

\$152.40

Need Variance Application
- Give him the Application 8-14-17

Columbia County New Building Permit Application

For Office Use Only Application # 1708-51 Date Received 8-14-17 By UH Permit # 35938
Zoning Official PHS Date 10/30/17 Flood Zone X Land Use A Zoning A-3
FEMA Map # _____ Elevation _____ MFE N/A River _____ Plans Examiner J.C. Date 8-22-17
Comments V0312 - Approved 9-28-17 by Board of Adjustments
☒ NOC ☒ EH ☒ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Well letter ☐ 911 Sheet ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid NP ☒ Sub VF Form

Septic Permit No. 17-0642 OR City Water ☐ Fax _____
Applicant (Who will sign/pickup the permit) Brad Handy Phone 386 466 9168
Address 797 SW Hamlet Cir, Lake city FL 32024
Owners Name Brad Handy Phone 386 466 9168
911 Address 797 SW Hamlet Cir Lake City FL 32024
Contractors Name _____ Phone _____
Address _____

Contractor Email brad@bradhandy.com ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address _____

Mortgage Lenders Name & Address _____

Circle the correct power company ☐ FL Power & Light ☒ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 36-48-16-03373-010 Estimated Construction Cost \$12,000

Subdivision Name Southwood Acres Lot 10 Block _____ Unit 3 Phase _____

Driving Directions from a Major Road Highway 47 go south of I 75
just over one mile. Turn Right at Brentwood, large sign
for "Southwood Estates" then turn left on Hamlet Cir

Construction of Detached Metal Building Commercial OR ☒ Residential

Proposed Use/Occupancy Garage/Storage Number of Existing Dwellings on Property 1

Is the Building Fire Sprinkled? N If Yes, blueprints included _____ Or Explain _____

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☒ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 120' Side 13' Side 198' Rear 184'

Number of Stories 1 Heated Floor Area _____ Total Floor Area 840 Acreage 2.31

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) V0312 Approved

Spoke to Brad 9/29/17
He spoke w/ Board 10.30.17

Columbia County Building Permit Application

CODE: Florida Building Code 2014 and the 2011 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.


NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Brad Handy
Print Owners Name


Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature

Contractor's License Number _____
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20__.

Personally known _____ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

36-4S-16-03373-010

Clerk's Office Stamp

Inst: 201712019908 Date: 10/31/2017 Time: 11:38AM
Page 1 of 1 B: 1346 P: 2759, P. DeWitt Cason, Clerk of Court
Columbia, County, By: KV
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Lot 10 Southwood Acres Unit 3
a) Street (job) Address: 797 SW Hamlet Cir, Lake City, FL 32024
2. General description of improvements: Garage
3. Owner Information or Lessee Information if the Lessee contracted for the improvements:
a) Name and address: Brad Handy
b) Name and address of fee simple titleholder (if other than owner) _____
c) Interest in property Owner
4. Contractor Information
a) Name and address: Owner Bulder
b) Telephone No.: 3864669168
5. Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address: _____
b) Amount of Bond: _____
c) Telephone No.: _____
6. Lender
a) Name and address: _____
b) Phone No.: _____
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address: _____
b) Telephone No.: _____
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name: _____ OF _____
b) Telephone No.: _____
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

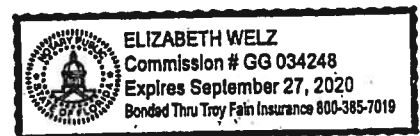
STATE OF FLORIDA
COUNTY OF COLUMBIA

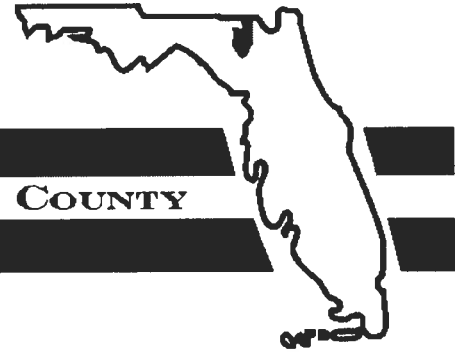
10. [Signature]
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager
Brad Handy
Printed Name and Signatory's Title/Office

The foregoing Instrument was acknowledged before me, a Florida Notary, this 30th day of October, 2017, by:
Bradley Handy as _____ for _____
(Name of Person) (Type of Authority) (name of party on behalf of whom Instrument was executed)

Personally Known _____ OR Produced Identification ☒ Type FDL H530076802250

Notary Signature [Signature] Notary Stamp or Seal:





BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

September 29, 2017

VIA ELECTRONIC MAIL

Bradley & Kelli Handy
797 SW Hamlet Circle
Lake City, FL 32024

Re: V 0312 – Variance Application
Board of Adjustment Determination Letter

Dear Mr. & Mrs. Handy,

At the September 28, 2017 Board of Adjustment (“Board”) hearing, the Board approved your application for a Variance be granted from the minimum yard requirements of Section 4.5.9 of the Land Development Regulations to allow for a deviation from the required 25-foot southwesterly side yard setback to allow for a 13-foot southwesterly side yard setback in accordance with Section 12.3 of the County’s LDRs. Per Section 12.1.1 of the County’s LDRs, there is a thirty (30) day appeal period. If no appeal is filed within thirty (30) days, the decision of the Board shall become final. No permits shall be issued until the thirty (30) day appeal period has expired.

Attached for your records is a copy of Resolution BA V 0312.

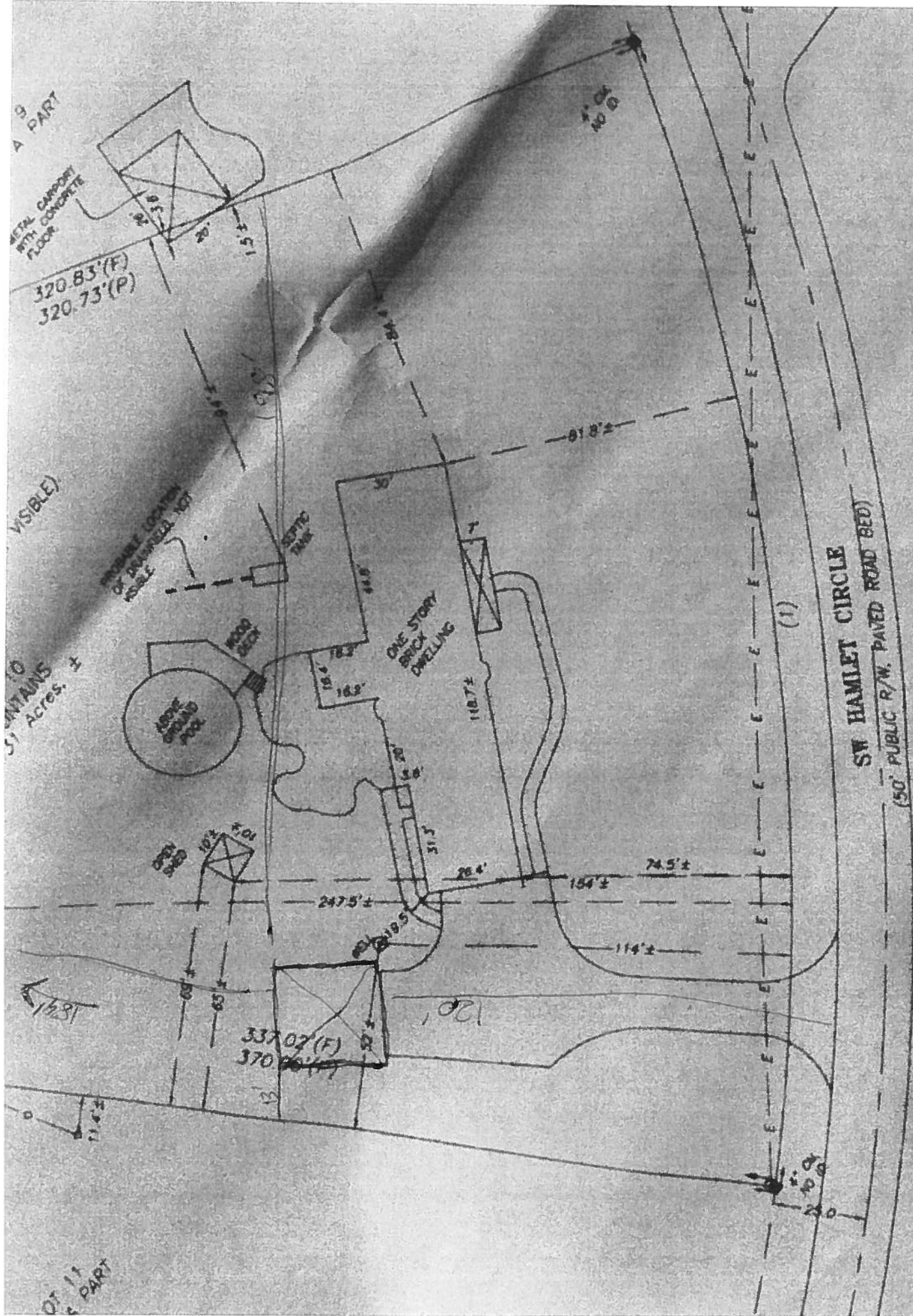
If you have any questions, please do not hesitate to contact me at bstubbs@columbiacountyfla.com or (386) 754-7119.

Sincerely,

A handwritten signature in black ink, appearing to read "B. M. Stubbs".

Brandon M. Stubbs
County Planner/LDR Admin.

BOARD MEETS THE FIRST THURSDAY AT 5:30 P.M.
AND THIRD THURSDAY AT 5:30 P.M.



Columbia County Property Appraiser

Jeff Hampton

2016 Tax Roll Year

updated: 6/6/2017

Parcel: << 36-4S-16-03373-010 >>

Owner & Property Info

Owner	HANDY BRADLEY R & KELLI L 797 SW HAMLET CIRCLE LAKE CITY, FL 32024		
Site	797 HAMLET CIR, LAKE CITY		
Description *	LOT 10 SOUTHWOOD ACRES UNIT 3. ORB 360-302, 695-807, 994-33 (DC ELIZABETH HUBER 1137-1277) & WD 1269-585		
Area	2.31 AC	S/T/R	36-4S-16
Use Code *	SINGLE FAM (000100)	Tax District	3

* The Description above is not to be used as the Legal Description for this parcel in any legal transaction. The Use Code is a FL Dept. of Revenue (DOR) code. Please contact the Columbia County Planning & Development office for specific zoning information.

Property & Assessment Values

2016 Certified Values		2017 Working Values	
Mkt Land (1)	\$18,189	Mkt Land (1)	\$18,189
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (1)	\$138,480	Building (1)	\$138,091
XFOB (4)	\$18,597	XFOB (4)	\$18,597
Just	\$175,266	Just	\$174,877
Class	\$0	Class	\$0
Appraised	\$175,266	Appraised	\$174,877
Exempt	HX H3 \$50,000	Exempt	HX H3 \$50,000
Assessed	\$174,084	Assessed	\$174,877
Total Taxable	county:\$124,084 city:\$124,084 other:\$124,084 school:\$149,084	Total Taxable	county:\$124,877 city:\$124,877 other:\$124,877 school:\$149,877

Aerial Viewer

Pictometry

Google Maps

**Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
2/3/2014	\$207,800	1269/0585	WD	I	Q	01
9/8/2003	\$258,000	994/0033	WD	I	Q	
9/1/1989	\$140,000	695/0807	WD	I	U	

Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SINGLE FAM (000100)	1976	2896	3052	\$138,091

Extra Features & Out Buildings (Show Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0180	FPLC 1STRY	0	\$2,000.00	1.000	0 x 0 x 0	(000.00)
0210	GARAGE U	1993	\$12,960.00	720.000	30 x 26 x 0	(000.00)
0166	CONC,PAVMT	1993	\$612.00	306.000	0 x 0 x 0	(000.00)
0258	PATIO	1993	\$3,025.00	1210.000	0 x 0 x 0	(000.00)

Land Breakdown

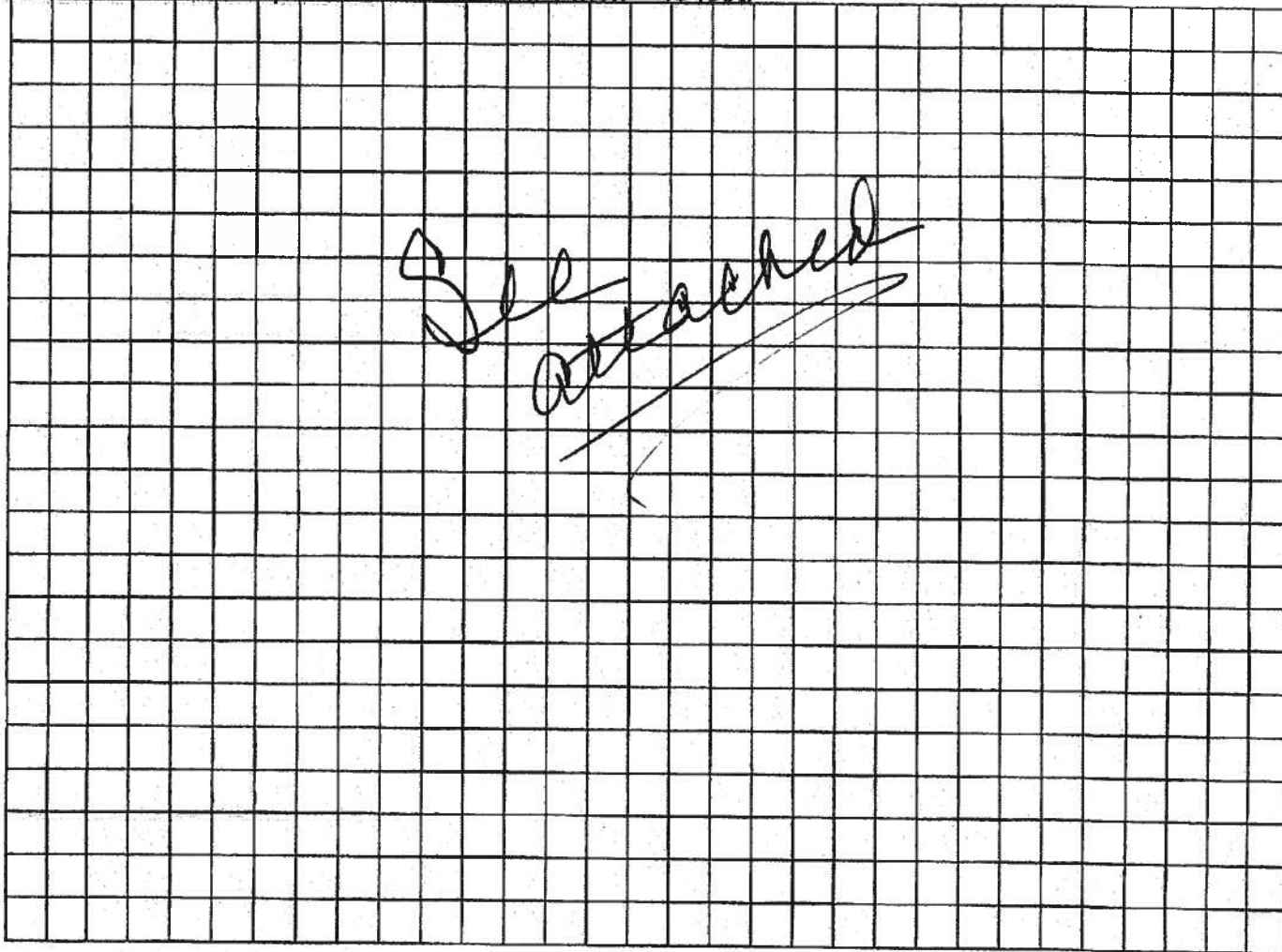
Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000100	SFR (MKT)	2.310 AC	1.00/1.00 1.00/0.80	\$7,874	\$18,189

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 17-0642

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes: _____

Site Plan submitted by: Brad Handy

Plan Approved X

Not Approved _____

Date 10/6/17

By [Signature]

Celina

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 17-0642DATE PAID: 10/16/17FEE PAID: 168.00RECEIPT #: 1310162

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Brad Handy

AGENT: _____

TELEPHONE: 386-466-9168MAILING ADDRESS: 797 SW Hamlet Cir, Lake City, FL 32024

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 10 BLOCK: _____ SUBDIVISION: Southwood Acres U3 PLATTED: 7/24/69PROPERTY ID #: 36-45-16-03373-010 ZONING: Res. I/M OR EQUIVALENT: ☐ Y ☒ NPROPERTY SIZE: 2.31 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ≤ 2000 GPD ☐ > 2000 GPDIS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N DISTANCE TO SEWER: _____ FTPROPERTY ADDRESS: 797 SW Hamlet Cir, Lake City FL 32024

DIRECTIONS TO PROPERTY: _____

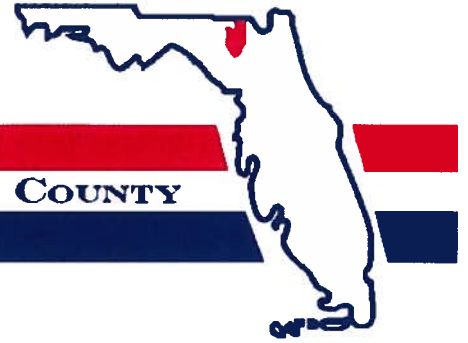
BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>garage</u>	<u>0</u>	<u>840</u>	
2				
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify) _____SIGNATURE: Paul HandyDATE: 10/6/17

District No. 1 - Ronald Williams
District No. 2 - Rusty DePratter
District No. 3 - Bucky Nash
District No. 4 - Everett Phillips
District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

October 2, 2017

VIA ELECTRONIC MAIL

Bradley & Kelli Handy
797 SW Hamlet Circle
Lake City, FL 32024

Re: V 0312 – Variance Application
Board of Adjustment Determination Letter

Dear Mr. & Mrs. Handy,

At the September 28, 2017 Board of Adjustment ("Board") hearing, the Board approved your application for a Variance be granted from the minimum yard requirements of Section 4.5.9 of the Land Development Regulations to allow for a deviation from the required 25-foot southwesterly side yard setback to allow for a 13-foot southwesterly side yard setback in accordance with Section 12.3 of the County's LDRs. Per Section 12.1.1 of the County's LDRs, there is a thirty (30) day appeal period. If no appeal is filed within thirty (30) days, the decision of the Board shall become final. No permits shall be issued until the thirty (30) day appeal period has expired.

Attached for your records is a copy of Resolution BA V 0312.

If you have any questions, please do not hesitate to contact me at bstubbs@columbiacountyfla.com or (386) 754-7119.

Sincerely,

A handwritten signature in blue ink, which appears to read "B. M. Stubbs", is placed above the printed name.

Brandon M. Stubbs
County Planner/LDR Admin.

BOARD MEETS THE FIRST THURSDAY AT 5:30 P.M.
AND THIRD THURSDAY AT 5:30 P.M.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, THAT:

Section 1. V 0312, a petition by Bradley R and Kelli L. Handy, owners, to request a variance be granted from the minimum yard requirements of Section 4.5.9 of the Land Development Regulations to allow for a deviation from the required 25-foot southwesterly side yard setback to allow for a 13-foot southwesterly side yard setback. The variance has been filed in accordance with a site plan dated August 24, 2017, 2017 and submitted as part of a petition filed August 24, 2017, to be located on property described, as follows:

Lot 10 of "Southwood Acres, Unit 3", as per Plat thereof recorded in Plat Book 3, Page 91 of the Public Records of Columbia County, Florida.

Containing 2.31 acres, more or less

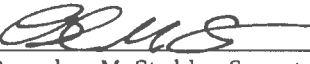
Tax Parcel Number 36-4s-16-03373-010

Section 2. All resolutions or portions of resolutions in conflict with this resolution are hereby repealed to the extent of such conflict.

Section 3. Pursuant to Section 12.1 of the Land Development Regulations, the effective date of this resolution, BA V 0312, shall be 31 days after adoption, unless an appeal is filed pursuant to Section 12.1.1(1) of the Land Development Regulations. No development orders, development permits or land uses dependent on this resolution may be issued or commence before it has become effective.

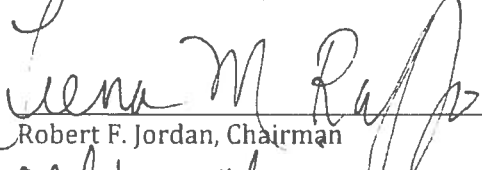
PASSED AND DULY ADOPTED, in special session with a quorum present and voting,
by the Board of Adjustment this 28th day of September 2017.

Attest:



Brandon M. Stubbs, Secretary to the
Board of Adjustment

BOARD OF ADJUSTMENT OF
COLUMBIA COUNTY, FLORIDA



Robert F. Jordan, Chairman
acting chair



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myfloridalicense.com/dbpr/> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

797 SW Hamlet Cir Lake City FL 32024

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

TYPE OF CONSTRUCTION


- () Single Family Dwelling () Two-Family Residence () Farm Outbuilding
() Addition, Alteration, Modification or other Improvement
() Commercial, Cost of Construction _____ for construction of _____
(X) Other Garage

I, Brad Handy, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

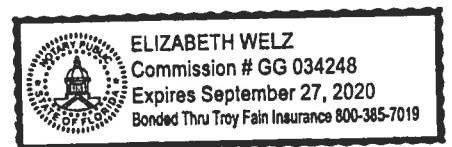
 Date 8/14/17
Owner Builder Signature

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification FLDL H530-076-80725-0

Notary Signature  Date 8-14-17

(Seal)



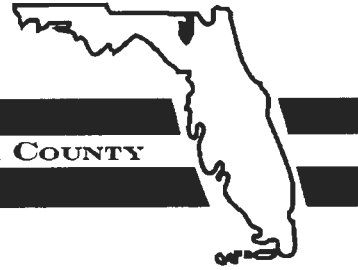
FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative 

District No. 1 - Ronald Williams
District No. 2 - Rusty DePratter
District No. 3 - Bucky Nash
District No. 4 - Everett Phillips
District No. 5 - Tim Murphy

BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY



ADDRESS ASSIGNMENT DATA

The Columbia County Board of County Commissioners has passed Ordinance 2001-9, which provides for a uniform numbering system. A copy of this ordinance is available in the Clerk of Court records, located in the courthouse. This new numbering system will increase the efficiency of POLICE, FIRE AND EMERGENCY MEDICAL vehicles responding to calls within Columbia County by immediately identifying the location of the caller.

A Residential(s) or Other Structure(s) on Parcel Number:

36-4S-16-03373-010

Address Assignment(s):

797 SW HAMLET CIR, LAKE CITY, FL 32024

**COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT**

**263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com**

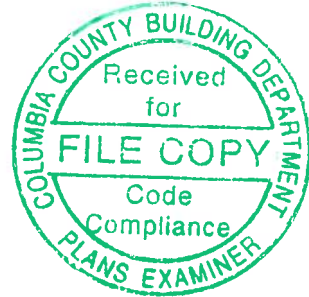
*Paul
- HANOG*



Florida Product Approval Codes

Roll-Up Doors:

Janus International Corporation Model 3652: 14425.1
Janus International Corporation Model 1100: 12765.1
Janus International Corporation Model 1100: 12765.2
Janus International Corporation Model 750: 12765.5
Janus International Corporation Model 750: 12765.6
Janus International Corporation Model 750: 12765.7
Janus International Corporation Model 750: 12765.8



Walk-In Door:

Elixir Door & Metal Company blank (no window): 17996.5
Elixir Door & Metal Company with 12x12 window: 17996.5
Elixir Door & Metal Company regular door w/ 9 light window: 17996.6

Window:

Pocahontas Aluminum Company Inc.: 12940.2

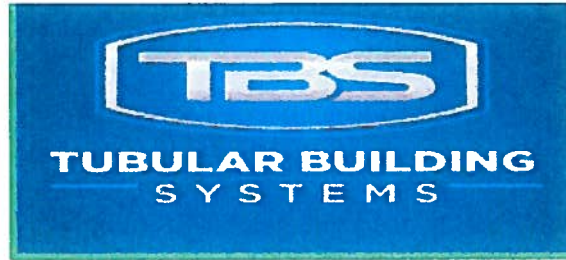
Roof Deck:

Capital Metal Supply Inc. Ag Panel: 20147.1

Wall Panel:

Capital Metal Supply Inc. Ag Panel: 20148.1

If you have any questions on concern, please contact Donald Little at 386-961-0006 or at tubularbuildingsystems@gmail.com.



STRUCTURAL DESIGN

ENCLOSED BUILDING

**MAXIMUM 30'-0" WIDE X 14'-0" EAVE HEIGHT- BOX EAVE
FRAME**

31 March 2017

Revision 3

M&A Project No. 16022S/16072S/16073S

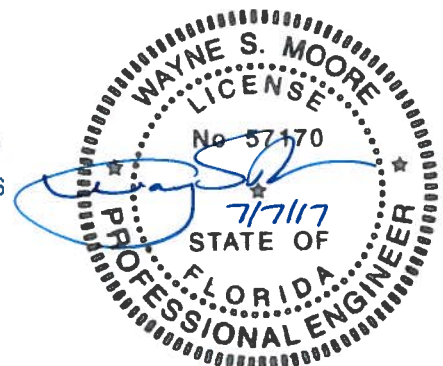
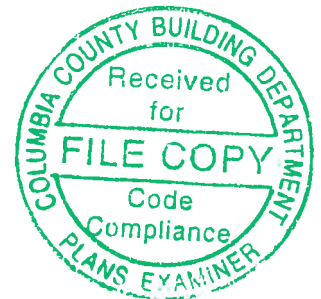
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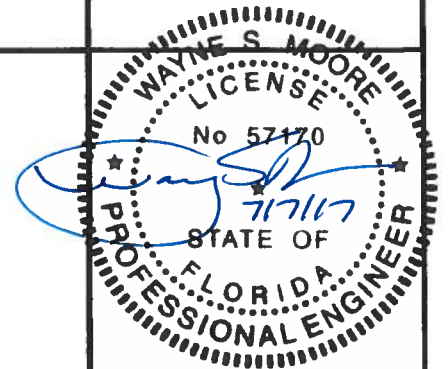
**Tubular Building Systems, LLC
631 SE Industrial Circle
Lake City, Florida 32025**

Prepared by:

**Moore and Associates Engineering and Consulting, Inc.
1009 East Avenue
North Augusta, SC 29841**

**401 S. Main Street, Suite 200
Mt. Airy, NC 27030**





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	CHECKED BY: PDH	PROJECT MGR: WSM	DATE: 3-31-17	SCALE: NTS	JOB NO: 16022S
	CLIENT: TBS	SHT. 1	DWG. NO: SK-2	REV: 3	

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SHEET 2	DRAWING INDEX
SHEET 3	INSTALLATION NOTES AND SPECIFICATIONS AND TYPICAL SIDE AND END ELEVATIONS
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SHEET 5	CORNER POST CONNECTION DETAILS
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SHEET 7	CORNER POST CONNECTION DETAILS
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SHEET 9	TYPICAL END WALL AND SIDE WALL FRAMING SECTIONS (BOX EAVE)
SHEET 10	TYPICAL END WALL AND SIDE WALL FRAMING SECTIONS (BOW RAFTER)
SHEET 11	WALL OPENING DETAILS
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SHEET 13	LEAN-TO OPTIONS (BOX EAVE RAFTER)
SHEET 14	LEAN-TO OPTIONS (BOW RAFTER)
SHEET 15	VERTICAL ROOF OPTION END AND SIDE ELEVATION AND SECTION
SHEET 16	OPTIONAL FOUNDATION CAST-IN-PLACE ANCHOR SIDE ELEVATION AND SECTION
SHEET 17	OPTIONAL HEADER SIDE ELEVATION



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**TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING**

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CLIENT: TBS

DATE: 3-31-17

SHT. 2

SCALE: NTS

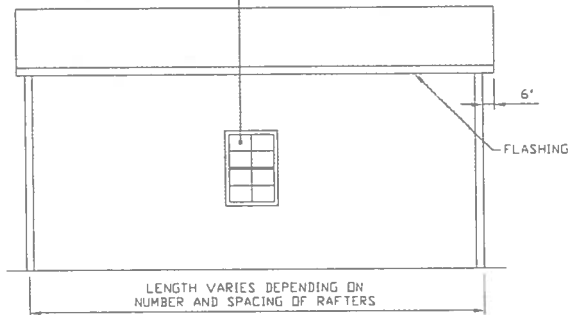
DWG. NO: SK-2

JOB NO: 16022S

REV: 3

BOX EAVE FRAME RAFTER 30'x14' ENCLOSED BUILDING

WINDOW (AS APPLICABLE)
DESIGN PRESSURE
LOW = (218 PSF, -236 PSF)
HIGH = (3285 PSF, -356 PSF)

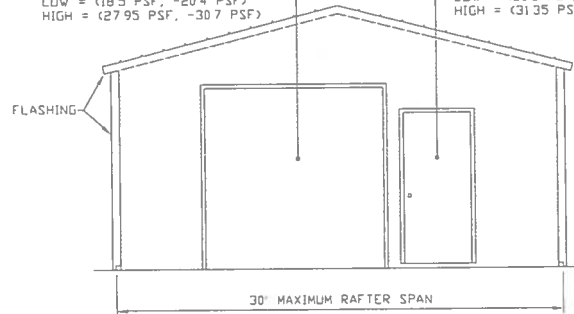


TYPICAL SIDE ELEVATION-HORIZONTAL ROOF

SCALE 1/8" = 1'-0"

ROLL-UP DOOR
(AS APPLICABLE)
DESIGN PRESSURE
LOW = (185 PSF, -204 PSF)
HIGH = (2795 PSF, -307 PSF)

SWINGING DOOR
(AS APPLICABLE)
DESIGN PRESSURE
LOW = (208 PSF, -226 PSF)
HIGH = (3135 PSF, -345 PSF)

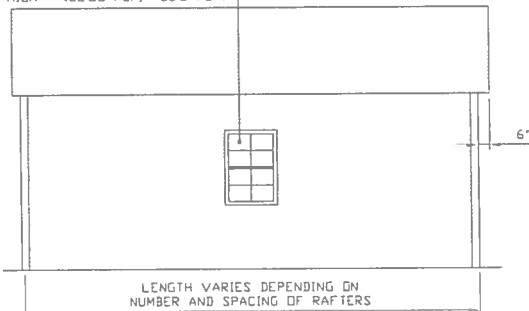


TYPICAL END ELEVATION-HORIZONTAL ROOF

SCALE 1/8" = 1'-0"

BOW FRAME RAFTER 30'x14' ENCLOSED BUILDING

WINDOW (AS APPLICABLE)
DESIGN PRESSURE
LOW = (218 PSF, -236 PSF)
HIGH = (3285 PSF, -356 PSF)

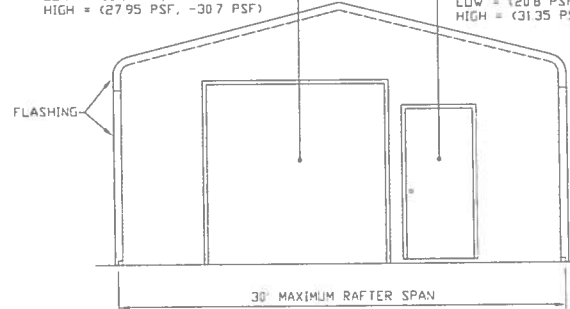


TYPICAL SIDE ELEVATION

SCALE 1/8" = 1'-0"

ROLL-UP DOOR
(AS APPLICABLE)
DESIGN PRESSURE
LOW = (185 PSF, -204 PSF)
HIGH = (2795 PSF, -307 PSF)

SWINGING DOOR
(AS APPLICABLE)
DESIGN PRESSURE
LOW = (208 PSF, -226 PSF)
HIGH = (3135 PSF, -345 PSF)



TYPICAL END ELEVATION

SCALE 1/8" = 1'-0"

INSTALLATION NOTES AND SPECIFICATIONS

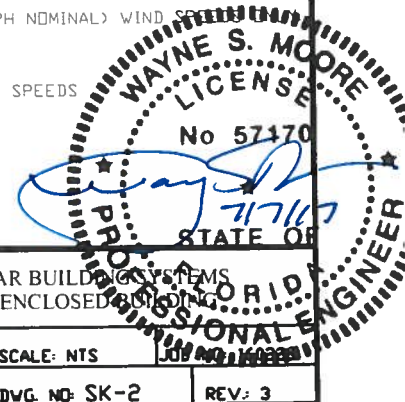
- DESIGN IS FOR A MAXIMUM 30' WIDE x 14' EAVE HEIGHT STRUCTURES.
- DESIGN WAS DONE IN ACCORDANCE WITH THE 2014 FLORIDA BUILDING CODE (FBC) 5TH EDITION AND 2012 INTERNATIONAL BUILDING CODE IBC
- DESIGN LOADS ARE AS FOLLOWS
 - DEAD LOAD = 15 PSF
 - LIVE LOAD = 12 PSF
 - GROUND SNOW LOAD = 10 PSF
- LOW ULTIMATE WIND SPEED 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH) MAXIMUM RAFTER/POST AND END POST SPACING = 5.0 FEET
- HIGH ULTIMATE WIND SPEED 141 TO 170 MPH (NOMINAL WIND SPEED 109 TO 132 MPH) MAXIMUM RAFTER/POST AND END POST SPACING = 4.0 FEET.
- LOW HAZARD RISK CATEGORY I (WIND)
- WIND EXPOSURE CATEGORY B
- SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" AND 2 1/4" x 2 1/4" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS FOR VERTICAL PANELS. 29 GAUGE METAL PANELS SHALL BE FASTENED TO 18 GAUGE HAT CHANNELS
- AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS, INTERIOR = 9' OR END = 6', (MAX)
- FASTENERS CONSIST OF 1/4"-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14" (312 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY
- GROUND ANCHORS CONSISTING OF #4 REBAR W/WELDED NUT x 24" LONG MAY BE USED FOR LOW (≤ 108 MPH NOMINAL) WIND SPEEDS
- GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6' OF EACH POST
- OPTIONAL BASE RAIL ANCHORAGE MAY BE USED FOR LOW AND HIGH (> 117 MPH - 139 MPH NOMINAL) WIND SPEEDS
- WIND FORCES GOVERN OVER SEISMIC FORCES SEISMIC PARAMETERS ANALYZED ARE

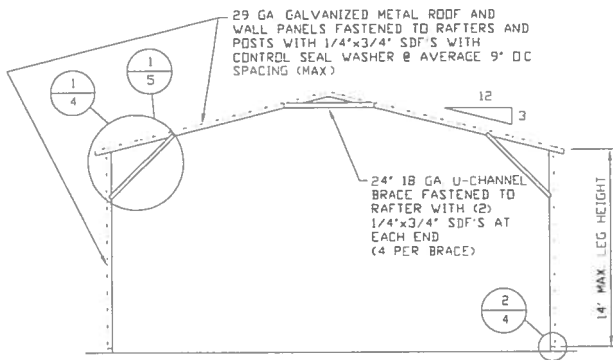
SOIL SITE CLASS = D
RISK CATEGORY I/II/III
R = 325 I_E = 10
S_{DS} = 1.522 V = C_sW
S_{DI} = 0.839

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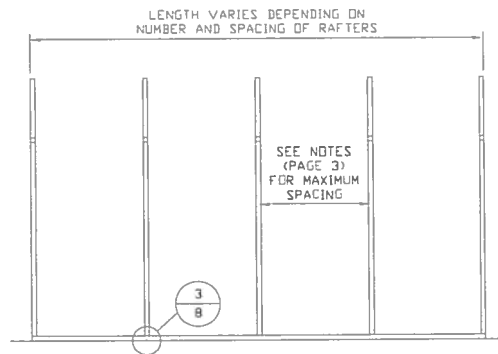
DRAWN BY: DAH	TUBULAR BUILDING SYSTEMS 30'x14' ENCLOSED BUILDING		
CHECKED BY: PDH			
PROJECT MGR: WSM	DATE: 3-31-17	SCALE: NTS	JOB NO: 140885
CLIENT: TBS	SHT. 3	DWG. NO: SK-2	REV: 3

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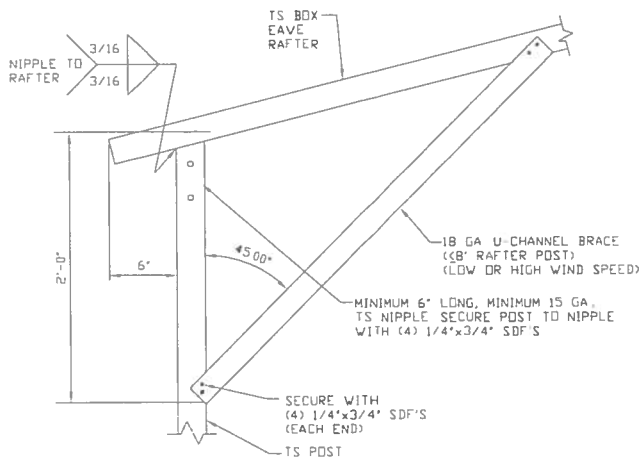




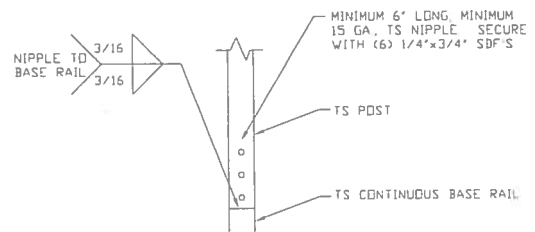
TYPICAL RAFTER/POST END FRAME SECTION
SCALE: NTS



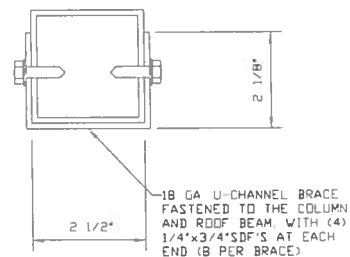
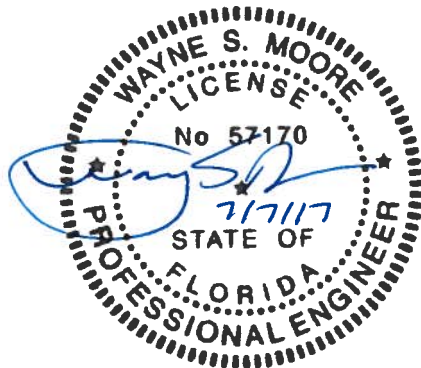
TYPICAL RAFTER/POST SIDE FRAMING SECTION
SCALE: 1/8\"/>



1 BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL
SCALE: NTS



2 RAFTER POST/BASE RAIL CONNECTION DETAIL
SCALE: NTS



BRACE SECTION
SCALE: NTS

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**TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING**

DATE: 3-31-17

SHT. 4

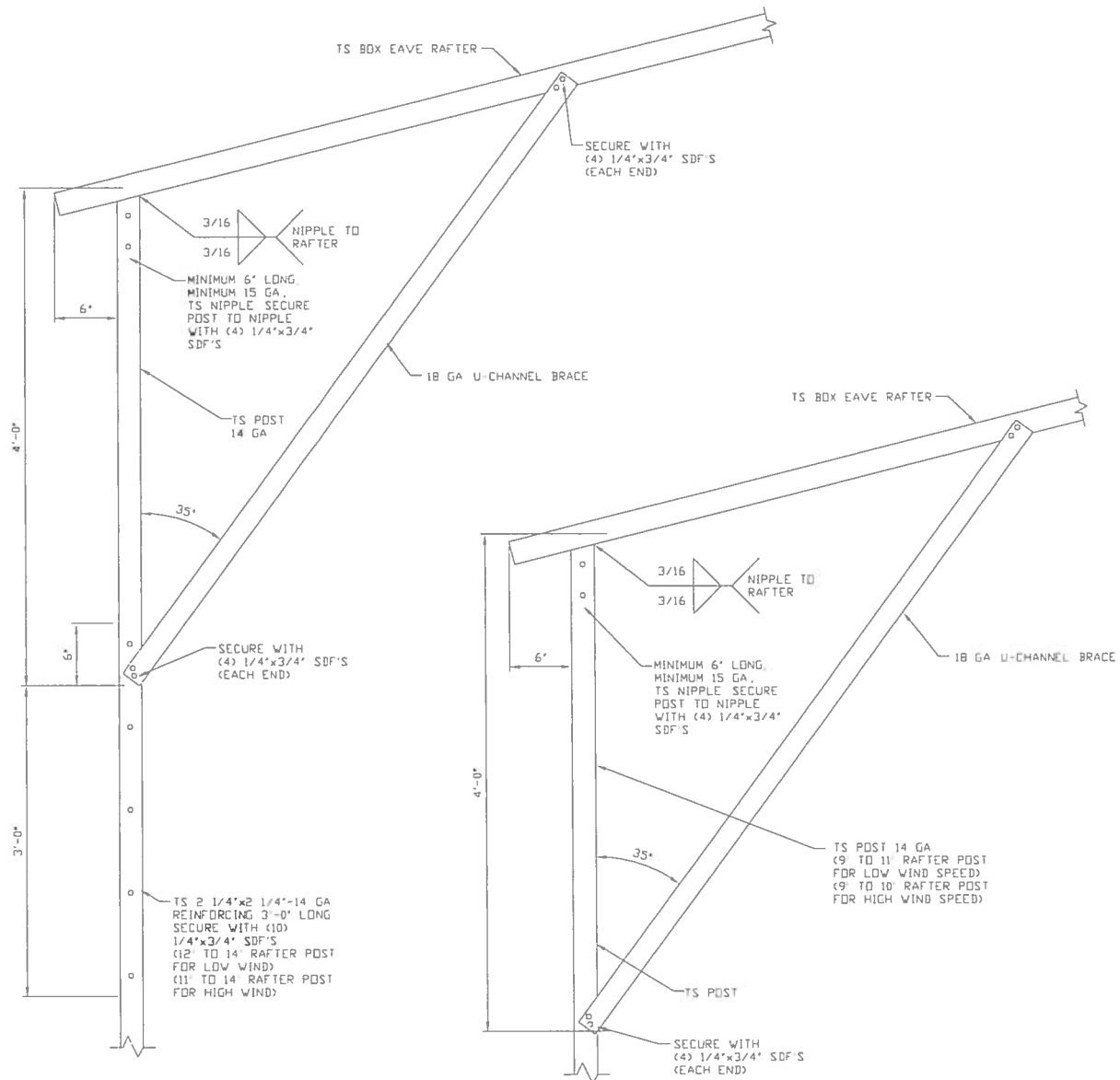
SCALE: NTS

DWG. NO: SK-2

JOB NO: 16022S

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1A

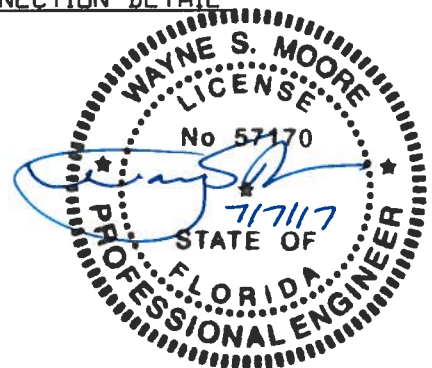
**BOX EAVE RAFTER/CORNER
POST CONNECTION DETAIL**

SCALE: NTS

1B

**BOX EAVE RAFTER/CORNER
POST CONNECTION DETAIL**

SCALE: NTS



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TUBULAR BUILDING SYSTEMS
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SHT. 5

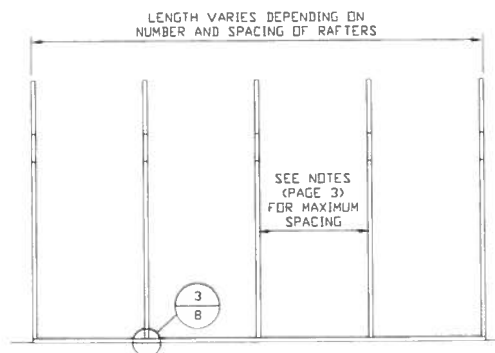
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JOB NO: 16022S

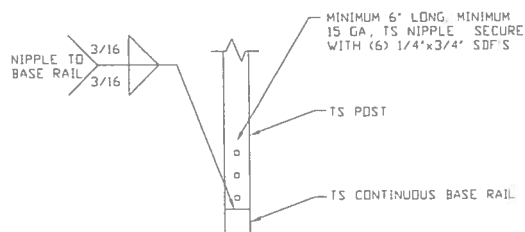
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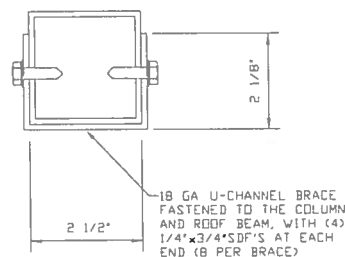
TYPICAL RAFTER/POST FRAMING SIDE SECTION

SCALE 1/8" = 1'-0"



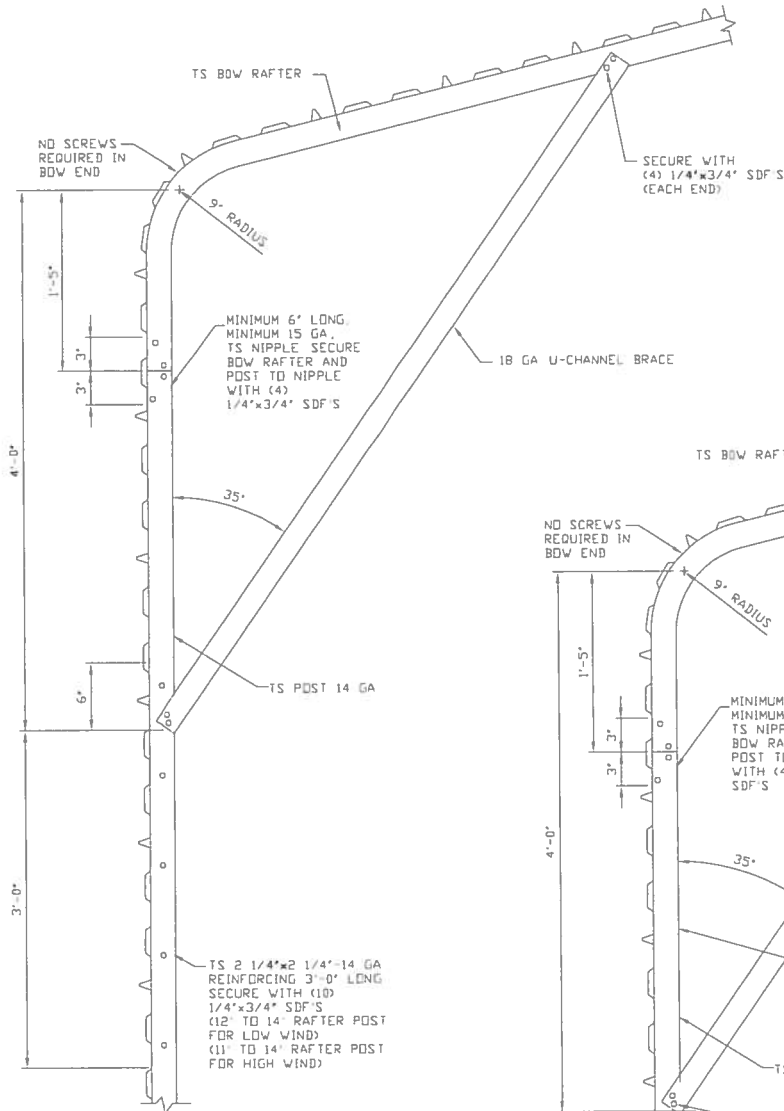
RAFTER POST/BASE RAIL
CONNECTION DETAIL

SCALE: NTS



BRACE SECTION
SCALE: NTS

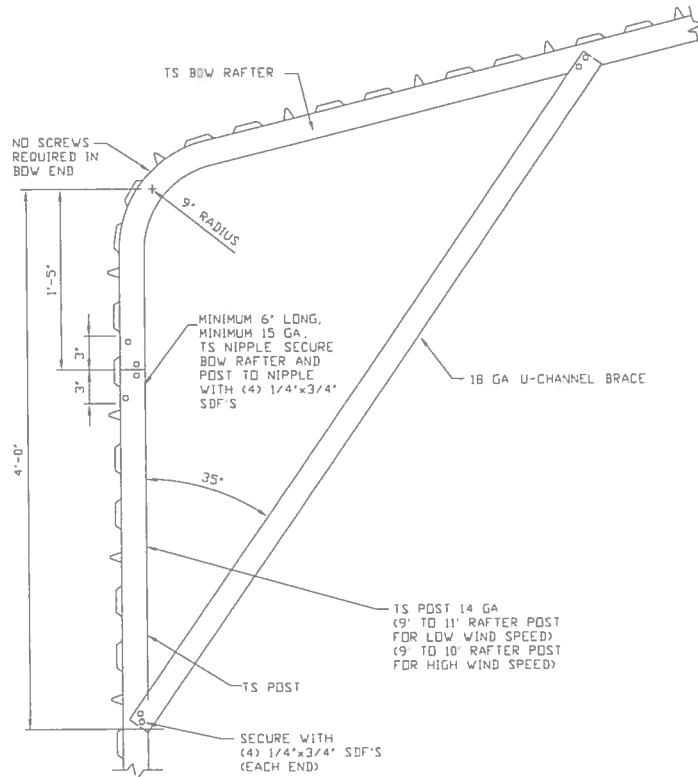
REV: 3



1A

**BOW RAFTER/CORNER POST
CONNECTION DETAIL**

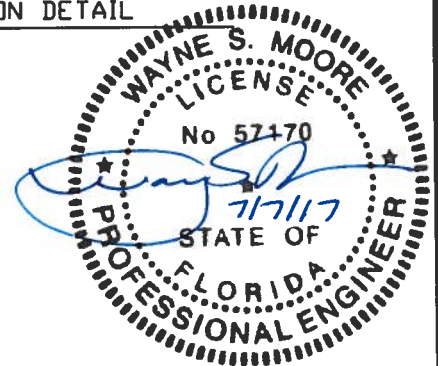
SCALE: NTS



1B

**BOW RAFTER/CORNER POST
CONNECTION DETAIL**

SCALE: NTS



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TUBULAR BUILDING SYSTEMS
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DATE: 3-31-17

SHT. 7

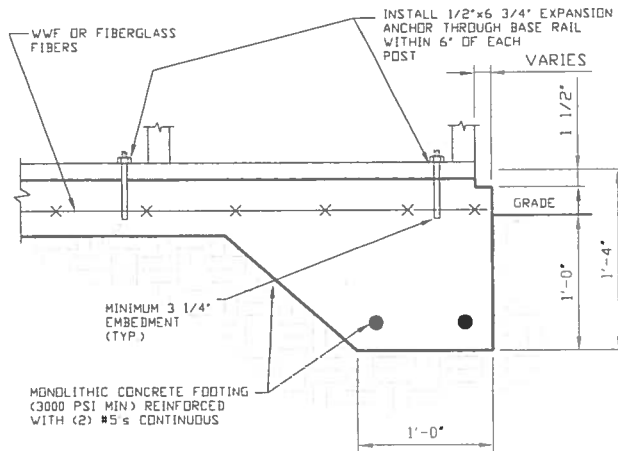
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JOB NO: 16022S

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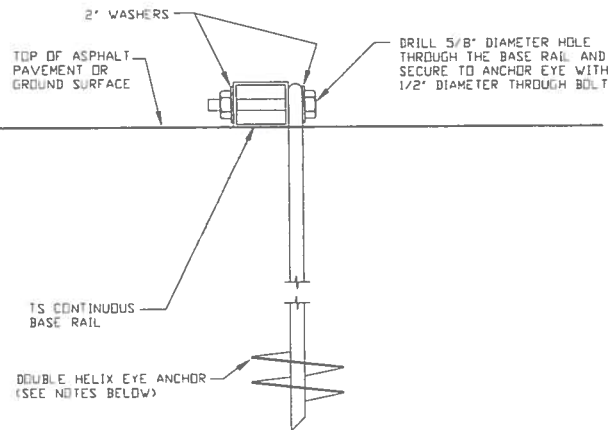
BASE RAIL ANCHORAGE OPTIONS FOR LOW AND HIGH WIND SPEEDS



3A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS
(MINIMUM ANCHOR EDGE DISTANCE IS 4")



3B

GROUND BASE HELIX ANCHORAGE

SCALE: NTS (CAN BE USED FOR ASPHALT)

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

REINFORCING STEEL:

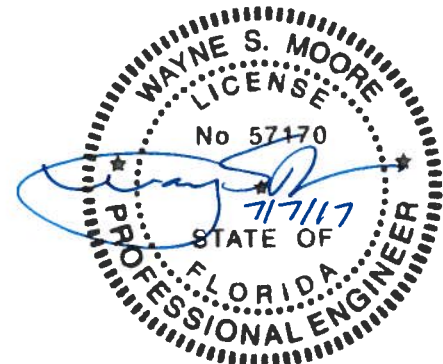
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT

HELIX ANCHOR NOTES:

- 1 FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 2 FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 3 FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 4 FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL USE MINIMUM (2) 6" HELICES WITH MINIMUM 50 INCH EMBEDMENT
- 5 FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL USE MINIMUM (2) 8" HELICES WITH MINIMUM 60 INCH EMBEDMENT



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TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

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SHT. 8

SCALE: NTS

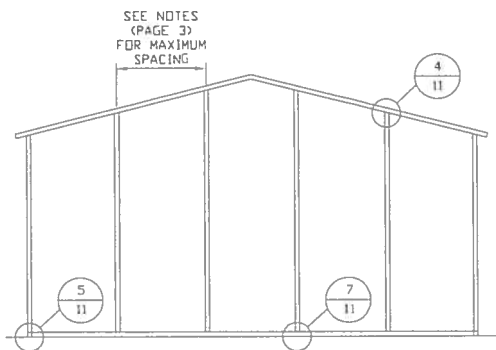
DWG. NO: SK-2

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REV: 3

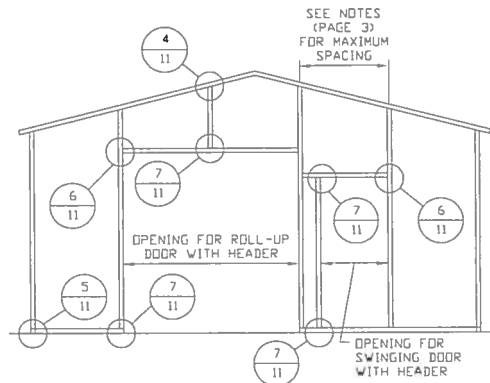
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BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



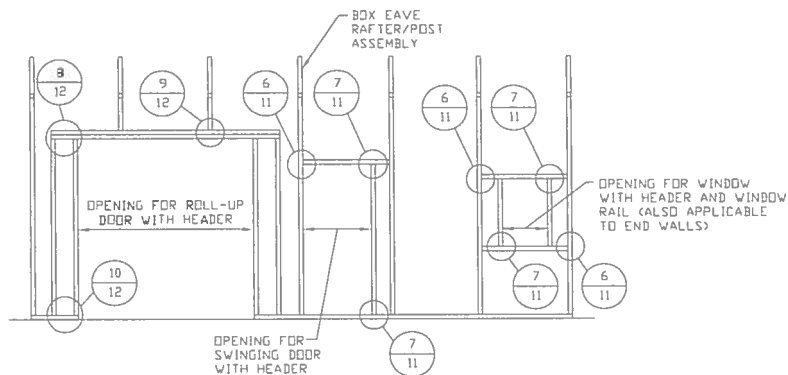
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: 1/8" = 1'-0"



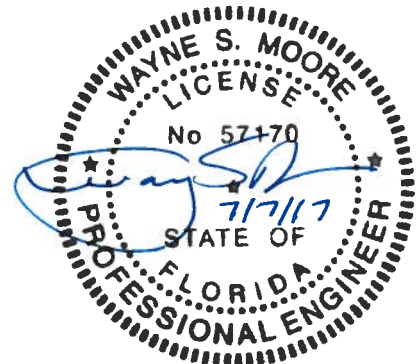
**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: 1/8" = 1'-0"



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: 1/8" = 1'-0"



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**TUBULAR BUILDING SYSTEMS
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SHT. 9

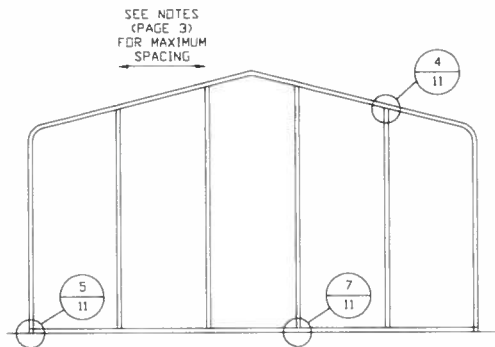
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DWG. NO: SK-2

JOB NO: 16022S

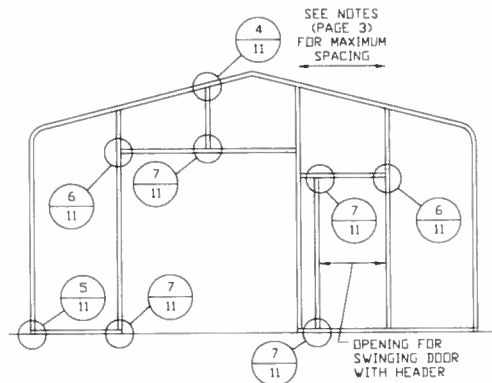
REV: 3

BOW RAFTER END WALL AND SIDE WALL OPENINGS



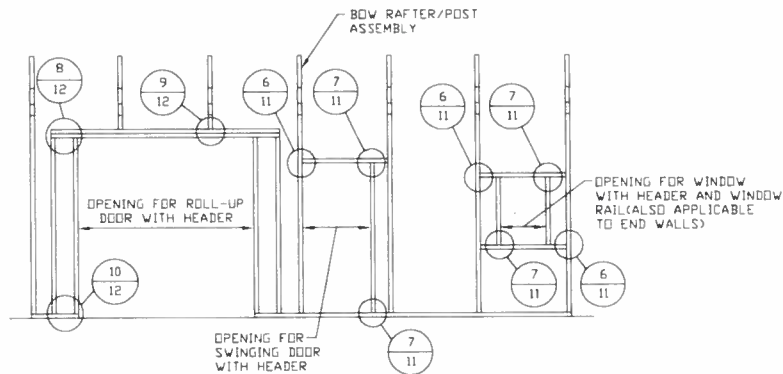
**TYPICAL BOW RAFTER
END WALL FRAMING SECTION**

SCALE: 1/8" = 1'-0"



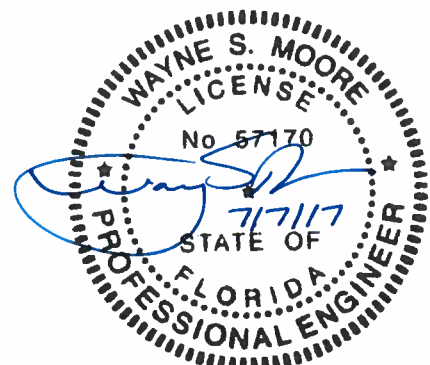
**TYPICAL BOW RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: 1/8" = 1'-0"



**TYPICAL BOW RAFTER SIDE
WALL OPENINGS FRAMING SECTION**

SCALE: 1/8" = 1'-0"



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**TUBULAR BUILDING SYSTEMS
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DATE: 3-31-17

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JOB NO: 16022S

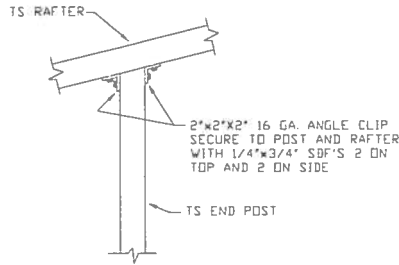
SHT. 10

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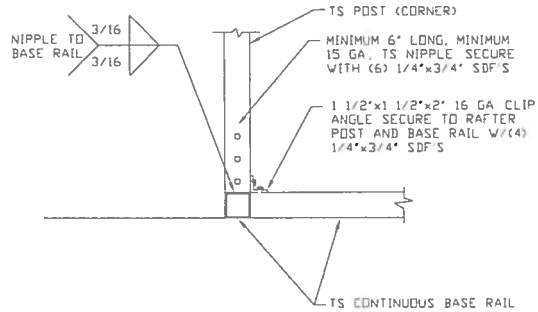
BOW AND BOX EAVE RAFTER WALL OPENING DETAILS



4

END POST/RAFTER CONNECTION DETAIL

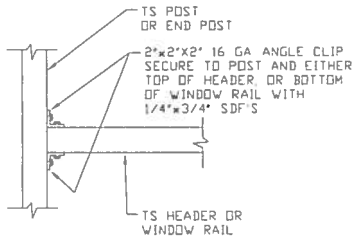
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5

END POST/BASE RAIL CONNECTION DETAIL

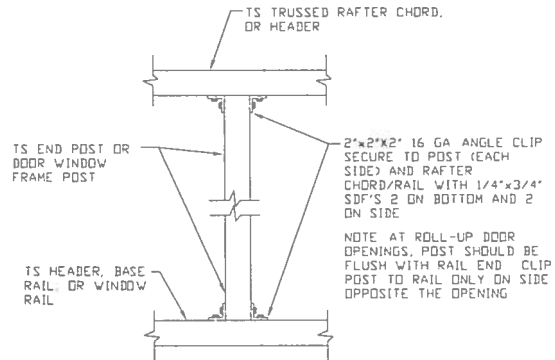
SCALE: NTS



6

HEADER OR WINDOW RAIL TO POST CONNECTION DETAIL

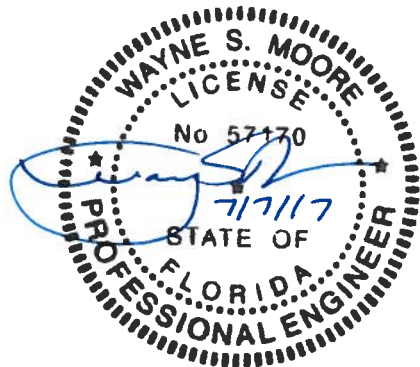
SCALE: NTS



7

POST TO HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL

SCALE: NTS



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PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING**

DATE: 3-31-17

SHT. 11

SCALE: NTS

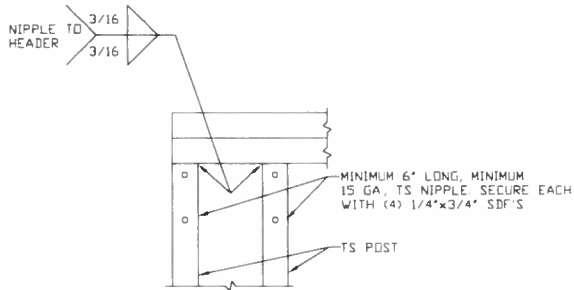
DWG. NO: SK-2

JOB NO: 16022S

REV: 3

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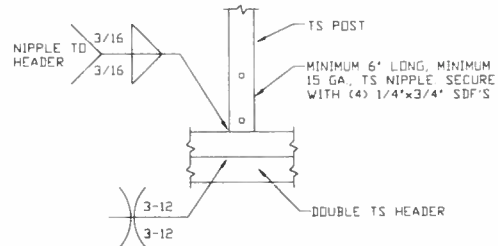
BOW AND BOX EAVE RAFTER WALL OPENING DETAILS



8

DOUBLE HEADER/POST CONNECTION DETAIL

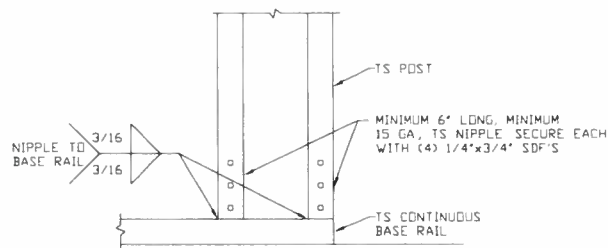
SCALE: NTS



9

POST/DOUBLE HEADER CONNECTION DETAIL

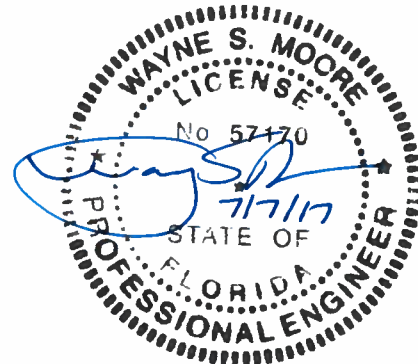
SCALE: NTS



10

POST/BASE RAIL CONNECTION DETAIL

SCALE: NTS



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DRAWN BY: DAH

CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

DATE: 3-31-17

SCALE: NTS

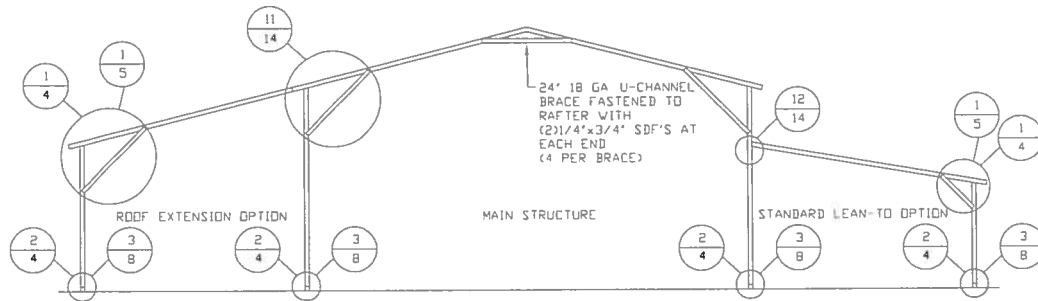
DWG. NO: SK-2

JOB NO: 16022S

REV: 3

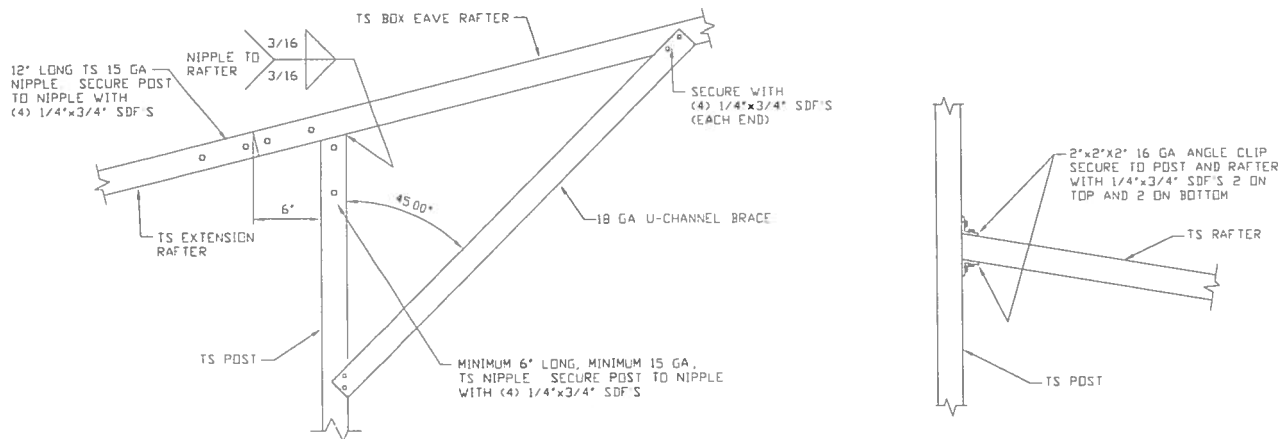
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BOX EAVE RAFTER LEAN-TO OPTIONS



TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: 1/8" = 1'-0"



11

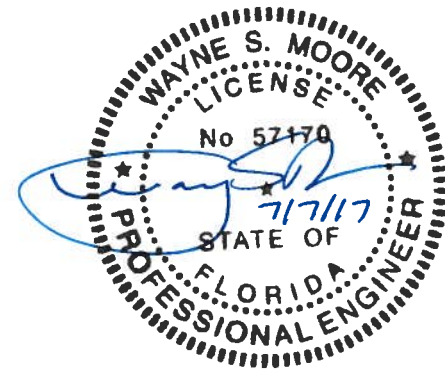
**SIDE EXTENSION RAFTER/
CORNER POST DETAIL**

SCALE: NTS

12

**LEAN-TO RAFTER TO RAFTER
POST CONNECTION DETAIL**

SCALE: NTS



**MOORE AND ASSOCIATES
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PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING**

DATE: 3-31-17

SHT. 13

SCALE: NTS

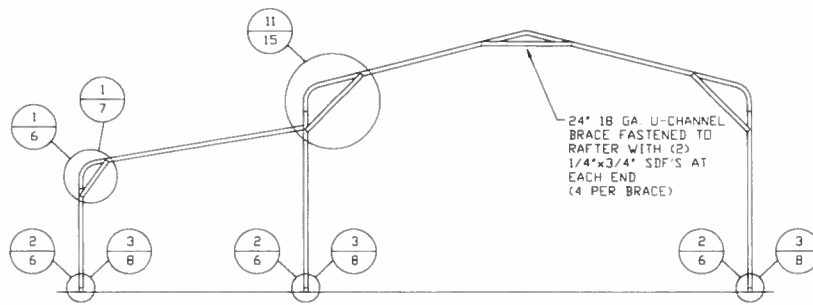
DWG. NO: SK-2

JOB NO: 16022S

REV: 3

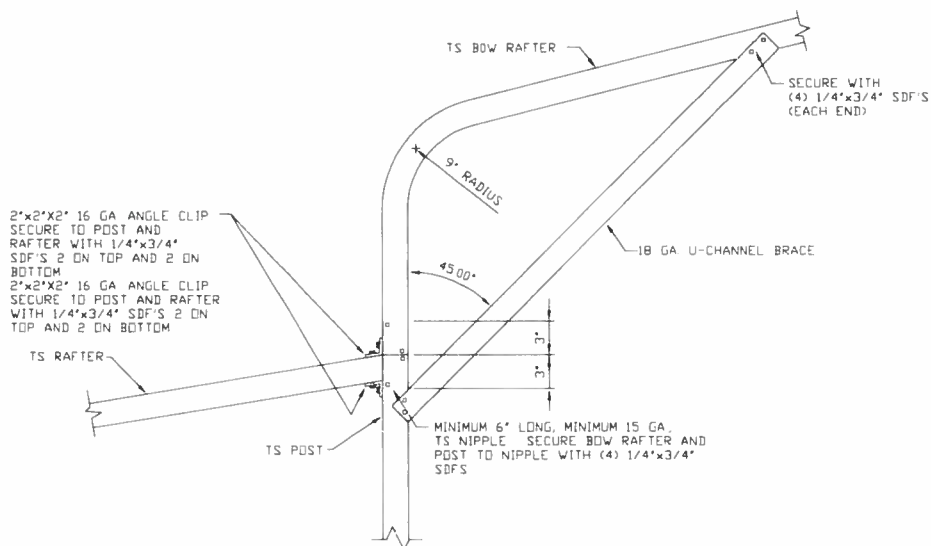
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BOW RAFTER LEAN-TO OPTION



TYPICAL BOW RAFTER LEAN-TO OPTION FRAMING SECTION

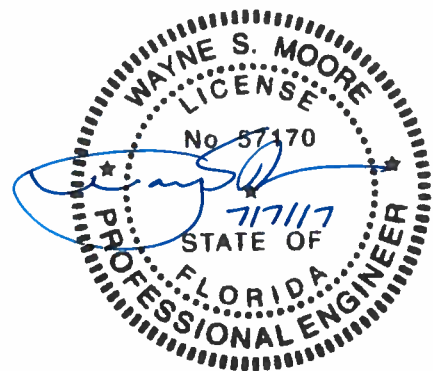
SCALE: 1/8" = 1'-0"



**LEAN-TO RAFTER TO RAFTER
POST CONNECTION DETAIL**

SCALE: NTS

11



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CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING**

DATE: 3-31-17

SHT. 14

SCALE: NTS

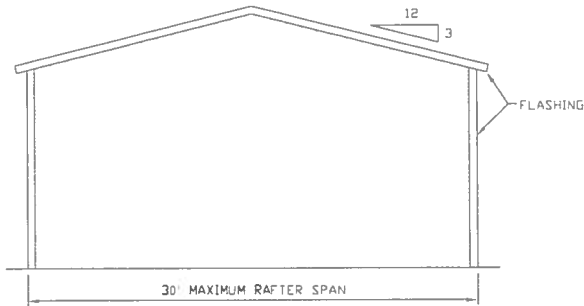
DWG. NO: SK-2

JOB NO: 16022S

REV: 3

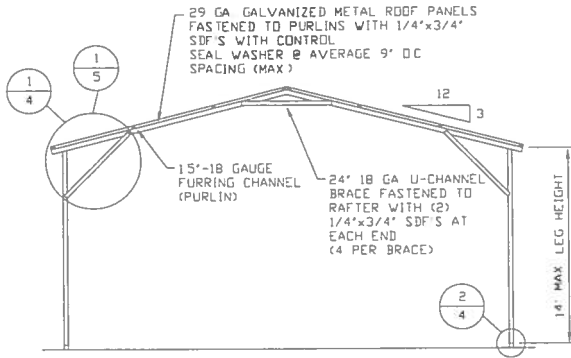
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BOX EAVE RAFTER VERTICAL ROOF OPTION



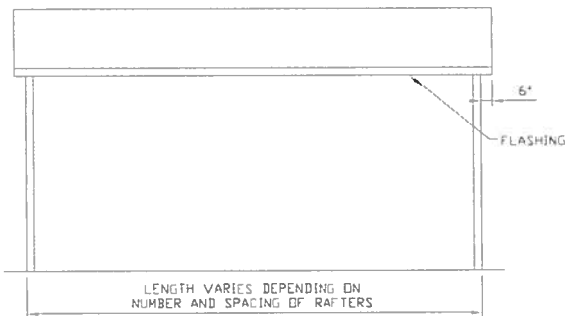
**TYPICAL END ELEVATION
VERTICAL ROOF**

SCALE 1/8" = 1'-0"



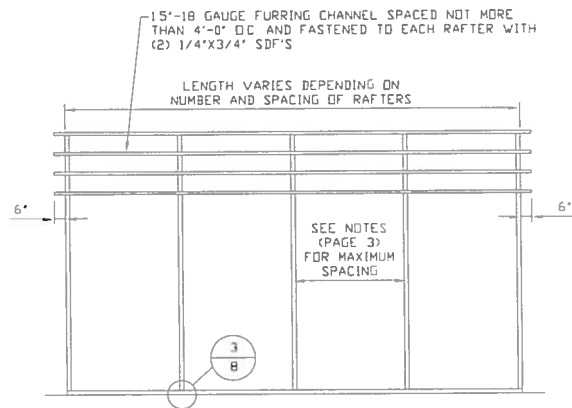
**TYPICAL SECTION
VERTICAL ROOF OPTION**

SCALE NTS



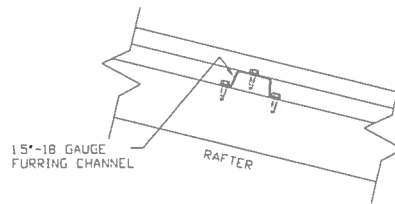
**TYPICAL SIDE ELEVATION
VERTICAL ROOF**

SCALE 1/8" = 1'-0"



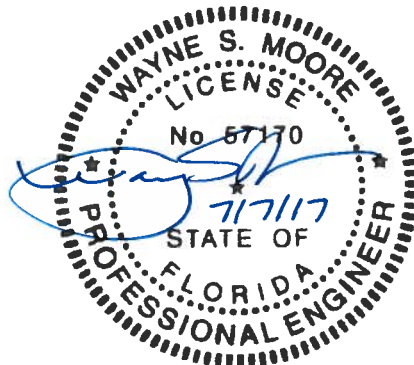
**TYPICAL FRAMING SECTION
VERTICAL ROOF OPTION**

SCALE 1/8" = 1'-0"



ROOF PANEL ATTACHMENT

(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE NTS



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CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

DATE: 3-31-17

SHT. 15

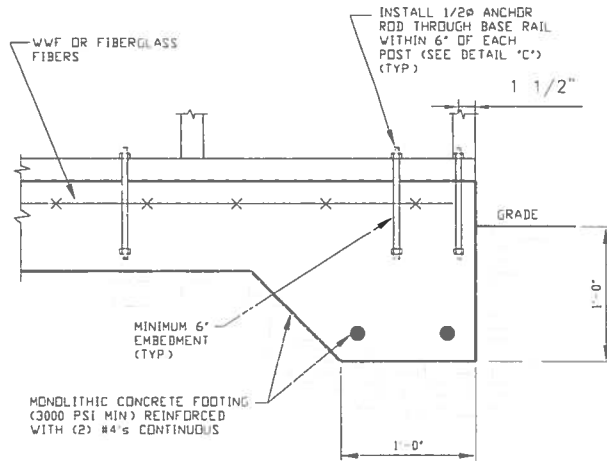
SCALE: NTS

DWG. NO: SK-2

JOB NO: 16022S

REV: 3

OPTIONAL FOUNDATION ANCHORAGE FOR LOW & HIGH WIND SPEED

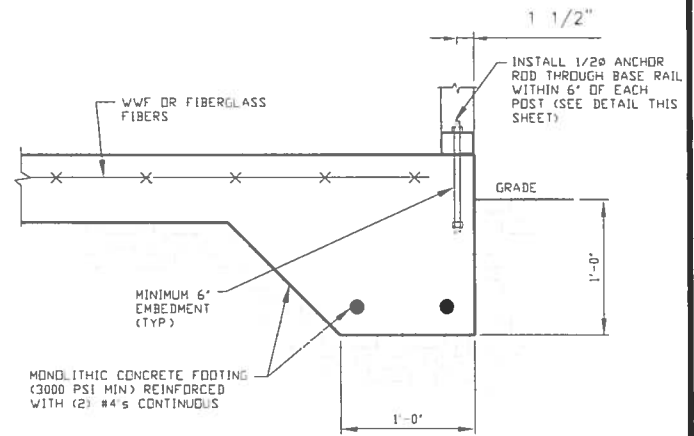


1A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")



1B

CONCRETE SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318

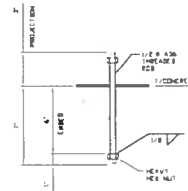
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT



1C

ANCHOR ROD THROUGH BASE RAIL DETAIL

SCALE: NTS



MOORE AND ASSOCIATES
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CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

DATE: 3-31-17

SHT. 16

SCALE: NTS

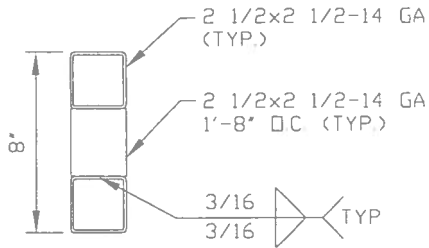
DWG. NO: SK-2

JOB NO: 16022S

REV: 3

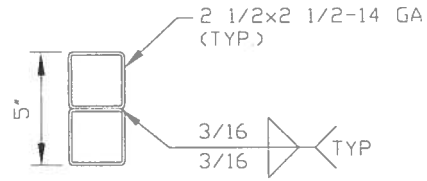
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OPTIONAL DOOR HEADER



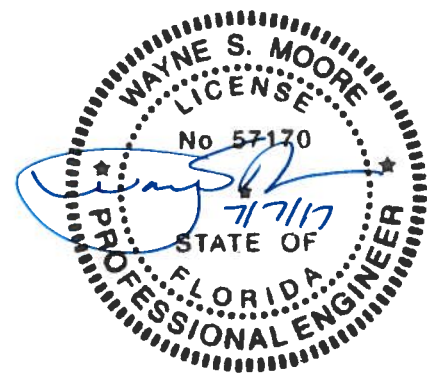
HEADER DETAIL FOR DOOR
OPENINGS 12' < LENGTH < 15'

SCALE: NTS



HEADER DETAIL FOR DOOR
OPENINGS LENGTH < 12'

SCALE: NTS



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: JM

CHECKED BY: PDH

PROJECT MGR: VSH

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'x14' ENCLOSED BUILDING

DATE: 3-31-17

SHT. 17

SCALE: NTS

DWG. NO: SK-2

JOB NO: 16022S

REV: 3

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Florida Product Approval Codes

Roll-Up Doors:

Janus International Corporation Model 3652: 14425.1
Janus International Corporation Model 1100: 12765.1
Janus International Corporation Model 1100: 12765.2
Janus International Corporation Model 750: 12765.5
Janus International Corporation Model 750: 12765.6
Janus International Corporation Model 750: 12765.7
Janus International Corporation Model 750: 12765.8

Walk-In Door:

Elixir Door & Metal Company blank (no window): 17996.5
Elixir Door & Metal Company with 12x12 window: 17996.5
Elixir Door & Metal Company regular door w/ 9 light window: 17996.6

Window:

Pocahontas Aluminum Company Inc.: 12940.2

Roof Deck:

Capital Metal Supply Inc. Ag Panel: 20147.1

Wall Panel:

Capital Metal Supply Inc. Ag Panel: 20148.1

If you have any questions or concern, please contact Donald Little at 386-961-0006 or at tubularbuildingsystems@gmail.com.

New Construction Subterranean Termite Service Record

OMB Approval No. 2502-0525
(exp. 05/30/2018)

This form is completed by the licensed Pest Control Company.

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential, therefore, no assurance of confidentiality is provided.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA, or VA.

All contracts for services are between the Pest Control Company and builder, unless stated otherwise.

35938

Section 1: General Information (Pest Control Company Information)

Company Name Aspen Pest Control, Inc.
Company Address P.O. Box 1785 City Lake City State FL Zip 32156
Company Business License No. JB182948 Company Phone No. 386-755-3611
FHA/VA Case No. (if any) _____

Section 2: Builder Information

Company Name Brad Handy Phone No. 466-9168

Section 3: Property Information

Location of Structure(s) Treated (Street Address or Legal Description, City, State and Zip) Brad Handy
797 SW Hamlet Circle
Lake City, FL 33024

Section 4: Service Information

Date(s) of Service(s) 10-31-2017
Type of Construction (More than one box may be checked) ☒ Slab ☐ Basement ☐ Crawl ☐ Other _____

Check all that apply:

- ☒ A. Soil Applied Liquid Termiticide
Brand Name of Termiticide: Dominion 7.1 EPA Registration No. 53853-229
Approx. Dilution (%): .05 Approx. Total Gallons Mix Applied: 85 Treatment completed on exterior: ☐ Yes ☒ No
- ☐ B. Wood Applied Liquid Termiticide
Brand Name of Termiticide: _____ EPA Registration No. _____
Approx. Dilution (%): _____ Approx. Total Gallons Mix Applied: _____
- ☐ C. Bait System Installed
Name of System _____ EPA Registration No. _____ Number of Stations Installed _____
- ☐ D. Physical Barrier System Installed
Name of System _____ Attach installation information (required) _____

Service Agreement Available? ☒ Yes ☐ No

Note: Some state laws require service agreements to be issued. This form does not preempt state law.

Attachments (List) _____

Comments _____

Name of Applicator(s) C. Lacey Certification No. (if required by State law) JF104376

The applicator has used a product in accordance with the product label and state requirements. All materials and methods used comply with state and federal regulations.

Authorized Signature [Signature] Date 10-31-2017

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

form HUD-NPMA-99-B (8/2008)