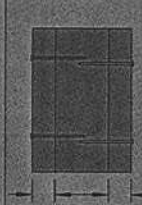
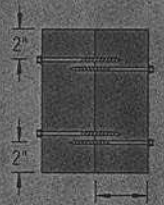
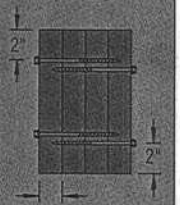
MULTIPLE-MEMBER CONNECTIONS FOR SIDE-LOADED BEAMS

Point Load—Maximum Point Load Applied to Either Outside Member (lbs)

Connector Type	Number of Connectors	Connector Pattern: Assembly A	Assembly B	Assembly C	Assembly D	Assembly E	Assembly F
							
		3½" 2-ply	5¼" 3-ply	5¼" 2-ply	7" 3-ply	7" 2-ply	7" 4-ply
10d (0.128" x 3") Nail	6	1,110	*835*	835	*740*		
	12	2,225	*1,670*	1,670	*1,485*		
	18	3,335	*2,505*	2,505	*2,225*		
	24	4,450	*3,335*	3,335	*2,965*		
SDS Screws ¼" x 3½" or WS35 ¼" x 6" or WS6(1)	4	1,915	1,435(4)	1,435	*1,275*	*1,860(2)*	*1,405(2)*
	6	2,870	2,150 (4)	2,150	*1,915*	*2,785(2)*	*2,110(2)*
	8	3,825	2,870 (4)	2,870	*2,550*	*3,715(2)*	*2,810(2)*
3⅜" or 5" TrussLok™	4	2,545	1,910 (4)	1,910	*1,695*	*1,925(3)*	*1,775(3)*
	6	3,815	2,860 (4)	2,860	*2,545*	*2,890(3)*	*2,665(3)*
	8	5,090	3,815 (4)	3,815	*3,390*	*3,855(3)*	*3,550(3)*

(1) 6" SDS or WS screws can be used with Parallam® PSL and Microllam® LVL, but are not recommended for TimberStrand® LSL.

See General Notes on page 38

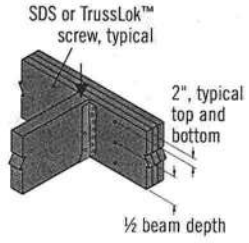
(2) 6" long screws required.

(3) 5" long screws required.

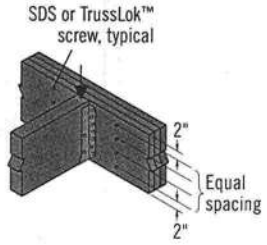
(4) 3½" and 3⅜" long screws must be installed on both sides.

Connections

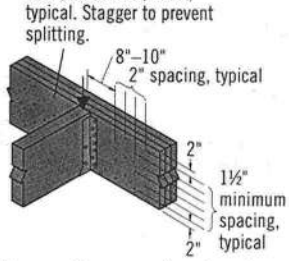
4 or 6 or Screw Connection



8 Screw Connection

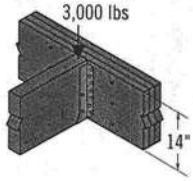


Nail Connection



There must be an equal number of nails on each side of the connection

Point Load Design Example



First, verify that a 3-ply 1¾" x 14" beam is capable of supporting the 3,000 lb point load as well as all other loads applied. The 3,000 lb point load is being transferred to the beam with a face mount hanger. For a 3-ply 1¾" assembly, eight 3⅜" TrussLok™ screws are good for 3,815 lbs with a face mount hanger.

MULTIPLE-MEMBER CONNECTIONS FOR TOP-LOADED BEAMS

1¾" Wide Pieces

- Minimum of three rows of 10d (0.128" x 3") nails at 12" on-center.
- Minimum of four rows of 10d (0.128" x 3") nails at 12" on-center for 14" or deeper.
- If using 12d–16d (0.148"–0.162" diameter) nails, the number of nailing rows may be reduced by one.
- Minimum of two rows of SDS, WS, or TrussLok™ screws at 16" on-center. Use 3⅜" minimum length with two or three plies; 5" minimum for 4-ply members. 6" SDS and WS screws are not recommended for use with TimberStrand® LSL. For 3- or 4-ply members, connectors must be installed on both sides. Stagger fasteners on opposite side of beam by ½ of the required connector spacing.
- Load must be applied evenly across entire beam width. Otherwise, use connections for side-loaded beams.

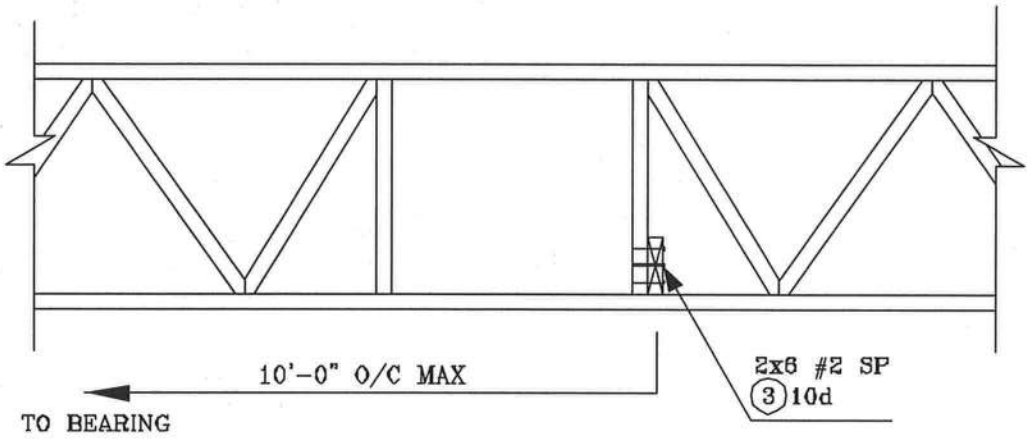
3½" Wide Pieces

- Minimum of two rows of SDS, WS, or TrussLok™ screws, 5" minimum length, at 16" on-center. 6" SDS and WS screws are not recommended for use with TimberStrand® LSL. Connectors must be installed on both sides. Stagger fasteners on opposite side of beam by ½ of the required connector spacing.
- Load must be applied evenly across entire beam width. Otherwise, use connections for side-loaded beams.
- Minimum of two rows of ½" bolts at 24" on-center staggered.

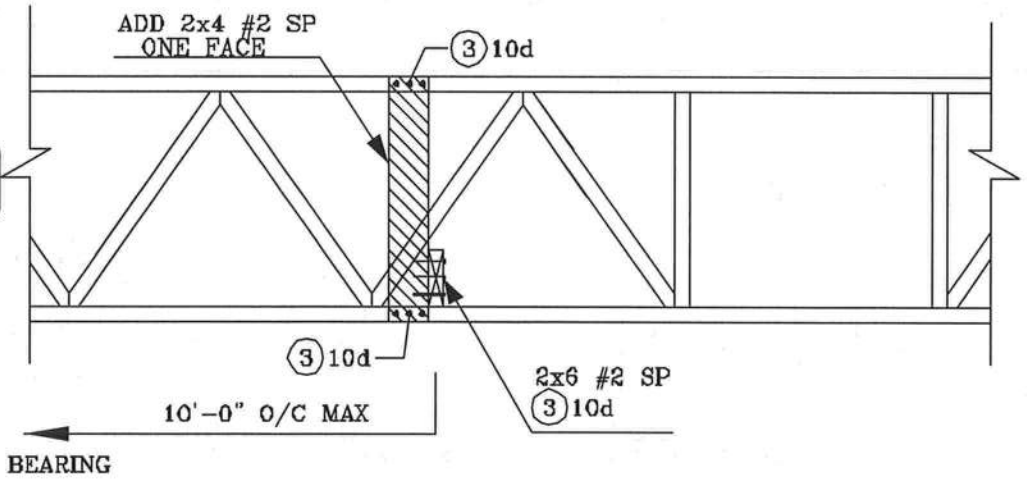
Multiple pieces can be nailed or bolted together to form a header or beam of the required size, up to a maximum width of 7"

L6

STRONG BACK DETAIL
SYSTEM–42 OR FLAT TRUSS



ALTERNATE DETAIL FOR
STRONG BACK WITH VERTICAL
NOT LINING UP



REVIEWED
By julius lee at 11:58 am, Jun 11, 2008

JULIUS LEE
LICENSE
NO. 34869
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

JULIUS LEE'S
CONS. ENGINEERS P.A.
1455 SW 4th AVENUE
DELRAY BEACH, FL. 33444-2161

No: 34869
STATE OF FLORIDA

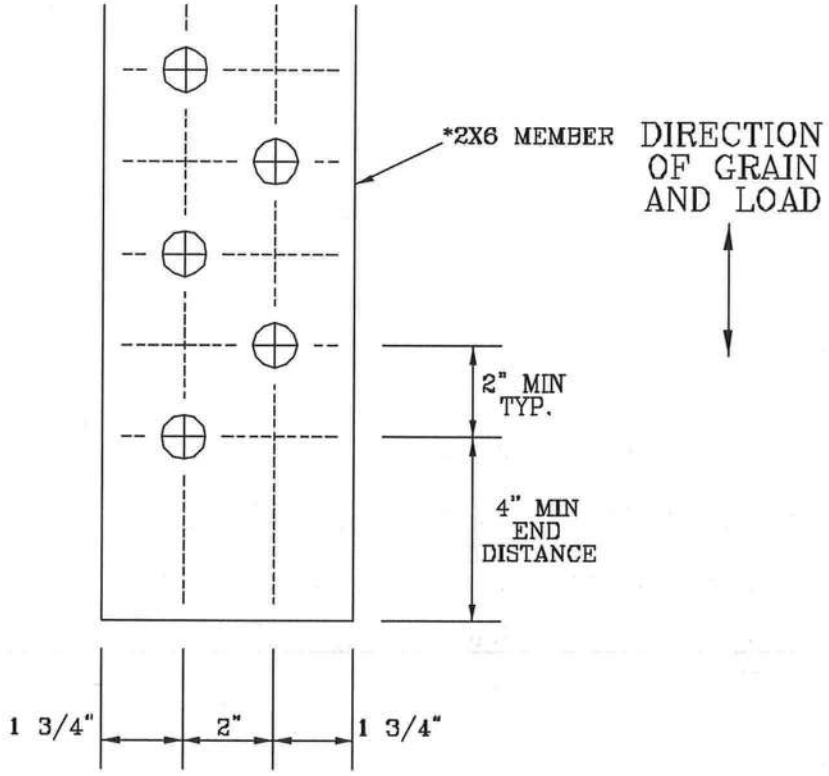
1/2" DIAMETER BOLT SPACING FOR LOAD APPLIED PARALLEL TO GRAIN.

* GRADE AND SPECIES AS SPECIFIED ON THE ALPINE DESIGN.

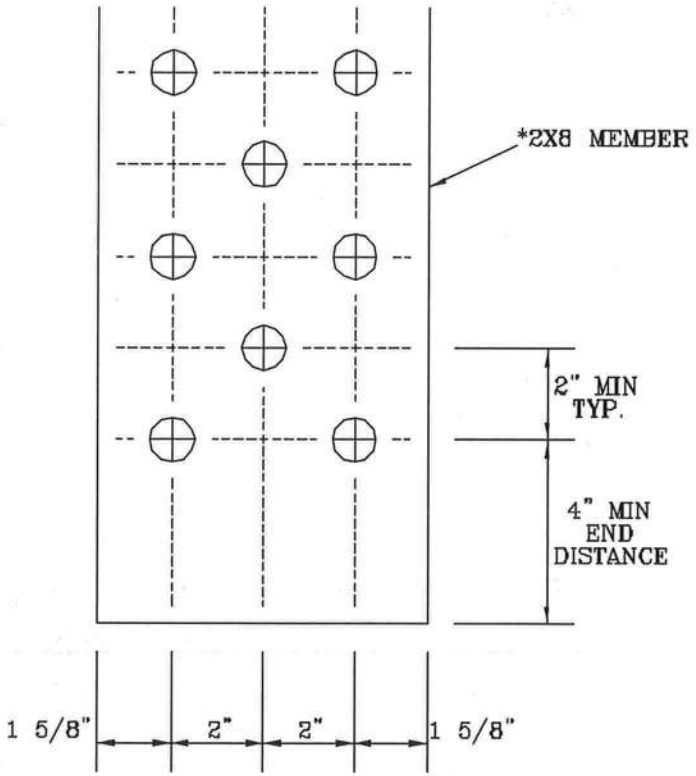
BOLT HOLES SHALL BE A MINIMUM OF 1/32" TO A MAXIMUM OF 1/16" LARGER THAN BOLT DIAMETER.

TYPICAL LOCATION OF 1/2" DIAMETER THRU BOLTS. BOLT QUANTITIES AS NOTED ON SEALED DESIGN MUST BE APPLIED IN ONE OF THE PATTERNS SHOWN BELOW.

WASHERS REQUIRED UNDER BOLT HEAD AND NUT



2X6 DETAIL



2X8 DETAIL

THIS DRAWING REPLACES DRAWING A628,016

JULIUS LEE LICENSE NO. 34869 STATE OF FLORIDA PROFESSIONAL ENGINEER

"WARNING" TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI. 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

REVIEWED
By julius lee at 11:59 am, Jun 11, 2008

JULIUS LEE'S CONS. ENGINEERS P.A.
1455 SW 4th AVENUE
DELRAY BEACH, FL 33444-2161

No: 34869
STATE OF FLORIDA

TC LL	PSF	REF	BOLT SPACING
TC DL	PSF	DATE	11/26/03
BC DL	PSF	DRWG	CNBOLTSP1103
BC LL	PSF	-ENG	JL
TOT. LD.	PSF		
DUR. FAC.			
SPACING			

VALLEY TRUSS DETAIL

TOP CHORD 2X4 SP #2 OR SPF #1/#2 OR BETTER.
BOT CHORD 2X3(*) OR 2X4 SP #2N OR SPF #1/#2 OR BETTER.
WEBS 2X4 SP #3 OR BETTER.

* 2X3 MAY BE RIPPED FROM A 2X6 (PITCHED OR SQUARE).

** ATTACH EACH VALLEY TO EVERY SUPPORTING TRUSS WITH: (2) 16d BOX (0.135" X 3.5") NAILS TOE-NAILED FOR FBC 2004 110 MPH, ASCE 7-02 110 MPH WIND OR (3) 16d FOR ASCE 7-02 130 MPH WIND. 15' MEAN HEIGHT, ENCLOSED BUILDING, EXP. C, RESIDENTIAL, WIND TC DL=5 PSF.

UNLESS SPECIFIED ON ENGINEER'S SEALED DESIGN, APPLY 1X4 "T"-BRACE, 80% LENGTH OF WEB, VALLEY WEB, SAME SPECIES AND GRADE OR BETTER, ATTACHED WITH 8d BOX (0.113" X 2.5") NAILS AT 6" OC, OR CONTINUOUS LATERAL BRACING, EQUALLY SPACED, FOR VERTICAL VALLEY WEBS GREATER THAN 7'9".

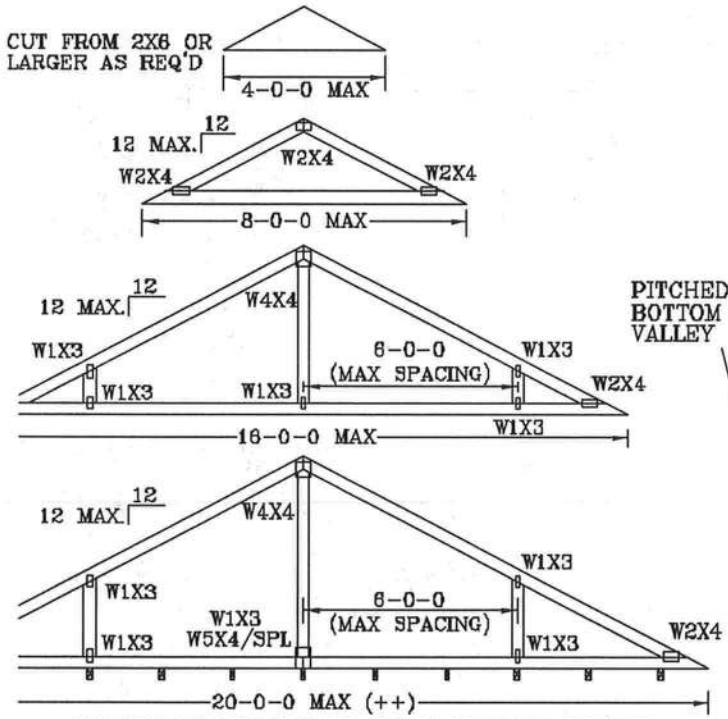
MAXIMUM VALLEY VERTICAL HEIGHT MAY NOT EXCEED 12'0".

TOP CHORD OF TRUSS BENEATH VALLEY SET MUST BE BRACED WITH:
PROPERLY ATTACHED, RATED SHEATHING APPLIED PRIOR TO VALLEY TRUSS INSTALLATION
OR
PURLINS AT 24" OC OR AS OTHERWISE SPECIFIED ON ENGINEERS' SEALED DESIGN
OR
BY VALLEY TRUSSES USED IN LIEU OF PURLIN SPACING AS SPECIFIED ON ENGINEERS' SEALED DESIGN.

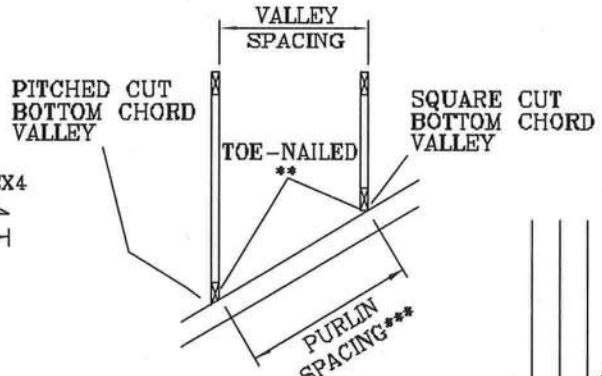
*** NOTE THAT THE PURLIN SPACING FOR BRACING THE TOP CHORD OF THE TRUSS BENEATH THE VALLEY IS MEASURED ALONG THE SLOPE OF THE TOP CHORD.

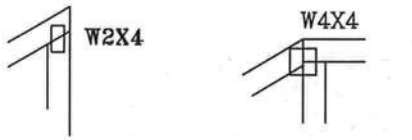
++ LARGER SPANS MAY BE BUILT AS LONG AS THE VERTICAL HEIGHT DOES NOT EXCEED 12'0".

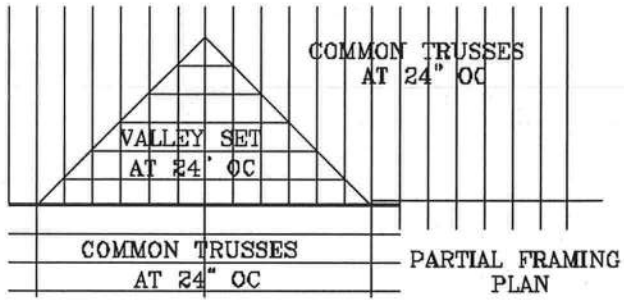
BOTTOM CHORD MAY BE SQUARE OR PITCHED CUT AS SHOWN.



SUPPORTING TRUSSES AT 24" OC MAXIMUM SPACING.







THIS DRAWING REPLACES DRAWING A105

JULIUS LEE LICENSE NO. 34869 STATE OF FLORIDA PROFESSIONAL ENGINEER

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI. 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

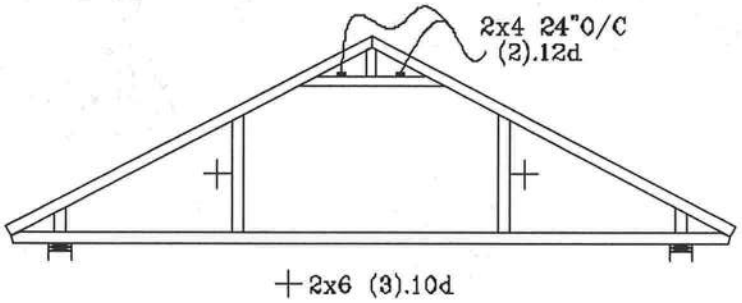
REVIEWED
By julius lee at 11:59 am, Jun 11, 2008

JULIUS LEE'S
CONS. ENGINEERS P.A.
1455 SW 4th AVENUE
DELRAY BEACH, FL. 33444-2161

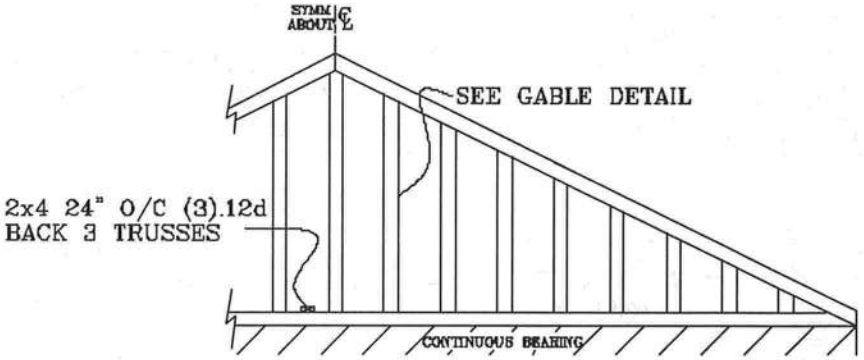
No: 34869
STATE OF FLORIDA

TC LL	20	20	PSF	REF VALLEY DETAIL
TC DL	7	15	PSF	DATE 11/26/03
BC DL	5	5	PSF	DRWG VALTRUSS1103
BC LL	0	0	PSF	-ENG JL
TOT. LD.	32	40	PSF	
DUR.FAC. 1.25		1.25		
SPACING		24"		

TYPICAL ATTIC TRUSS BRACING

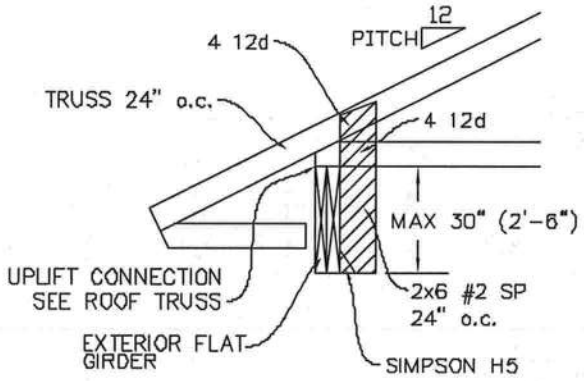


GABLE END TRUSS DETAIL

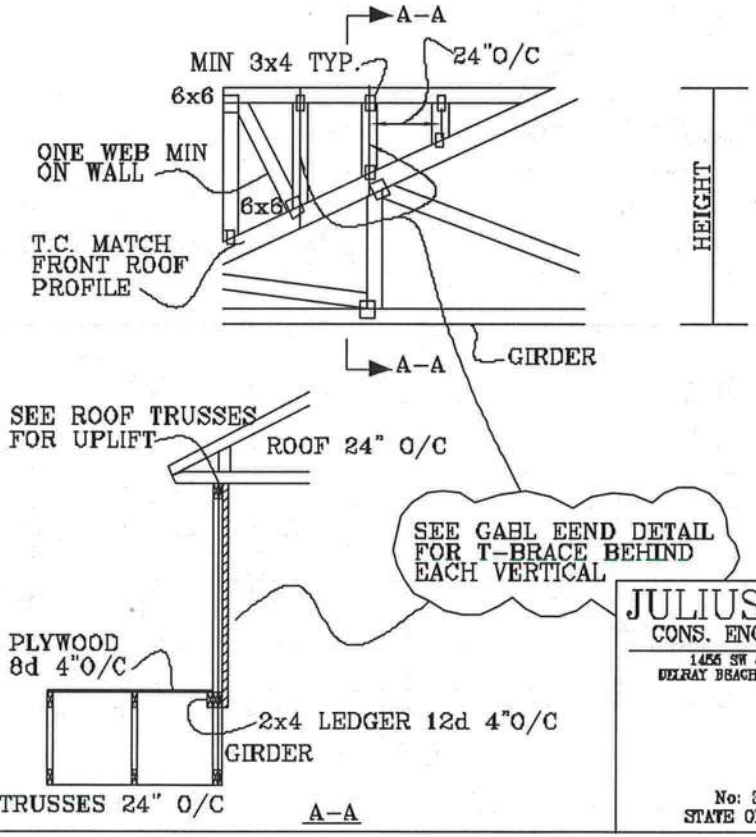


MINIMUM BC BRACING ON GABLE TRUSS. OTHER PERMANENT BRACING DESIGNS BY ARCHITECT OR EOR

TYPICAL ALTERNATE BRACING DETAIL FOR EXTERIOR FLAT GIRDER TRUSS



TYPICAL WALL GIRDER VERTICAL WEB BRACING DETAIL



REVIEWED
By julius lee at 11:59 am, Jun 11, 2008

JULIUS LEE
LICENSE
NO. 34869
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

JULIUS LEE'S
CONS. ENGINEERS P.A.
1455 SW 4th AVENUE
DELRAY BEACH, FL 33444-2161

No: 34869
STATE OF FLORIDA

ASCE 7-02: 130 MPH WIND SPEED, 15' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C

MAX GABLE VERTICAL LENGTH

2X4 GABLE VERTICAL SPACING	SPECIES	BRACE GRADE	NO BRACES	(1) 1X4 "L" BRACE * GROUP A	(1) 1X4 "L" BRACE * GROUP B	(1) 2X4 "L" BRACE * GROUP A	(1) 2X4 "L" BRACE * GROUP B	(2) 2X4 "L" BRACE ** GROUP A	(2) 2X4 "L" BRACE ** GROUP B	(1) 2X6 "L" BRACE * GROUP A	(1) 2X6 "L" BRACE * GROUP B	(2) 2X6 "L" BRACE ** GROUP A	(2) 2X6 "L" BRACE ** GROUP B
24" O.C.	SPF HF	#1 / #2	3' 4"	6' 10"	6' 0"	6' 11"	7' 1"	8' 3"	8' 6"	10' 10"	11' 2"	12' 11"	13' 3"
		#3	3' 3"	4' 11"	4' 11"	6' 6"	6' 6"	8' 3"	8' 3"	10' 1"	10' 1"	12' 11"	12' 11"
		STUD	3' 3"	4' 11"	4' 11"	6' 5"	6' 5"	8' 3"	8' 3"	10' 0"	10' 0"	12' 11"	12' 11"
		STANDARD	3' 3"	4' 2"	4' 2"	5' 6"	5' 6"	7' 5"	7' 5"	8' 8"	8' 8"	11' 5"	11' 5"
	SP DFL	#1	3' 8"	5' 10"	6' 3"	6' 11"	7' 5"	8' 3"	8' 11"	10' 10"	11' 8"	12' 11"	13' 11"
		#2	3' 7"	5' 10"	6' 3"	6' 11"	7' 5"	8' 3"	8' 11"	10' 10"	11' 8"	12' 11"	13' 11"
		#3	3' 6"	5' 0"	5' 0"	6' 8"	6' 8"	8' 3"	8' 8"	10' 4"	10' 4"	12' 11"	13' 7"
		STUD	3' 6"	5' 0"	5' 0"	6' 7"	6' 7"	8' 3"	8' 8"	10' 3"	10' 3"	12' 11"	13' 7"
		STANDARD	3' 4"	4' 3"	4' 3"	5' 8"	5' 8"	7' 8"	7' 8"	8' 10"	8' 10"	12' 0"	12' 0"
16" O.C.	SPF HF	#1 / #2	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"
		#3	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"
		STUD	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"
		STANDARD	3' 9"	5' 2"	5' 2"	6' 10"	6' 10"	9' 2"	9' 2"	10' 7"	10' 7"	14' 0"	14' 0"
	SP DFL	#1	4' 3"	8' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#2	4' 2"	8' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#3	4' 0"	8' 2"	6' 2"	7' 11"	8' 2"	9' 5"	9' 11"	12' 5"	12' 8"	14' 0"	14' 0"
		STUD	4' 0"	8' 1"	6' 1"	7' 11"	8' 1"	9' 5"	9' 11"	12' 5"	12' 8"	14' 0"	14' 0"
		STANDARD	3' 10"	5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"
12" O.C.	SPF HF	#1 / #2	4' 3"	7' 4"	7' 7"	8' 9"	8' 11"	10' 6"	10' 8"	13' 8"	14' 0"	14' 0"	14' 0"
		#3	4' 2"	6' 11"	6' 11"	8' 9"	8' 9"	10' 6"	10' 5"	13' 8"	13' 8"	14' 0"	14' 0"
		STUD	4' 2"	6' 11"	6' 11"	8' 9"	8' 9"	10' 5"	10' 5"	13' 8"	13' 8"	14' 0"	14' 0"
		STANDARD	4' 2"	6' 11"	6' 11"	7' 10"	7' 10"	10' 6"	10' 6"	12' 3"	12' 3"	14' 0"	14' 0"
	SP DFL	#1	4' 8"	7' 4"	7' 11"	8' 9"	9' 5"	10' 5"	11' 2"	13' 8"	14' 0"	14' 0"	14' 0"
		#2	4' 7"	7' 4"	7' 11"	8' 9"	9' 5"	10' 6"	11' 2"	13' 8"	14' 0"	14' 0"	14' 0"
		#3	4' 4"	7' 2"	7' 2"	8' 9"	9' 2"	10' 5"	10' 11"	13' 8"	14' 0"	14' 0"	14' 0"
		STUD	4' 4"	7' 1"	7' 1"	8' 9"	9' 2"	10' 6"	10' 11"	13' 8"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 3"	6' 1"	6' 1"	8' 0"	8' 0"	10' 5"	10' 8"	12' 8"	12' 8"	14' 0"	14' 0"

BRACING GROUP SPECIES AND GRADES:

GROUP A:

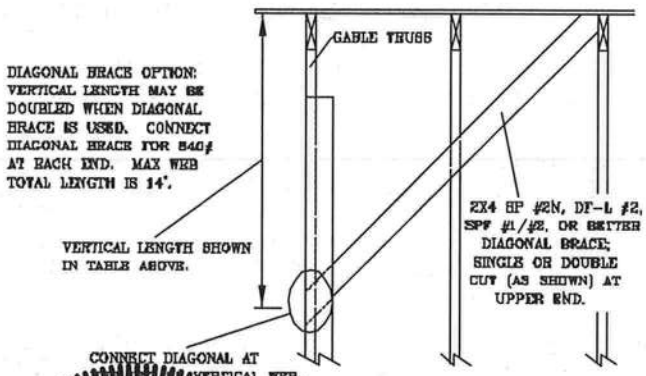
SPRUCE-PINE-FIR		HEM-FIR	
#1 / #2	STANDARD	#2	STUD
#3	STUD	#3	STANDARD

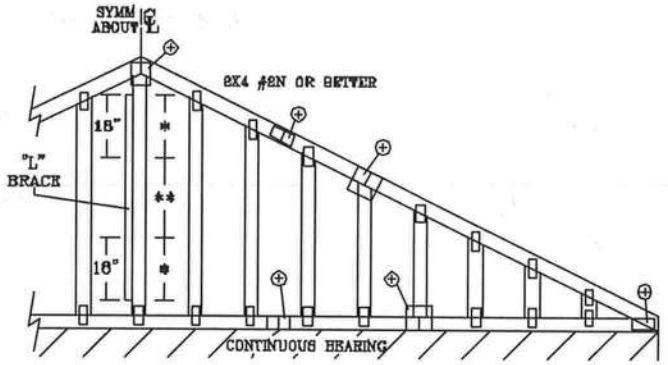
DOUGLAS FIR-LARCH	SOUTHERN PINE
#3	#3
STUD	STUD
STANDARD	STANDARD

GROUP B:

HEM-FIR
#1 & BTR
#1

SOUTHERN PINE	DOUGLAS FIR-LARCH
#1	#1
#2	#2





REFER TO CHART ABOVE FOR MAX GABLE VERTICAL LENGTH.

GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.

PROVIDE UPLIFT CONNECTIONS FOR 136 PLF OVER CONTINUOUS BEARING (6 PSF TC DEAD LOAD).

GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.

ATTACH EACH "L" BRACE WITH 10d NAILS.
* FOR (1) "L" BRACE: SPACE NAILS AT 8" O.C. IN 18" END ZONES AND 4" O.C. BETWEEN ZONES.
** FOR (2) "L" BRACES: SPACE NAILS AT 3" O.C. IN 18" END ZONES AND 6" O.C. BETWEEN ZONES.

"L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES

VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 8"	2X4
GREATER THAN 11' 8"	2.5X4

+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.

JULIUS LEE LICENSE NO. 34869 STATE OF FLORIDA PROFESSIONAL ENGINEER

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR, SUITE 200, MADISON, WI 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

REVIEWED
By julius lee at 12:00 pm, Jun 11, 2008

JULIUS LEE'S
CONS. ENGINEERS P.A.
1455 SW 4th AVENUE
DELRAY BEACH, FL 33444-2161

No: 34869
STATE OF FLORIDA

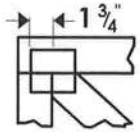
MAX. TOT. LD. 60 PSF

MAX. SPACING 24.0"

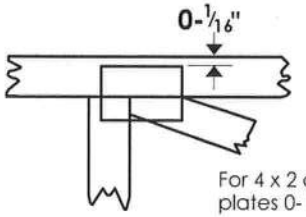
REF ASCE7-02-GAB13015
DATE 11/26/03
DRWG MITEK STD GABLE 15 E HT
-ENG

Symbols

PLATE LOCATION AND ORIENTATION



Center plate on joint unless x, y offsets are indicated. Dimensions are in ft-in-sixteenths. Apply plates to both sides of truss and fully embed teeth.



For 4 x 2 orientation, locate plates 0- 1/16" from outside edge of truss.

This symbol indicates the required direction of slots in connector plates.

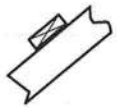
*** Plate location details available in MiTek 20/20 software or upon request.**

PLATE SIZE

4 x 4

The first dimension is the plate width measured perpendicular to slots. Second dimension is the length parallel to slots.

LATERAL BRACING LOCATION



Indicated by symbol shown and/or by text in the bracing section of the output. Use T, I or Eliminator bracing if indicated.

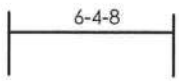
BEARING

Indicates location where bearings (supports) occur. Icons vary but reaction section indicates joint number where bearings occur.

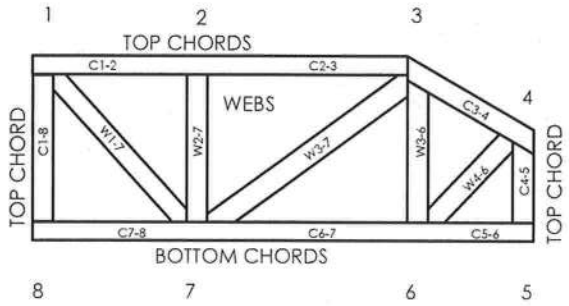
Industry Standards:

ANSI/TPI1: National Design Specification for Metal Plate Connected Wood Truss Construction.
DSB-89: Design Standard for Bracing.
BCSI1: Building Component Safety Information, Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses.

Numbering System



dimensions shown in ft-in-sixteenths
(Drawings not to scale)



JOINTS ARE GENERALLY NUMBERED/LETTERED CLOCKWISE AROUND THE TRUSS STARTING AT THE JOINT FARTHEST TO THE LEFT.

CHORDS AND WEBS ARE IDENTIFIED BY END JOINT NUMBERS/LETTERS.

PRODUCT CODE APPROVALS

ICC-ES Reports:

ESR-1311, ESR-1352, ER-5243, 9604B,
9730, 95-43, 96-31, 9667A
NER-487, NER-561
95110, 84-32, 96-67, ER-3907, 9432A

Julius Lee
1109 Coastal Bay Blvd.
Boynton, FL 33435

⚠ General Safety Notes

Failure to Follow Could Cause Property Damage or Personal Injury

1. Additional stability bracing for truss system, e.g. diagonal or X-bracing, is always required. See BCSI1.
2. Truss bracing must be designed by an engineer. For wide truss spacing, individual lateral braces themselves may require bracing, or alternative T, I, or Eliminator bracing should be considered.
3. Never exceed the design loading shown and never stack materials on inadequately braced trusses.
4. Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties.
5. Cut members to bear tightly against each other.
6. Place plates on each face of truss at each joint and embed fully. Knots and wane at joint locations are regulated by ANSI/TPI 1.
7. Design assumes trusses will be suitably protected from the environment in accord with ANSI/TPI 1.
8. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
9. Unless expressly noted, this design is not applicable for use with fire retardant, preservative treated, or green lumber.
10. Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
11. Plate type, size, orientation and location dimensions indicated are minimum plating requirements.
12. Lumber used shall be of the species and size, and in all respects, equal to or better than that specified.
13. Top chords must be sheathed or purlins provided at spacing indicated on design.
14. Bottom chords require lateral bracing at 10 ft. spacing, or less, if no ceiling is installed, unless otherwise noted.
15. Connections not shown are the responsibility of others.
16. Do not cut or alter truss member or plate without prior approval of an engineer.
17. Install and load vertically unless indicated otherwise.
18. Use of green or treated lumber may pose unacceptable environmental, health or performance risks. Consult with project engineer before use.
19. Review all portions of this design (front, back, words and pictures) before use. Reviewing pictures alone is not sufficient.
20. Design assumes manufacture in accordance with ANSI/TPI 1 Quality Criteria.

Job	Truss	Truss Type	Qty	Ply	RONALD CLARK CONST. - RADZIMINSKI RES.
357050	T09	HIP	1	1	I4576068
					Job Reference (optional)

Builders FrstSource, Lake City, FL 32055 — 7.140 s Oct 1 2009 MiTek Industries, Inc. Tue Dec 21 09:08:12 2010 Page 2

LOAD CASE(S) Standard

Concentrated Loads (lb)

Vert: 3=-195(F) 4=-195(F) 9=-178(F) 7=-178(F) 10=-97(F) 11=-29(F)

December 21,2010

Julius Lee
1109 Coastal Bay Blvd.
Boynton, FL 33435

Job	Truss	Truss Type	Qty	Ply	RONALD CLARK CONST. - RADZIMINSKI RES.	I4576067
357050	T08	HIP	1	1	Job Reference (optional)	

Builders FrstSource, Lake City, FL 32055 — 7.140 s Oct 1 2009 MiTek Industries, Inc. Tue Dec 21 09:08:12 2010 Page 1

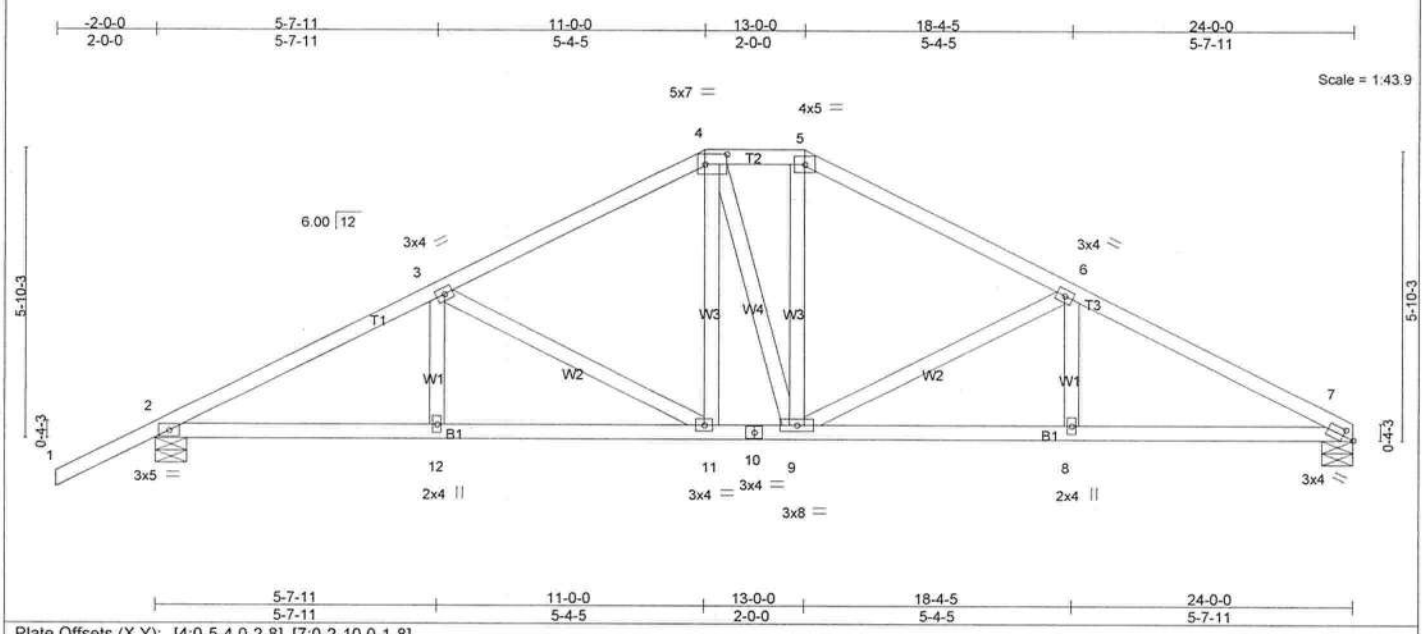


Plate Offsets (X,Y): [4:0-5-4,0-2-8], [7:0-2-10,0-1-8]

LOADING (psf)		SPACING	2-0-0	CSI		DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL	20.0	Plates Increase	1.25	TC	0.42	Vert(LL)	-0.05	11-12	>999	360	MT20	244/190
TCDL	7.0	Lumber Increase	1.25	BC	0.27	Vert(TL)	-0.10	11-12	>999	240		
BCLL	0.0 *	Rep Stress Incr	YES	WB	0.27	Horz(TL)	0.04	7	n/a	n/a		
BCDL	5.0	Code FBC2007/TPI2002		(Matrix)		Wind(LL)	0.08	11-12	>999	240	Weight: 128 lb	

LUMBER
TOP CHORD 2 X 4 SYP No.2
BOT CHORD 2 X 4 SYP No.2
WEBS 2 X 4 SYP No.3

BRACING
TOP CHORD Structural wood sheathing directly applied or 5-3-6 oc purlins.
BOT CHORD Rigid ceiling directly applied or 7-1-1 oc bracing.

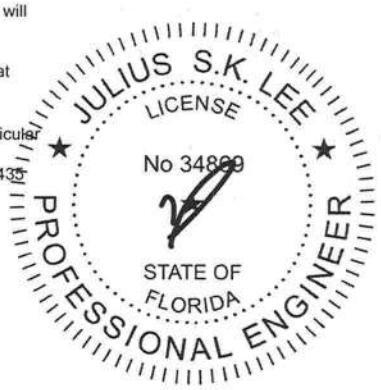
MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS (lb/size) 7=742/0-7-8, 2=879/0-7-8
Max Horz 2=144(LC 6)
Max Uplift 7=-242(LC 7), 2=-378(LC 6)

FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-3=-1302/915, 3-4=-940/767, 4-5=-783/761, 5-6=-944/773, 6-7=-1323/987
BOT CHORD 2-12=-699/1088, 11-12=-699/1088, 10-11=-404/781, 9-10=-404/781, 8-9=-782/1128, 7-8=-782/1128
WEBS 3-11=-360/337, 6-9=-404/430

NOTES (9-10)
1) Unbalanced roof live loads have been considered for this design.
2) Wind: ASCE 7-05; 110mph (3-second gust); TCDL=4.2psf; BCDL=3.0psf; h=18ft; Cat. II; Exp C; enclosed; MWFRS (low-rise) and C-C Exterior(2) zone;C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
3) Provide adequate drainage to prevent water ponding.
4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
6) All bearings are assumed to be SYP No.2 .
7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 242 lb uplift at joint 7 and 378 lb uplift at joint 2.
8) "Semi-rigid pitchbreaks including heels" Member end fixity model was used in the analysis and design of this truss.
9) This manufactured product is designed as an individual building component. The suitability and use of this component for any particular building is the responsibility of the building designer per ANSI TPI 1 as referenced by the building code.
10) Truss Design Engineer: Julius Lee, PE: Florida P.E. License No. 34869: Address: 1109 Coastal Bay Blvd. Boynton Beach, FL 33435

LOAD CASE(S) Standard



December 21,2010

Julius Lee
1109 Coastal Bay Blvd.
Boynton, FL 33435

10) This manufactured product is designed as an individual building component. The suitability and use of this component for any particular building is the responsibility of the building designer per ANSI TPI 1 as referenced by the building code.

11) Truss Design Engineer: Julius Lee, PE: Florida P.E. License No. 34869: Address: 1109 Coastal Bay Blvd. Boynton Beach, FL 33435

LOAD CASE(S) Standard

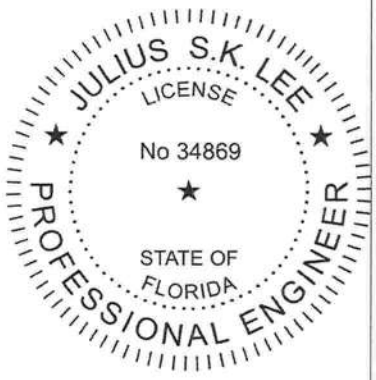
1) Regular: Lumber Increase=1.25, Plate Increase=1.25

Uniform Loads (plf)

Vert: 1-3=-54, 3-7=-54, 2-8=-10

Concentrated Loads (lb)

Vert: 3=-195(F) 12=-178(F) 4=-97(F) 10=-29(F) 13=-97(F) 14=-97(F) 15=-97(F) 16=-97(F) 17=-97(F) 18=-97(F) 19=-97(F) 20=-29(F) 21=-29(F) 22=-29(F) 23=-29(F) 24=-29(F) 25=-29(F) 26=-29(F)



December 21,2010

Julius Lee
1109 Coastal Bay Blvd.
Boynton, FL 33435

Job	Truss	Truss Type	Qty	Ply	RONALD CLARK CONST. - RADZIMINSKI RES.	I4576064
357050	T05	COMMON	3	1	Job Reference (optional)	

Builders FrstSource, Lake City, FL 32055 — 7.140 s Oct 1 2009 MiTek Industries, Inc. Tue Dec 21 09:08:10 2010 Page 1

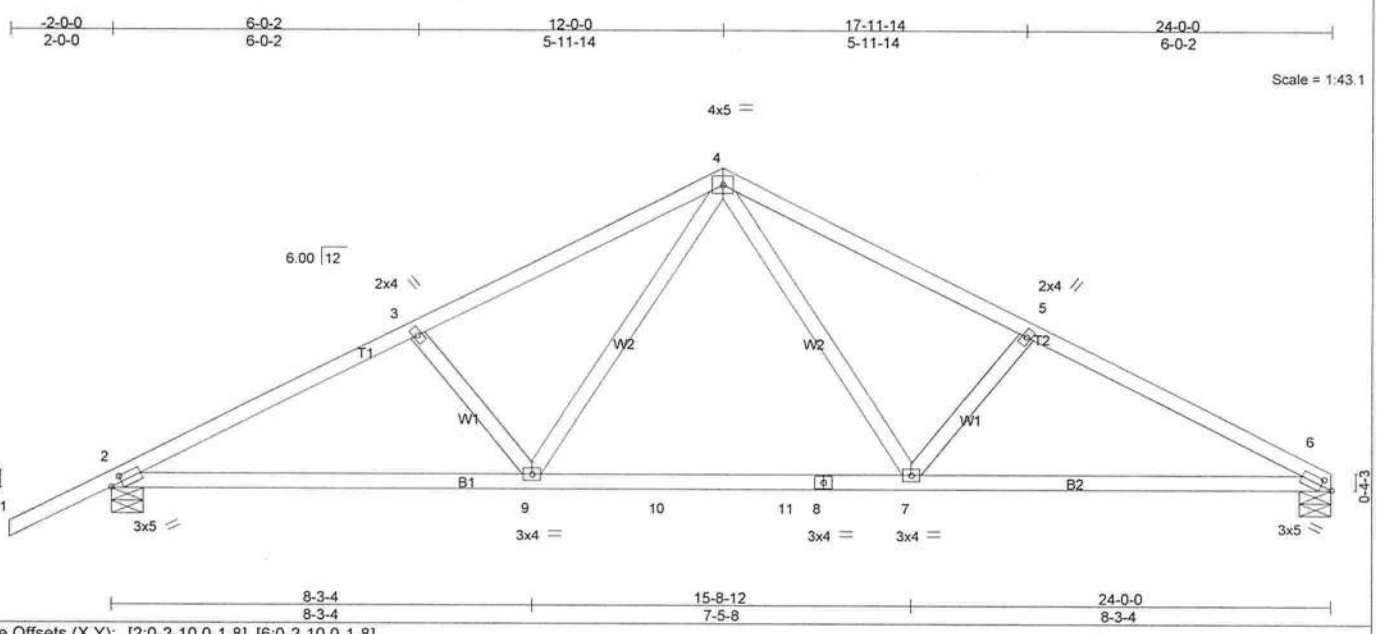


Plate Offsets (X,Y): [2:0-2-10,0-1-8], [6:0-2-10,0-1-8]

LOADING (psf)		SPACING	2-0-0	CSI		DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL	20.0	Plates Increase	1.25	TC	0.42	Vert(LL)	-0.15	7-9	>999	360	MT20	244/190
TCDL	7.0	Lumber Increase	1.25	BC	0.42	Vert(TL)	-0.21	6-7	>999	240		
BCLL	0.0 *	Rep Stress Incr	YES	WB	0.30	Horz(TL)	0.04	6	n/a	n/a		
BCDL	5.0	Code FBC2007/TPI2002		(Matrix)		Wind(LL)	0.09	7-9	>999	240	Weight: 110 lb	

LUMBER
TOP CHORD 2 X 4 SYP No.2
BOT CHORD 2 X 4 SYP No.2
WEBS 2 X 4 SYP No.3

BRACING
TOP CHORD Structural wood sheathing directly applied or 5-0-13 oc purlins.
BOT CHORD Rigid ceiling directly applied or 7-0-9 oc bracing.

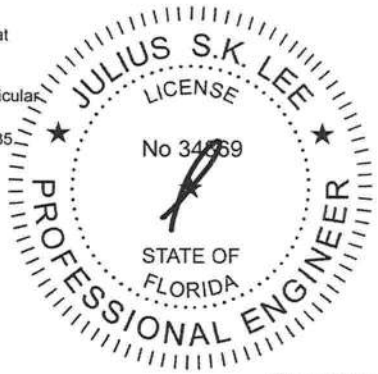
MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS (lb/size) 6=793/0-7-8, 2=930/0-7-8
Max Horz 2=151(LC 6)
Max Uplift 6=-248(LC 7), 2=-384(LC 6)

FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-3=-1406/949, 3-4=-1213/904, 4-5=-1235/948, 5-6=-1418/1003
BOT CHORD 2-9=-726/1179, 9-10=-365/801, 10-11=-365/801, 8-11=-365/801, 7-8=-365/801, 6-7=-793/1212
WEBS 4-7=-333/454, 5-7=-306/410, 4-9=-263/422, 3-9=-282/360

NOTES (8-9)
1) Unbalanced roof live loads have been considered for this design.
2) Wind: ASCE 7-05; 110mph (3-second gust); TCDL=4.2psf; BCDL=3.0psf; h=18ft; Cat. II; Exp C; enclosed; MWFRS (low-rise) and C-C Exterior(2) zone;C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
3) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
4) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members, with BCDL = 5.0psf.
5) All bearings are assumed to be SYP No.2 .
6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 248 lb uplift at joint 6 and 384 lb uplift at joint 2.
7) "Semi-rigid pitchbreaks including heels" Member end fixity model was used in the analysis and design of this truss.
8) This manufactured product is designed as an individual building component. The suitability and use of this component for any particular building is the responsibility of the building designer per ANSI TPI 1 as referenced by the building code.
9) Truss Design Engineer: Julius Lee, PE: Florida P.E. License No. 34869: Address: 1109 Coastal Bay Blvd. Boynton Beach, FL 33435

LOAD CASE(S) Standard



December 21,2010

WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MII-7473 BEFORE USE.
Design valid for use only with MiTek connectors. This design is based only upon parameters shown, and is for an individual building component. Applicability of design paramenters and proper incorporation of component is responsibility of building designer - not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult **ANSI/TPI1 Quality Criteria, DSB-89 and BCSI1 Building Component Safety Information** available from Truss Plate Institute, 583 D'Onofrio Drive, Madison, WI 53719.

Julius Lee
1109 Coastal Bay Blvd.
Boynton, FL 33435

Job	Truss	Truss Type	Qty	Ply	RONALD CLARK CONST. - RADZIMINSKI RES.	I4576062
357050	T03	HIP	1	1	Job Reference (optional)	

Builders FrstSource, Lake City, FL 32055 — 7.140 s Oct 1 2009 MiTek Industries, Inc. Tue Dec 21 09:08:09 2010 Page 1

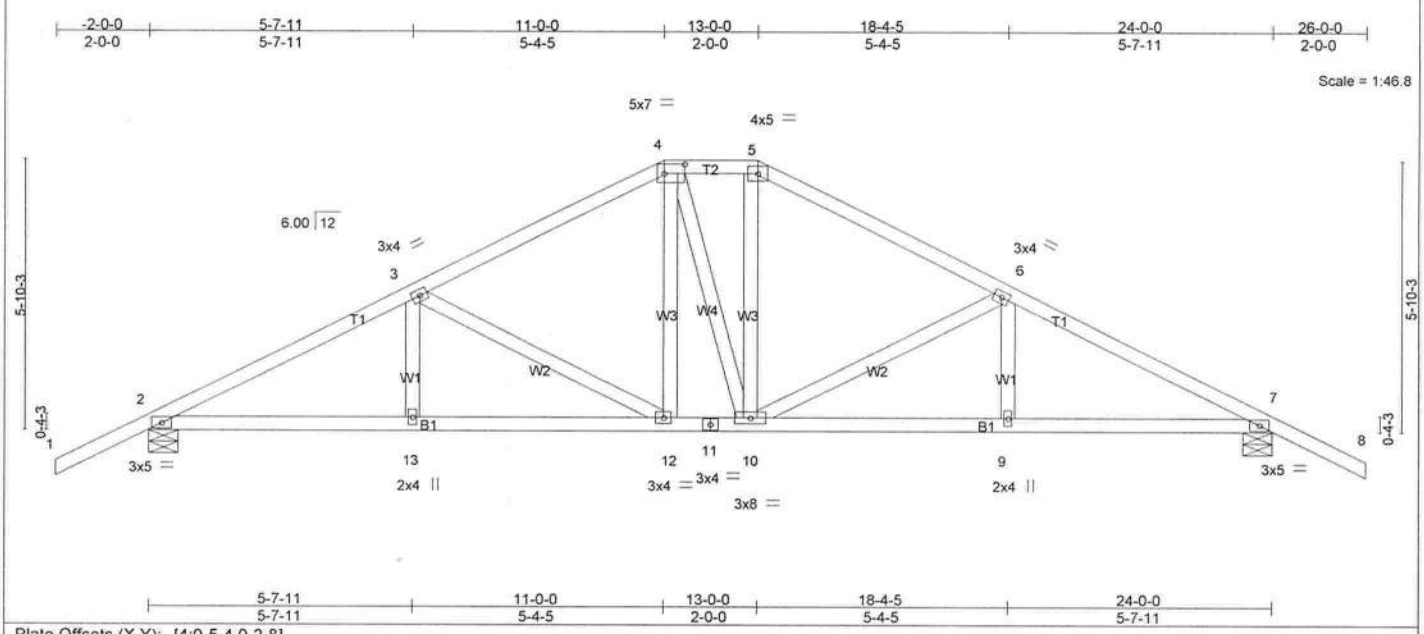


Plate Offsets (X,Y): [4:0-5-4,0-2-8]

LOADING (psf)		SPACING	2-0-0	CSI		DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL	20.0	Plates Increase	1.25	TC	0.42	Vert(LL)	-0.05	12-13	>999	360	MT20	244/190
TCDL	7.0	Lumber Increase	1.25	BC	0.24	Vert(TL)	-0.10	12-13	>999	240		
BCLL	0.0 *	Rep Stress Incr	YES	WB	0.24	Horz(TL)	0.04	7	n/a	n/a		
BCDL	5.0	Code FBC2007/TPI2002		(Matrix)		Wind(LL)	0.07	12-13	>999	240	Weight: 131 lb	

LUMBER
TOP CHORD 2 X 4 SYP No.2
BOT CHORD 2 X 4 SYP No.2
WEBS 2 X 4 SYP No.3

BRACING
TOP CHORD Structural wood sheathing directly applied or 5-5-9 oc purlins.
BOT CHORD Rigid ceiling directly applied or 8-2-5 oc bracing.

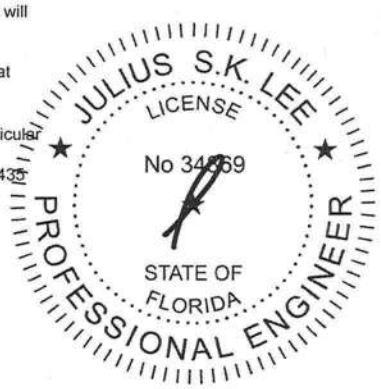
MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS (lb/size) 2=873/0-7-8, 7=873/0-7-8
Max Horz 2=127(LC 6)
Max Uplift 2=-377(LC 6), 7=-377(LC 7)

FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-3=-1289/889, 3-4=-926/740, 4-5=-771/735, 5-6=-928/740, 6-7=-1289/888
BOT CHORD 2-13=-578/1077, 12-13=-578/1077, 11-12=-281/769, 10-11=-281/769, 9-10=-577/1076, 7-9=-577/1076
WEBS 3-12=-361/339, 6-10=-359/338

NOTES (9-10)
1) Unbalanced roof live loads have been considered for this design.
2) Wind: ASCE 7-05; 110mph (3-second gust); TCDL=4.2psf; BCDL=3.0psf; h=18ft; Cat. II; Exp C; enclosed; MWFRS (low-rise) and C-C Exterior(2) zone;C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
3) Provide adequate drainage to prevent water ponding.
4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
6) All bearings are assumed to be SYP No.2 .
7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 377 lb uplift at joint 2 and 377 lb uplift at joint 7.
8) "Semi-rigid pitchbreaks including heels" Member end fixity model was used in the analysis and design of this truss.
9) This manufactured product is designed as an individual building component. The suitability and use of this component for any particular building is the responsibility of the building designer per ANSI TPI 1 as referenced by the building code.
10) Truss Design Engineer: Julius Lee, PE: Florida P.E. License No. 34869: Address: 1109 Coastal Bay Blvd. Boynton Beach, FL 33435

LOAD CASE(S) Standard



December 21,2010

Julius Lee
1109 Coastal Bay Blvd.
Boynton, FL 33435

Job	Truss	Truss Type	Qty	Ply	RONALD CLARK CONST. - RADZIMINSKI RES.
357050	T01	HIP	1	1	I4576060
Builders FirstSource, Lake City, FL 32055					Job Reference (optional)

7.140 s Oct 1 2009 MiTek Industries, Inc. Tue Dec 21 09:08:09 2010 Page 2

LOAD CASE(S) Standard

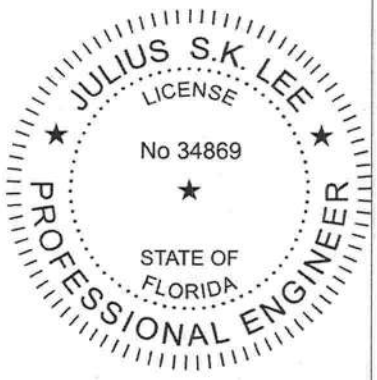
1) Regular: Lumber Increase=1.25, Plate Increase=1.25

Uniform Loads (plf)

Vert: 1-3=-54, 3-5=-54, 5-7=-54, 2-6=-10

Concentrated Loads (lb)

Vert: 3=-195(B) 5=-195(B) 10=-178(B) 8=-178(B) 11=-97(B) 12=-97(B) 13=-97(B) 14=-97(B) 15=-29(B) 16=-29(B) 17=-29(B) 18=-29(B)



December 21,2010

Julius Lee
1109 Coastal Bay Blvd.
Boynton, FL 33435

Job	Truss	Truss Type	Qty	Ply	RONALD CLARK CONST. - RADZIMINSKI RES.
357050	HJ9	MONO TRUSS	5	1	I4576059
					Job Reference (optional)

Builders FrstSource, Lake City, FL 32055 — 7.140 s Oct 1 2009 MiTek Industries, Inc. Tue Dec 21 09:08:08 2010 Page 2

LOAD CASE(S) Standard

Uniform Loads (plf)

Vert: 1-4=-54, 2-5=-10

Concentrated Loads (lb)

Vert: 8=79(F=40, B=40) 9=76(F=38, B=38) 10=-79(F=-40, B=-40) 11=11(F=5, B=5) 12=-6(F=-3, B=-3) 13=-26(F=-13, B=-13)

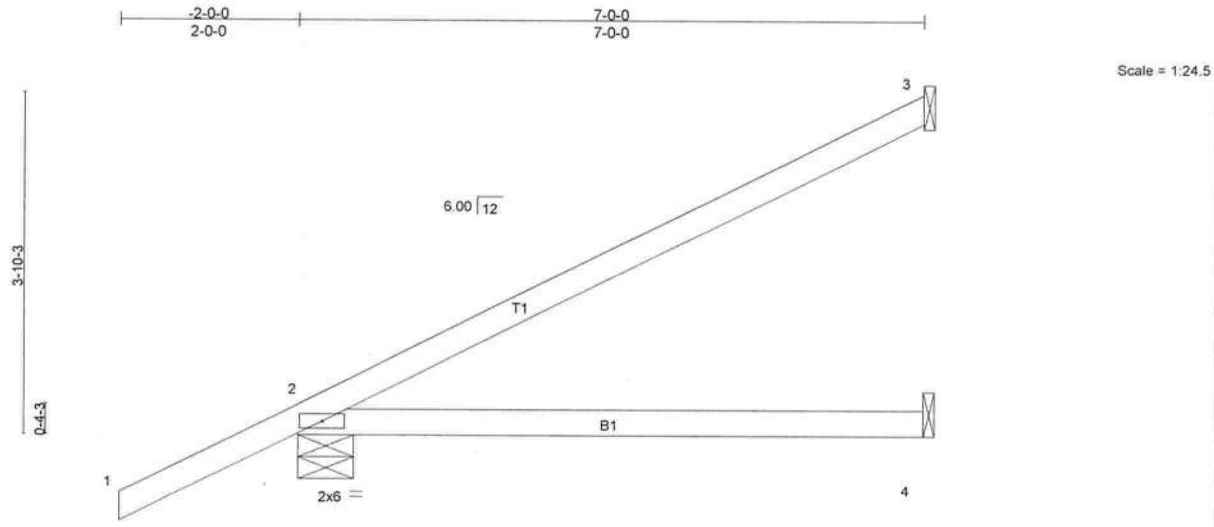
JULIUS S.K. LEE
LICENSE
No 34869
STATE OF FLORIDA
PROFESSIONAL ENGINEER

December 21,2010

Julius Lee
1109 Coastal Bay Blvd.
Boynton, FL 33435

Job	Truss	Truss Type	Qty	Ply	RONALD CLARK CONST. - RADZIMINSKI RES.
357050	EJ7	MONO TRUSS	18	1	I4576058
Builders FirstSource, Lake City, FL 32055					Job Reference (optional)

7.140 s Oct 1 2009 MiTek Industries, Inc. Tue Dec 21 09:08:07 2010 Page 1



LOADING (psf)		SPACING	2-0-0
TCLL	20.0	Plates Increase	
TCDL	7.0	Lumber Increase	
BCLL	0.0 *	Rep Stress Incr	YES
BCDL	5.0	Code FBC2007/TPI2002	

JULIUS S.K. LEE
LICENSE
No 34809
STATE OF FLORIDA
PROFESSIONAL ENGINEER

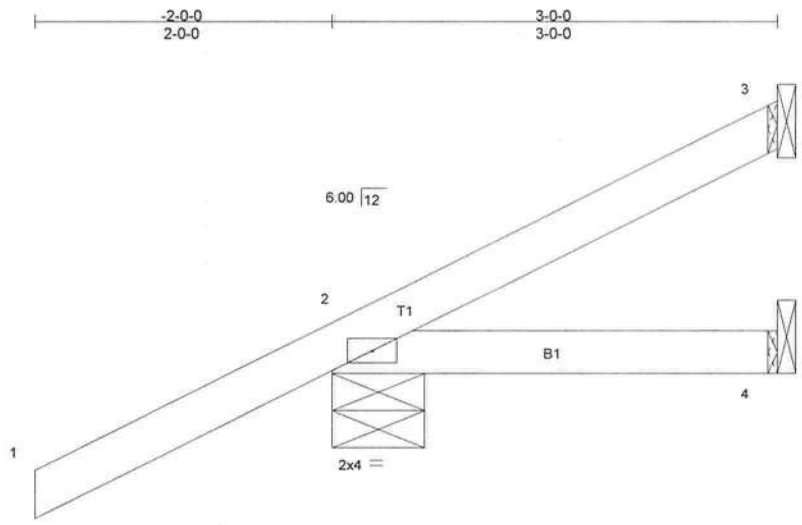
December 21,2010

WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MII-7473 BEFORE USE.
Design valid for use only with MiTek connectors. This design is based only upon parameters shown, and is for an individual building component. Applicability of design paramenters and proper incorporation of component is responsibility of building designer - not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult **ANSI/TPI1 Quality Criteria, DSB-89 and BCSI1 Building Component Safety Information** available from Truss Plate Institute, 583 D'Onofrio Drive, Madison, WI 53719.

Julius Lee
1109 Coastal Bay Blvd.
Boynton, FL 33435

Job	Truss	Truss Type	Qty	Ply	RONALD CLARK CONST. - RADZIMINSKI RES.	I4576056
357050	CJ3	JACK	10	1	Job Reference (optional)	

Builders FrstSource, Lake City, FL 32055 — 7.140 s Oct 1 2009 MiTek Industries, Inc. Tue Dec 21 09:08:07 2010 Page 1



LOADING (psf)		SPACING	2-0-0	CSI		DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL	20.0	Plates Increase	1.25	TC	0.42	Vert(LL)	-0.00	2-4	>999	360	MT20	244/190
TCDL	7.0	Lumber Increase	1.25	BC	0.09	Vert(TL)	-0.00	2-4	>999	240		
BCLL	0.0 *	Rep Stress Incr	YES	WB	0.00	Horz(TL)	-0.00	3	n/a	n/a		
BCDL	5.0	Code FBC2007/TPI2002		(Matrix)		Wind(LL)	0.01	2-4	>999	240	Weight: 13 lb	

LUMBER
TOP CHORD 2 X 4 SYP No.2
BOT CHORD 2 X 4 SYP No.2

BRACING
TOP CHORD Structural wood sheathing directly applied or 3-0-0 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

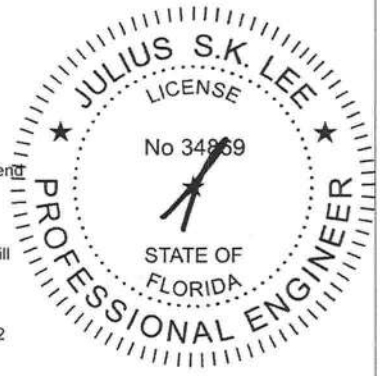
MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS (lb/size) 3=16/Mechanical, 2=264/0-7-8, 4=13/Mechanical
Max Horz 2=166(LC 6)
Max Uplift 3=-30(LC 7), 2=-331(LC 6), 4=-34(LC 4)
Max Grav 3=21(LC 4), 2=264(LC 1), 4=39(LC 2)

FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.

NOTES (8-9)
1) Wind: ASCE 7-05; 110mph (3-second gust); TCDL=4.2psf; BCDL=3.0psf; h=18ft; Cat. II; Exp C; enclosed; MWFRS (low-rise) gable end zone and C-C Exterior(2) zone; porch left and right exposed;C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
2) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
3) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
4) All bearings are assumed to be SYP No.2 .
5) Refer to girder(s) for truss to truss connections.
6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 30 lb uplift at joint 3, 331 lb uplift at joint 2 and 34 lb uplift at joint 4.
7) "Semi-rigid pitchbreaks including heels" Member end fixity model was used in the analysis and design of this truss.
8) This manufactured product is designed as an individual building component. The suitability and use of this component for any particular building is the responsibility of the building designer per ANSI TPI 1 as referenced by the building code.
9) Truss Design Engineer: Julius Lee, PE: Florida P.E. License No. 34869: Address: 1109 Coastal Bay Blvd. Boynton Beach, FL 33435

LOAD CASE(S) Standard



December 21,2010

Julius Lee
1109 Coastal Bay Blvd.
Boynton, FL 33435

Existing Well

Ronald Clark: Updates ☑

Columbia County Building Permit Application ☑ 2nd page: Homeowner Signature

For Office Use Only Application # 1101-03 Date Received 1/5 By JW Permit # 29123

Zoning Official BLK Date 10.01.11 Flood Zone X Land Use A-3 Zoning A-3

FEMA Map # N/A Elevation N/A MFE Abv Rd River N/A Plans Examiner T.C. Date 1-7-11

Comments Accessory use to be on same power as existing House

☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel #

☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter

IMPACT FEES: EMS Fire Corr Road/Code

School = TOTAL Accessory Use ☑ VF Completion

Septic Permit No. 10-0560 Fax 386-462-4503

Name Authorized Person Signing Permit Ronald Clark Phone 352-538-6929

Address 15816 NW CR 1491, Alachua, FL, 32615

Owners Name Michael Radziminski Phone

911 Address 158 SW Conestoga Way, Ft. White, FL 32038

Contractors Name Ronald Clark Construction, Inc Phone 352-538-6929

Address 15816 NW CR 1491, Alachua, FL 32615

Fee Simple Owner Name & Address NA

Bonding Co. Name & Address NA

Architect/Engineer Name & Address Ronald Clark Construction, Inc. 15816 NW CR 1491 Alachua, FL 32615

Mortgage Lenders Name & Address NA

Circle the correct power company – FL Power & Light – (Clay Elec.) – Suwannee Valley Elec. – Progress Energy

Property ID Number 14-07-16-04226-112 Estimated Cost of Construction $82,000

Subdivision Name Shiloh Ridge Lot Block Unit Phase

Driving Directions 47 S, left on US 27, Right on Fry Ave, left on Shiloh St, Right on Conestoga Way, 1st lot on right.

Number of Existing Dwellings on Property 1

Construction of Concrete block - S70 - "Suite" Total Acreage 10.02 Lot Size

Do you need a - Culvert Permit or Culvert Waiver or (Have an Existing Drive) Total Building Height 14'

Actual Distance of Structure from Property Lines - Front 265' Side 285' Side 305' Rear 100'

Number of Stories 1 Heated Floor Area 960 Total Floor Area 1212 Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

– JW spoke w/ Ronald - 1.10.11.

1101-03

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full.
This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: ***YOU ARE HEREBY NOTIFIED*** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

Michael Kashinski

Owners Signature **(Owners Must Sign All Applications Before Permit Issuance.)**

OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Ronald Clark

Contractor's Signature (Permitee)

Contractor's License Number CRC1326560
Columbia County
Competency Card Number

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 6th **day of** January **20**11.

Personally known ✓ **or Produced Identification**

Laurie Hodson

State of Florida Notary Signature (For the Contractor)

SEAL:

LAURIE HODSON
MY COMMISSION # DD 805657
EXPIRES: July 14, 2012
Bonded Thru Notary Public Underwriters

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full.
This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: ***YOU ARE HEREBY NOTIFIED*** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

- following via fax **(Owners Must Sign All Applications Before Permit Issuance.)**

____
Owners Signature ****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

____
Contractor's Signature (Permitee)

Contractor's License Number CRC1326560
Columbia County Competency Card Number______________

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 6th **day of** January **20**11.

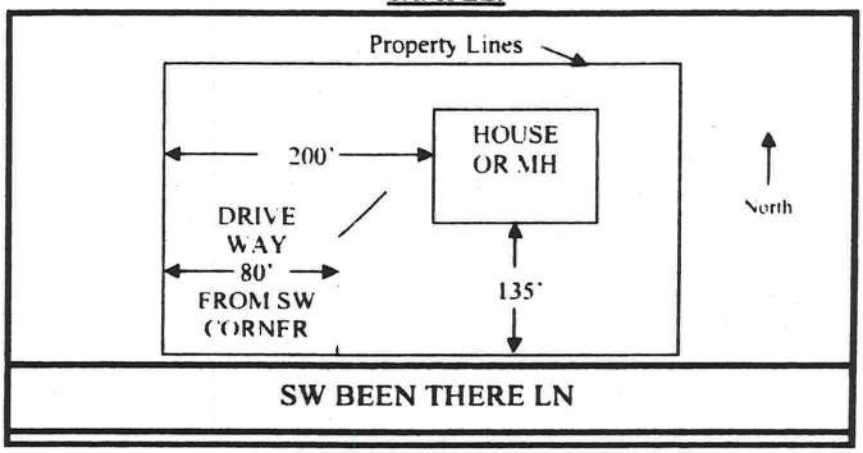
Personally known ✓ **or Produced Identification**______________________

______________________________ **SEAL:**
State of Florida Notary Signature (For the Contractor)

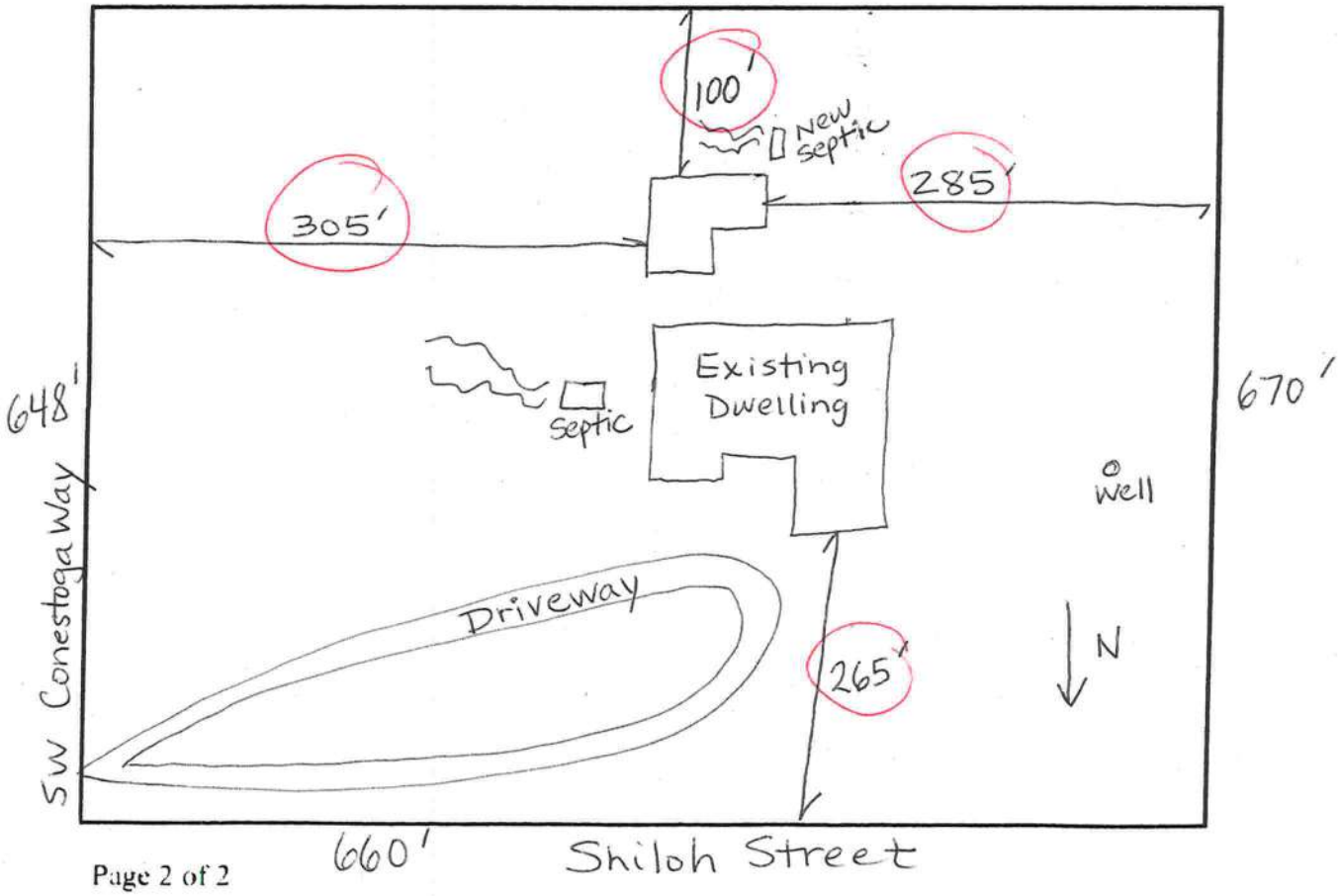
LAURIE HODSON
MY COMMISSION # DD 805657
EXPIRES: July 14, 2012
Bonded Thru Notary Public Underwriters

1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



SITE PLAN BOX:



BK 0916 PG 1513

10.50
196.00
206.00

WARRANTY DEED

FILED AND RECORDED IN PUBLIC RECORDS OF COLUMBIA COUNTY, FL

'00 DEC 20 AM 8:16

OFFICIAL RECORDS

00-21916

This Warranty Deed made the *15th* day of *November*, AD *2000* by *THE SHILOH RIDGE COMPANY*

hereinafter called the grantor, to

MICHAEL S. RADZIMINSKI and his wife, MARIA V. RADZIMINSKI

Whose address is: 29834 SW 161ST COURT, HOMESTEAD, FLORIDA 33033

Witnesseth: That the grantor, for and in consideration of the sum of $10.00 and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situated in *COLUMBIA* County, Florida, viz:

SEE ATTACHED EXHIBIT "A" FOR LEGAL DESCRIPTION

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2000.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Witness J. Lane, Jr.

Witness M. David Smith

THE SHILOH RIDGE COMPANY
BY: LEE D. WEDEKIND, JR.
PRESIDENT

Witness

Witness

State of *Florida*
County of *COLUMBIA*

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County last aforesaid to take acknowledgments personally appeared LEE D. WEDEKIND, JR. PRESIDENT OF THE SHILOH RIDGE COMPANY known to me personally and/or who produced identification and who executed before me the foregoing deed and acknowledged before me that HE executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this *15th* day of *November*, AD, *2000*.

NOTARY PUBLIC

(Seal)
ATS 1265

Susan L Kowal
MY COMMISSION # CC844493 EXPIRES
June 8, 2003
BONDED THRU TROY FAIN INSURANCE, INC.

Prepared By & Return to:
Abstract & Title Services, Inc.
3801 NW 40th Terrace, Suite B
Gainesville, Florida 32606
Susan L. Kowal

#

Documentary Stamp 196.00
Intangible Tax —
P. DeWitt Cason
Clerk of Court
By D.C.

Document1

11/07/00 09:54 AM

EXHIBIT "A"

OFFICIAL RECORDS

PARCEL NO. 12

BEGIN AT THE NORTHEAST CORNER OF THE NW ¼ OF THE SW ¼, SECTION 14, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S 00 DEGREES 50'20" E ALONG THE EAST LINE OF THE W ½ OF SAID SW ¼, 648.31 FEET, THENCE S 89 DEGREES 04'44" W, 654.56 FEET, THENCE N 00 DEGREES 50'20" W, 670.19 FEET TO THE SOUTH MAINTAINED RIGHT-OF-WAY LINE OF SHILOH ROAD, THENCE N 89 DEGREES 43'31" E ALONG SAID SOUTH RIGHT-OF-WAY LINE, 654.59 FEET TO THE EAST LINE OF THE SW ¼ OF THE NW ¼ OF SAID SECTION 14, THENCE S 00 DEGREES 50'22" E ALONG SAID EAST LINE, 14.50 FEET TO THE POINT OF BEGINNING. THE EAST 30 FEET OF SAID LANDS BEING SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS.

TOGETHER WITH:

EASEMENT "A"

A STRIP OF LAND 60 FEET IN WIDTH BEING 30 FEET EACH SIDE OF A CENTERLINE DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF THE SW ¼, SECTION 14, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE N 00 DEGREES 50'04" W ALONG THE EAST LINE OF SAID SW ¼, 666.66 FEET, THENCE S 89 DEGREES 04'44" W, 620.60 FEET TO THE RADIUS POINT OF A CUL-DE-SAC HAVING A RADIUS OF 50 FEET AND TO THE POINT OF BEGINNING, THENCE S 89 DEGREES 04'44" W ALONG SAID CENTERLINE, 3320.28 FEET TO THE EAST MAINTAINED RIGHT-OF-WAY LINE OF FRY ROAD AND TO THE POINT OF TERMINATION.

EASEMENT "B"

A STRIP OF LAND 60 FEET IN WIDTH BEING 30 FEET EASE SIDE OF A CENTERLINE DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF THE SW ¼, SECTION 14, TOWNSHIP 7 SOUTH, RANGE 16 EAST COLUMBIA COUNTY, FLORIDA AND RUN TEHNCE N 00 DEGREES 50'04" W ALONG THE EAST LINE OF SAID SW ¼, 666.66 FEET, THENCE S 89 DEGREES 04'44" W, 1321.20 FEET TO THE EAST LINE OF THE W ½ OF SAID SW ¼ AND TO THE POINT OF BEGINNING, THENCE CONTINUE N 00 DEGREES 50'20" W ALONG SAID CENTERLINE ALONG SAID EAST LINE OF W ½ OF SW ¼, 1986.71 FEET TO THE NORTHEAST CORNER OF THE NW ¼ OF SAID SW ¼, THENCE N 00 DEGREES 50'22" W, ALONG THE EAST LINE OF THE SW ¼ OF NW ¼ OF SAID SECTION 14, 14.50 FEET TO THE SOUTH MAINTAINED RIGHT-OF-WAY LINE OF SHILOH ROAD AND TO THE POINT OF TERMINATION.

REAL ESTATE 2010 118366.0000

RONNIE BRANNON, CFC
TAX COLLECTOR COLUMBIA COUNTY

NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

ACCOUNT NUMBER	ESCROW CD	ASSESSED VALUE	EXEMPTIONS	TAXABLE VALUE	MILLAGE CODE
R04226-112		See Below	See Below	See Below	003

C 12986 49**AUTO**3-DIGIT 330

RADZIMINSKI MICHAEL S &
MARIA V RADZIMINSKI
18957 SW 307TH ST
HOMESTEAD FL 33030-3830

14-7S-16 5000/5000 10.07 acres
BEG AT NE COR OF NW1/4 OF SW 1/4, S 648.31 FT, W 654.56 FT, N 670.19 FT TO S R/W SHILOH RD, E ALONG R/W 654.59 FT, S
See Tax Roll for extra legal.

AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION AMOUNT	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS	7.8910	208,806		208,806	1,647.69
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.9980	208,806		208,806	208.39
LOCAL	5.4140	208,806		208,806	1,130.48
CAPITAL OUTLAY	1.5000	208,806		208,806	313.21
SUWANNEE RIVER WATER MGT DIST	0.4399	208,806		208,806	91.85
LAKE SHORE HOSPITAL AUTHORITY	0.9620	208,806		208,806	200.87
COLUMBIA COUNTY INDUSTRIAL	0.1240	208,806		208,806	25.89
TOTAL MILLAGE	17.3289			**AD VALOREM TAXES**	3,618.38

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY		RATE	AMOUNT
FIR	FIRE ASSESSMENTS	Per Parcel	146.58
GAR	SOLID WASTE - ANNUAL	Per Parcel	201.00

FOR INFORMATION OR TO PAY WITH CREDIT/DEBIT CARD VISIT www.columbiataxcollector.com (CONVENIENCE FEE APPLIES)

NON- AD VALOREM ASSESSMENTS 347.58

COMBINED TAXES AND ASSESSMENTS | **PAY ONLY ONE AMOUNT** **3,965.96** SEE REVERSE SIDE FOR IMPORTANT INFORMATION

Paid By / Please Pay	Nov 30, 2010	Dec 31, 2010	Jan 31, 2011	Feb 28, 2011	Mar 31, 2011
	3,807.32	3,846.98	3,886.64	3,926.30	3,965.96

RETAIN THIS PORTION AS YOUR RECEIPT OR MAIL A SELF-ADDRESSED STAMPED ENVELOPE FOR RETURN OF VALIDATED RECEIPT.
AFTER MARCH 31ST, TAXES BECOME DELINQUENT. ADDITIONAL PENALTIES AND FEES WILL APPLY.

REAL ESTATE 2010 118366.0000

NNIE BRANNON, CFC
COLLECTOR COLUMBIA COUNTY

NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

ACCOUNT NUMBER	ESCROW CD	ASSESSED VALUE	EXEMPTIONS	TAXABLE VALUE	MILLAGE CODE
R04226-112		See Above	See Above	See Above	003

INSERT FOR INFORMATION AND TELEPHONE NUMBERS

RADZIMINSKI MICHAEL S &
MARIA V RADZIMINSKI
18957 SW 307TH ST
HOMESTEAD FL 33030-3830

14-7S-16 5000/5000 10.07 acres
BEG AT NE COR OF NW1/4 OF SW 1/4, S 648.31 FT, W 654.56 FT, N 670.19 FT TO S R/W SHILOH RD, E ALONG R/W 654.59 FT, S
See Tax Roll for extra legal.

SE PAY IN U.S. FUNDS TO RONNIE BRANNON COLUMBIA COUNTY TAX COLLECTOR • 135 NE HERNANDO AVE. SUITE 125 • LAKE CITY, FL 32055

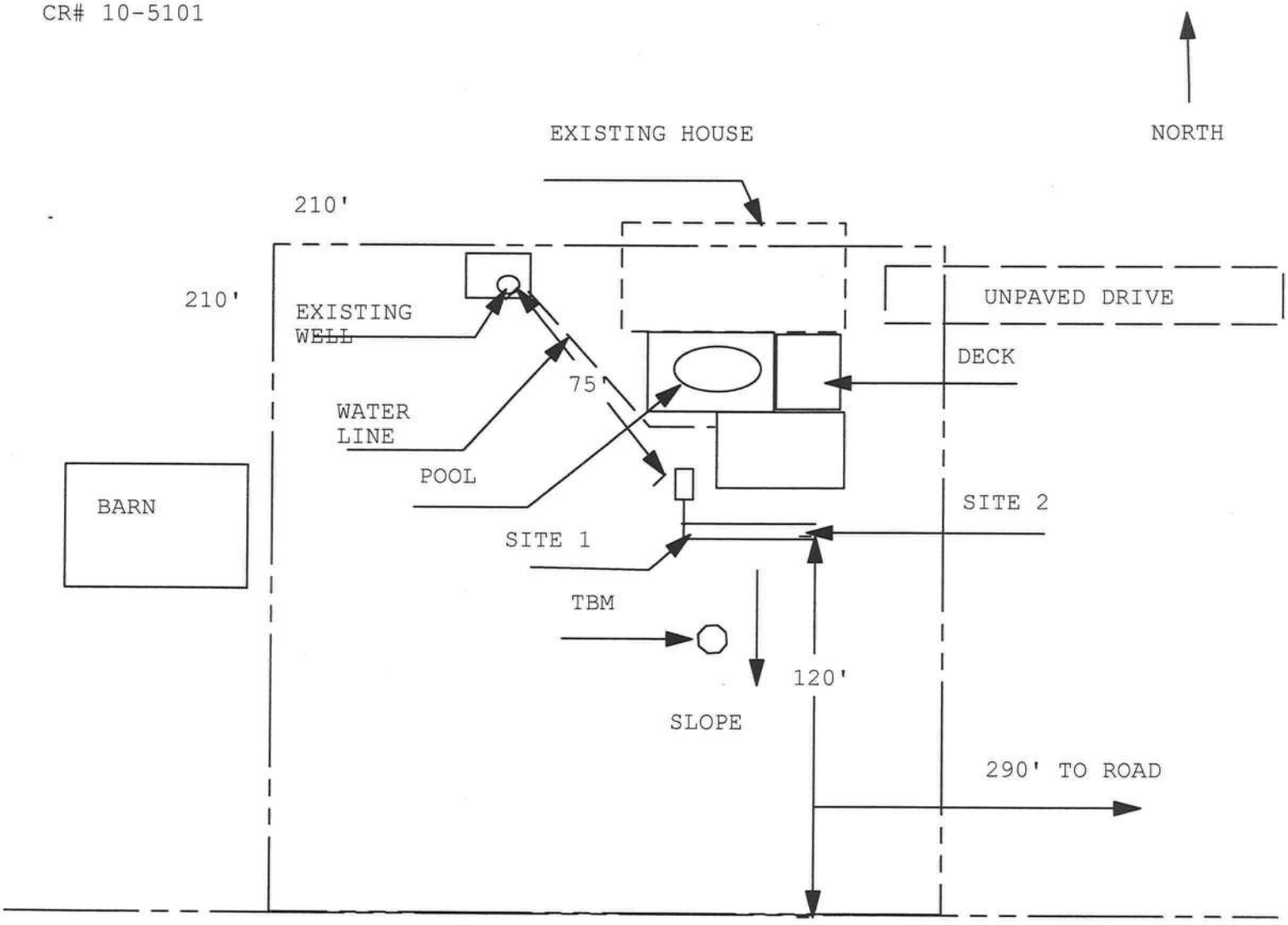
aid By / ase Pay	Nov 30, 2010	Dec 31, 2010	Jan 31, 2011	Feb 28, 2011	Mar 31, 2011
	3,807.32	3,846.98	3,886.64	3,926.30	

Application for Onsite Sewage Disposal System Construction Permit. Part II Site Plan

Permit Application Number: 10-0560

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

CR# 10-5101



1 inch = 50 feet

Site Plan Submitted By Paul R Lloyd **Date** 12/23/10

Plan Approved X **Not Approved** ____ **Date** ____

By ____ Columbia **CPHU**

Notes: See attached for full dimensions of property

1A shown of 10 SP

STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM

PERMIT #: **12-SC-1292953**
APPLICATION #: AP988230
DATE PAID: 12/23/10
FEE PAID: 310.00
RECEIPT #: 548410
DOCUMENT #: **PR830646**

CONSTRUCTION PERMIT FOR: OSTDS New

APPLICANT: MICHAEL**10-0560 RADZIMINSKI

PROPERTY ADDRESS: 158 SW CONESTOGA Way Fort White, FL 32038

LOT: 12 BLOCK: _____ SUBDIVISION: Shiloh Ridge Unrecorded

PROPERTY ID #: 04226-122 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER] [OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [900] GALLONS / GPD Septic CAPACITY
A [ ] GALLONS / GPD N/A CAPACITY
N [ ] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]
K [ ] GALLONS DOSING TANK CAPACITY [ ]GALLONS @[ ]DOSES PER 24 HRS #Pumps [ ]

D [250] SQUARE FEET _____ SYSTEM
R [ ] SQUARE FEET N/A SYSTEM
A TYPE SYSTEM: [x] STANDARD [ ] FILLED [ ] MOUND [ ] _____
I CONFIGURATION: [x] TRENCH [ ] BED [ ] _____
N
F LOCATION OF BENCHMARK: Nail in forked Oak tree South of system site.
I ELEVATION OF PROPOSED SYSTEM SITE [24.00] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [54.00] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT
L
D FILL REQUIRED: [0.00] INCHES EXCAVATION REQUIRED: [0] INCHES

O T H E R: The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), FAC.

SPECIFICATIONS BY: PAUL LLOYD TITLE: PSE

APPROVED BY: Jeremy X Gifford TITLE: Environmental Specialist I Columbia CHD

DATE ISSUED: 01/04/2011 EXPIRATION DATE: 07/04/2012

DH 4016, 08/09 (Obsoletes all previous editions which may not be used)
Incorporated: 64E-6.003, FAC

V 1.1.4 AP988230 SE832649

JF

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 110403 CONTRACTOR Ronald Clark PHONE 352-538-6929

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL 435 ✓	Print Name Clark Electric, Inc. License #: EC13003577	Signature [signature] Phone #: 352-316-2563
MECHANICAL/ A/C 768 ✓	Print Name Bounds Heating & Air, Inc. License #: CA-C057642 7.27.10	Signature [signature] Phone #: 352-472-2761
PLUMBING/ GAS 767 ✓	Print Name Coleman Plumbing, Inc. License #: CFC1425624	Signature [signature] Phone #: 352-472-414
ROOFING	Print Name Ronald Clark Const. Inc. License #: CRC1326560	Signature [signature] Phone #: 352-538-6929
SHEET METAL	Print Name License #:	Signature Phone #:
FIRE SYSTEM/ SPRINKLER	Print Name License#:	Signature Phone #:
SOLAR	Print Name License #:	Signature Phone #:

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
* MASON	Hacked		
CONCRETE FINISHER	CRC1326560	Ronald Clark	[signature]
FRAMING	CRC1326560	Ronald Clark	[signature]
* INSULATION	Hacked		
STUCCO	—	—	—
DRYWALL			
PLASTER	CRC1326560	Ronald Clark	[signature]
CABINET INSTALLER	CRC1326560	Ronald Clark	[signature]
PAINTING	CRC1326560	Ronald Clark	[signature]
ACOUSTICAL CEILING	—	—	—
GLASS	—	—	—
CERAMIC TILE	CRC1326560	Ronald Clark	[signature]
FLOOR COVERING	CRC1326560	Ronald Clark	[signature]
ALUM/VINYL SIDING	CRC1326560	Ronald Clark	[signature]
GARAGE DOOR	—	—	—
METAL BLDG ERECTOR	—	—	—

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1101-03 CONTRACTOR Ronald Clark PHONE 352-538-6929

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name Clark Electric, Inc. Signature [signature] License #: EC13003577 Phone #: 352-316-2563	
MECHANICAL/ A/C _____	Print Name Bounds Heating & Air, Inc. Signature [signature] License #: CM-C057642 Phone #: 352-472-2761	
PLUMBING/ GAS	Print Name Coleman Plumbing, Inc. Signature [signature] License #: CFC1425624 Phone #: 352-472-414	
ROOFING	Print Name Ronald Clark Const. Inc. Signature [signature] License #: CRC1326560 Phone #: 352-538-6929	
SHEET METAL	Print Name _____ Signature _____ License #: _____ Phone #: _____	
FIRE SYSTEM/ SPRINKLER	Print Name _____ Signature _____ License#: _____ Phone #: _____	
SOLAR	Print Name _____ Signature _____ License #: _____ Phone #: _____	

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
✓ MASON	CRC1326560	Ronald Clark	[signature]
CONCRETE FINISHER	CRC1326560	Ronald Clark	[signature]
FRAMING	CRC1326560	Ronald Clark	[signature]
✓ INSULATION	CRC1326560	Ronald Clark	[signature]
STUCCO	—	—	—
DRYWALL			
PLASTER	CRC1326560	Ronald Clark	[signature]
CABINET INSTALLER	CRC1326560	Ronald Clark	[signature]
PAINTING	CRC1326560	Ronald Clark	[signature]
ACOUSTICAL CEILING	—	—	—
GLASS			
CERAMIC TILE	CRC1326560	Ronald Clark	[signature]
FLOOR COVERING	CRC1326560	Ronald Clark	[signature]
ALUM/VINYL SIDING	CRC1326560	Ronald Clark	[signature]
GARAGE DOOR	—	—	—
METAL BLDG ERECTOR	—	—	—

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Forms: Subcontractor form: 6/09

COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL CHECK LIST REQUIRMENTS

MINIMUM PLAN REQUIREMENTS FOR THE FLORIDA BUILDING CODE RESIDENTIAL 2007 ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind speed map) **SHALL BE USED.**

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE -------- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE --------110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL			Items to Include- Each Box shall be Circled as Applicable		
				Yes	No	N/A
1	Two (2) complete sets of plans containing the following:			✓		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void			✓		
3	Condition space (Sq. Ft.)	960 sq ft	Total (Sq. Ft.) under roof 1212 sq ft	IIIIIIII	IIIIIIII	IIIII

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	✓		
5	Dimensions of all building set backs	✓		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	✓		
7	Provide a full legal description of property.	✓		

Wind-load Engineering Summary, calculations and any details required

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	IIIIII	IIIII	IIIIII
		YES	NO	N/A
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)			
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient, Components and Cladding	✓		
13	The design wind pressure in terms of psf (kN/m²), to be used for the design of exterior component, cladding materials not specifally designed by the registered design professional.	✓		

Elevations Drawing including:

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys			✓
18	Location and size of skylights with Florida Product Approval			✓
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade			✓
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Emergency escape and rescue opening shown in each bedroom (net clear opening shown)	✓		
25	Safety glazing of glass where needed			✓
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)			✓
27	Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FBCR SECTION 311)			✓
28	Identify accessibility of bathroom (see FBCR SECTION 322)	✓		

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable

FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	✓		
30	All posts and/or column footing including size and reinforcing	✓		
31	Any special support required by soil analysis such as piling.			✓
32	Assumed load-bearing valve of soil 1000 Pound Per Square Foot	✓		
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type)	✓		

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	✓		
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	✓		

FBCR 320: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. **Protection shall be provided by registered termiticides**	✓		

FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type	✓		
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	✓		

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer			✓
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or priers			✓
41	Girder type, size and spacing to load bearing walls, stem wall and/or priers			✓
42	Attachment of joist to girder			✓
43	Wind load requirements where applicable			✓
44	Show required under-floor crawl space			✓
45	Show required amount of ventilation opening for under-floor spaces			✓
46	Show required covering of ventilation opening			✓
47	Show the required access opening to access to under-floor spaces			✓
	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges &			✓

48	intermediate of the areas structural panel sheathing			✓
49	Show Draftstopping, Fire caulking and Fire blocking			✓
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309			✓
51	Provide live and dead load rating of floor framing systems (psf).			✓

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls			✓
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown			✓
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing			✓
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems			✓
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)			✓
57	Indicate where pressure treated wood will be placed			✓
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas			✓
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail			✓

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses	✓		
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	✓		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details			✓
64	Provide dead load rating of trusses	✓		

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing			✓
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating			✓
67	Valley framing and support details			✓
68	Provide dead load rating of rafter system			✓

FBCR Table 602,3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	✓		
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	✓		

FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assembles covering	✓		
72	Submit Florida Product Approval numbers for each component of the roof assembles covering	✓		

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter11 Residential buildings compliance methods. *Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area*

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure	✓		
74	Attic space	✓		
75	Exterior wall cavity	✓		
76	Crawl space			✓

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study	✓		
78	Exhaust fans locations in bathrooms	✓		
79	Show clothes dryer route and total run of exhaust duct	✓		

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan			
81	Show the location of water heater	✓		

Private Potable Water

82	Pump motor horse power			✓
83	Reservoir pressure tank gallon capacity			✓
84	Rating of cycle stop valve if used			✓

Electrical layout shown including

85	Switches, outlets/receptacles, lighting and all required GFCI outlets identified	✓		
86	Ceiling fans			✓
87	Smoke detectors & Carbon dioxide detectors	✓		
88	Service panel, sub-panel, location(s) and total ampere ratings	✓		
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.	✓		

90	Appliances and HVAC equipment and disconnects	✓		
91	Arc Fault Circuits (AFCI) in bedrooms	✓		

Disclosure Statement for Owner Builders *If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	**Building Permit Application** A current Building Permit Application form is to be completed and submitted for all residential projects	✓		
93	**Parcel Number** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested	✓		
94	**Environmental Health Permit or Sewer Tap Approval** A copy of a approved Columbia County Environmental Health (386) 758-1058	✓		
95	**City of Lake City** A permit showing an approved waste water sewer tap			✓
96	**Toilet facilities shall be provided for all construction sites**	✓		
97	**Town of Fort White** (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			✓
98	**Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations			✓
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established			✓
100	A development permit will also be required. Development permit cost is **$50.00**			
101	**Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (**$25.00**) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (**$50.00**). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.			✓
102	**911 Address:** If the project is located in an area where a 911 address has not been issued, then application for a 911address must be applied for and **received** through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125	✓		

Section R101.2.1 of the Florida Building Code Residential:

The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the applicati or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance o a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became nu and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date if issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applican will be notified by phone as to the date and time a building permit will b prepared and issued by the Columbia County Building & Zoning Department

PRODUCT APPROVAL SPECIFICATION SHEET

Grandfather

Location: 158 SW Conestoga Way, Ft. White **Project Name:** Radziminski Suite

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are **applying for a building permit on or after April 1, 2004**. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging	Entergy	wood edge steel door in wood frame	00-0720.05
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung	General Aluminum	5000 Series Aluminum	FL 8704
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass -through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11 Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles	GAFMC	Timberline	FL183
2. Underlayments			
3. Roofing Fasteners	Simpson	HET A20	FL1423
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives – Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight			
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspecti

Ronald Clark

Contractor or Contractor's Authorized Agent Signature

Ronald Clark

Print Name

12-28-10

Date

Permit # **(FOR STAFF USE ONLY)**

29123

DW Pest Control, Inc.

13618 NW 270th Ave.
Alachua, FL 32615
(386) 418-4387

CERTIFICATE OF COMPLIANCE FOR TERMITE PROTECTION

(As required by Florida Building Code (FBC) 1816.1.7)

Address of treatment or lot/block of treatment: 158 SW Conestoga way Fort White, 32038
Describe method of termite prevention treatment: Trench & Treat around structure

The building has received a complete treatment for the prevention of subterranean termites. Treatment is in accordance with rules and laws, established by the Florida Department of Agriculture and Consumer Services.

Authorized Signature

796
298 4244

DATE 01/10/2011

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000029123

APPLICANT RONALD CLARK PHONE 352.538.6929

ADDRESS 15816 NW CR 1491 ALACHUA FL 32615

OWNER MICHAEL & MARIA RADZIMINSKI PHONE 386.462.7006

ADDRESS 158 SW CONESTOGA WAY FT. WHITE FL 32038

CONTRACTOR RONALD CLARK PHONE 352.538.6929

LOCATION OF PROPERTY 47-S TO US 27,TL TO FRY RD,TL TO SHILOH RD,TL TO CONESTOGA WAY, 1ST. DRIVEWAY ON R.

TYPE DEVELOPMENT SFD SUITE ESTIMATED COST OF CONSTRUCTION 60600.00

HEATED FLOOR AREA 960.00 TOTAL AREA 1212.00 HEIGHT 14.00 STORIES 1

FOUNDATION CONC WALLS FRAMED ROOF PITCH 6'12 FLOOR CONC

LAND USE & ZONING A-3 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 14-7S-16-04226-112 SUBDIVISION SHILOH RIDGE

LOT 12 BLOCK PHASE UNIT TOTAL ACRES 10.02

Culvert Permit No.	Culvert Waiver	Contractor's License Number	Applicant/Owner/Contractor
		CRC1326560	Ronald Clark

Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance	New Resident
EXISTING	10-0560	BLK	TC	Y

COMMENTS: ACCESSORY USE TO BE USED ON SAME POWER AS EXITING HOUSE. 1 FOOT ABOVE ROAD.

Check # or Cash 12065

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ date/app. by

Foundation _____ date/app. by

Monolithic _____ date/app. by

Under slab rough-in plumbing _____ date/app. by

Slab _____ date/app. by

Sheathing/Nailing _____ date/app. by

Framing _____ date/app. by

Insulation _____ date/app. by

Rough-in plumbing above slab and below wood floor _____ date/app. by

Electrical rough-in _____ date/app. by

Heat & Air Duct _____ date/app. by

Peri. beam (Lintel) _____ date/app. by

Pool _____ date/app. by

Permanent power _____ date/app. by

C.O. Final _____ date/app. by

Culvert _____ date/app. by

Pump pole _____ date/app. by

Utility Pole _____ date/app. by

M/H tie downs, blocking, electricity and plumbing _____ date/app. by

Reconnection _____ date/app. by

RV _____ date/app. by

Re-roof _____ date/app. by

BUILDING PERMIT FEE $ 305.00 CERTIFICATION FEE $ 6.06 SURCHARGE FEE $ 6.06

MISC. FEES $ 0.00 ZONING CERT. FEE $ 50.00 FIRE FEE $ 0.00 WASTE FEE $

FLOOD DEVELOPMENT FEE $ FLOOD ZONE FEE $ 25.00 CULVERT FEE $ **TOTAL FEE** 392.12

INSPECTORS OFFICE CLERKS OFFICE

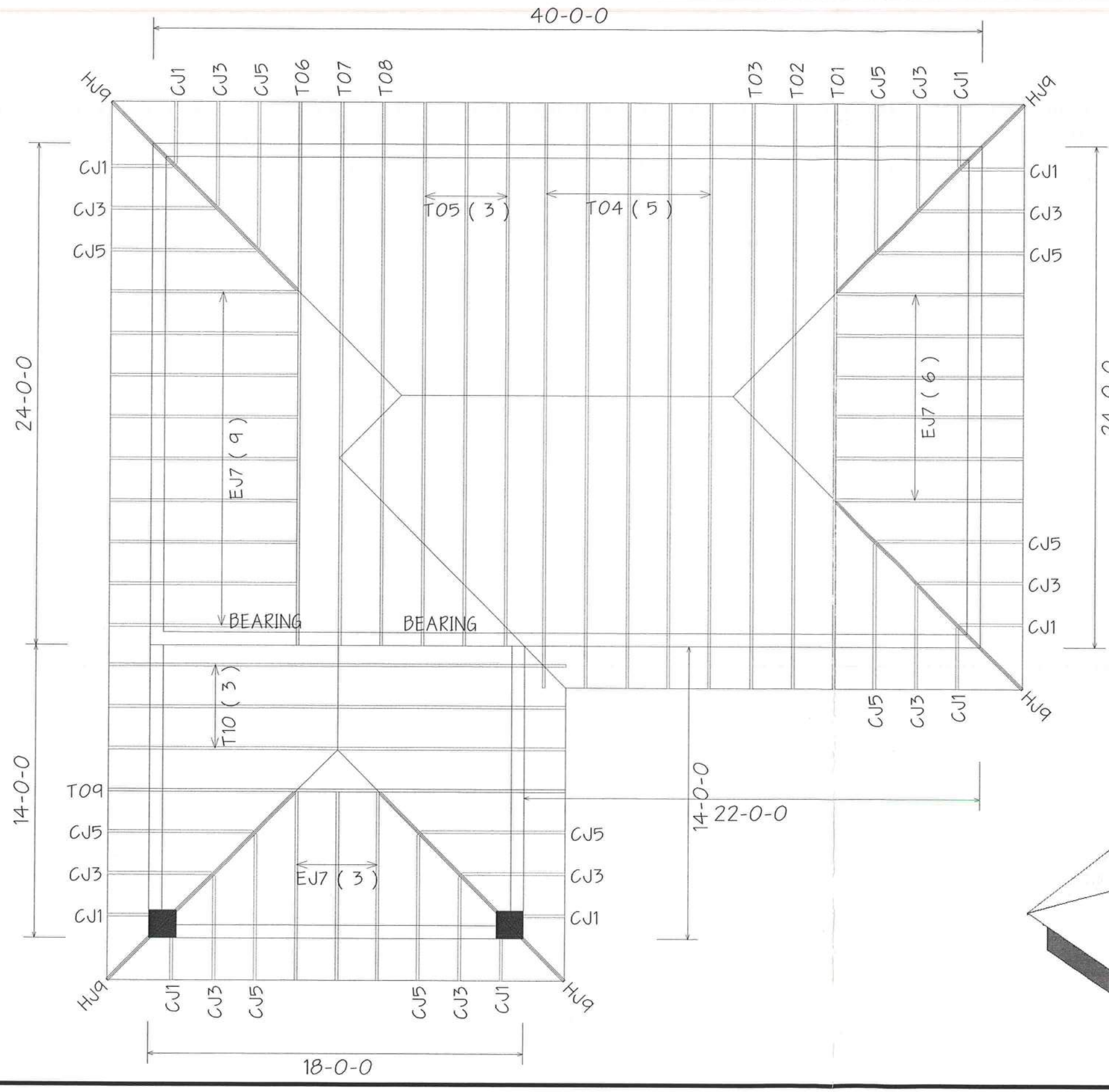
NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

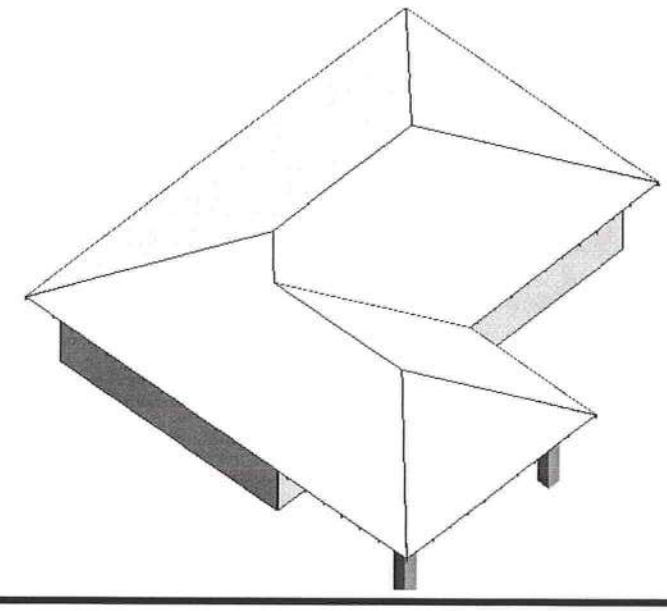
EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

6/12 PITCH
24" O/H



ALL FLAT CEILINGS



BEARING HEIGHT SCHEDULE

PLATE1

NOTES:

1.) REFER TO HIB 91 (RECOMMENDATIONS FOR HANDLING INSTALLATION AND TEMPORARY BRACING.) REFER TO ENGINEERED DRAWINGS FOR PERMANENT BRACING REQUIRED.

2.) ALL TRUSSES (INCLUDING TRUSSES UNDER VALLEY FRAMING) MUST BE COMPLETELY DECKED OR REFER TO DETAIL V105 FOR ALTERNATE BRACING REQUIREMENTS.

3.) ALL VALLEYS ARE TO BE CONVENTIONALLY FRAMED BY BUILDER.

4.) ALL TRUSSES ARE DESIGNED FOR 2' o.c. MAXIMUM SPACING, UNLESS OTHERWISE NOTED.

5.) ALL WALLS SHOWN ON PLACEMENT PLAN ARE CONSIDERED TO BE LOAD BEARING, UNLESS OTHERWISE NOTED.

6.) SY42 TRUSSES MUST BE INSTALLED WITH THE TOP BEING UP.

7.) ALL ROOF TRUSS HANGERS TO BE SIMPSON HTU26 UNLESS OTHERWISE NOTED. ALL FLOOR TRUSS HANGERS TO BE SIMPSON THA422 UNLESS OTHERWISE NOTED.

8.) BEAM/HEADER/LINTEL (HDR) TO BE FURNISHED BY BUILDER.

SHOP DRAWING APPROVAL

THIS LAYOUT IS THE SOLE SOURCE FOR FABRICATION OF TRUSSES AND VOIDS ALL PREVIOUS ARCHITECTURAL OR OTHER TRUSS LAYOUTS. REVIEW AND APPROVAL OF THIS LAYOUT MUST BE RECEIVED BEFORE ANY TRUSSES WILL BE BUILT. VERIFY ALL CONDITIONS TO INSURE AGAINST CHANGES THAT WILL RESULT IN EXTRA CHARGES TO YOU.

Requested Delivery Date: _____

Approved by: _____ Date: _____

Builders FirstSource

Bunnell
PHONE: 904-437-3349 FAX: 904-437-3994

Jacksonville
PHONE: 904-772-6100 FAX: 904-772-1973

Lake City
PHONE: 386-755-6894 FAX: 386-755-7973

Sanford
PHONE: 407-322-0059 FAX: 407-322-5953

BUILDER: RONALD CLARK CONST.

LEGAL ADDRESS: RADZIMINSKI RES.

MODEL: | REVISION: | SCALE: NTS

DATE: 12-20-10 | DRAWN BY: K.L.H. | JOB #: 357050