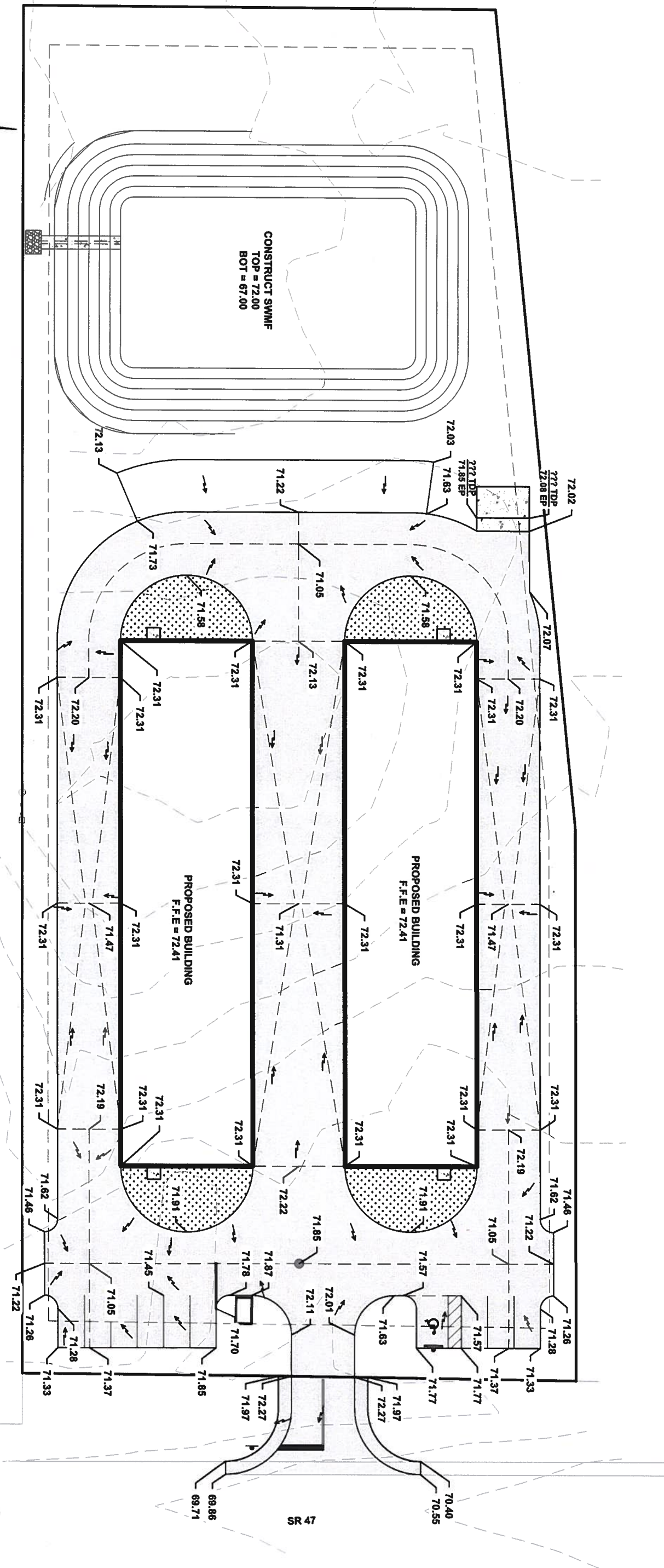
25. ALL CONCRETE SLABS ABUTTING EXTERIOR WALLS SHALL BE SOIL TREATED FOR TERMITES.

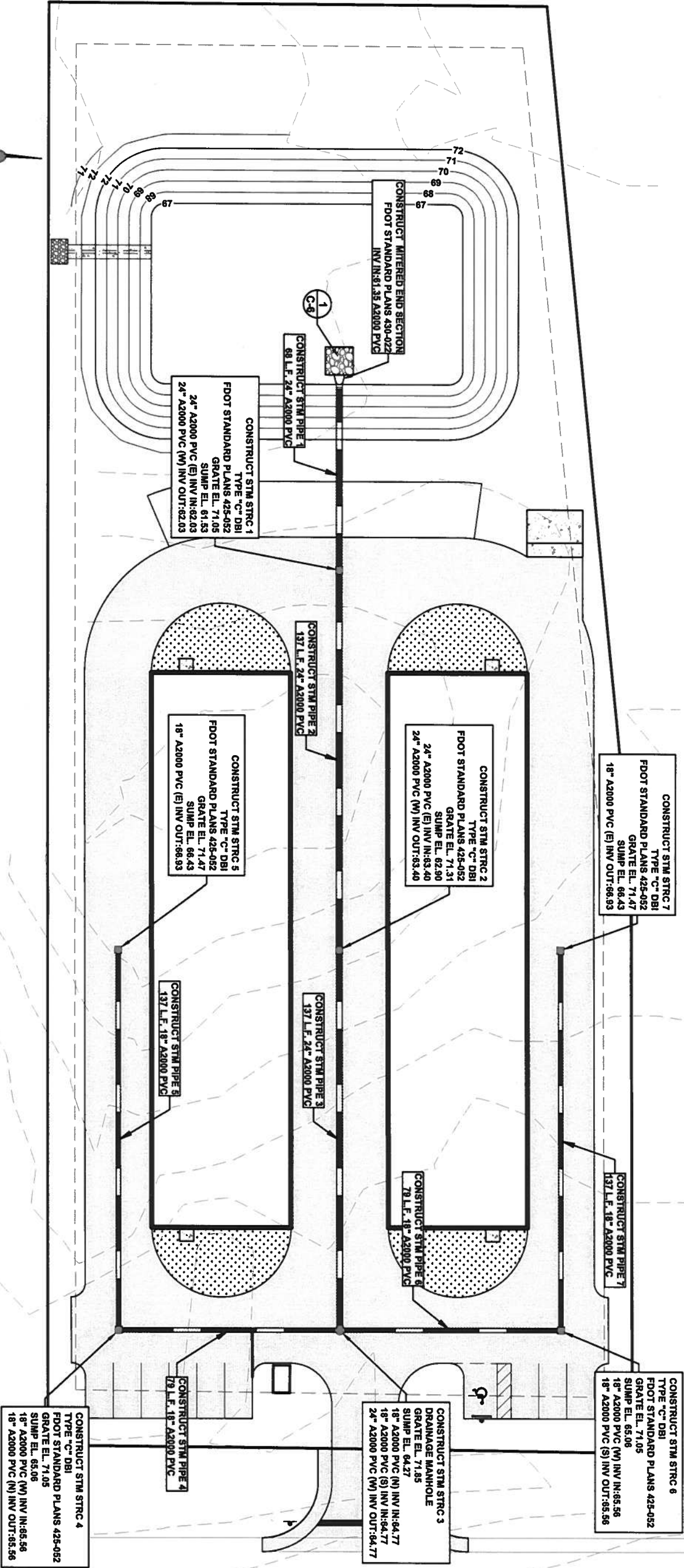
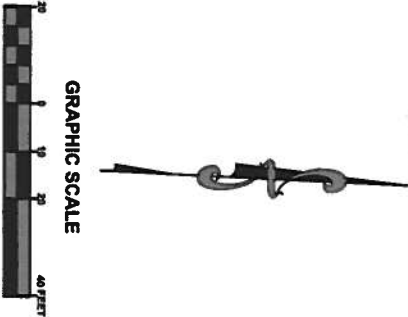
SITE DATA TABLE					
ACE SECURE STORAGE					
PARCEL ID NUMBER	00-00-00-14305-004				
ZONING	A				
LAND USE	A				
CITY COUNCIL DISTRICT NUMBER	4				
PHYSICAL ADDRESS	18072 SW SR 47 FORT WHITE, FLORIDA 32038				
PROJECT PROPERTY BOUNDARY		SF	ACRES	% OF SITE	
TOTAL PROPERTY BOUNDARY AREA		104532	2.40	100.00%	
PROJECT AREA / LIMITS OF CONSTRUCTION (LOC)		104532	2.40	100.00%	% OF LOC
BOTH ON-SITE & LOC		104532	2.40	100.00%	100.00%
EXISTING IMPERVIOUS AREA ON-SITE					
EXISTING ASPHALT PAVEMENT	0	0.00	0.00%	0.00%	0.00%
EXISTING CONCRETE	0	0.00	0.00%	0.00%	0.00%
EXISTING BUILDING	0	0.00	0.00%	0.00%	0.00%
EXISTING STORMWATER MANAGEMENT FACILITY	0	0.00	0.00%	0.00%	0.00%
TOTAL EXISTING IMPERVIOUS AREA	0	0.00	0.00%	0.00%	0.00%
PROPOSED IMPERVIOUS AREA					
EXISTING ASPHALT PAVEMENT TO REMAIN	0	0.00	0.00%	0.00%	0.00%
EXISTING CONCRETE TO REMAIN	0	0.00	0.00%	0.00%	0.00%
EXISTING BUILDING TO REMAIN	0	0.00	0.00%	0.00%	0.00%
EXISTING STORMWATER MANAGEMENT FACILITY TO REMAIN	0	0.00	0.00%	0.00%	0.00%
PROPOSED ASPHALT PAVEMENT	34822	0.80	33.31%	33.31%	
PROPOSED CONCRETE	590	0.01	0.56%	0.56%	
PROPOSED BUILDING	20000	0.46	19.13%	19.13%	
PROPOSED STORMWATER MANAGEMENT FACILITY	15423	0.35	14.75%	14.75%	
TOTAL PROPOSED IMPERVIOUS AREA (INCLUDING SWMF)	70835	1.63	67.76%	67.76%	
TOTAL PROPOSED PERVIOUS AREA	33697	0.77	32.24%	32.24%	
PROPOSED PARKING LANDSCAPE AREA	3828	0.09	3.66%	3.66%	
1 PER 1,000 SF @ 20,000 SF = (1 X 20 = 20) + (1 PER COMPANY VEHICLE @ 0 = (1 X 0 = 0) TOTAL = 20 + 1 ADA = 21 (INCLUDING 1 ADA SPACE) PLUS 2 MOTORCYCLE SPACE: 2 BICYCLE SPACES: 21 PARKING SPACES (INCLUDING 1 ADA SPACE)					
REQUIRED PARKING					
PROVIDED PARKING					

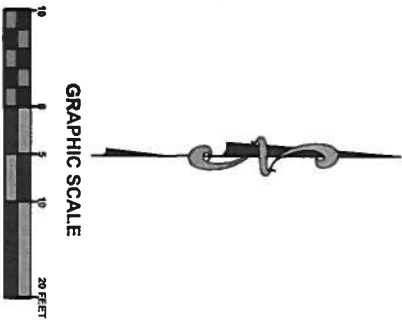
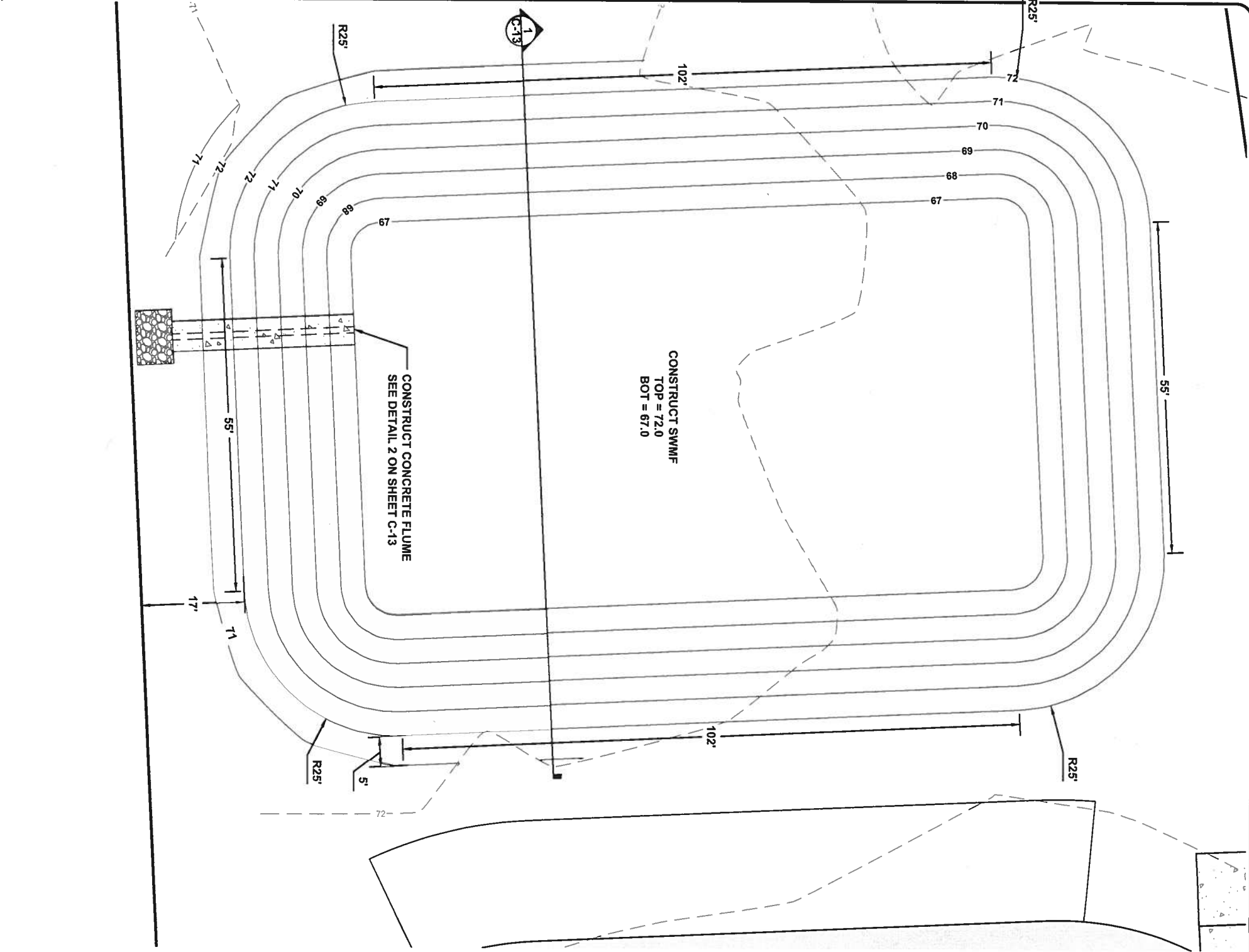


ABBREVIATION LEGEND

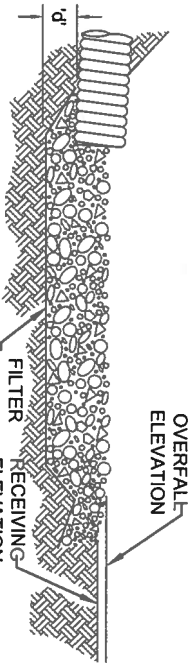
EP	EDGE OF PAVEMENT
TDP	TOP OF DUMPSTER PAD







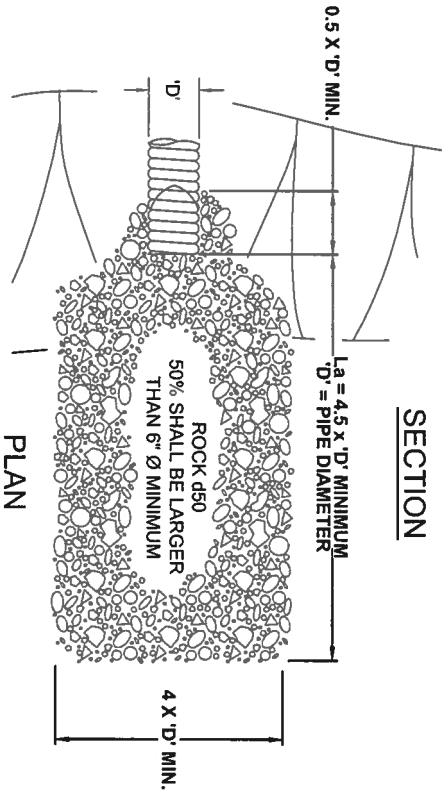
CRITICAL EVENT: 240 HR. - 100 YR.
CRITICAL EVENT STAGE: 71.05



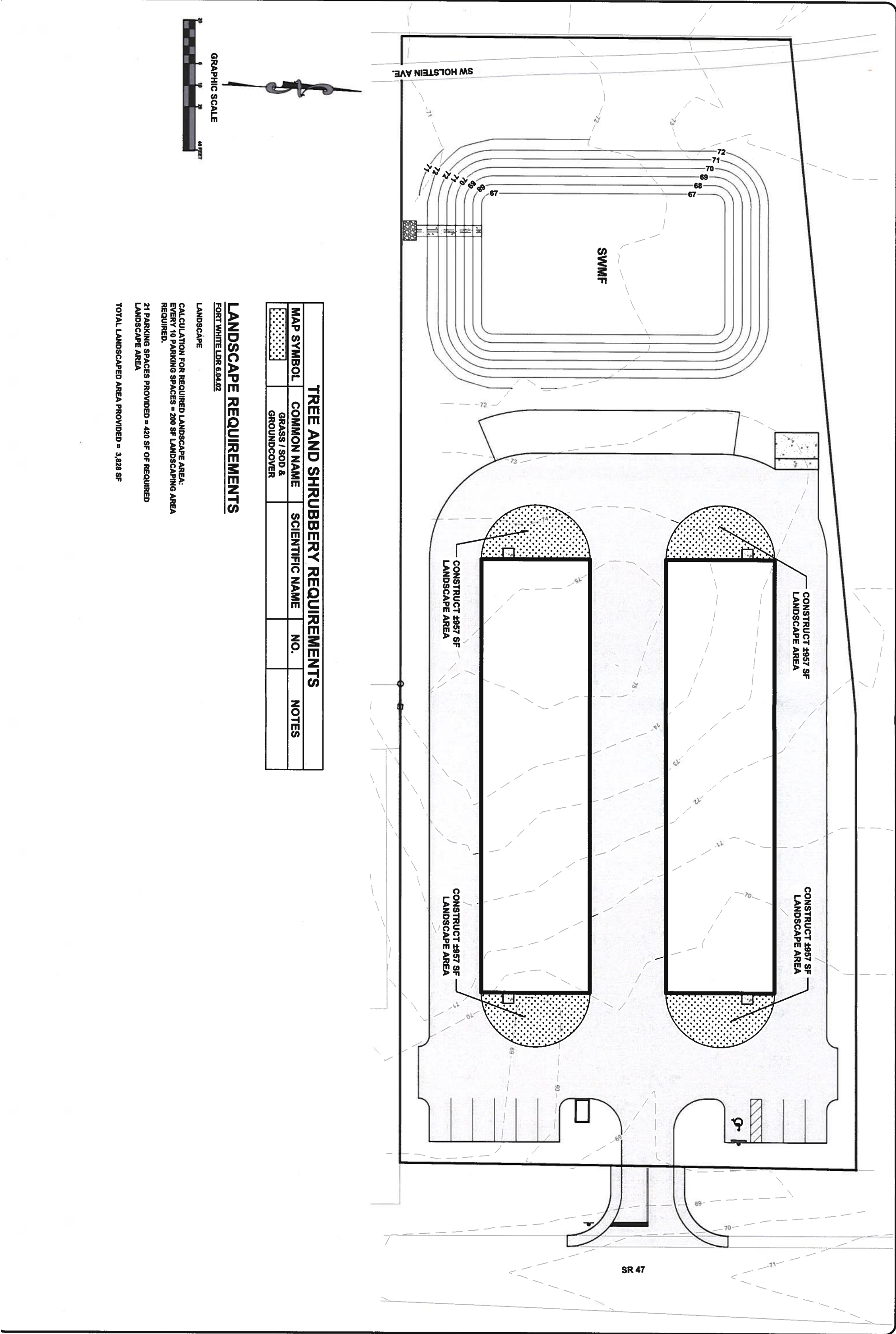
NOTES:

1. "La" = LENGTH OF APRON. DISTANCE "La" SHALL BE OF SUFFICIENT LENGTH TO DISSIPATE ENERGY.
2. APRON SHALL BE AT A ZERO GRADE AND ALIGNED STRAIGHT.
3. FILTER FABRIC SHALL EXTEND 6" PAST AGGREGATE LIMITS

SECTION



1 ENERGY DISSIPATER DETAIL
C-6 SCALE: N.T.S.



TREE AND SHRUBBERY REQUIREMENTS				
MAP SYMBOL	COMMON NAME	SCIENTIFIC NAME	NO.	NOTES
	GRASS / SOD & GROUND COVER			

LANDSCAPE REQUIREMENTS

FORT WHITE LDR 6.04.02

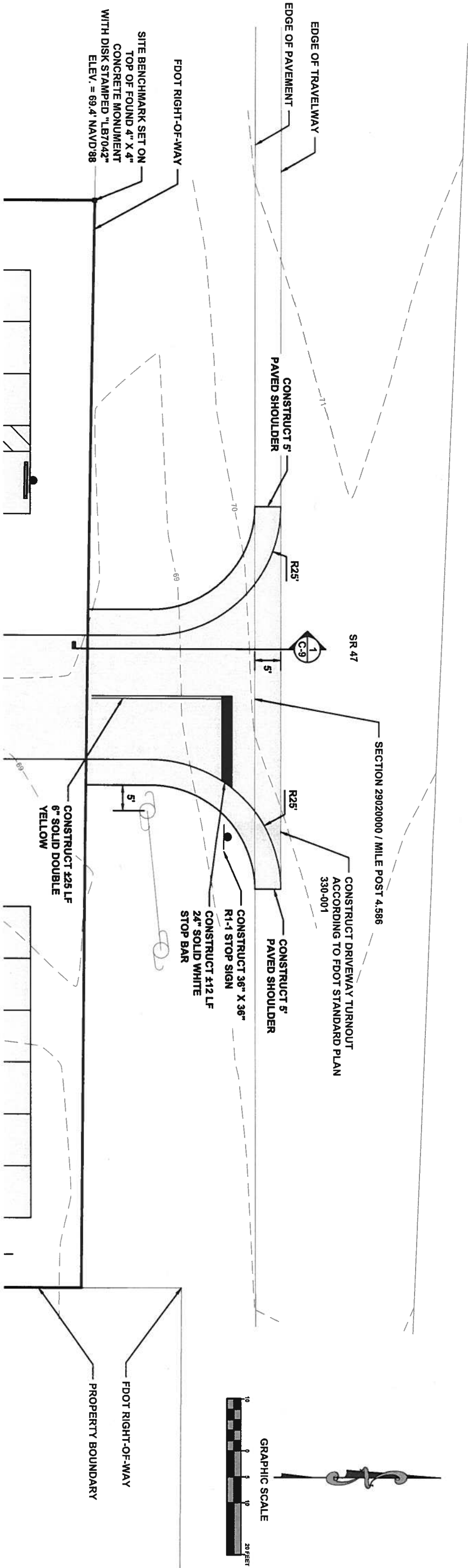
LANDSCAPE

CALCULATION FOR REQUIRED LANDSCAPE AREA:
EVERY 10 PARKING SPACES = 200 SF LANDSCAPING AREA
REQUIRED.

21 PARKING SPACES PROVIDED = 420 SF OF REQUIRED
LANDSCAPE AREA

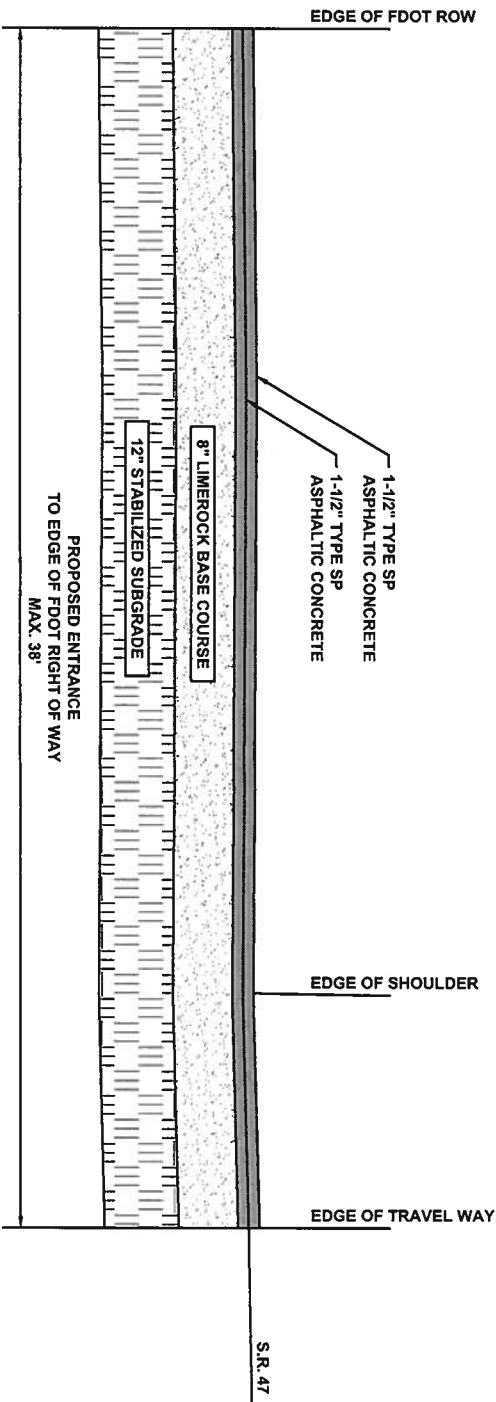
TOTAL LANDSCAPED AREA PROVIDED = 3,928 SF





FDOT CONNECTION NOTES:

1. THE EXISTING ASPHALT PAVED SHOULDER SHALL BE MECHANICALLY SAW CUT AND REMOVED AS WELL AS ALL PRE-EXISTING SUBGRADE MATERIALS WITHIN THE LIMITS OF THE PROJECT IMPROVEMENTS WORK ZONE OR AS MAY BE CALLED FOR UNDER THE STATE FDOT PERMIT.
2. ALL PERMITTED PAVEMENT STRIPING PERTAINING TO THIS ACCESS PERMIT SHALL REQUIRE CERTIFIED LEAD FREE, THERMOPLASTIC MARKING MATERIALS AS THE FINAL PLACEMENT ITEM. TEMPORARY TRAFFIC BEARING SHALL BE REQUIRED TO BE IN PLACE 30 MINS. BEFORE OFFICIAL SUNDOWN. BOTH TEMPORARY TRAFFIC BEARING PAINTS AND THERMOPLASTIC MARKING MATERIALS SHALL BE LEAD FREE AND SHALL MEET/OBTAIN FDOT MINIMUM SPECIFICATIONS FOR NIGHT REFLECTIVITY. TEMPORARY RPM'S SHALL BE INSTALLED DURING BOTH TEMPORARY AND PERMANENT STRIPING PHASES. REMOVAL OF EXISTING STRIPING SHALL BE MILLED TO A DEPTH OF 1".
3. FAILURE BY THE PERMITTEE AND/OR HIS/HER CONTRACTOR TO HAVE A CERTIFIED STRIPING CREW ON SITE BEFORE THE START OF PAVING CAN BE REASON TO SUSPEND THE APPROVED PERMIT UNTIL SUCH TIME AS THE PERMITTEE AND/OR HIS/HER CONTRACTOR CORRECTS THE SITUATION TO THE SATISFACTION OF THE ON-SITE STATE FDOT PERMITS PERSONNEL/INSPECTOR.
4. FOR MAINTENANCE OF TRAFFIC PLAN REFER TO FDOT STANDARD PLANS INDEX 102-602 AND 102-603.
5. 24 INCH STOP BARS TO BE PLACED AT ALL INTERSECTIONS IN ACCORDANCE WITH CURRENT EDITION FDOT STANDARD PLANS INDEX 711-001.



1 FDOT ACCESS CONNECTION PROFILE
C-9 SCALE: N.T.S.

JOB NUMBER: L190117LAP			
DESIGNED BY: DRAFTED BY: CHECKED BY:			
RD	JC	TH	
ENGINEER OF RECORD:			
GREGORY G. BAILEY			
P.E. NO.: 43858			

REVISIONS:

SR 47 DRIVEWAY CONNECTION PLAN
ACE SECURE STORAGE
FORT WHITE, FLORIDA

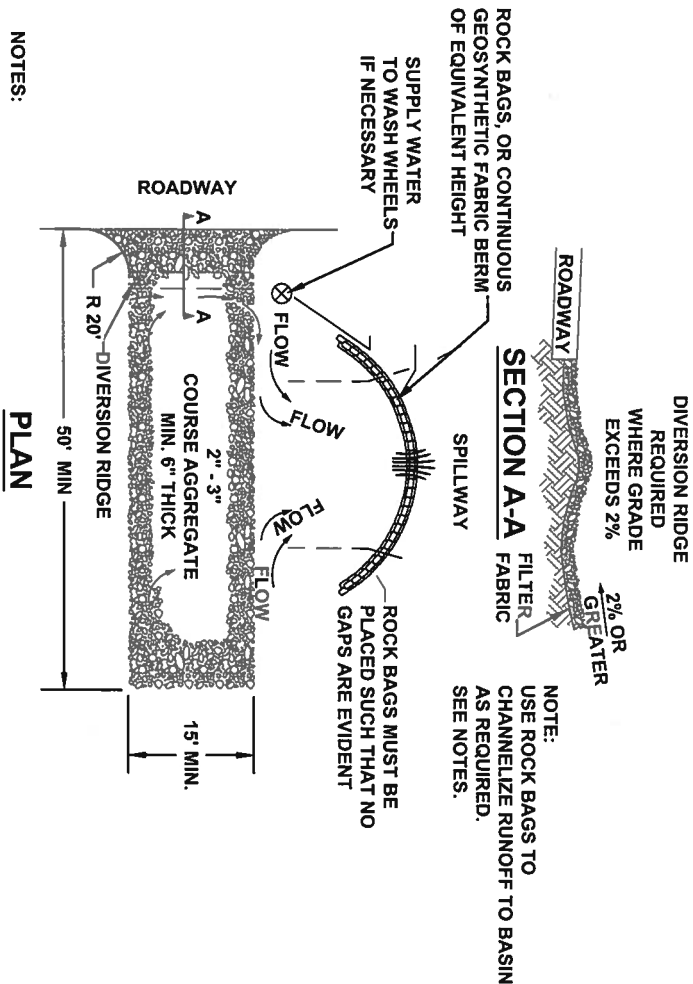


North Florida Professional Services, Inc.
P.O. BOX 3823
Lake City, FL 32025
Ph. 386-752-4675
Fax. 386-752-4674

P.O. BOX 180998
Tallahassee, FL 32318
Ph. 877-335-1525
Eng. Lic.29011

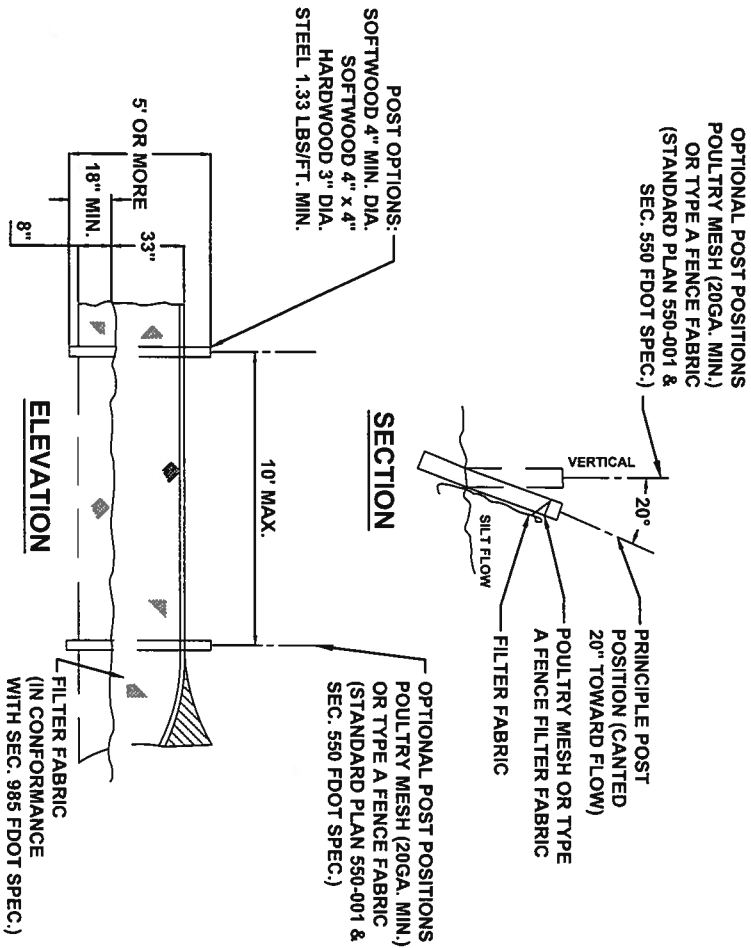
EROSION CONTROL NOTES

1. THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
2. THE CONTRACTOR SHALL ADHERE TO THE TOWN OF FORT WHITE, SRWMD, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP'S FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
3. THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. SEDIMENT AND EROSION CONTROL FACILITIES, STORM DRAINAGE FACILITIES AND DETENTION BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCHES OR GREATER, AND REPAIRED OR REPLACED AS NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
12. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF SYNTHETIC BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS. PERMIT REQUIRED FROM SRWMD HAS BEEN OBTAINED.
19. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5 INCHES OR GREATER.
20. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.



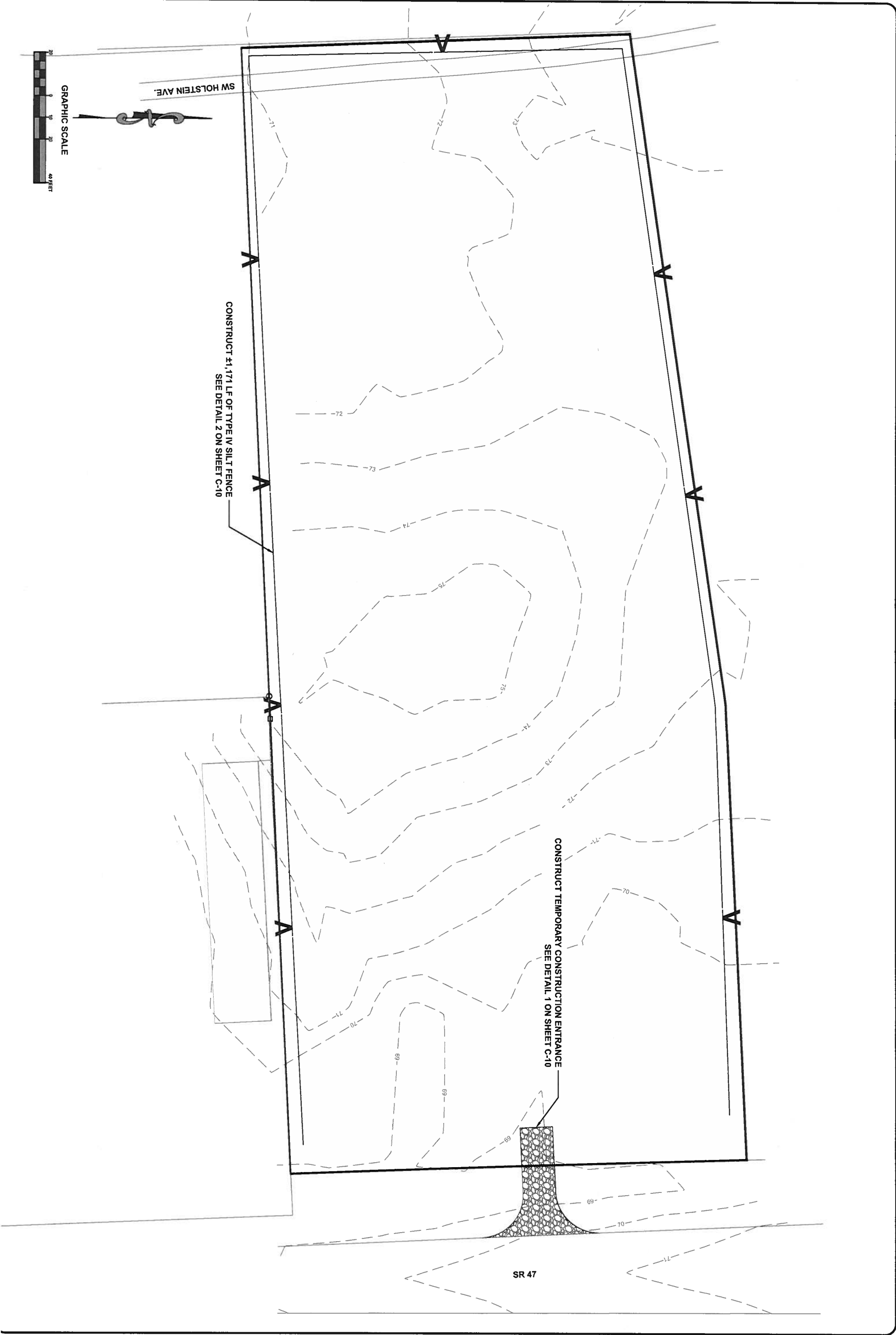
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- ROCK BAGS OR SANDBAGS SHALL BE PLACED SUCH THAT NO GAPS ARE EVIDENT.

1 TEMPORARY CONSTRUCTION ENTRANCE
C-10 SCALE: N.T.S.

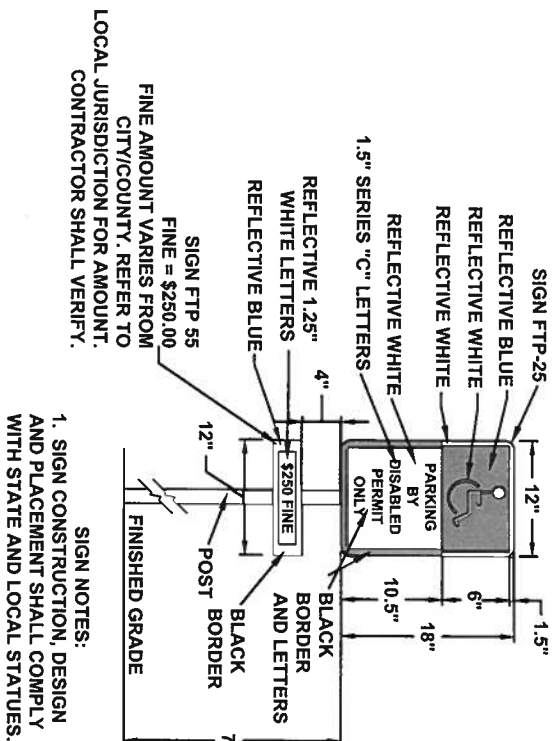


2 TYPE IV SILT FENCE

C-10/SCALE: N.T.S.

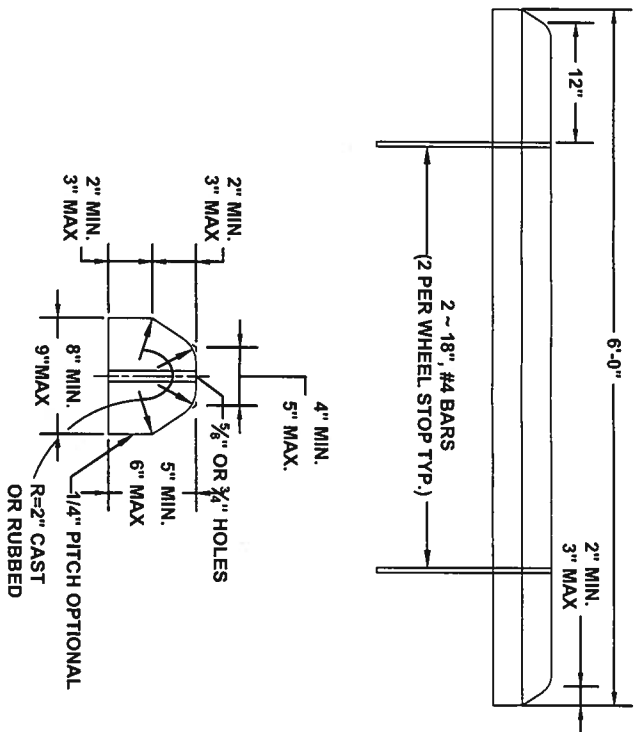


1 HANDICAP PARKING SIGN DETAIL
C-12/SCALE: N.T.S.

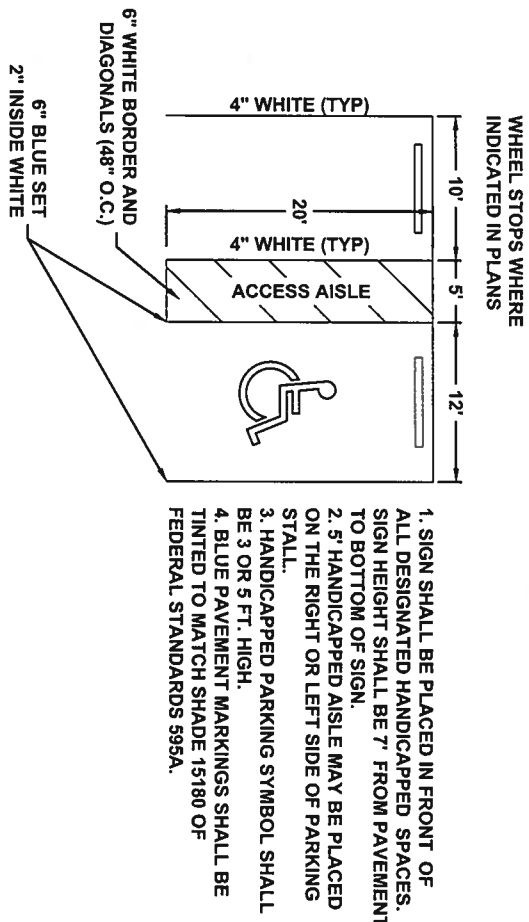


- SIGN NOTES:**
- 1. SIGN CONSTRUCTION, DESIGN AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUTES.**

2 WHEEL STOP DETAIL
C-12/SCALE: N.T.S.

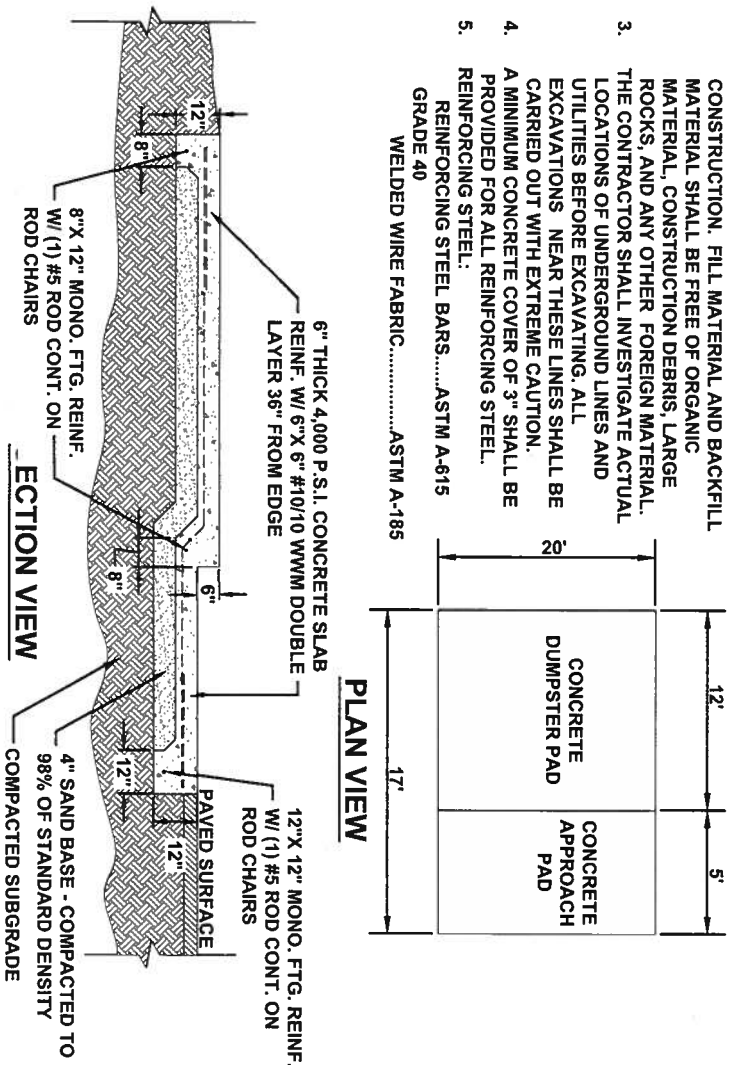


3 HANDICAP PARKING STALL DETAIL

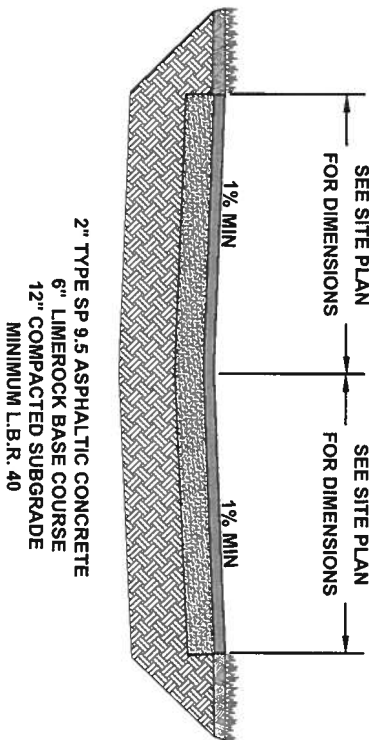


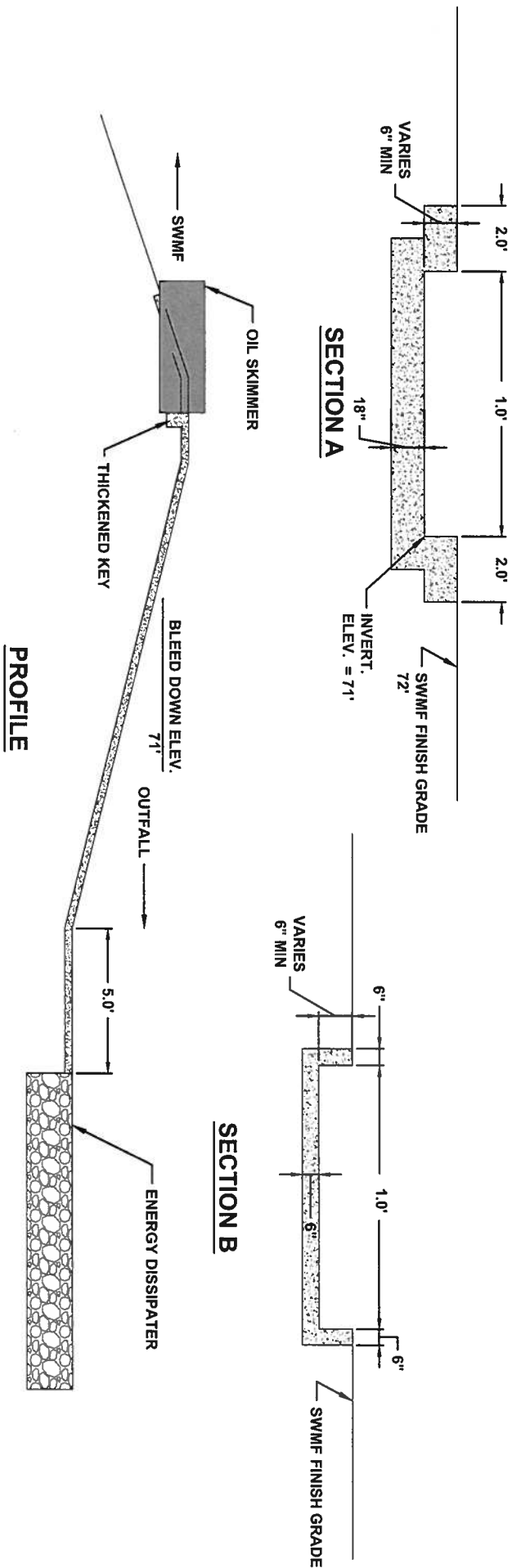
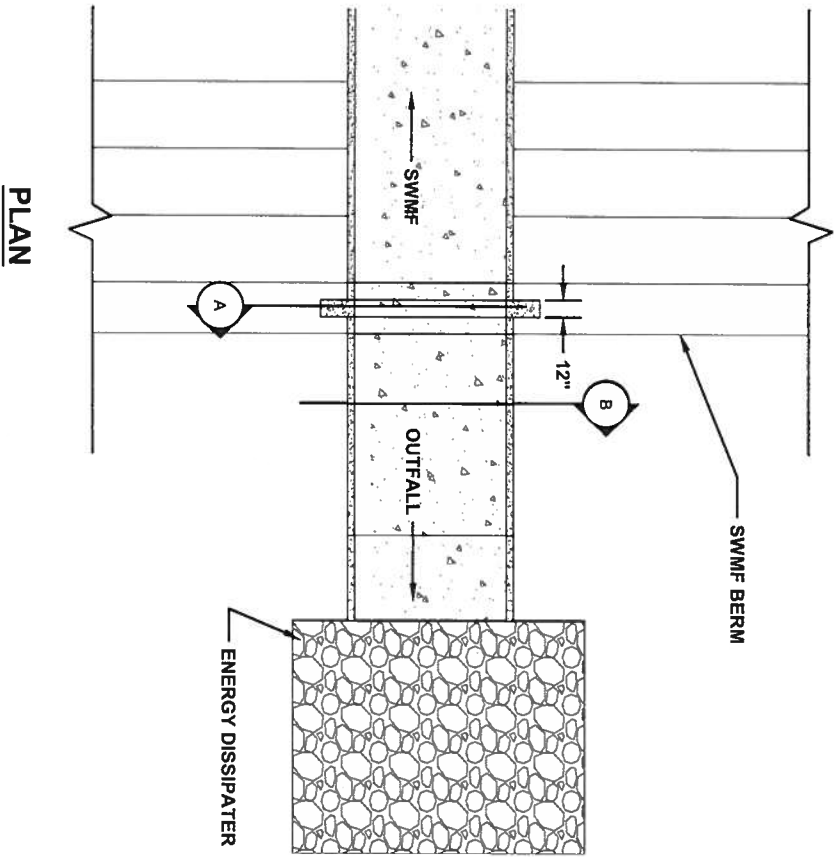
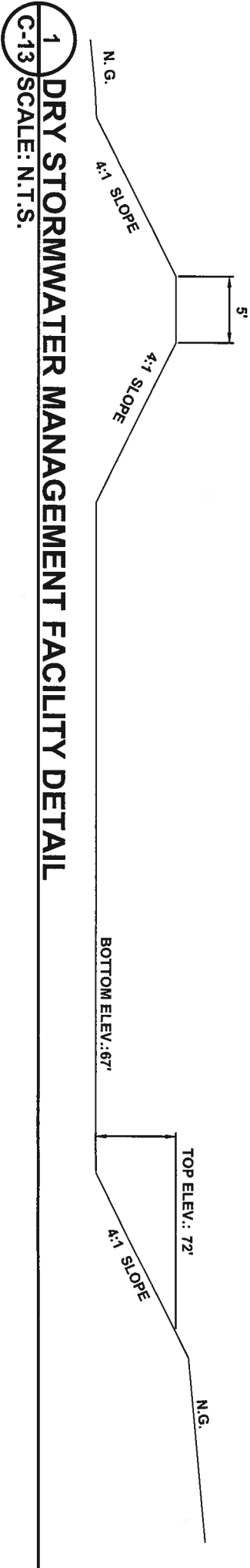
1. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
2. 5' HANDICAPPED AISLE MAY BE PLACED ON THE RIGHT OR LEFT SIDE OF PARKING STALL.
3. HANDICAPPED PARKING SYMBOL SHALL BE 3 OR 5 FT. HIGH.
4. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 395A.

4 DUMPSTER PAD DETAIL
C-12 SCALE: N.T.S.



5 PARKING APRON TYPICAL SECTION
C-12 SCALE: N.T.S.





PROPOSED TREES AND VEGETATION

BUFFER PLANTINGS - LDC Sec. 6.04.03

PROPOSED USE: INDUSTRIAL

SW BUFFER TYPE: RESIDENTIAL (10 FT WIDTH)	
SOUTHWEST BUFFER (310 LF)	
REQUIRED EVERY 100 FEET:	PROVIDED:
5 CANOPY TREES	16 CANOPY TREES
2 UNDERSTORY TREES	6 UNDERSTORY TREES
20 SHRUBS	62 SHRUBS
SE BUFFER TYPE: COMMERCIAL (10 FT WIDTH)	
SE EAST BUFFER (210 LF)	
NO BUFFER: SAME PROPERTY OWNER	
NORTH (AGRICULTURE - PLANTED PINE), EAST (SR 47), AND WEST(UTILITY) BUFFERS	
NO BUFFER REQUIRED PER FORT WHITE PLANNER	

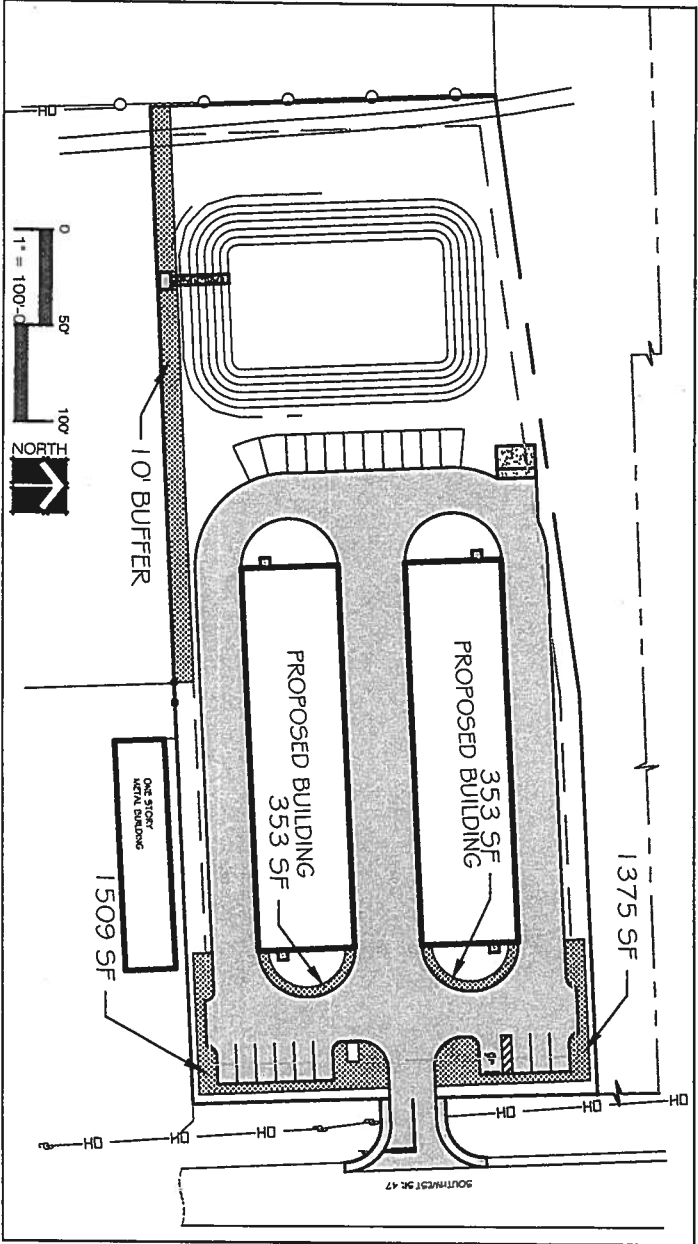
VEHICLE USE AREA - LDC Sec. 6.04.02

TOTAL IMPERVIOUS VEHICLE USE AREA: 34,822 SF
REQUIRED LANDSCAPE AREA: 34,822SF x 10% = 3,482.2 SF
OR BASED ON EQUIVALENT PARKING SPACES (EQPS): 34,822SF / 200SF/PS = 174 EQPS
200 SF LANDSCAPE/ 10 PS: 174 EQ PS x (200SF / 10 PS) = 3,482.2 SF)
VEHICLE USE AREA LANDSCAPE PROVIDED = 3,590 SF

LANDSCAPE REQUIRED:
1 CANOPY TREE PER 300 SF (5 TREES PER 1500 SF): 3482 SF/300 SF = 11.6 = 12 TREES
1 SHRUB PER 125 SF (12 SHRUBS PER 1500 SF): 3482 SF/125 SF = 27.9 = 28 SHRUBS
GROUNDCOVERS (NOT SOD OR TURF GRASSES)
FLOWERING PLANTS

LANDSCAPE PROVIDED:
CANOPY TREES: 12 TREES
UNDERSTORY TREE: 1 TREE
SHRUBS: 70 SHRUBS
GROUNDCOVERS: 107 GROUNDCOVERS
FLOWERING PLANTS: 10 SHRUBS

PLANTING AREAS REQUIRED



LANDSCAPE NOTES - GENERAL

GENERAL

CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND EXISTING TREES AND VEGETATION PRIOR TO THE COMMENCEMENT OF THE LANDSCAPE WORK.

IF QUANTITIES DIFFER BETWEEN PLAN AND SCHEDULE, THOSE ON THE PLAN SHALL GOVERN.

PREPARATION

REMOVE ALL CONSTRUCTION DEBRIS, LIMESTONE, CONCRETE, MORTAR, EXISTING WEEDS AND GRASSES, AND ANY OTHER FOREIGN MATERIALS FROM PLANTING AREAS TO A DEPTH OF THREE (3) FEET.

REQUIRED FILL FOR PLANTING AREAS SHALL BE FREE OF WEED SEEDS, AND WITH A PH OF 5.5 – 6.5.

TREE INSTALLATION

ALL TREES AND SHRUBS SHALL BE OF THE SIZES AS CALLED FOR IN THE LANDSCAPE MATERIAL SCHEDULE. ANY MATERIALS AS DETERMINED BY THE LANDSCAPE ARCHITECT AS NOT MEETING THE SIZES AND QUALITY AS CALLED FOR SHALL BE REMOVED FROM THE SITE. TREES SHALL BE STAKED AS NEEDED.

ALL PROPOSED TREES TO MAINTAIN A MINIMUM 7.5 FOOT SEPARATION FROM UNDERGROUND UTILITY LINES.

ALL TREES IN SOD AREAS TO BE PROTECTED FROM MOWERS AND STRING TRIMMERS BY:

- a. A FOUR (4) FOOT MINIMUM MULCH RING AROUND THE TRUNK BASE.
- b. A TEN (10) INCH PLASTIC PROTECTOR (CORRUGATED DRAIN PIPE) AROUND THE TRUNK BASE.

TREES SHALL BE PLANTED SO THAT THE TRUNK FLARE IS EXPOSED; THE TOPMOST ROOT SHOULD BE 1 TO 2 INCHES ABOVE THE SURROUNDING GRADE.

TREES TO BE STAKED IF DEEMED NECESSARY. IF STAKED, GUYING TO BE A BIO-DEGRADABLE MATERIAL. STAKING TO BE REMOVED WITHIN ONE YEAR OF INSTALLATION.

WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATER AND IRRIGATION FUNCTIONING ADEQUATELY AT THE TIME OF PLANTING.

WARRANTY PERIOD

CONTRACTOR RESPONSIBLE FOR THE SURVIVAL OF ALL PLANTING MATERIAL FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION OF THE LANDSCAPE INSTALLATION.

GRASSING

ALL DISTURBED UNPAVED AREAS SHALL BE GRASSED, MULCHED OR PLANTED. AREAS TO BE TURF GRASS SHALL BE GRADED SMOOTH AND EITHER GRASSED WITH SOD THAT IS CERTIFIED FREE OF NOXIOUS WEEDS OR SEEDING BY A HYDRO-SEED PROCESS OR SEEDING WITH A STRAW MULCH COVER.

MULCHING

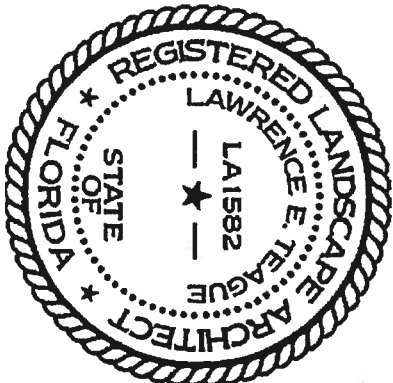
MULCH ALL LANDSCAPE AREAS WITH A THREE (3) INCH MINIMUM LAYER OF PINE BARK MULCH EXCEPT IN THE RETENTION AREAS WHERE PINE STRAW IS REQUIRED.

PLANT MATERIAL

ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER, GRADED IN ACCORDANCE WITH FLORIDA DIVISION OF PLANT INDUSTRY'S GRADES AND STANDARDS FOR NURSERY PLANTS.

IRRIGATION FOR ESTABLISHMENT

AUTOMATIC IRRIGATION WILL BE INSTALLED FOR THE ESTABLISHMENT OF ALL LANDSCAPE PLANT MATERIAL. BUBBLERS WILL BE PROVIDED FOR THE ESTABLISHMENT OF EACH TREE. DRIPLINES WILL BE UTILIZED TO IRRIGATE SHRUBS FOR THE DURATION OF THE ESTABLISHMENT PERIOD.



THIS DOCUMENT HAS BEEN DIGITALLY
SIGNED AND SEALED BY:

Lawrence

Teague

Digitally signed by Lawrence
Teague
Date: 2020.02.10 11:38:41
-05'00'

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ON THE ELECTRONIC DOCUMENTS.

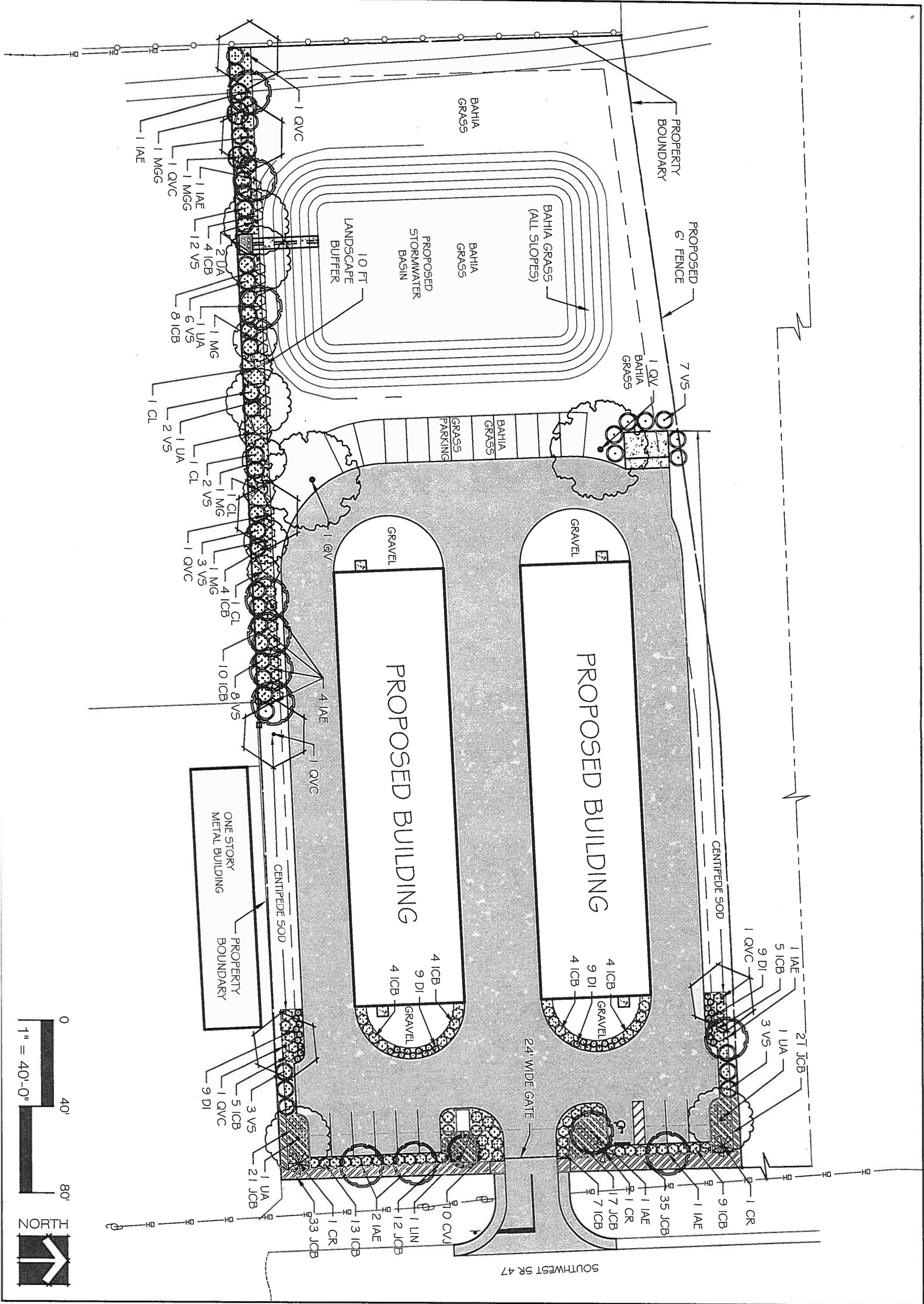
ZAMIA DESIGN CORPORATION
3459 NW 13TH AVENUE
GAINESVILLE, FL 32605
CERTIFICATE OF AUTHORIZATION NO. LC26000252
LAWRENCE E. TEAGUE, R.L.A. NO. LA0001582


LANDSCAPE NOTES
& CALCULATIONS

ACE SECURE STORAGE
FORT WHITE, FLORIDA



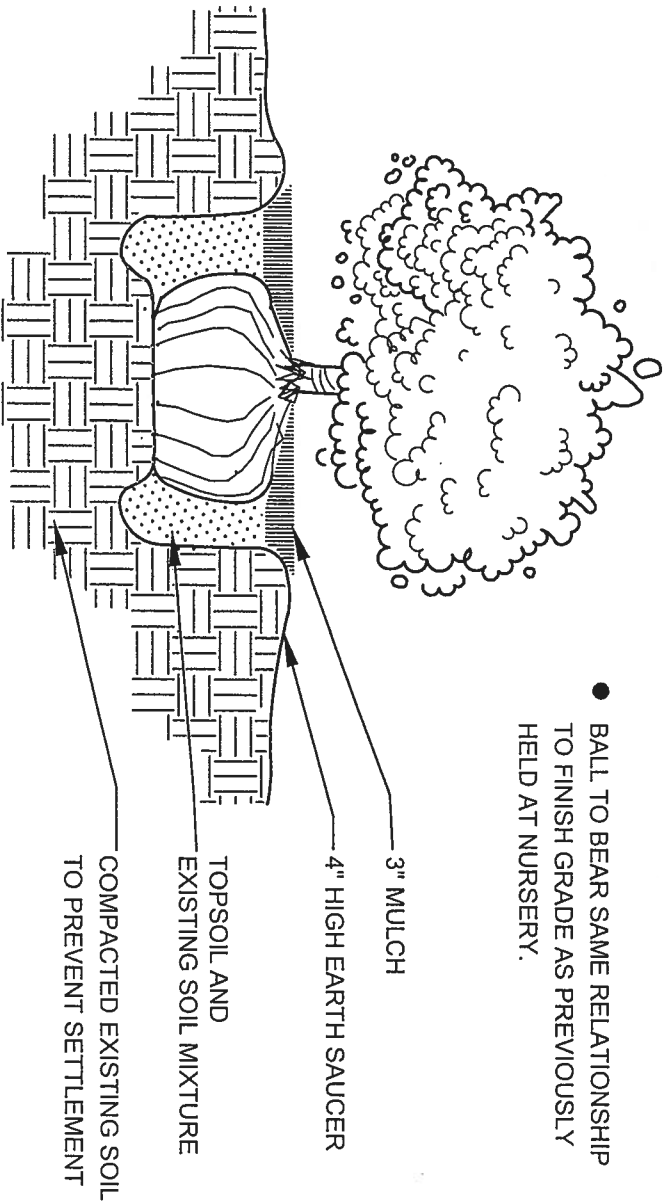
3459 NW 13th Avenue
Gainesville, FL 32605
Phone 352-373-8220
LC 26000252



<div> <div>LS-2</div> <div>20002.1</div> <div>FEB 10, 2020</div> <div> <div> <div>ALZ</div> <div>LET</div> </div> <div> <div>DRAMA BY: LA0001582</div> <div>CHECKED BY:</div> </div> </div> </div>	<div>LANDSCAPE PLAN</div>	<div>ACE SECURE STORAGE</div> <div>FORT WHITE, FLORIDA</div>	<div> <div>  <div> <div>ZAMIA</div> <div>DESIGN</div> </div> </div> <div>LANDSCAPE ARCHITECTURE</div> </div> <div> <div>3459 NW 13th Avenue</div> <div>Gainesville, FL 32605</div> <div>Phone 352-373-8220</div> <div>LC 26000252</div> </div>
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PLANT MATERIAL SCHEDULE

				MINIMUM CONTAINER	HT X WIDTH (Caliper)	SPACING	FLA NATIVE	DROUGHT TOLERANCE
SYM	QTY	BOTANICAL NAME	COMMON NAME					
CANOPY TREES								
IAE	12	Ilex x attenuata 'East Palatka'	East Palatka Holly	15 Gal	6-8' x 3' (1.5" cal)	As Shown	Y	H
MG	3	Magnolia grandiflora	Southern Magnolia	15 Gal	6-8' x 3' (1.5" cal)	As Shown	Y	M
QV	2	Quercus virginiana	Live Oak	15 Gal	6-8' x 3' (1.5" cal)	As Shown	Y	H
QVC	6	Quercus virginiana 'Cathedral'	Cathedral Live Oak	15 Gal	6-8' x 3' (1.5" cal)	As Shown	Y	H
UA	5	Ulmus alata	Winged Elm	15 Gal	6-8' x 3' (1.5" cal)	As Shown	Y	H
UNDERSTORY TREES								
CL	4	Cupressocyparis leylandii	Leyland Cypress	15 Gal	6-8' x 3' (1.5" cal)	As Shown	no	H
LIN	1	Lagerstroemia indica x lauriei 'Natchez'	Natchez Grape Myrtle	15 Gal	6-8' x 3' (1.5" cal)	As Shown	no	H
MGG	2	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	15 Gal	6-8' x 3' (1.5" cal)	As Shown	Y	M
SHRUBS								
CR	3	Cycas revoluta	Sago palm	3 Gal	18" x 18"	As Shown	no	0
CVJ	10	Callistemon viminalis 'Little John'	Dwarf Bottle Brush	3 Gal	18" x 20"	4' O.C	no	H
ICB	81	Ilex cornuta 'Burfordii' Nana'	Dwarf Burford Holly	3 Gal	18" x 20"	4' O.C	no	M
LJ	4	Ligustrum japonicum	Japanese Privet	7 Gal	30" x 24"	As Shown	no	M
VS	46	Viburnum suspensum	Sadankwa Viburnum	3 Gal	18" x 20"	As Shown	Y	0
GROUNDCOVERS								
DI	36	Dietes bicolor	African Iris - yellow	1 Gal	Full	3' O.C.	no	H
JCB	139	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	1 Gal	Full	4' O.C.	no	H
TURF								
Eriemochloa ophiuroides			Centipede					
Paspalum notatum 'Argentine'			Argentine Bahia					
MULCH								
Pine Bark mulch to be placed in all planting areas to a depth of 3 inches.								

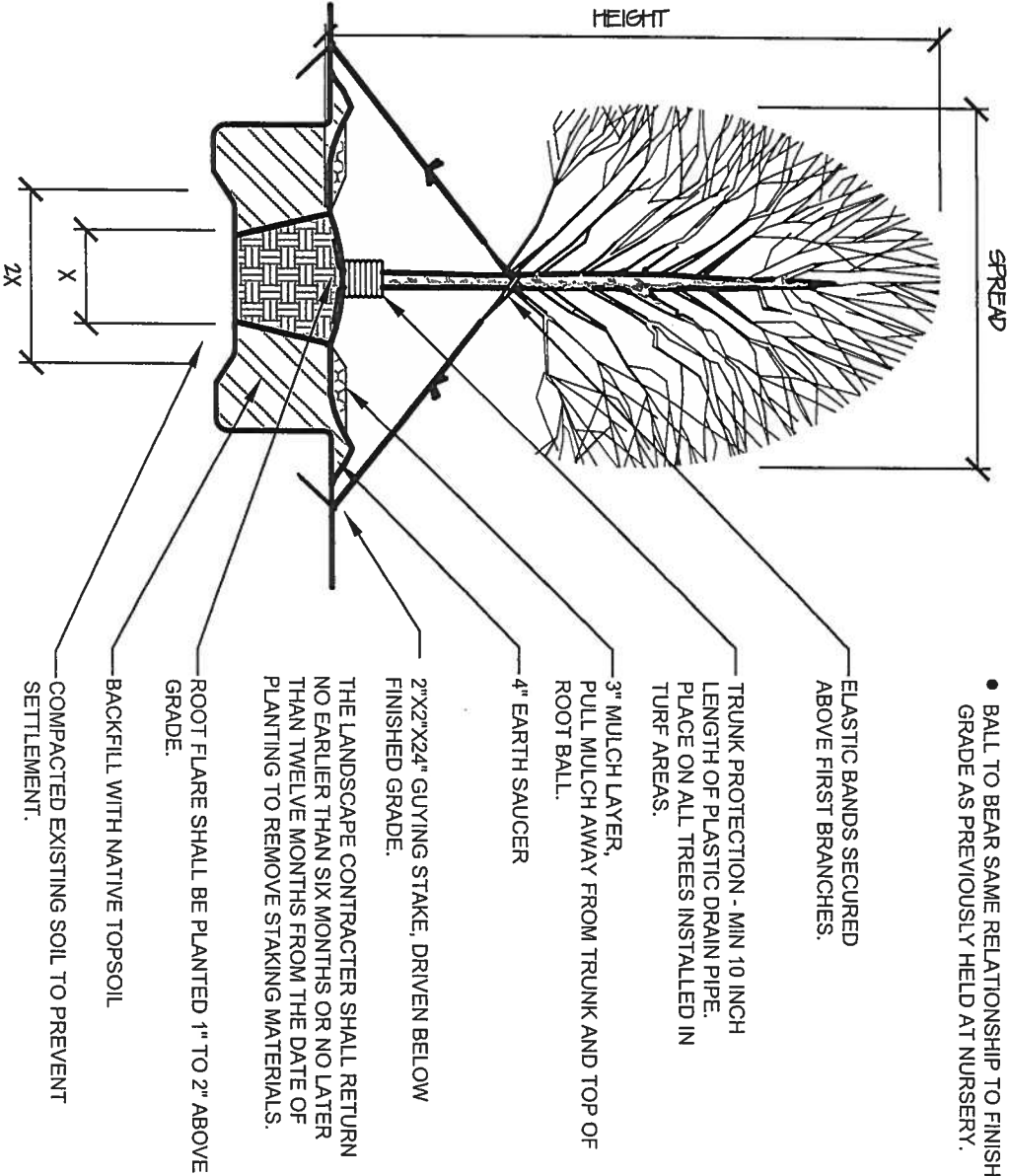
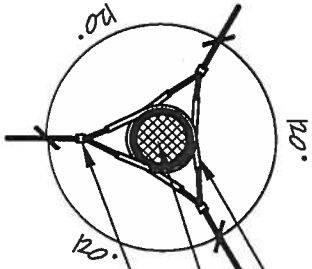


SCALE FACTOR 12

1

SHRUB PLANTING DETAIL

SCALE: NTS



SCALE FACTOR 12

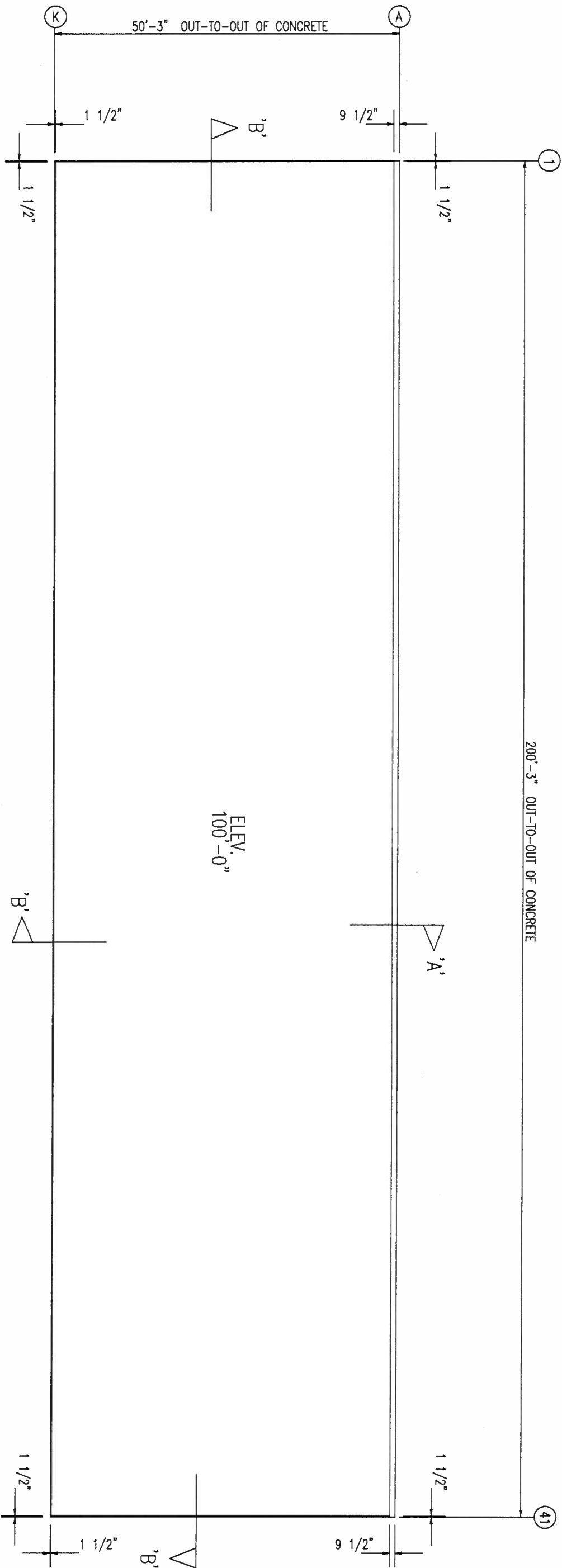
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NTS

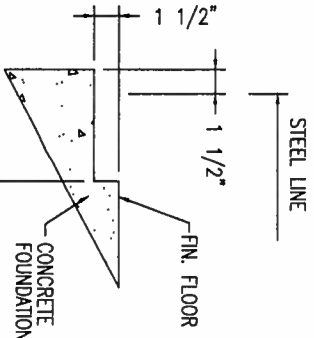
TREE PLANTING DETAIL

1. THE ANCHOR BOLT MANUFACTURER'S PUBLISHED DATA REQUIRES A MINIMUM CONCRETE THICKNESS OF 6 INCHES AT LOCATIONS WHERE ANCHORS ARE INSTALLED. THE FOUNDATION DESIGN AND SLAB THICKNESS IS TO BE DETERMINED BY OTHERS AND IS NOT IN THE SCOPE OF HERITAGE BUILDING SYSTEMS' WORK.

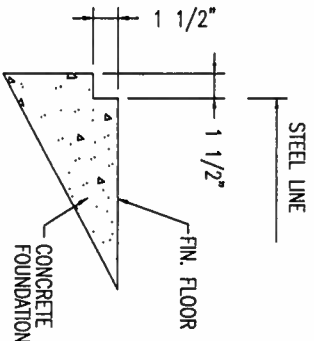
2. WEDGE ANCHOR DESIGN FOR CONCRETE PULLOUT IS BASED ON A 3000 PSI 28-DAY STRENGTH CONCRETE.



ANCHOR PLAN



SECTION "A"



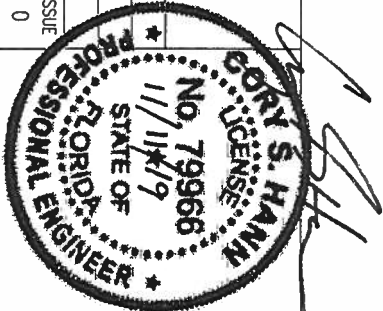
SECTION "B"

HERITAGE
BUILDING SYSTEMS
Established 1979

2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE BUILDING SYSTEMS <i>Established 1979</i>										2612 GRIBBLE STREET NORTH LITTLE ROCK, AR 72114 1-800-643-5555	
PROJECT: Limited Access Properties INC											
CUSTOMER: Paul Barco								OWNER:			
LOCATION: Fort White, FL 32038											
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE				
SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825	F1	0				



BRACING REACTIONS, PANEL SHEAR

Loc	Well--	Line	Col	± Reactions (k)		Panel Shear (lb/ft)
				--Wind-- Horz	--Seismic-- Vert	
Long	E	17				17
F_SW	K	8				8
L_EW	1	7				7
Tran	3	14				14
Tran	5	14				14
Tran	7	14				14
Tran	9	14				14
Tran	11	14				14
Tran	13	14				14
Tran	15	14				14
Tran	17	14				14
Tran	19	14				14
Tran	21	14				14
Tran	23	14				14
Tran	25	14				14
Tran	27	14				14
Tran	29	14				14
Tran	31	14				14
Tran	33	14				14
Tran	35	14				14
Tran	37	14				14
Tran	39	14				14
R_EW	41	7				7

NOTES FOR REACTIONS

1. All loading conditions are examined and only maximum/minimum H or V and the corresponding H or V are reported.
2. Positive reactions are as shown in the sketch. Foundation loads are in opposite directions.
3. Bracing reactions are in the plane of the brace with the H pointing away from the braced bay. The vertical reaction is downward.
4. Building reactions are based on the following building data:

Width (ft)	=	50.0
Length (ft)	=	200.0
Eave Height (ft)	=	9.5/ 9.5
Roof Slope (rise/12)	=	0.5/ 0.5
Dead Load (psf)	=	2.0
Collateral Load (psf)	=	3.0
Live Load (psf)	=	20.0
Wind Speed (mph)	=	115.0
Wind Code	=	2017 Florida Building Code 6th Edition
Exposure	=	C
Closed/Open	=	C
Importance Wind	=	1.00
Importance Seismic	=	1.00
Seismic Zone	=	B
Seismic Coeff (F _a S _s)	=	0.15

5. Loading conditions are:

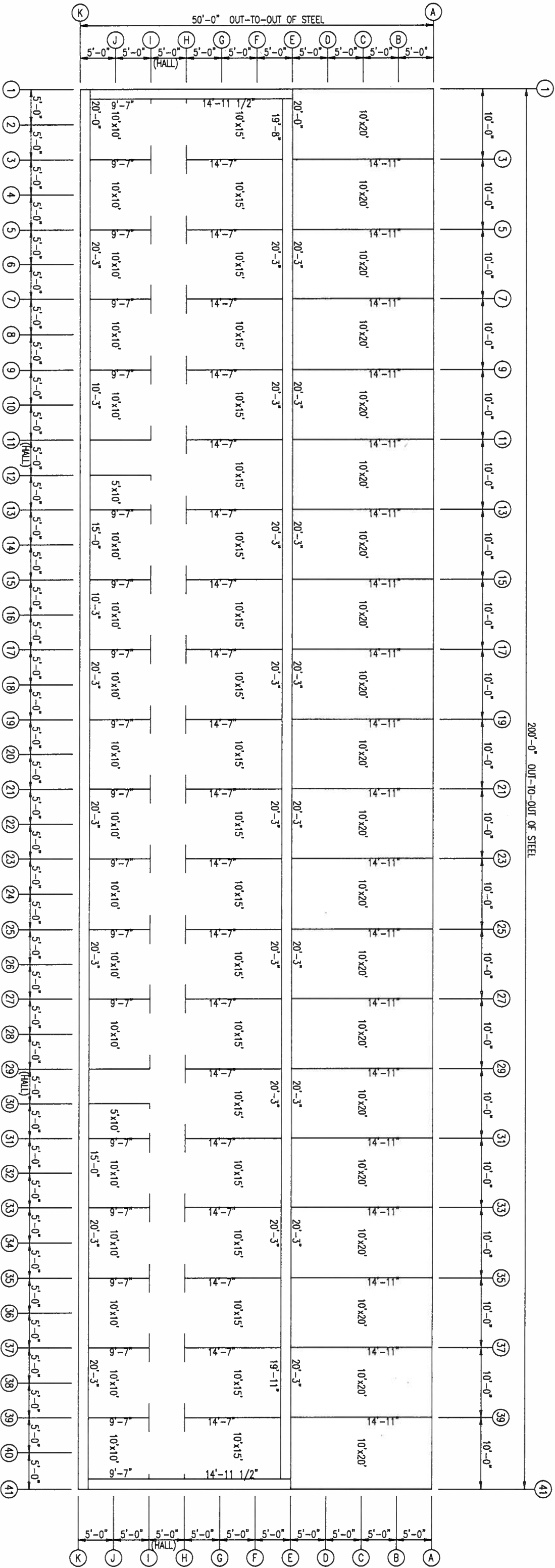
- 1 0.60DL+0.60WR2+0.60WS
- 2 DL+CL+0.60WP
- 3 DL+CL+LL
- 4 0.60DL+0.60WL1+0.60WS
- 5 DL+CL+0.75SL+0.45WL1+0.45WR2+0.45WS
- 6 DL+CL+0.75SL+0.45WR1+0.45WS
- 7 0.60DL+0.60WS
- 8 0.60DL+0.60WP
- 9 0.60DL+0.60WL2+0.60WS

WALL COLUMN:

MAXIMUM REACTIONS

Column Reactions (k)									
Frm Line	Col Line	Load Id	Hmax H	Vmax V	Load Id	Hmin H	Vmin V		
1	A	1	0.0	-0.1	2	0.0	-0.1		
		3	0.0	0.3	4	0.0	-0.2		
1	K	1	0.2	0.0	2	-0.2	0.0		
		3	0.0	0.2	4	0.2	-0.1		
41	K	1	0.2	0.0	2	-0.2	0.0		
		3	0.0	0.2	4	0.2	-0.1		
41	A	1	0.0	-0.1	2	0.0	-0.1		
		3	0.0	0.3	4	0.0	-0.2		
1	B-J	1	0.4	-0.2	2	-0.4	-0.2		
		3	0.0	0.7	6	0.3	-0.4		
2-40	K	7	0.4	-0.1	2	-0.3	-0.1		
		3	0.0	0.3	4	0.4	-0.2		
41	B-J	1	0.4	-0.2	2	-0.4	-0.2		
		3	0.0	0.7	6	0.3	-0.4		
3-39	A	3	0.0	0.7	4	0.0	-0.4		
		3	0.0	0.0	4	0.0	-0.4		
2-40	B-J	1	0.1	-0.9	8	-0.1	-0.9		
		3	0.0	1.9	6	0.1	-1.4		

[illegible]



UNIT LAYOUT

ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

PROJECT: Limited Access Properties LLC

CUSTOMER: Paul Barco

LOCATION: Fort White, FL 32038

DATE: 10/29/19

SCALE: N.T.S.

PHASE: 01/02

BUILDING ID: A/B

JOB NUMBER: 17-B-34825

SHEET NUMBER: E1

ISSUE: 0

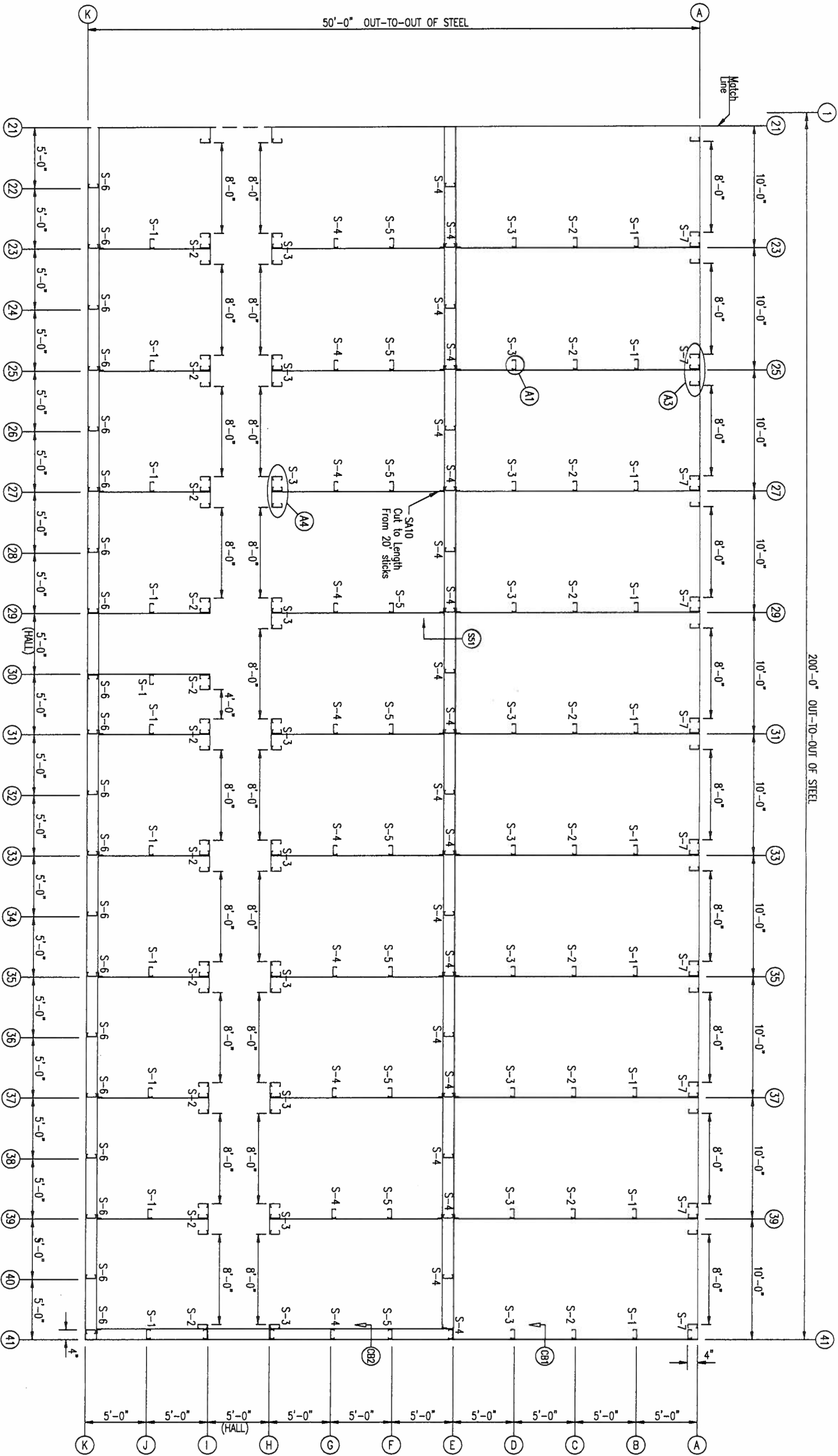
HERITAGE
BUILDING SYSTEMS
Established 1979

2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5595

JOSEPH S. HAMM
FLORIDA
PROFESSIONAL ENGINEER
No. 79966
11/11/19

STATE OF

MEMBER TABLE			
MARK	PART	LENGTH	
S-1	4X2C16	9'-8"	
S-2	4X2C16	9'-10 1/2"	
S-3	4X2C16	10'-1"	
S-4	4X2C16	10'-3 1/2"	
S-5	4X2C16	10'-5 1/2"	
S-6	4X2C16	9'-5 3/4"	
S-7	4X2C16	9'-7 1/4"	



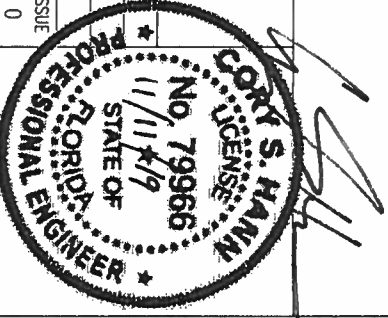
FLOOR PLAN

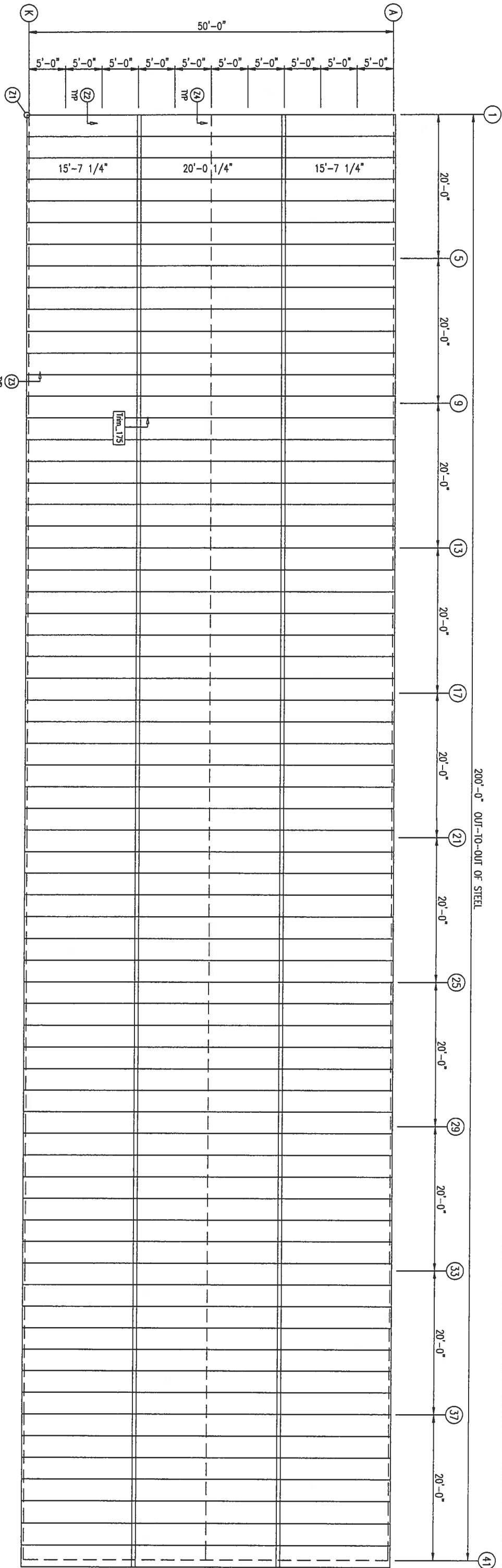
ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH
PROJECT: United Access Properties INC					
CUSTOMER: Paul Barcio					
LOCATION: Fort White, FL 32038					
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER
SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825
SHEET NUMBER					ISSUE
E3					0

HERITAGE
BUILDINGSYSTEMS
Established 1979

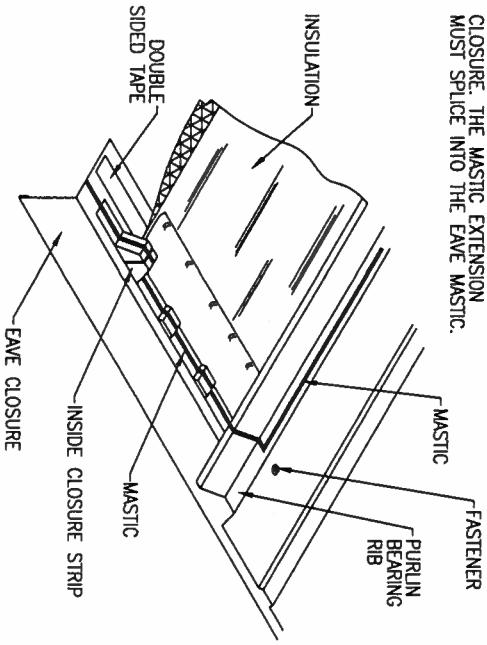
2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.



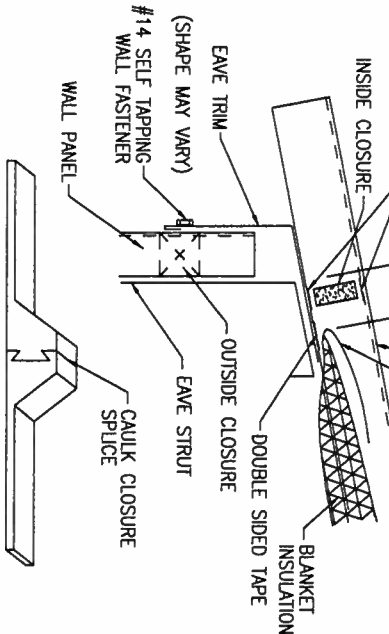


MASTIC LOCATION AT THE EAVE IS CRITICAL TO INSURE A WEATHER TIGHT SEAL. THE SIDELAP MASTIC MUST EXTEND DOWN FROM THE TOP OF THE RIB TO THE MASTIC ON THE EAVE CLOSURE. THE MASTIC EXTENSION MUST SPLICE INTO THE EAVE MASTIC.



SEALING THE EAVE

ALLOW ROOM TO INSTALL MASTIC AND CLOSURE STRIP

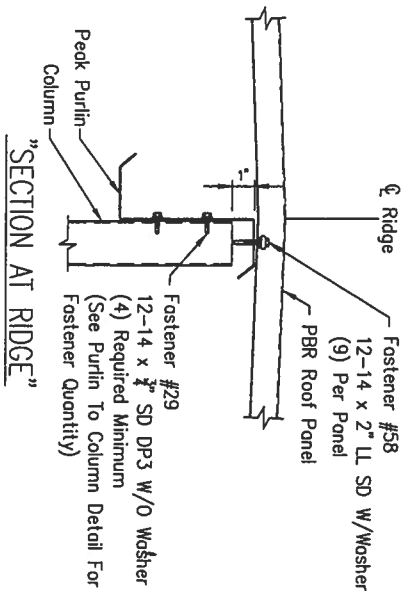


NOTE: INSULATION MUST BE INSTALLED AS SHOWN OR ROOF WILL LEAK.

SEALING THE EAVE

ROOF SHEETING & TRIM

PANELS: 26 Co. PBR - Galvalume



ERECTOR'S NOTE:
FULL LENGTH PANELS
BEND OVER RIDGE
PURLIN.

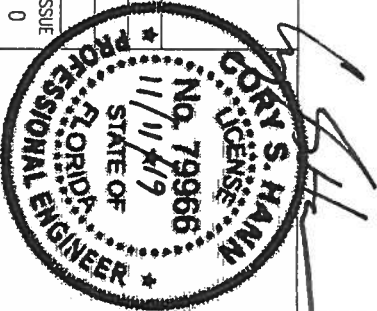
ERECTOR'S NOTE:
FIELD CUT ROOF
PANELS AT END
OF BUILDING

ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE
BUILDINGSYSTEMS
Established 1979

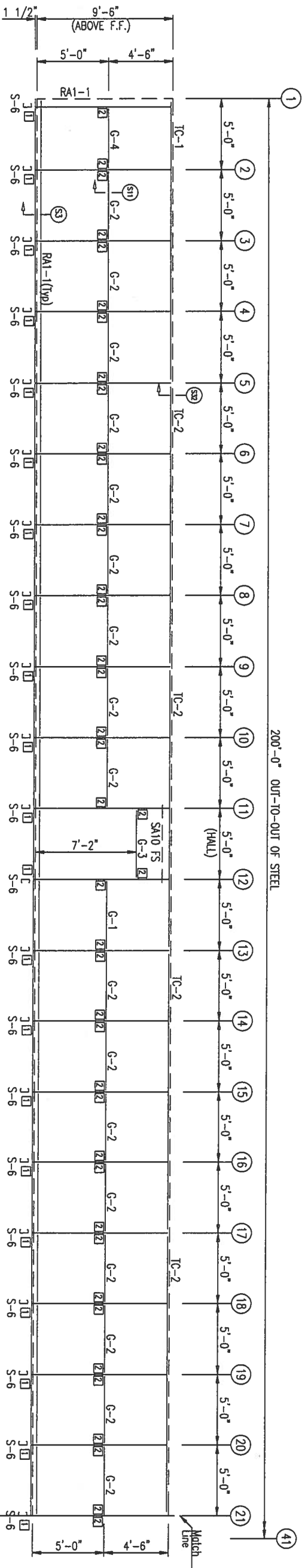
2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

PROJECT: United Access Properties INC				OWNER:			
CUSTOMER: Paul Barcia							
LOCATION: Fort White, FL 32038							
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825	E5	0

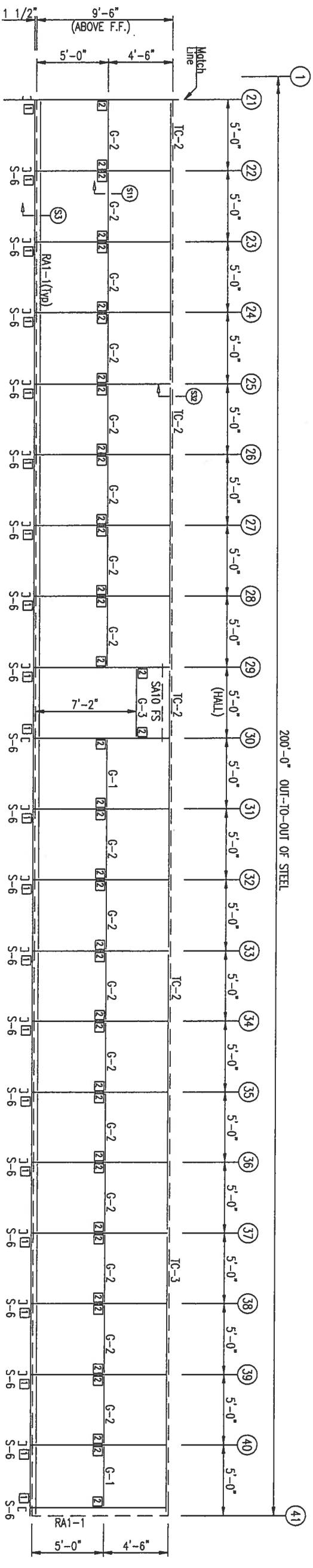


MEMBER TABLE		
MARK	PART	LENGTH
S-6	4X2C16	9'-5 3/4"
TC-1	HE100-1	19'-10 5/8"
TC-2	HE100-2	19'-11 3/4"
TC-3	HE100-3	20'-0 5/8"
G-1	4X2C16	4'-7 1/2"
G-2	4X2C16	4'-9 1/2"
G-3	4X2C16	4'-11 1/2"
G-4	4X2C16	4'-5 1/2"

CONNECTION PLATES		
ID	MARK/PART	
1	HW278	
2	HW276	



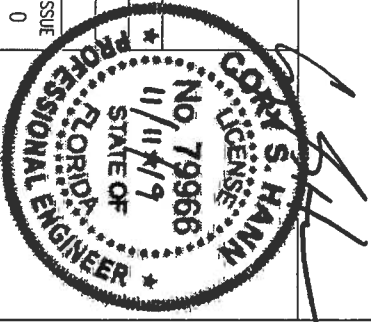
SIDEWALL FRAMING FRAME LINE: K



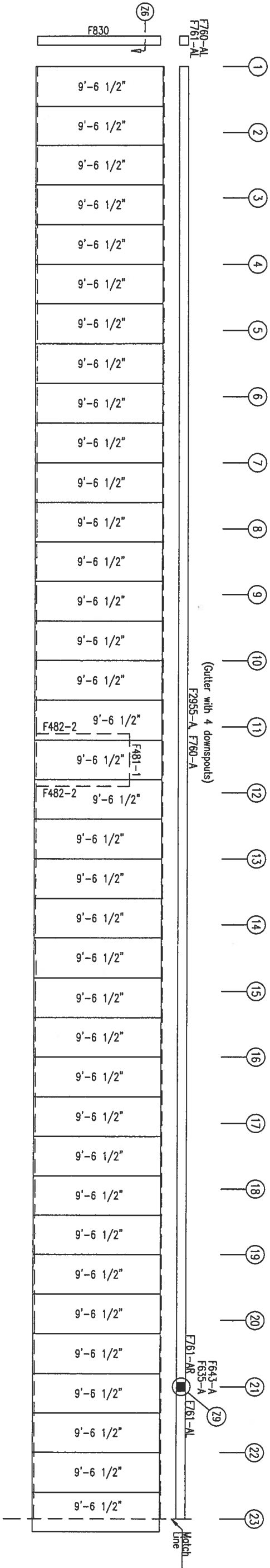
SIDEWALL FRAMING FRAME LINE: K

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH
HERITAGE BUILDINGSYSTEMS <small>Established 1979</small>					
PROJECT: Limited Access Properties INC					
CUSTOMER: Paul Bordo					
LOCATION: Fort White, FL 32038					
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER
SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825
					SHEET NUMBER
					E6
					ISSUE
					0

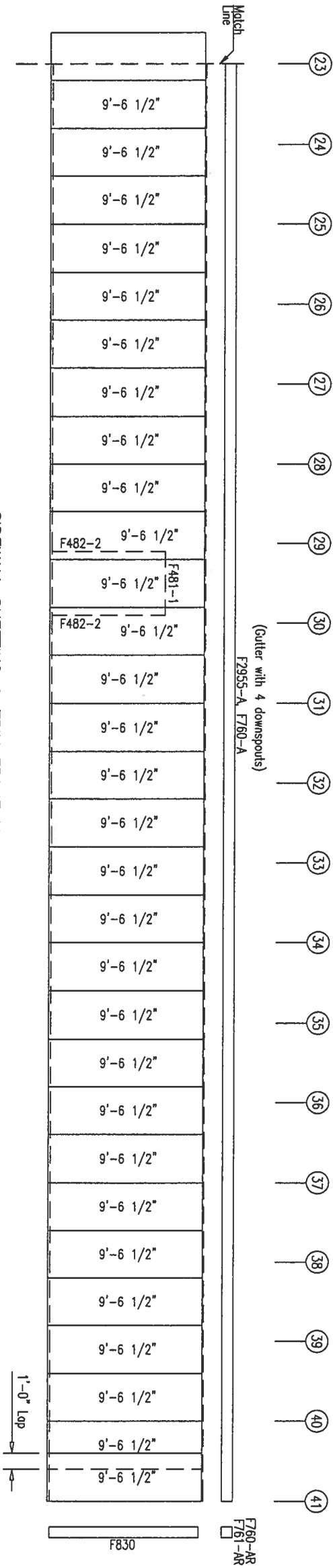
2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555



PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.



SIDEWALL SHEETING & TRIM FRAME LINE: K
PANELS: 26 Ga. PBR - Ash Grey



SIDEWALL SHEETING & TRIM FRAME LINE: K
PANELS: 26 Ga. PBR - Ash Grey

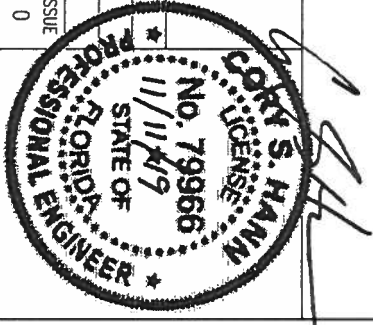
DOWNSPOUT SPACING LOCATIONS

DOWNSPOUTS ARE TO BE PLACED AT A SPACING NOT TO EXCEED 48 FT. WITH A DOWNSPOUT WITHIN 24 FT. OF EACH END OF THE GUTTER RUN.
GUTTER RUN IS FROM END TO END OF BLDG OR END TO GUTTER EXPANSION.
SEE TRIM. 93 & TRIM. 94 FOR DOWNSPOUT ATTACHMENT.

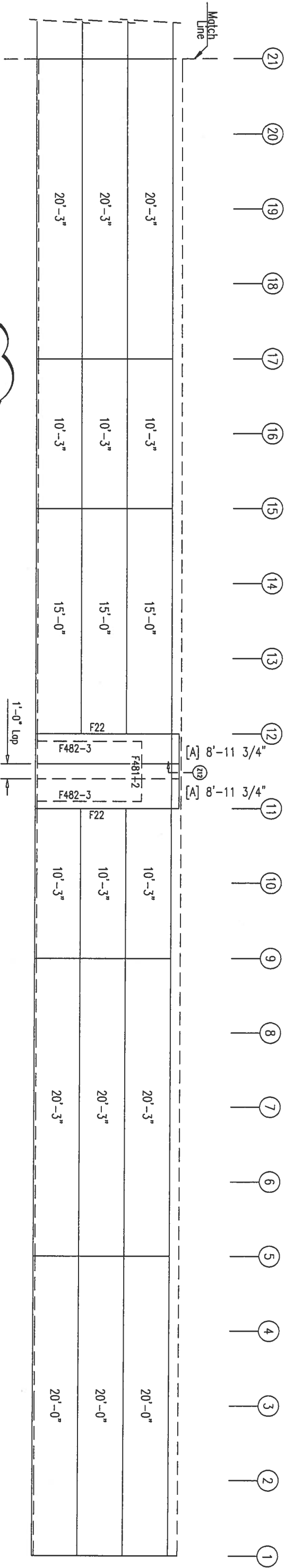
PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE BUILDINGSYSTEMS <small>Established 1979</small>						2612 GRIBBLE STREET NORTH LITTLE ROCK, AR 72114 1-800-643-5555					
PROJECT: United Access Properties INC						OWNER:					
CUSTOMER: Paul Borcia											
LOCATION: Fort White, FL 32038											
CAO	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE				
SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825	E7	0				



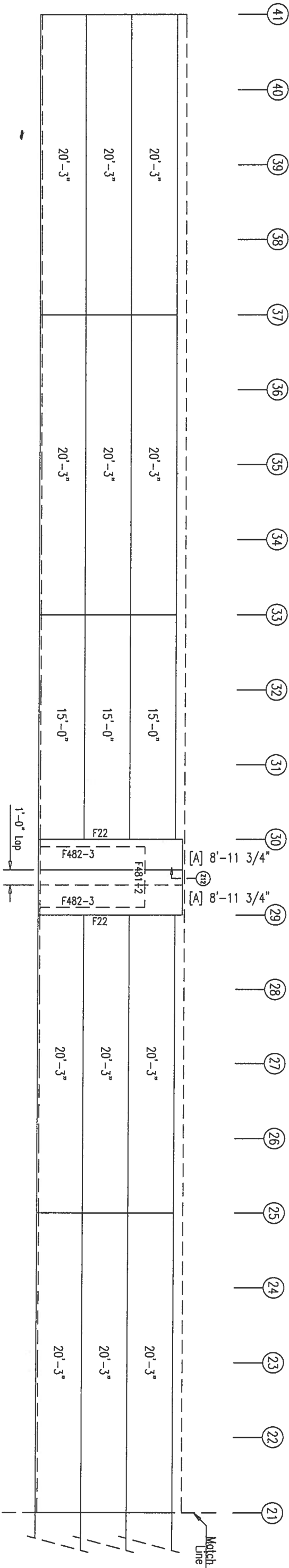
ERECTOR'S NOTE:
BACK LAP PANELS
@ END OF RUN.



ERECTOR'S NOTE:
BACK LAP PANELS
@ END OF RUN.

SIDEWALL LINER & TRIM FRAME LINE: K

[A] PANELS: 26 Ga. PBR - Polar White
PANELS: 29 Ga. PBU - Galvalume



SIDEWALL LINER & TRIM FRAME LINE: K

[A] PANELS: 26 Ga. PBR - Polar White
PANELS: 29 Ga. PBU - Galvalume

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

PROJECT: United Access Properties INC		OWNER:					
CUSTOMER: Paul Borcio							
LOCATION: Fort White, FL 32038							
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825	E8	0

HERITAGE

BUILDINGSYSTEMS

Established 1979

2612 GRIBBLE STREET

NORTH LITTLE ROCK, AR 72114

1-800-643-5555

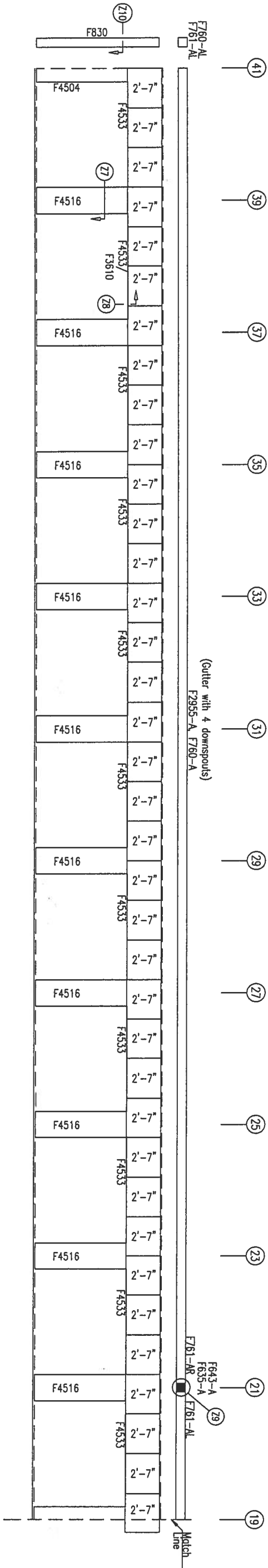
CORY S. HANK

FLORIDA

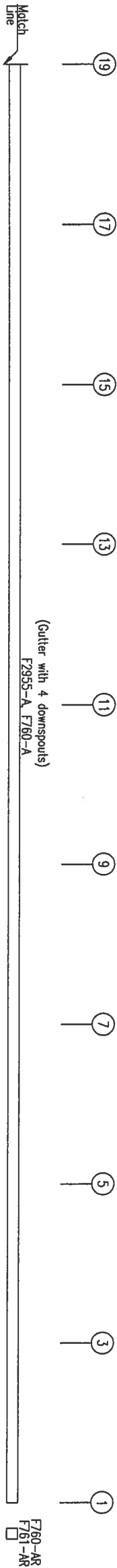
PROFESSIONAL ENGINEER

NO. 79966

11/11/19



SIDEWALL SHEETING & TRIM FRAME LINE: A
PANELS: 26 Ga. PBR - Ash Gray



ERECTOR'S NOTE:
BACK LAP PANELS
@ END OF RUN.

SIDEWALL SHEETING & TRIM FRAME LINE: A
PANELS: 26 Ga. PBR - Ash Gray

DOWNSPOUT SPACING LOCATIONS

DOWNSPOUTS ARE TO BE PLACED AT A SPACING NOT TO EXCEED 48 FT. WITH A
DOWNSPOUT WITHIN 24 FT. OF EACH END OF THE GUTTER RUN.
GUTTER RUN IS FROM END TO END OF BLDG OR END TO GUTTER EXPANSION.
SEE TRIM_93 & TRIM_94 FOR DOWNSPOUT ATTACHMENT.

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE
SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS
STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER
RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

PROJECT: United Access Properties INC

CUSTOMER: Paul Borcia

LOCATION: Fort White, FL 32038

CAD SW

DATE 10/29/19

SCALE N.T.S.

PHASE 01/02

BUILDING ID A/B

JOB NUMBER 17-B-34825

SHEET NUMBER E10

ISSUE 0

HERITAGE

BUILDING SYSTEMS

Established 1979

2612 GRIBBLE STREET

NORTH LITTLE ROCK, AR 72114

1-800-643-5555

OWNER:

NO. 79966

STATE OF FLORIDA

PROFESSIONAL ENGINEER

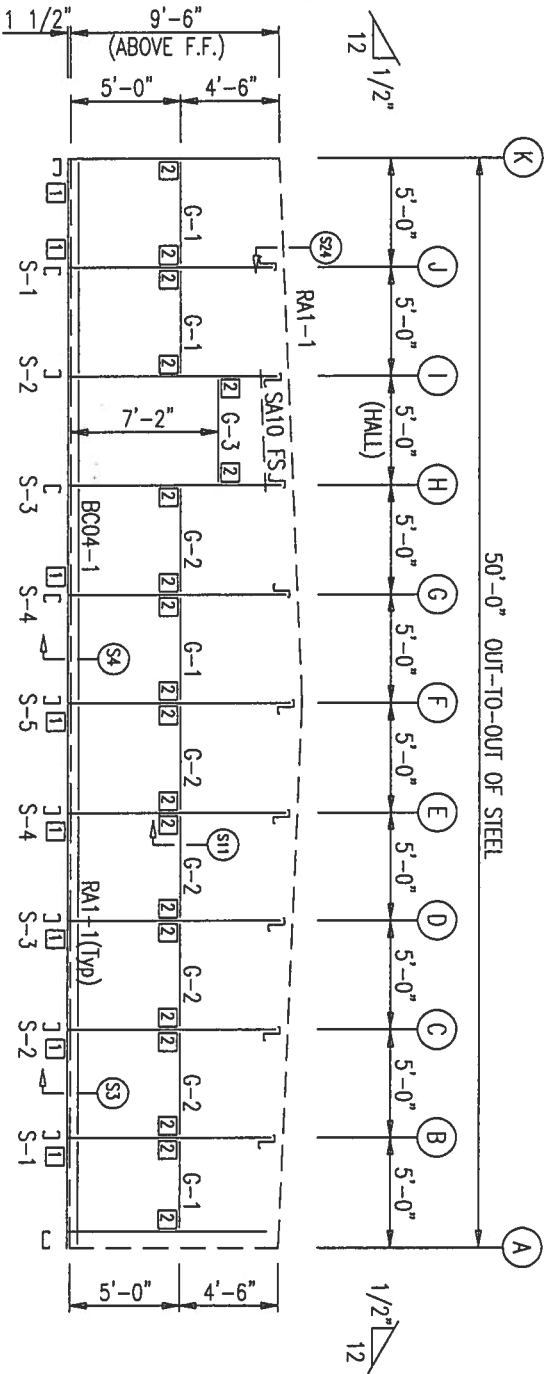
11/11/19

SCOTT S. HANN

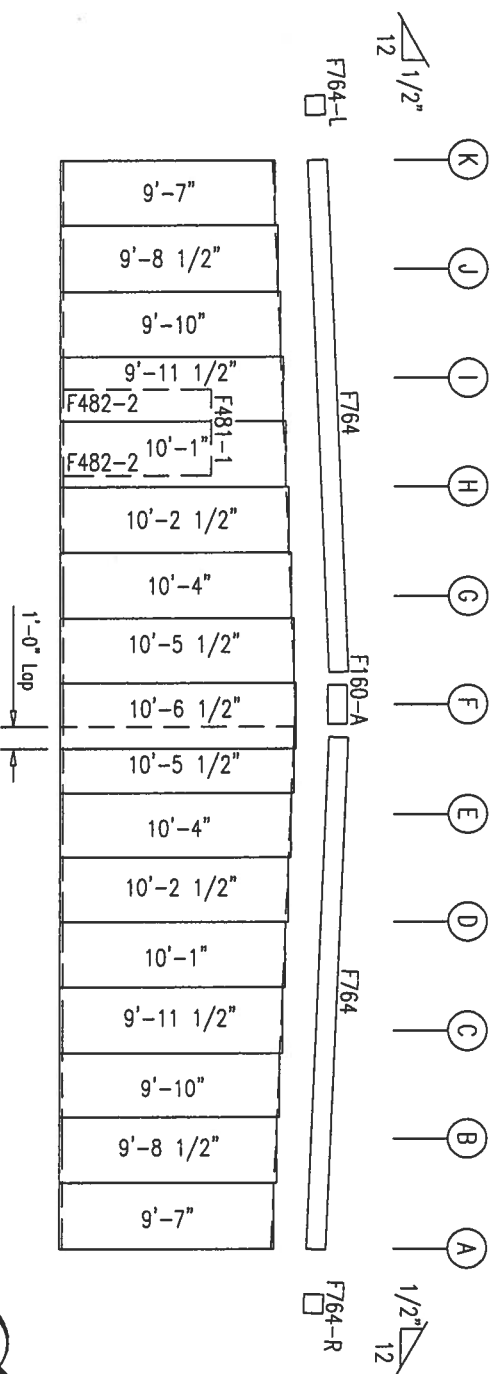
REGISTERED PROFESSIONAL ENGINEER

MEMBER TABLE			
MARK	PART	LENGTH	
S-1	4X2C16	9'-8"	
S-2	4X2C16	9'-10 1/2"	
S-3	4X2C16	10'-1 1/2"	
S-4	4X2C16	10'-3 1/2"	
S-5	4X2C16	10'-5 1/2"	
G-1	4X2C16	4'-7 1/2"	
G-2	4X2C16	4'-9 1/2"	
G-3	4X2C16	4'-11 1/2"	

CONNECTION PLATES	
ID	MARK / PART
1	HW276
2	HW276

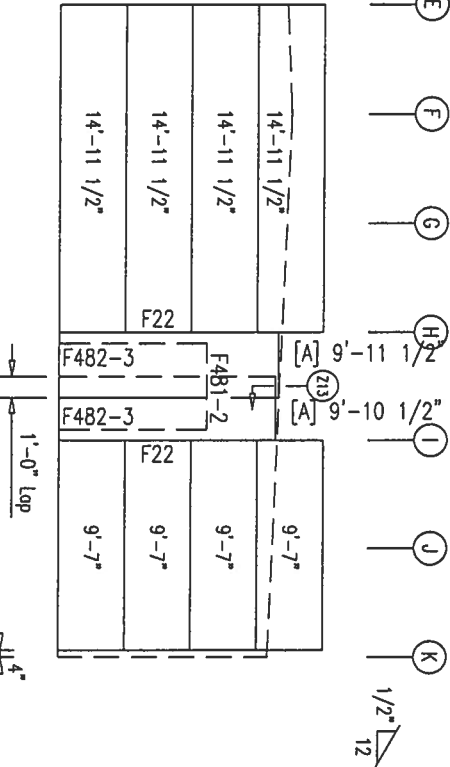


ENDWALL FRAMING FRAME LINE: 41



ENDWALL SHEETING & TRIM FRAME LINE: 41
PANELS: 26 Ga. PBR - Ash Gray

ERECTOR'S NOTE:
OVER LAP PANELS
@ END OF RUN.



ENDWALL LINER & TRIM FRAME LINE: 41
[A] PANELS: 26 Ga. PBR - Polar White
PANELS: 29 Ga. PBU - Galvalume

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

PROJECT: United Access Properties INC

CUSTOMER: Paul Borcia

LOCATION: Fort White, FL 32038

DATE: 10/29/19

SCALE: N.T.S.

PHASE: 01/02

BUILDING ID: A/B

JOB NUMBER: 17-B-34825

SHEET NUMBER: E12

ISSUE: 0

HERITAGE
BUILDINGSYSTEMS

Established 1979

2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

OWNER:

NO. 79966

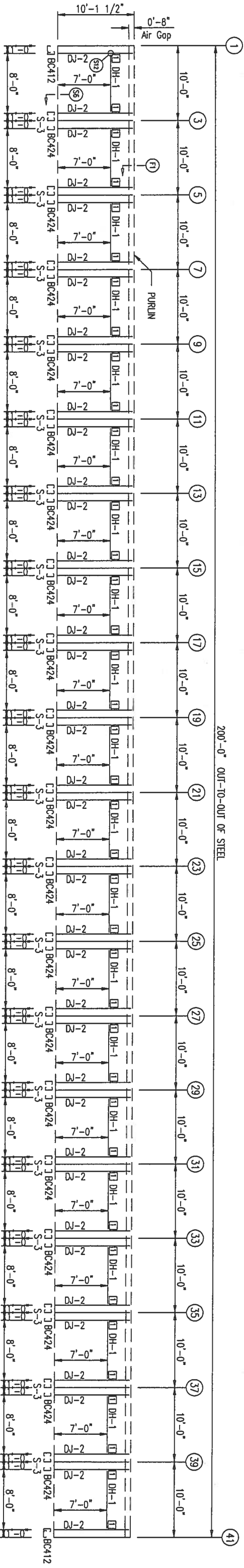
11/11/19

STATE OF ARIZONA

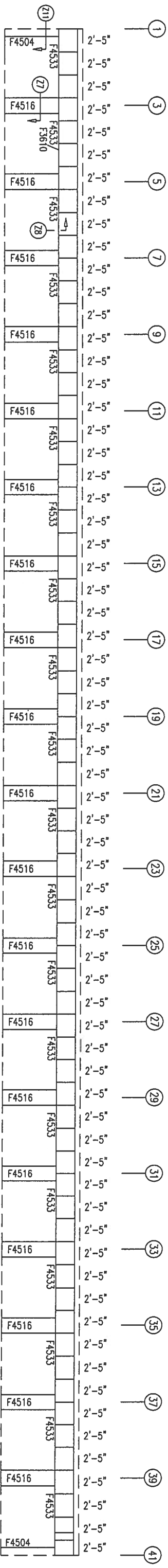
PROFESSIONAL ENGINEER

MEMBER TABLE			
MARK	PART	LENGTH	
S-3	4X2C16	10'-1"	
DJ-2	4X2C16	10'-1"	
DH-1	4X2C16	7'-11 1/2"	
BC412	4.25X2CH16	0'-11 1/2"	
BC424	4.25X2CH16	1'-11 1/2"	

CONNECTION PLATES	
<input type="checkbox"/> IID	MARK/PART
1	FW2/6



WALL FRAMING FRAME LINE: H



ERECTOR'S NOTE:
BACK LAP PANELS
@ END OF RUN.

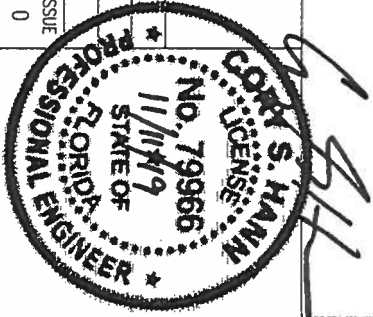
WALL SHEETING & TRIM FRAME LINE: H

PANELS: 26 Co. PR - Polar White

ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN								
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH								
						PROJECT: United Access Properties INC							
						CUSTOMER: Paul Borch							
						LOCATION: Fort White, FL 32038							
						OWNER:							
						CAD DATE SCALE PHASE BUILDING ID JOB NUMBER SHEET NUMBER ISSUE							
						SW 10/29/19 N.T.S. 01/02 A/B 17-B-34825 E14 0							

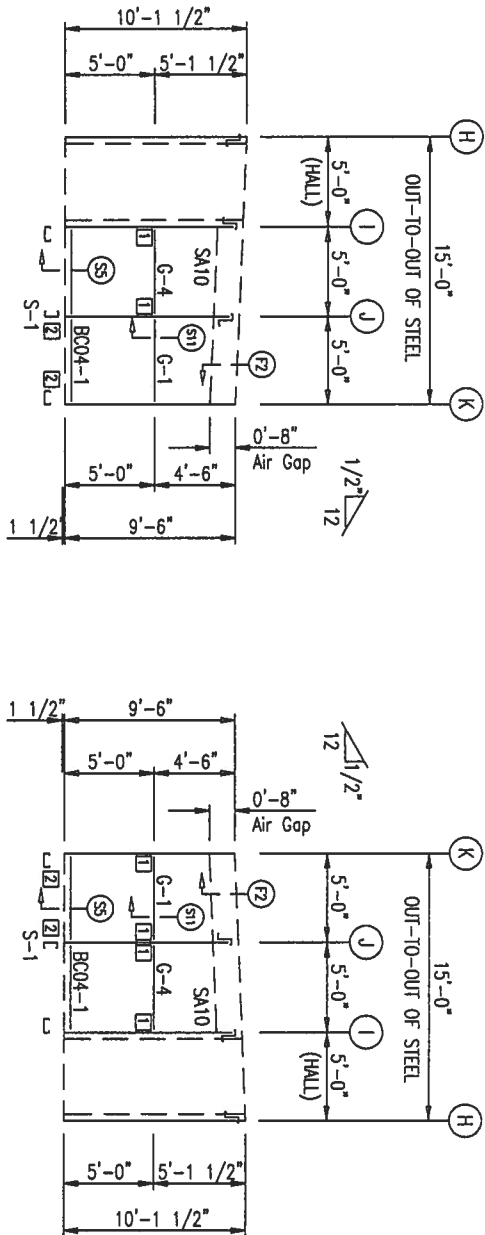
HERITAGE
BUILDING SYSTEMS
2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.

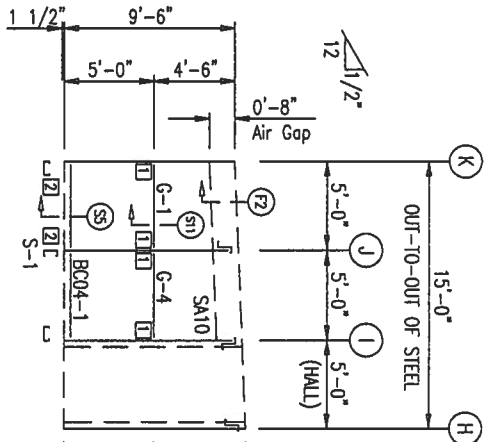


MEMBER TABLE		
MARK	PART	LENGTH
S-1	4X2C16	9'-8"
S-2	4X2C16	9'-10 1/2"
S-3	4X2C16	10'-1"
S-4	4X2C16	10'-3 1/2"
S-5	4X2C16	10'-5 1/2"
G-1	4X2C16	4'-7 1/2"
G-2	4X2C16	4'-5 1/2"

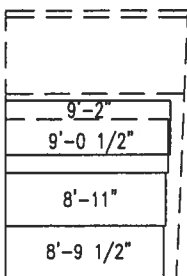
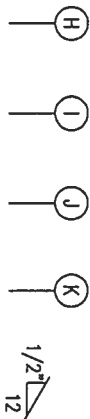
CONNECTION PLATES	
ID	MARK/PART
1	HW2/6
2	HW2/8



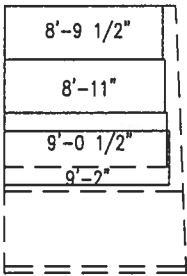
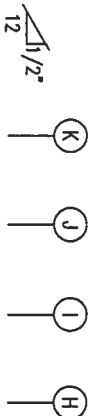
WALL FRAMING
FRAME LINES: 12 30



WALL FRAMING
FRAME LINES: 11 29

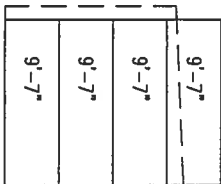
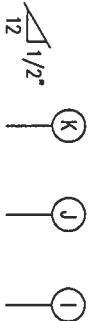
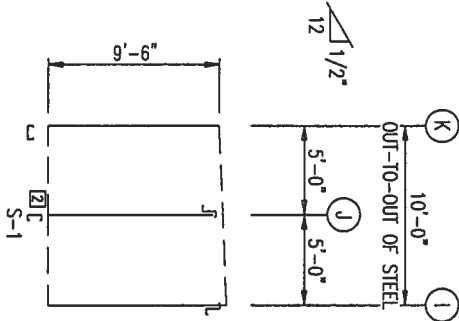


WALL SHEETING & TRIM
FRAME LINES: 12 30
PANELS: 26 Ga. PR - Polar White

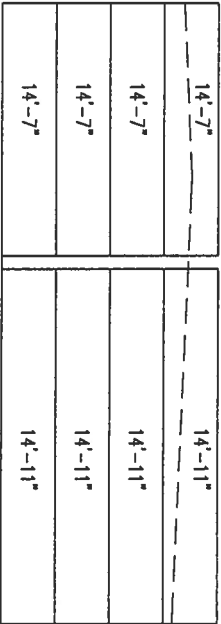
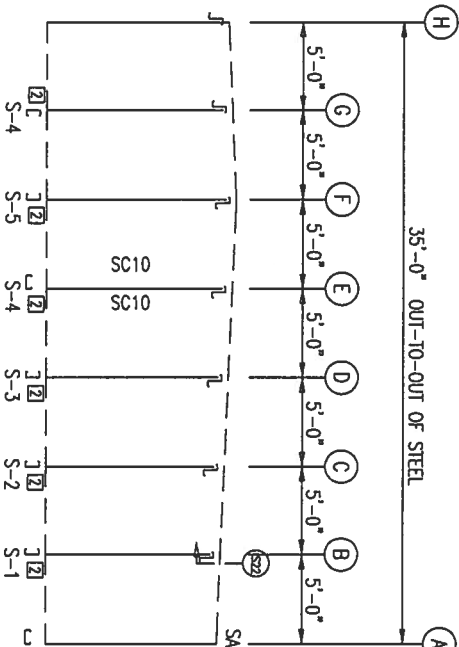


WALL SHEETING & TRIM
FRAME LINES: 11 29
PANELS: 26 Ga. PR -- Polar White

WALL FRAMING FRAME LINE: (Typ of 17)



WALL FRAMING FRAME LINE: (Typ of 19)



WALL SHEETING & TRIM FRAME LINE: (Typ of 17)

PANELS: 29 Ga. PBU - Galvalume

WALL SHEETING & TRIM FRAME LINE: (Typ of 19)

PANELS: 29 Ga. PBU - Galvalume

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE

BUILDINGSYSTEMS

Established 1979

2612 GRIBBLE STREET

NORTH LITTLE ROCK, AR 72114

1-800-643-5555

PROJECT: Limited Access Properties INC

CUSTOMER: Paul Borcia

LOCATION: Fort White, FL 32038

OWNER:

DATE: 10/29/19

SCALE: N.T.S.

PHASE: 01/02

BUILDING ID: A/B

JOB NUMBER: 17-B-34825

SHEET NUMBER: E15

ISSUE: 0

CORY S. HANN

STATE OF FLORIDA

PROFESSIONAL ENGINEER

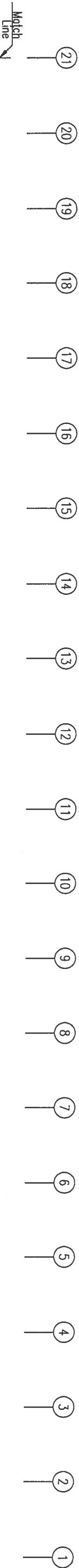
No. 79966

11/11/19

11/11/19

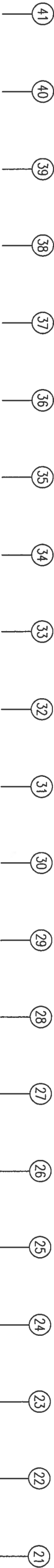
11/11/19

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.



	20'-3"	20'-3"	20'-3"	20'-0"
	20'-3"	20'-3"	20'-3"	20'-0"
	20'-3"	20'-3"	20'-3"	20'-0"
	20'-3"	20'-3"	20'-3"	20'-0"

SIDEWALL LINER & TRIM FRAME LINE: E
PANELS: 29 Ga. PBU - Galvalume

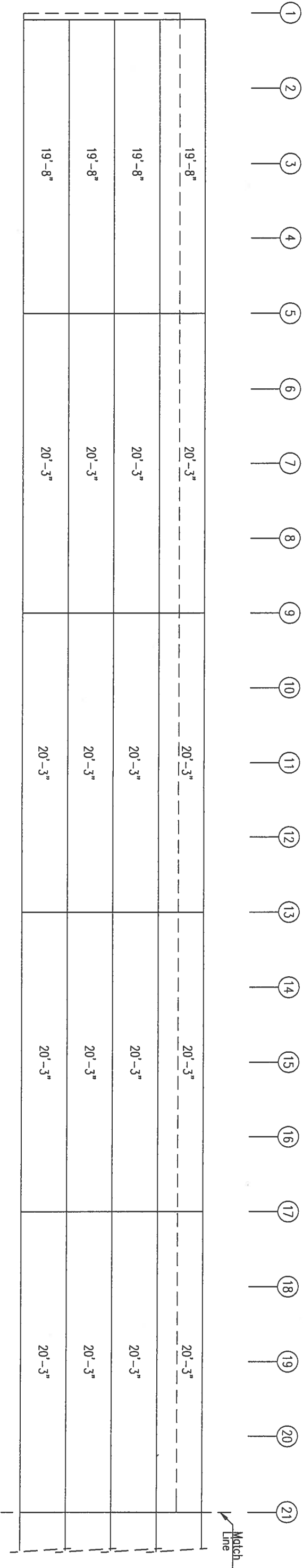


20'-3"	20'-3"	20'-3"	20'-3"	20'-3"
20'-3"	20'-3"	20'-3"	20'-3"	20'-3"
20'-3"	20'-3"	20'-3"	20'-3"	20'-3"
20'-3"	20'-3"	20'-3"	20'-3"	20'-3"

SIDEWALL LINER & TRIM FRAME LINE: E
PANELS: 29 Ga. PBU - Galvalume

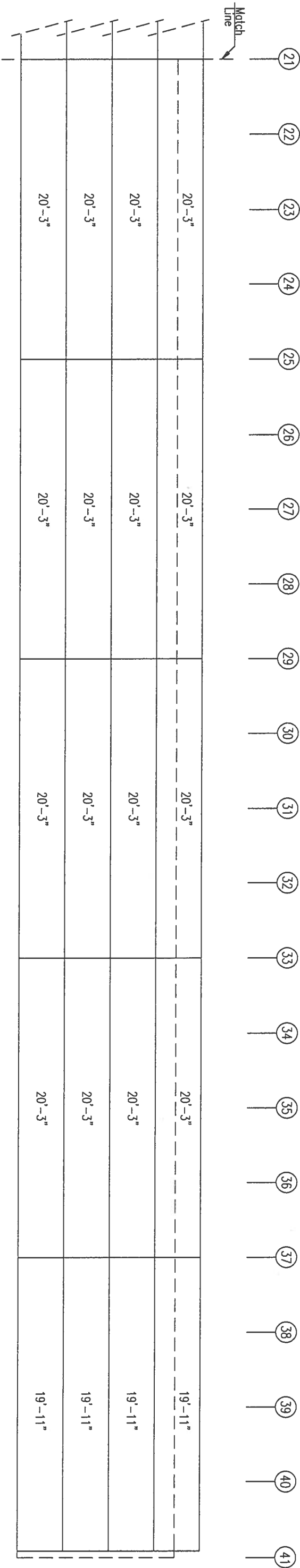
ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN	PROJECT: Limited Access Properties INC							
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH	CUSTOMER: Paul Borcia							
						LOCATION: Fort White, FL 32038							
						OWNER:							
<div>HERITAGE BUILDINGSYSTEMS</div> <div>2612 GRIBBLE STREET NORTH LITTLE ROCK, AR 72114 1-800-643-5555</div>						CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
						SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825	E17	0
						PROFESSIONAL ENGINEER							
						No. 79966							

PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.



SIDEWALL LINER & TRIM FRAME LINE: E

PANELS: 29 Ga. PBU – Galvalume



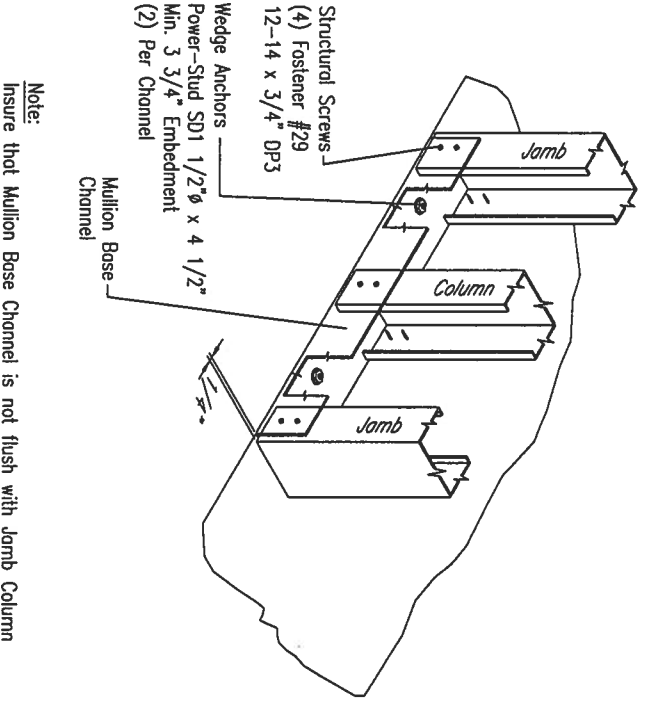
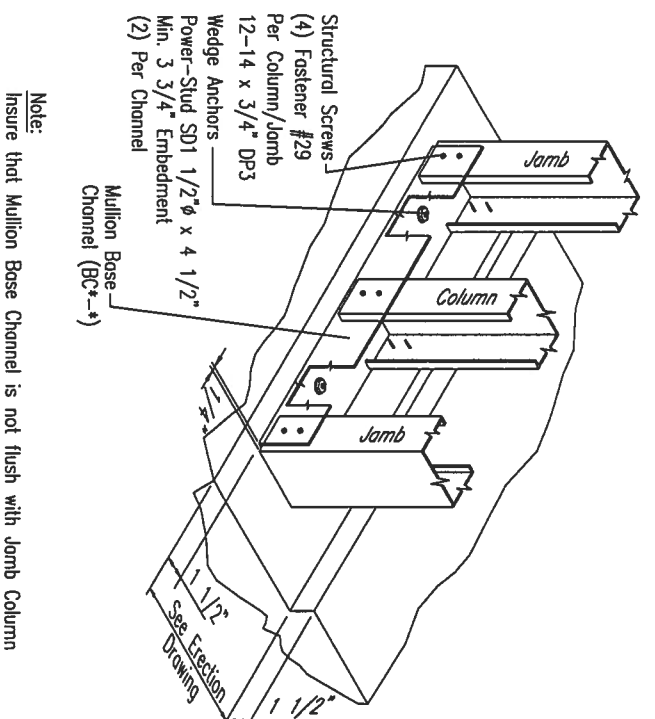
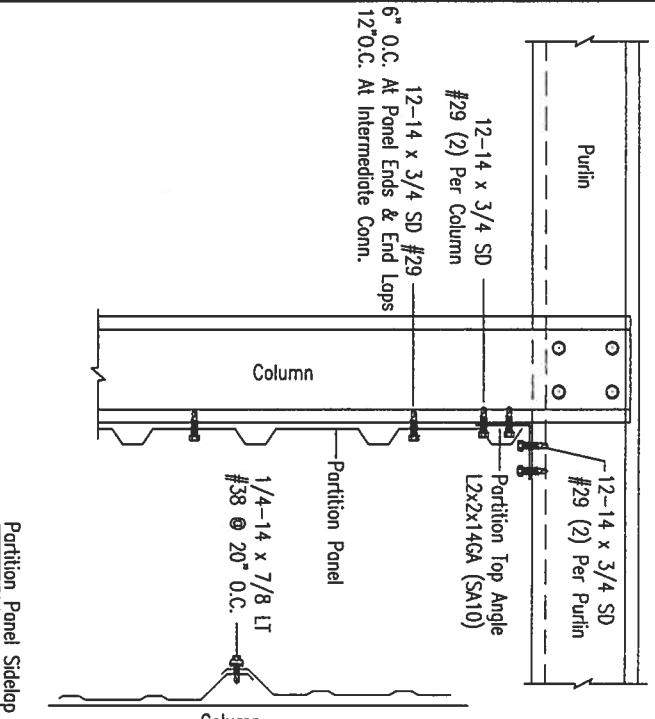
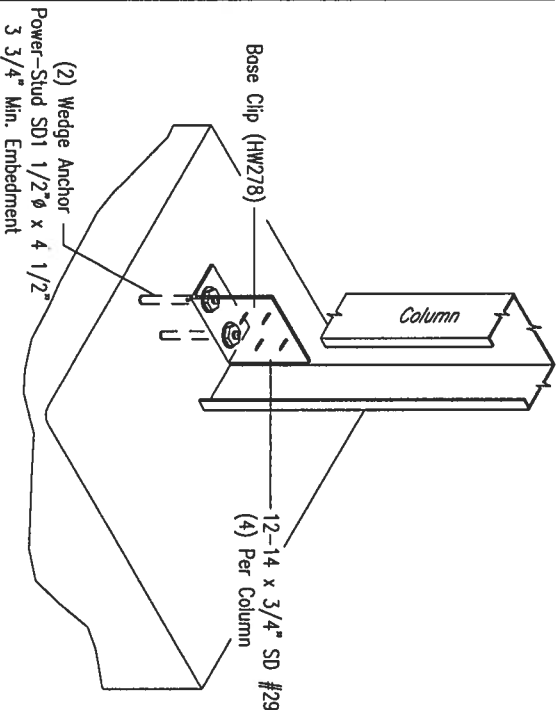
SIDEWALL LINER & TRIM FRAME LINE: E

PANELS: 29 Ga. PBU – Galvalume

ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN	<div><div>HERITAGE BUILDINGSYSTEMS</div><div>Established 1979</div><div>2612 GRIBBLE STREET NORTH LITTLE ROCK, AR 72114 1-800-643-5555</div></div>											
0	10/29/19	FOR ERECTOR INSTALATION	SW	CM	CSH												
PROJECT: United Access Properties INC						OWNER:											
CUSTOMER: Paul Barco																	
LOCATION: Fort White, FL 32038																	
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE	<div><div>NO. 79966</div><div>11/11/19</div><div>STATE OF ARIZONA</div><div>PROFESSIONAL ENGINEER</div></div>									
SW	10/29/19	N.T.S.	01/02	A/B	17-B-34825	E18	0										

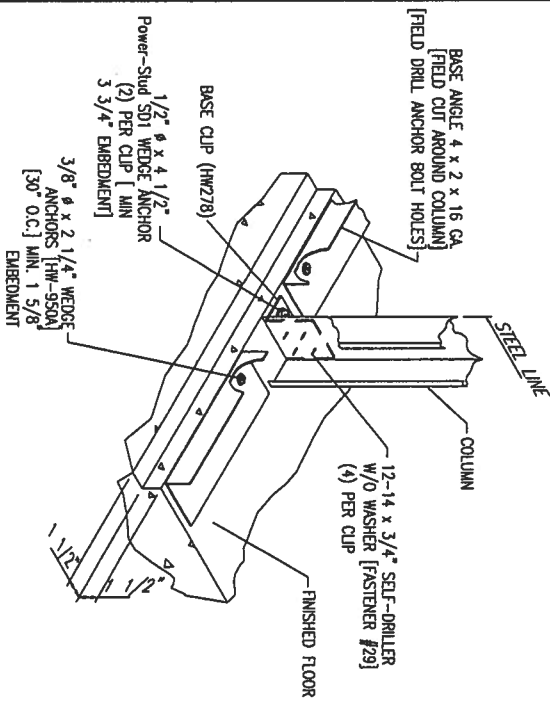
PANEL DIAPHRAGM ACTION AND/OR X-BRACING IN THE ROOF AND WALLS IS USED TO PROVIDE THE SOLE MEANS OF SUPPORT FOR THE BUILDING AGAINST WIND AND SEISMIC LATERAL FORCES. IT IS STRONGLY RECOMMENDED TO CONSULT THE ENGINEER-OF-RECORD FOR THE PROJECT OR OTHER RESPONSIBLE PROFESSIONAL BEFORE MODIFYING ANY PART OF THE ROOF OR WALL SHEETING.

Note: Install Column To Bear On Concrete.
Column Leg Cut Away For Clarity.



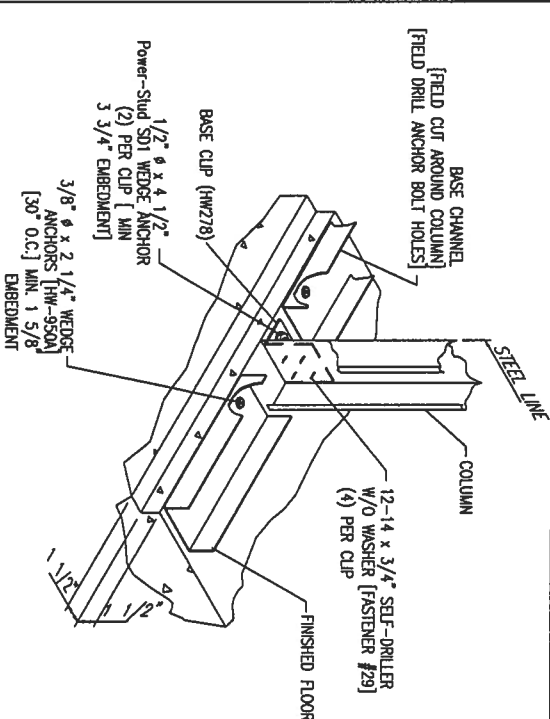
NOTE: COLUMN LEG CUT
AWAY FOR CLARITY

NOTE: INSTALL COLUMN TO
BEAR ON CONCRETE



NOTE: COLUMN LEG CUT
AWAY FOR CLARITY

NOTE: INSTALL COLUMN TO
BEAR ON CONCRETE

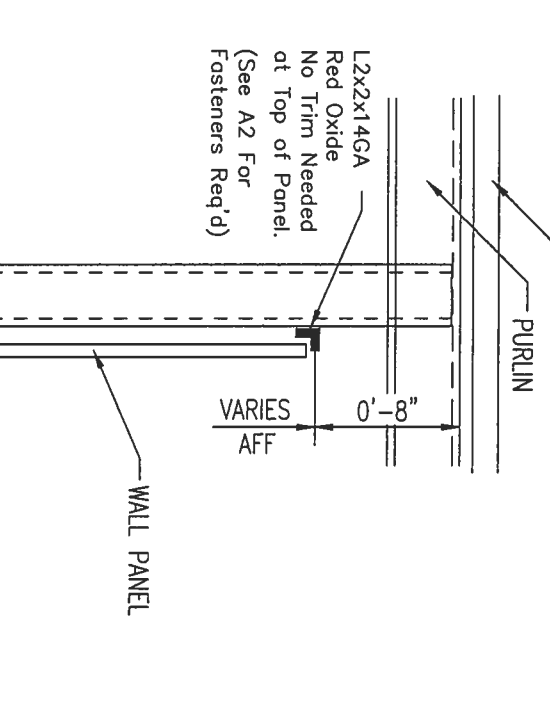
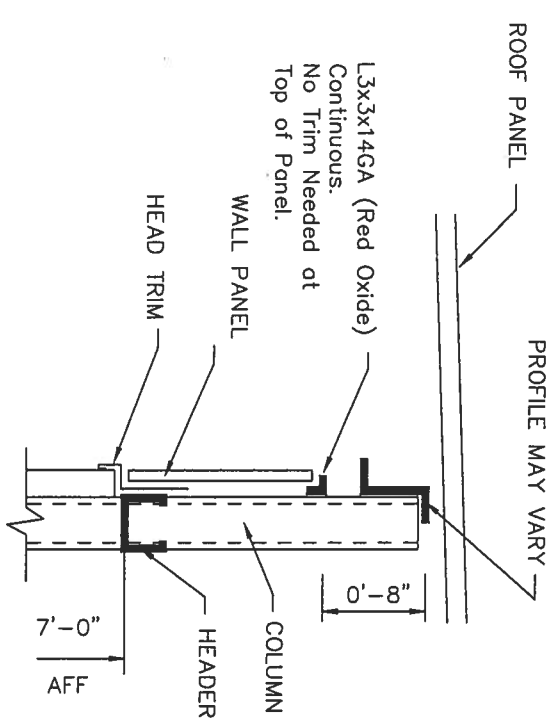


CB1 EXTERIOR COLUMN BASE DETAIL W/ PANEL RECESS

CB2 EXTERIOR COLUMN BASE DETAIL W/ PANEL RECESS

F1 SECTION THROUGH LONGITUDINAL CORRIDOR

F2 SECTION THROUGH TRANSVERSE CORRIDOR



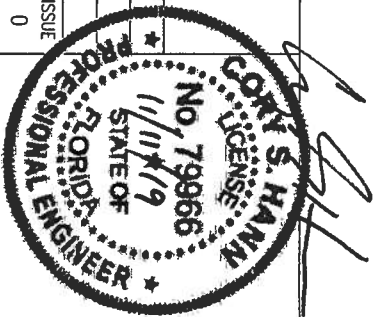
ISSUE	DATE	DESCRIPTION	BY	CHK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

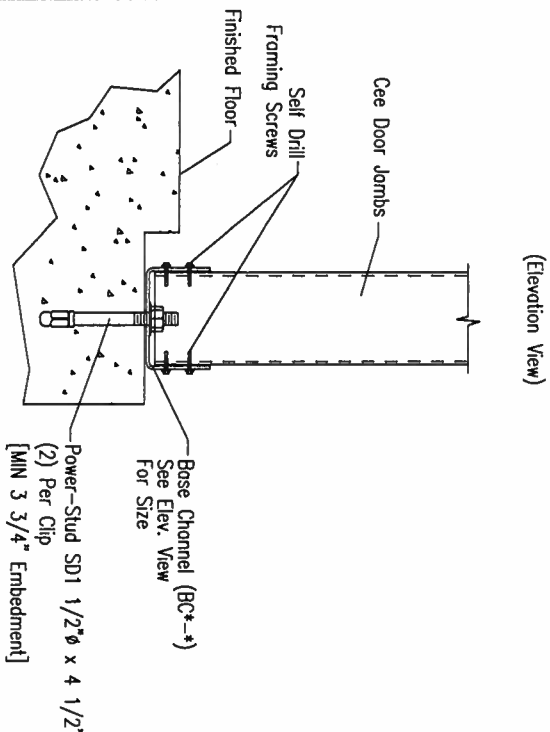
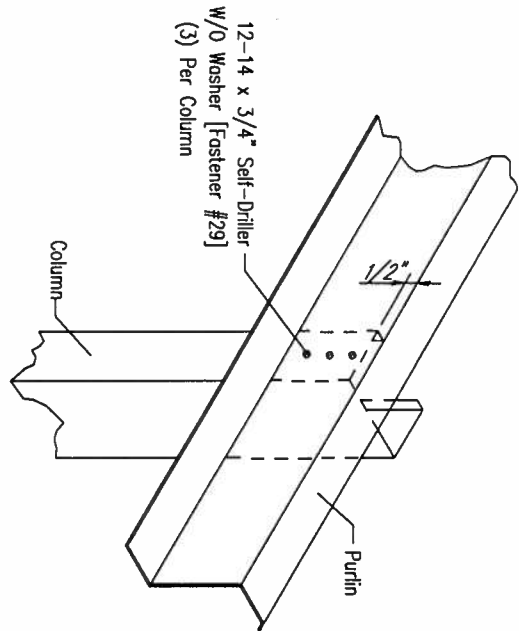
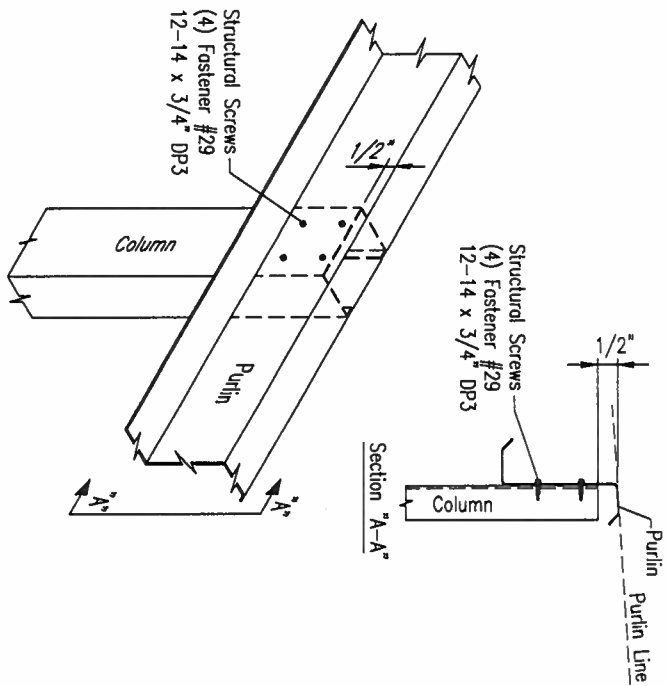
HERITAGE
BUILDINGSYSTEMS

Established 1979

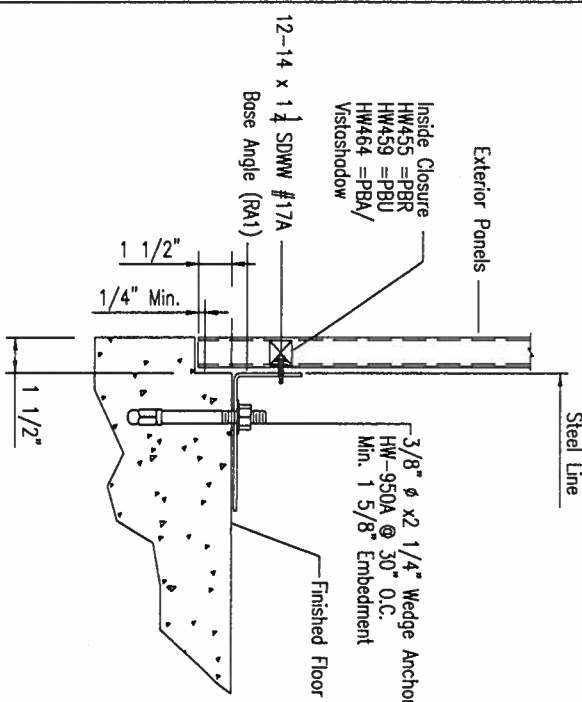
2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

PROJECT: Limited Access Properties INC				OWNER:			
CUSTOMER: Paul Borch							
LOCATION: Fort White, FL 32038							
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUE
SW	10/29/19	N.T.S.	01	A/B	17-B-34825	DET1	0



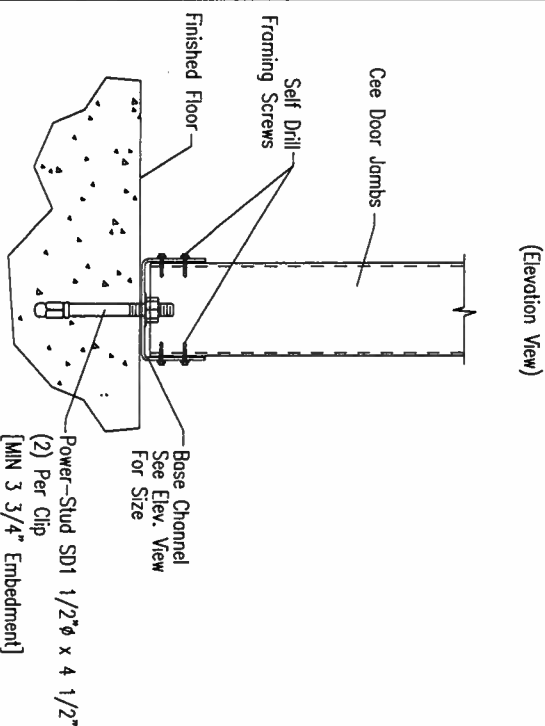
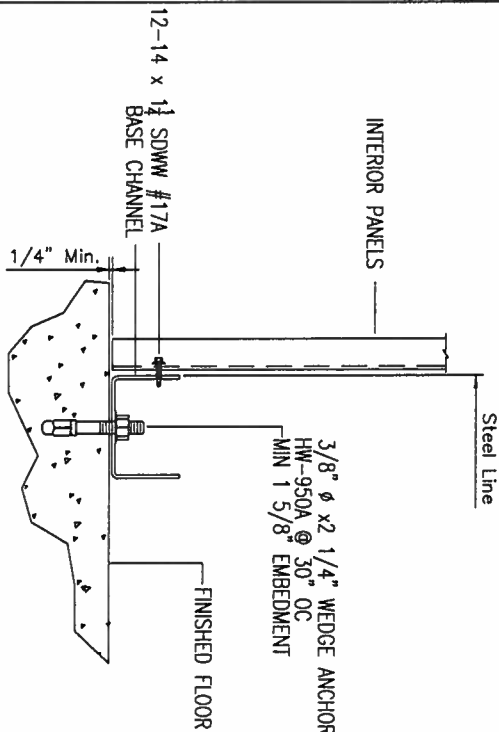
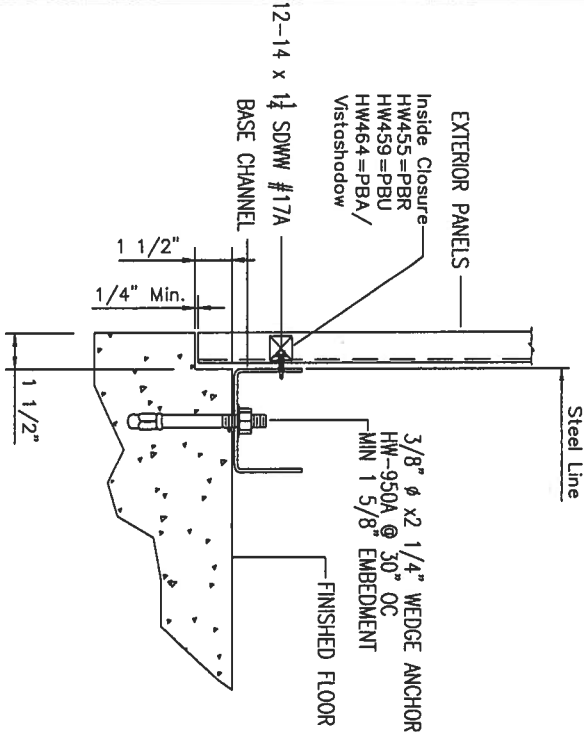


"See A3 Detail for Additional information."

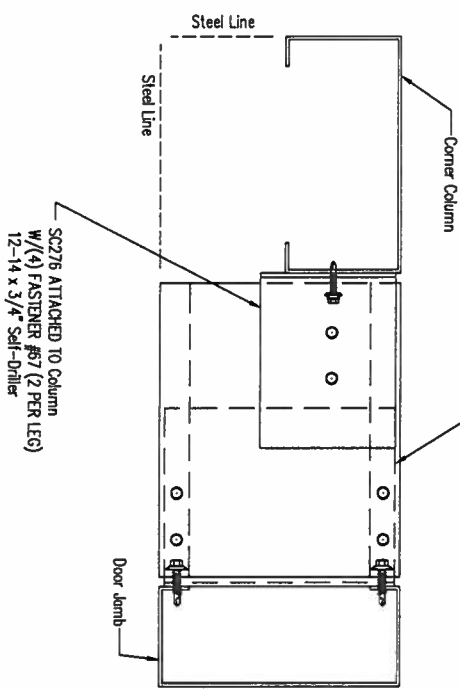


0.375" MIN EDGE DISTANCE & 0.75" MIN SPACING
MUST BE MAINTAINED WITH INSTALLING SCREWS

(SC563) 1.3X1X12G4 CLIP
ATTACH TO JAMB TOES & GIRT
W/ (2) FASTENER #7 PER CONNECTION (4 PER LEG)
12-24 x 1 1/4" SD TEK5



"See A4 Detail for Additional information."

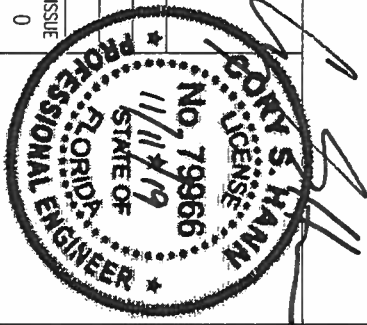


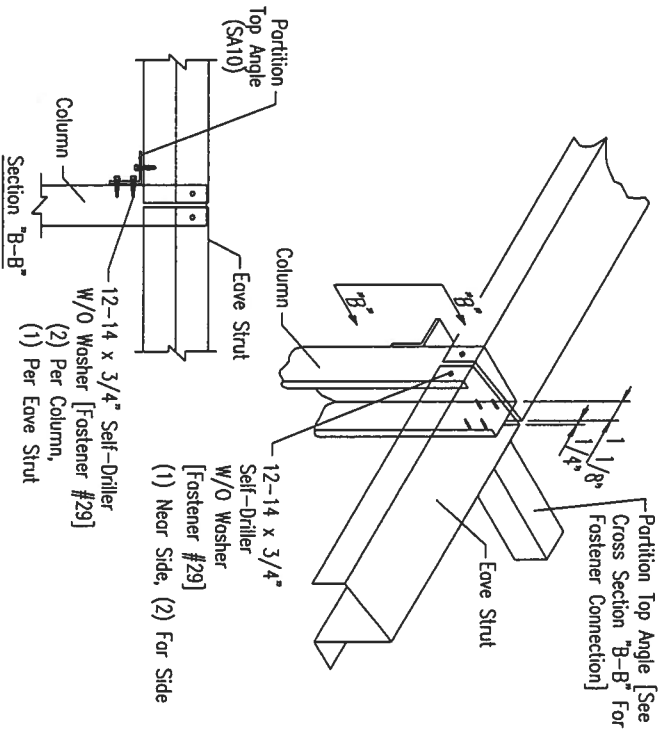
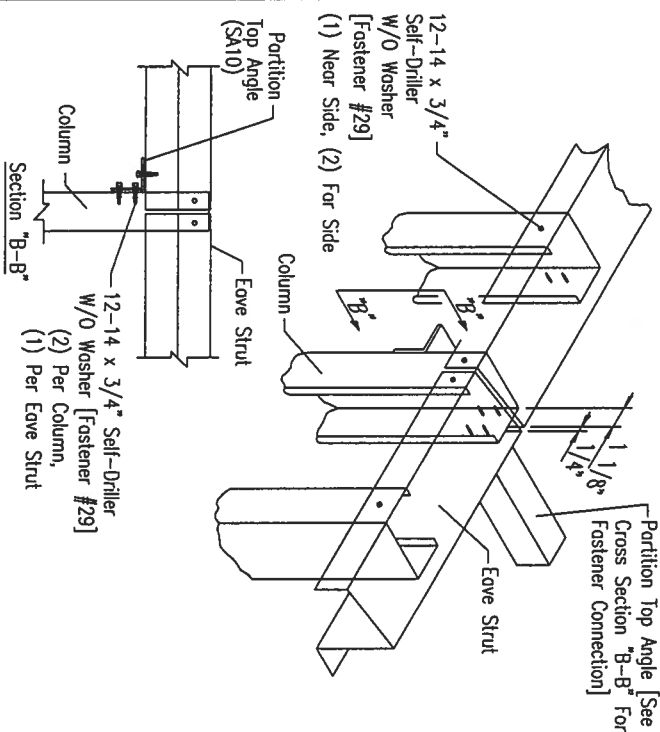
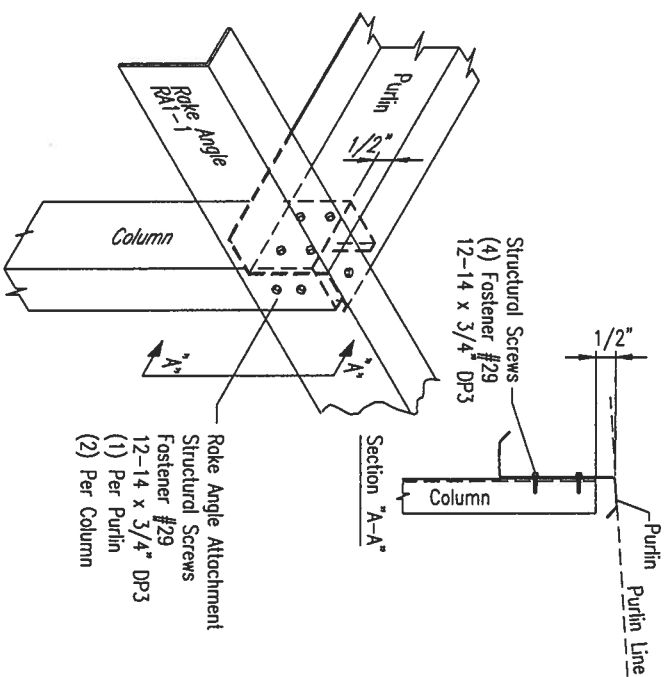
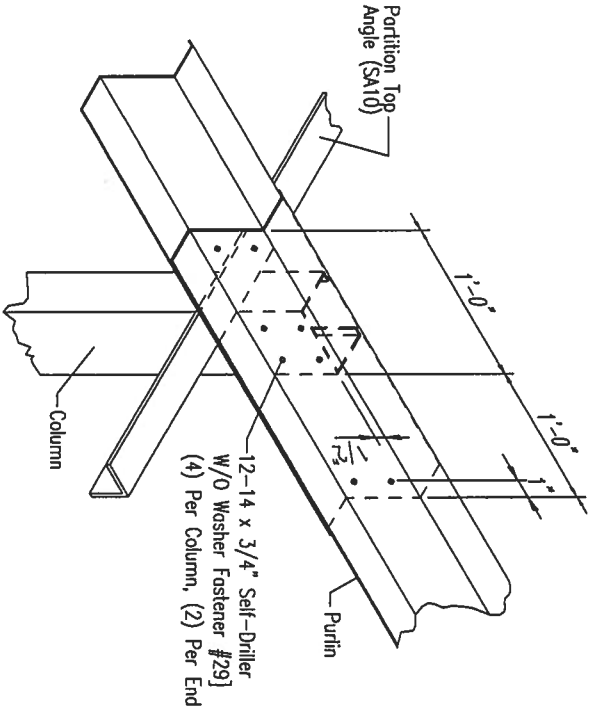
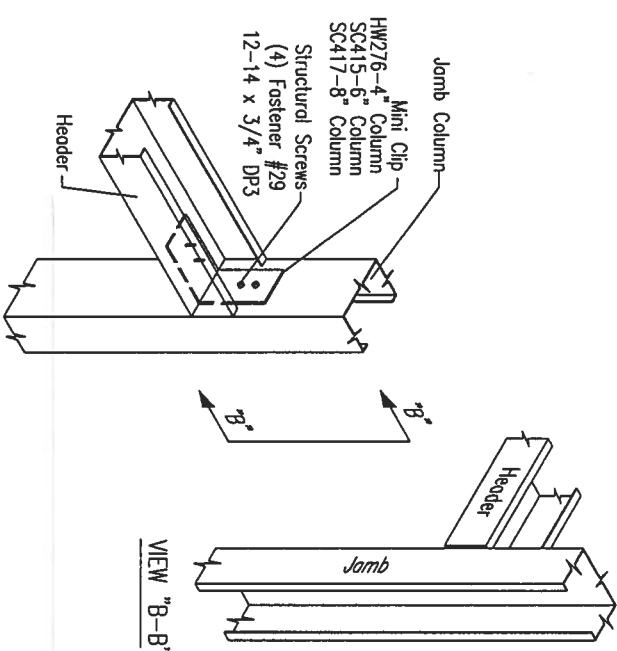
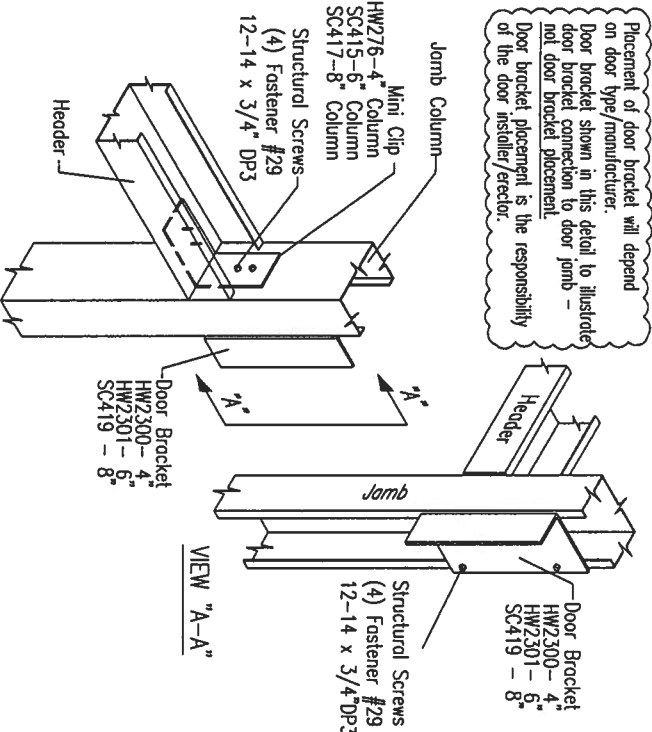
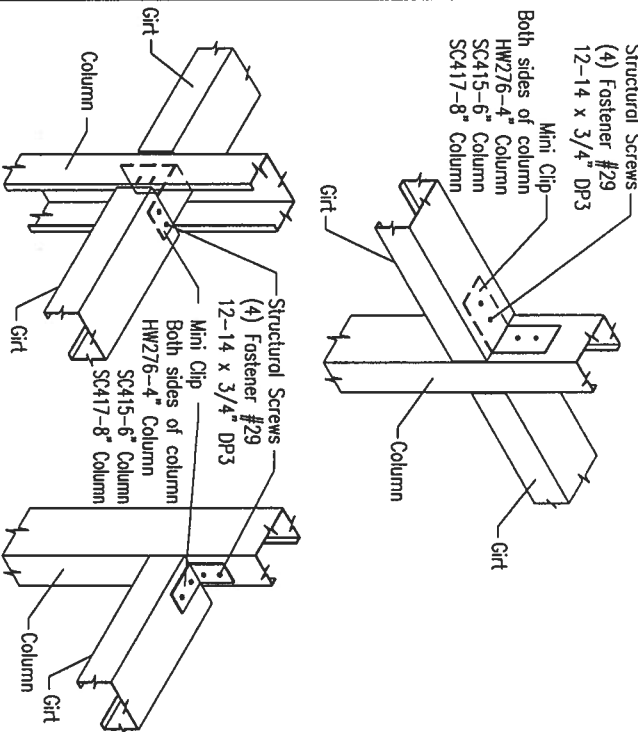
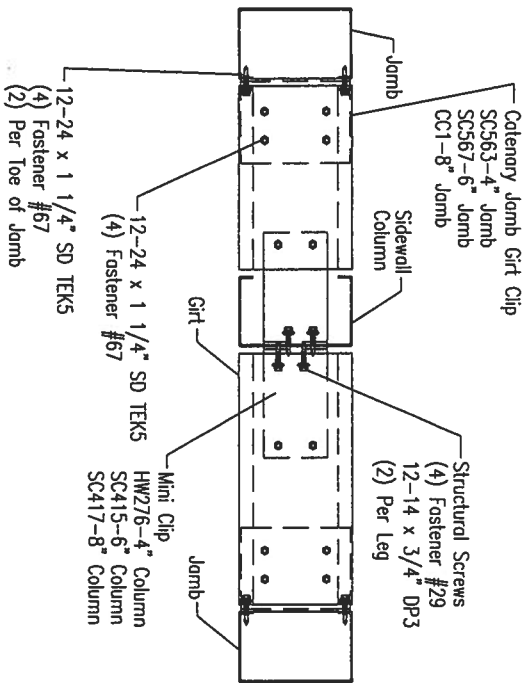
ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE
BUILDINGSYSTEMS
Established 1979

2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

PROJECT: Limited Access Properties INC			OWNER:		
CUSTOMER: Paul Barcia					
LOCATION: Fort White, FL 32038					
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER
SW	10/29/19	N.T.S.	01	A/B	17-B-34825
					SHEET NUMBER
					DET2
					ISSUE
					0



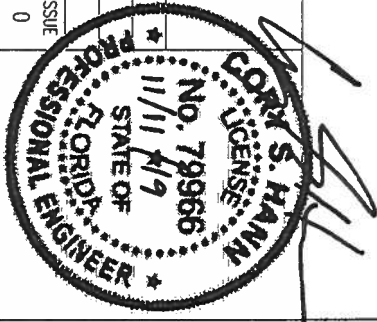


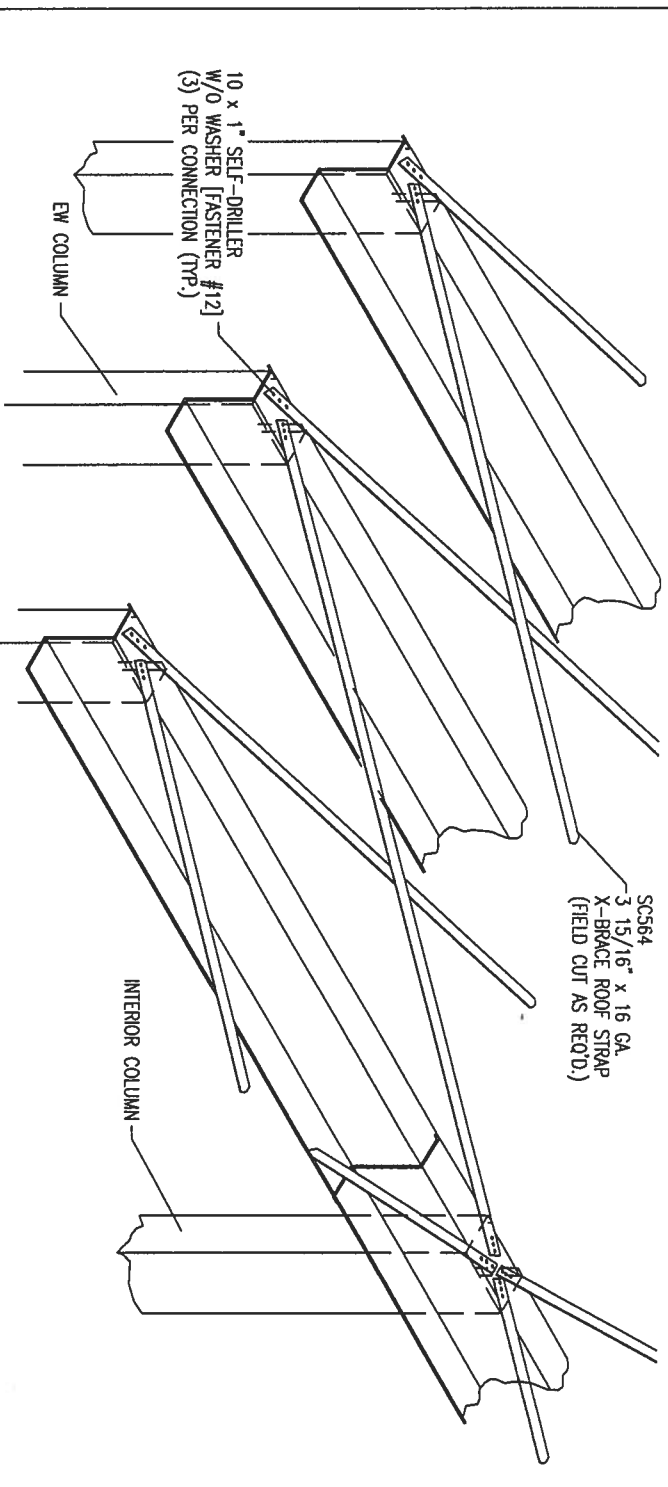
ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE
BUILDINGSYSTEMS

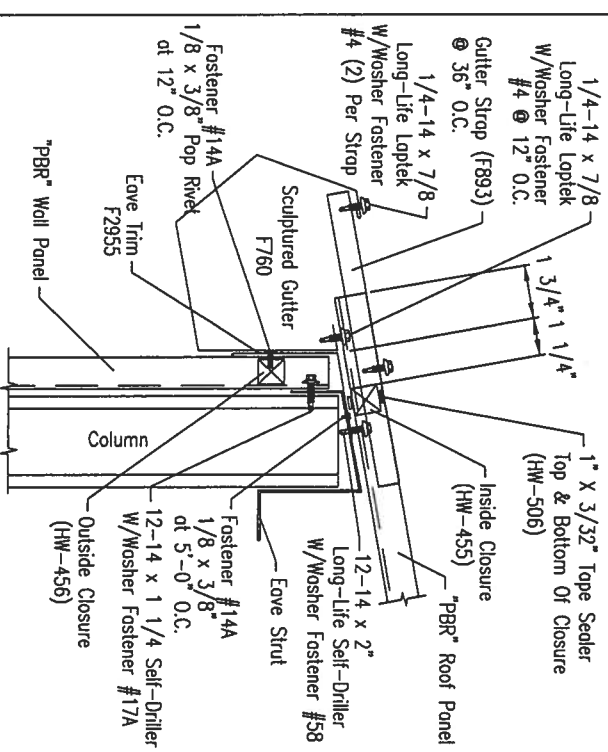
2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

PROJECT: Limited Access Properties INC				OWNER:	
CUSTOMER: Paul Borcia					
LOCATION: Fort White, FL 32038					
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER
SW	10/29/19	N.T.S.	01	A/B	17-B-34825
					SHEET NUMBER
					DET3
					ISSUE
					0





ROOF BRACING



(Z3) LOW EAVE W/ GUTTER (PBR ROOF - PBR WALL)

ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH

HERITAGE
BUILDING SYSTEMS
Reestablished 1979

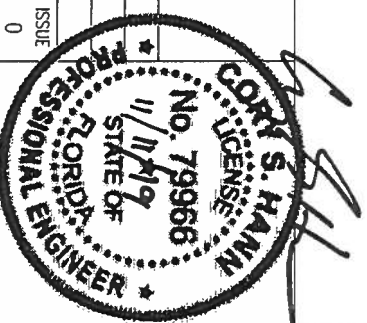
2612 GRIBBLE STREET
NORTH LITTLE ROCK, AR 72114
1-800-643-5555

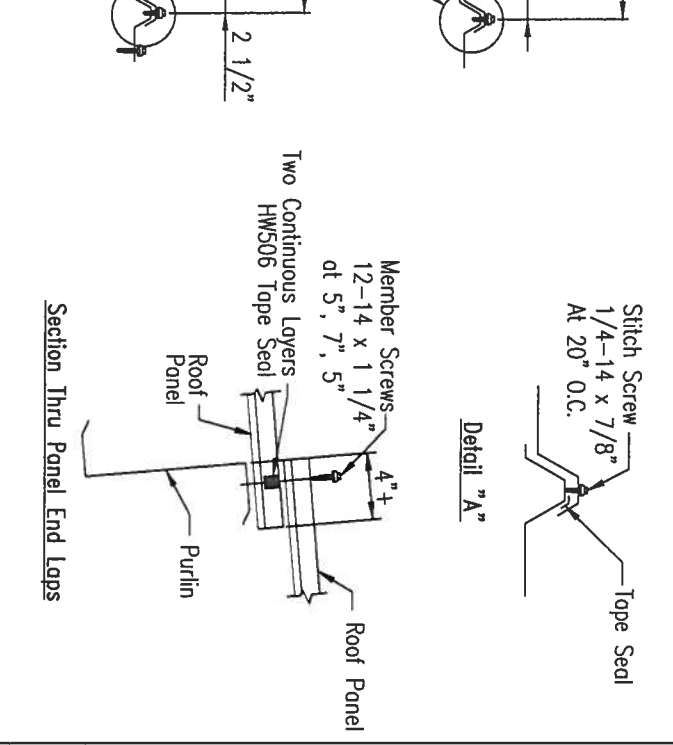
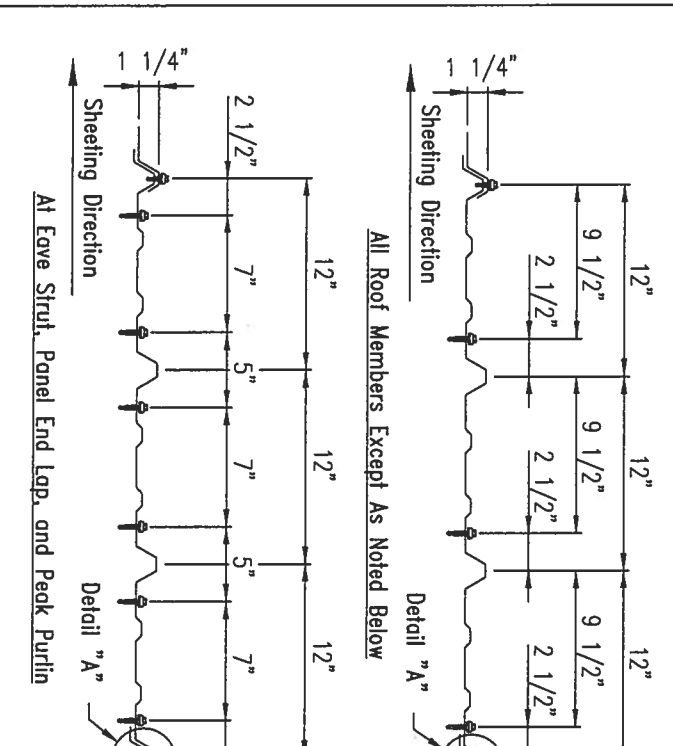
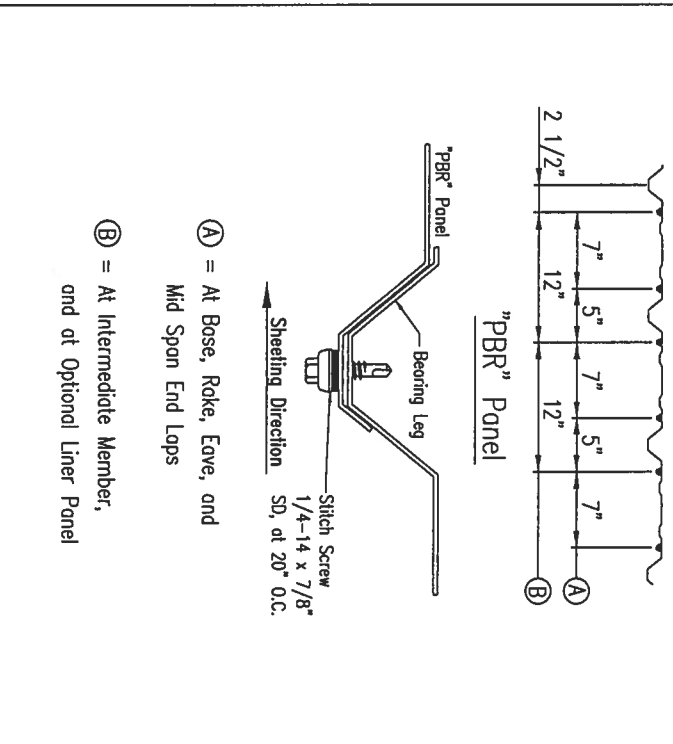
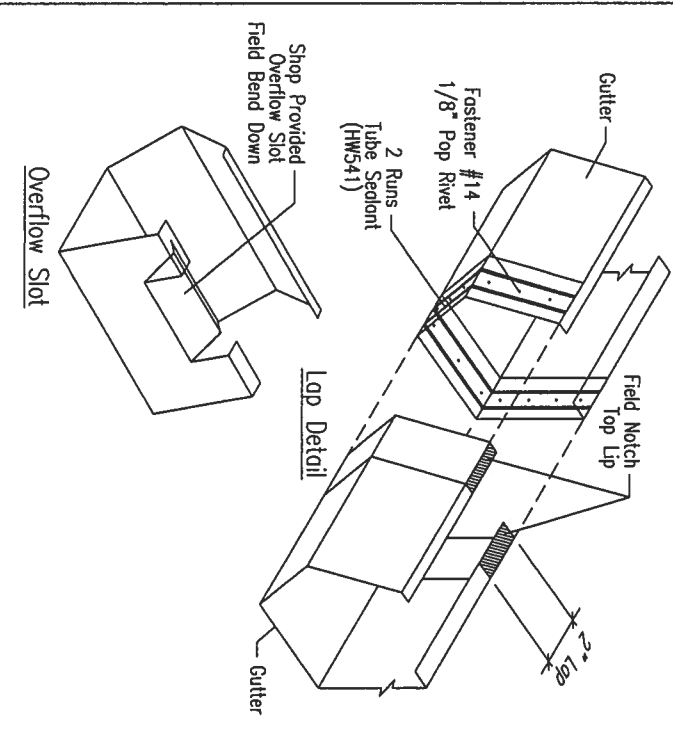
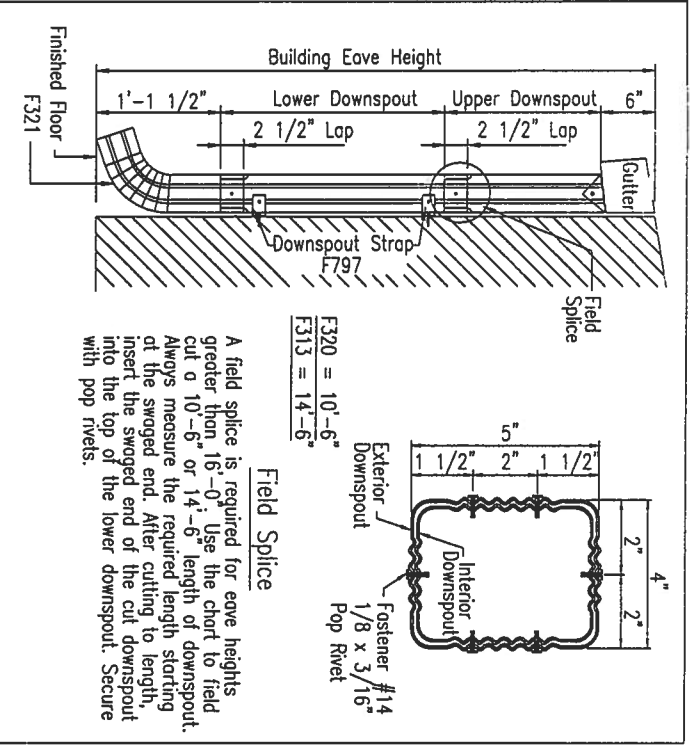
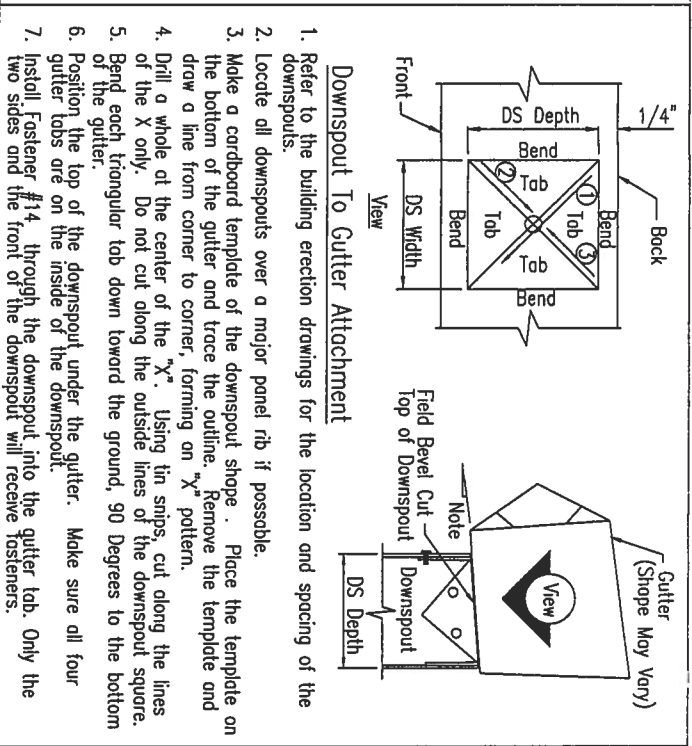
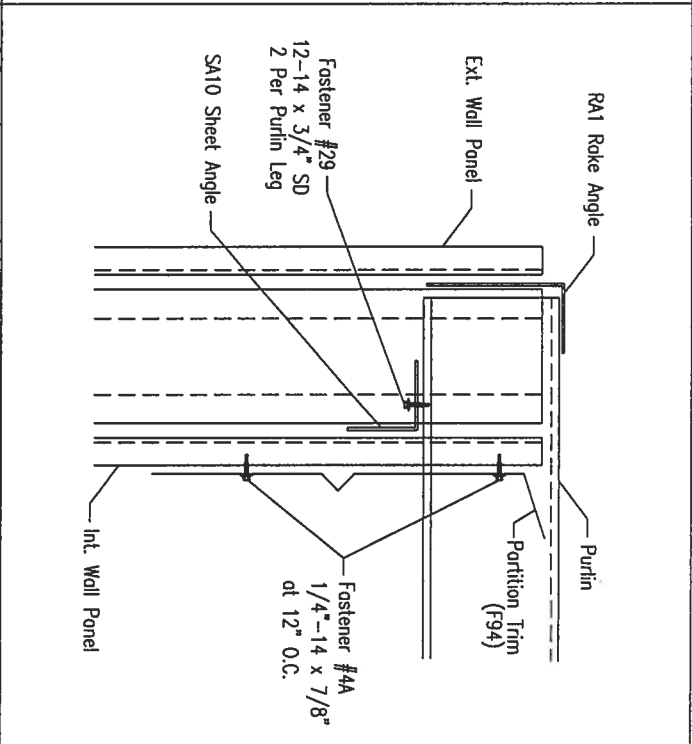
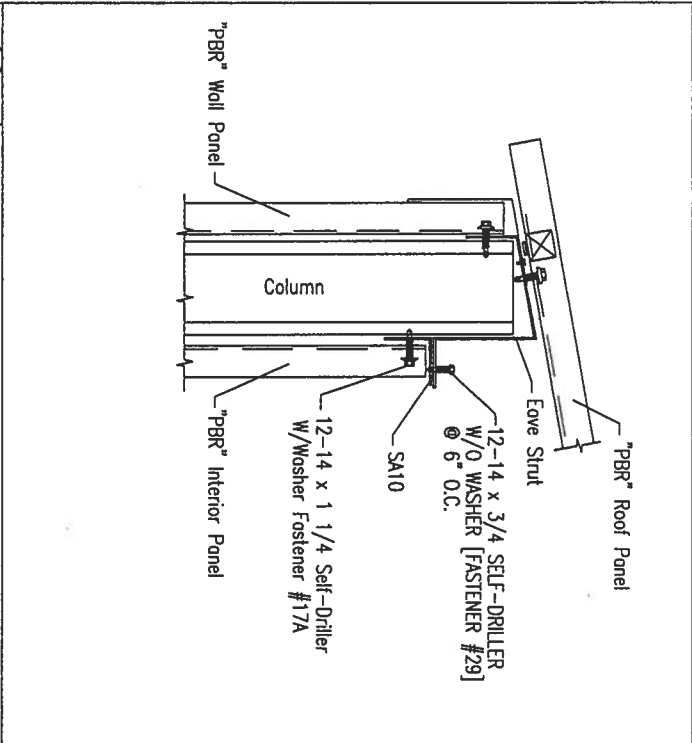
PROJECT: Limited Access Properties INC
CUSTOMER: Paul Barcia

OWNER:

LOCATION: Fort White, FL 32038

CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER	SHEET NUMBER	ISSUES
SW	10/29/19	N.T.S.	01	A/B	17-B-34825	DETA	0





TRIM_95	GUTTER LAP DETAIL	TRIM_174	"PBR" WALL FASTENER PATTERN	TRIM_175	"PBR" ROOF FASTENER PATTERN
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ISSUE	DATE	DESCRIPTION	BY	CK'D	DSN
0	10/29/19	FOR ERECTOR INSTALLATION	SW	CM	CSH
<div><div>HERITAGE BUILDING SYSTEMS</div><div>2612 GRIBBLE STREET NORTH LITTLE ROCK, AR 72114 1-800-643-5555</div></div>					
PROJECT: United Access Properties INC					
CUSTOMER: Paul Bardo					
LOCATION: Fort White, FL 32038					
OWNER:					
CAD	DATE	SCALE	PHASE	BUILDING ID	JOB NUMBER
SW	10/29/19	N.T.S.	01	A/B	17-B-34825
					SHEET NUMBER
					DET6
					ISSUE
					0

