

SITE PLAN

PALMS MEDICAL GROUP

173 NW ALBRITTON LANE, LAKE CITY, FL
SECTION 20, TOWNSHIP 03 SOUTH, RANGE 17 EAST
CITY OF LAKE CITY, COLUMBIA COUNTY, FLORIDA



PROJECT SITE

OWNER:

TRENTON MEDICAL CENTER, INC.
23343 NW CR 236
TRENTON, FL 32643
CONTACT: JIM MILLER
352.275.1407
Jmiller@palmsmg.org

CIVIL ENGINEER:

CAROL CHADWICK, P.E.
1208 S.W. FAIRFAX GLEN
LAKE CITY, FL 32025
307.680.1772
ccpewyo@gmail.com

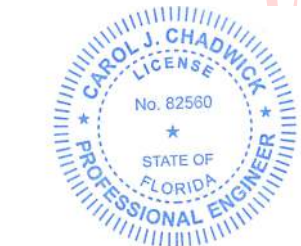
NOTES

1. SITE PARCEL: 20-035-17E-05405-001
2. ZONING: CG
3. SITE ADDRESS: 173 NW ALBRITTON LANE, LAKE CITY, FL
4. SITE SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE, SEVENTH EDITION
5. SITE SHALL COMPLY WITH THE FLORIDA BUILDING CODE 7TH EDITION (2020) ACCESSIBILITY
6. SEPARATE PERMITS ARE REQUIRED FOR CONSTRUCTION, SIGNS, RETAINING WALLS, ENTRY WALL FEATURES, SITE LIGHTING, GENERATORS, FENCES, AWNINGS, GREASE TRAPS, ETC.

SHEET INDEX

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| 2 | NOTES & LEGEND |
| 3 | SITE & DIMENSION PLAN |

Digitally signed by
Carol Chadwick
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cn=Carol Chadwick
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ENGINEER OF RECORD: CAROL CHADWICK, P.E.
P.E. NO.: 82560

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PALMS MEDICAL GROUP	
COVER SHEET	
DATE: 10/17/2022	SHEET: 1 of 3
TRENTON MEDICAL CENTER 23343 NW CR 236 TRENTON, FL 32643 CONTACT: JIM MILLER 352.275.1407 Jmiller@palmsmg.org	
CAROL CHADWICK, P.E. No. 82560 STATE OF FLORIDA PROFESSIONAL ENGINEER	



SA	SANITARY SEWER MAIN	O	ROOF DRAIN	SW	STORM SEWER MANHOLE
SS	SANITARY SEWER SERVICE	BM	BENCHMARK		GRADED STORM INLET
W	WATER MAIN		REFERENCE MONUMENT		STORM INLET
WS	WATER SERVICE	CA	CABLE TV RISER	SA	SANITARY SEWER MANHOLE
SW	STORM SEWER	T	TELEPHONE RISER	CS	CLEAN OUT
...	SWALE/FLOWLINE	W	WATER METER PIT	(G)	GAS VALVE
---	CULVERT		FIRE HYDRANT	G	GAS METER
OP	OVERHEAD POWER		GATE VALVE		STREET LIGHT
UP	UNDERGROUND POWER	CS	CURB STOP	)	GUY WIRE ANCHOR
GAS	GAS LINE		CONIFEROUS TREE		POWER POLE
T	PHONE LINE		DECIDUOUS TREE		GAS MARKER
FO	FIBER OPTIC		BUSH		ELECTRIC MARKER
CA	CABLE TV		HEDGE/TREE LINE		TRANSFORMER SINGLE PHASE
---	PROPERTY LINE		1 POLE SIGN		TRANSFORMER 3 PHASE
---	R.O.W.	BH	BOREHOLE		ELECTRICAL VAULT
---	BUILDING SETBACK LINE	MW	MONITORING WELL	E	ELECTRICAL METER
---	EASEMENT LINE		TRAFFIC SIGNAL		FIBER OPTIC PEDISTAL
	STRUCTURE				FIBER OPTIC VAULT
	EXISTING CONCRETE				SPRINKLER HEAD
	EXISTING ASPHALT				IRRIGATION CONTROL

	SANITARY SEWER MAIN		CABLE TV RISER		STORM SEWER MANHOLE
	SANITARY SEWER SERVICE		TELEPHONE RISER		GRATED STORM INLET
	WATER MAIN		WATER METER PIT		STORM INLET
	WATER SERVICE		FIRE HYDRANT		SANITARY SEWER MANHOLE
	STORM SEWER		GATE VALVE		CLEAN OUT
	OVERHEAD POWER		CURB STOP		GAS VALVE
	UNDERGROUND POWER		1 1/4" BEND		GAS METER
	GAS LINE		22 1/2" BEND		STREET LIGHT
	PHONE LINE		45° BEND		GUY WIRE ANCHOR
	FIBER OPTIC		CAP (END OF LINE PLUG)		POWER POLE
	CABLE TV		COUPLER		TRANSFORMER SINGLE PHASE
	PROPERTY LINE		CROSS		TRANSFORMER 3 PHASE
	STRIPING		DEFLECTION COUPLER		ELECTRICAL VAULT
	BUILDING SETBACK LINE		TEE		ELECTRICAL METER
	EASEMENT LINE		REDUCER		FIBER OPTIC PEDISTAL
	SIDEWALK				FIBER OPTIC VAULT
	SILT FENCE				SPRINKLER HEAD
	PROPOSED STRUCTURE				IRRIGATION CONTROL
	PROPOSED CONCRETE				CONIFEROUS TREE
	PROPOSED ASPHALT				DECIDUOUS TREE
	PROPOSED GRAVEL SURFACE				BUSH
	GRASS				POLE SIGN

1. EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
2. THE CONTRACTOR SHALL ADHERE TO THE FLORIDA DEPARTMENT OF TRANSPORTATION, WATER MANAGEMENT DISTRICT, CITY OF LIVE OAK AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS.
3. THE CONTRACTOR SHALL ADJUST AND REVISE CONTROL MEASURES SHOWN ON THESE PLANS TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
6. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
7. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT FROM LEAVING PROJECT LIMITS.
8. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
9. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
10. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
11. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
12. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF HAY BALES OR SODDING.
13. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
14. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
15. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
16. EXCESS DIRT SHALL BE REMOVED DAILY.
17. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS.
18. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.25 INCHES OR GREATER.
19. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION TO ENSURE THAT ALL WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SAID DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. ALL DISTURBED AREAS SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND SHORT-TERM VEGETATION. THE LONG-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 70 POUNDS PER ACRE. THE SHORT-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 20 POUNDS PER ACRE AND SHALL CONSIST OF WINTER RYE FROM SEPTEMBER THROUGH MARCH OR MILLET FROM APRIL THROUGH AUGUST.
3. THE PERMITTEE/CONTRACTOR SHALL INSTITUTE NECESSARY MEASURES DURING CONSTRUCTION TO MINIMIZE EROSION, TURBIDITY, NUTRIENT LOADING, AND SEDIMENTATION TO ADJACENT LANDS AND IN THE RECEIVING WATER.
4. ALL GRADES MAY BE ADJUSTED IN THE FIELD A MAXIMUM OF SIX (6) INCHES AS LONG AS THE FLOW OF WATER IS NOT CHANGED.
5. WHERE DITCH MUST BE DEEPER THAN NORMAL TO ACCOMMODATE A PIPE, THE TRANSITION FROM NORMAL DITCH GRADE TO PIPE FLOW LINE SHALL BE A MINIMUM LENGTH OF 100 FEET.
6. THE CONTRACTOR SHALL ADHERE TO THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION UNTIL THE AS-BUILTS ARE COMPLETED.
7. QUANTITIES ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY QUALITIES PRIOR TO BID AND CONSTRUCTION.
8. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.

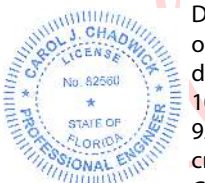
THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE GOVERNING AGENCIES.

THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

DEVELOPMENT INFORMATION			
ADDITION TO AN EXISTING MEDICAL OFFICE			
PARCEL NUMBER	20-035-17E-05405-001		
ZONING	COMMERCIAL GENERAL		
ADDRESS	173 NW ALBRITTON LANE, LAKE CITY, FL		
IMPERVIOUS LOT COVERAGE	29.29%		
BUILDING COVERAGE	7.82%		
PROPERTY AREA	SQUARE FEET	ACRES	% OF SITE
PARCEL AREA	159866	3.67	100.00
ON-SITE DISTURBANCE AREA	4032	0.09	2.52
TOTAL DISTURBANCE AREA	4032	0.09	2.52
IMPERVIOUS AREA			
EXISTING BUILDINGS	10852	0.25	6.79
PROPOSED BUILDINGS	1645	0.04	1.03
EXISTING PAVED DRIVEWAYS, PARKING & CONCRETE	29339	0.67	18.35
PROPOSED PARKING & CONCRETE	4989	0.11	3.12
TOTAL PROPOSED IMPERVIOUS	46825	1.07	29.29
LANDSCAPING			
REQUIRED	PER SECTION 4.2.17.10, COLUMBIA COUNTY L.D.R. 4670 S.F. * 10% = 467 S.F. 467 S.F. / 200 = 2 TREES		
PROPOSED	2 TREES		
PARKING			
EXISTING SPACES FOR EXISTING BUILDING	61 INCLUDING 3 HANDICAP SPACES TBR: 5 INCLUDING 1 HANDICAP SPACE		
REQUIRED SPACES	PER SECTION 4.13.11, COLUMBIA COUNTY L.D.R. 1645 S.F. / 150 = 11 REQUIRED NEW PARKING SPACES INCLUDING 1 HANDICAP SPACE		
PROPOSED SPACES	19 NEW SPACES INCLUDING 2 HANDICAP SPACES		
TOTAL SPACES	75 SPACES INCLUDING 4 HANDICAP SPACES		

NOTE: ALL UTILITY PROVIDERS
MUST BE CONTACTED PRIOR
TO DIGGING IN ACCORDANCE
TO CHAPTER 556 "SUNSHINE
STATE ONE CALL"
CALL 811 48 HOURS PRIOR
TO DIGGING

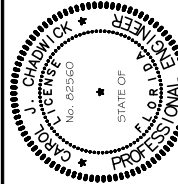


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Carol Chadwick
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Chadwick
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NOTES & LEGEND

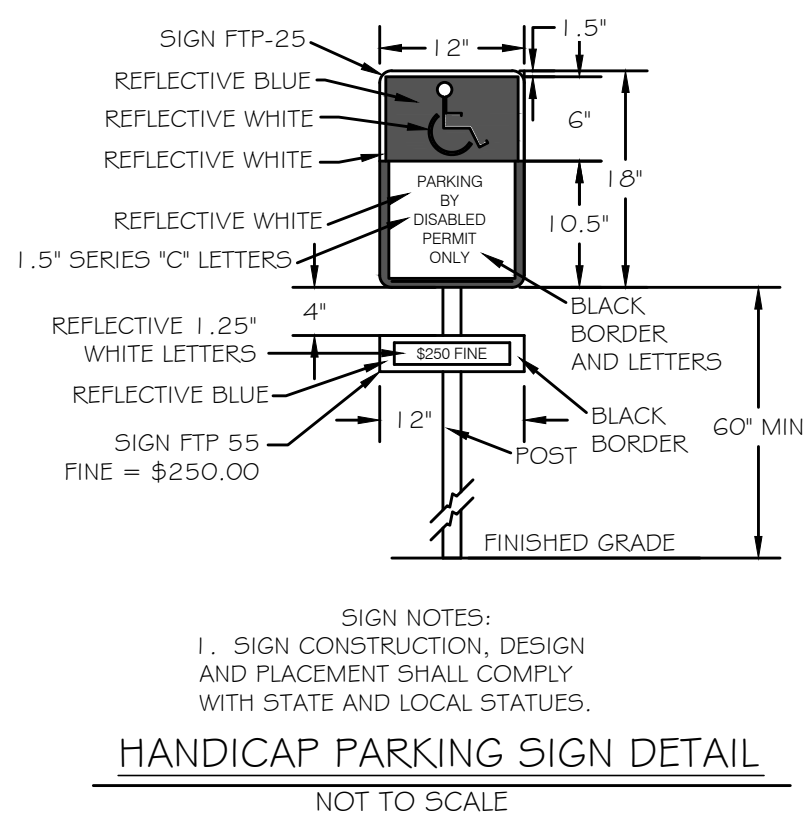
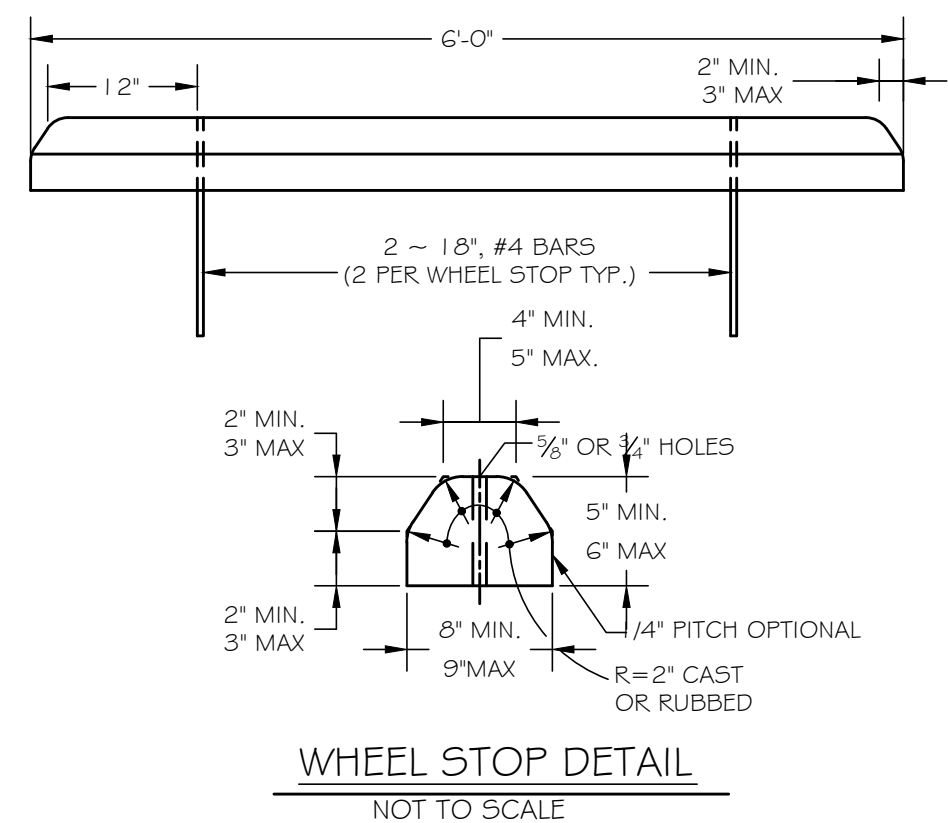
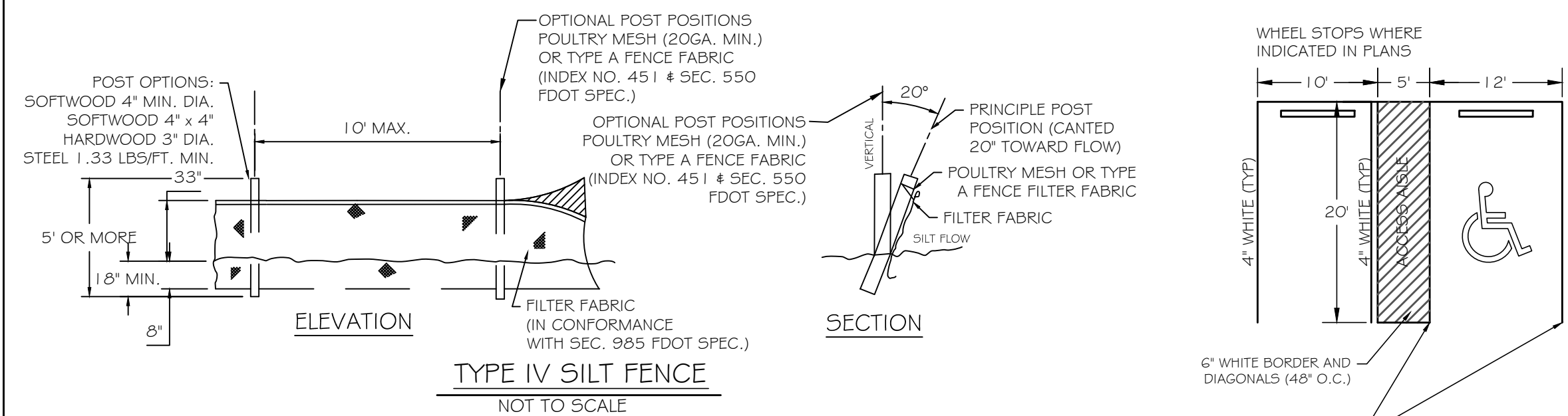
AROL CHADWICK, P.E.
and Associates
 2208 S.W. Parkway Court, II
 Lake City, FL 32829
 305.496.7222
 aroldchadwick@gmail.com
 1100 N.W. 10th Avenue, Suite 100
 Fort Lauderdale, FL 33304
 954.576.0000



PREPARED FOR
TRENTON MEDICAL CENTER
23343 NW CR 236
TRENTON, FL 32643
CONTACT: JIM MILLER
352.275.1407
Jmiller@palmsmg.org

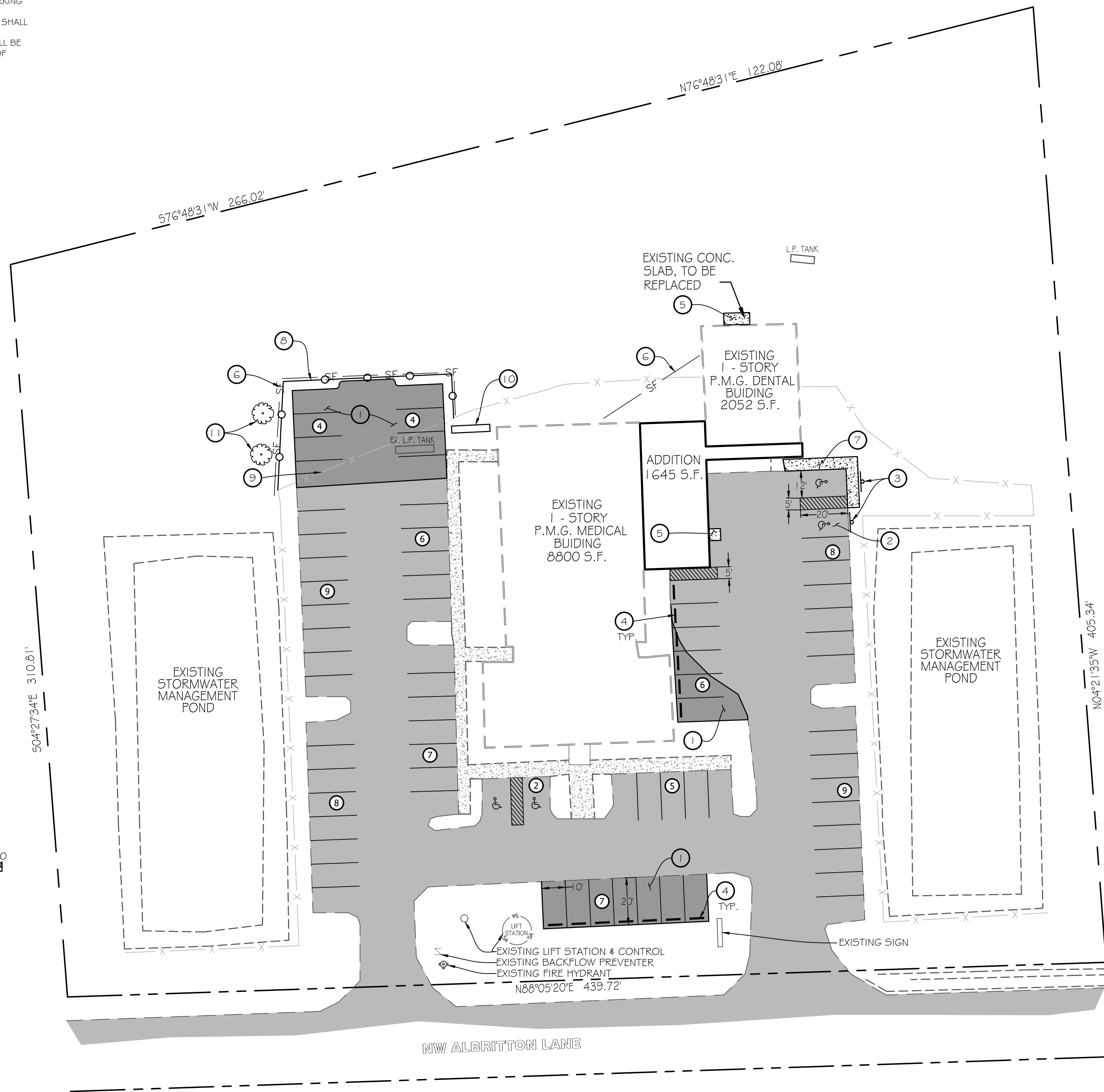
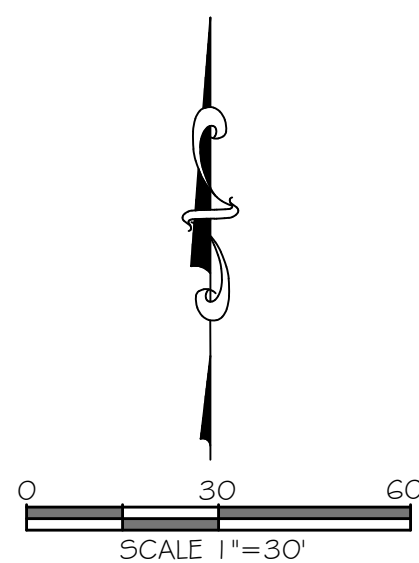
NOTES & LEGEND

PROJECT NO.	FL22188
DATE	OCT. 17, 2022
REVISION DATE	
SHEET	3 OF 3



CONSTRUCTION NOTES & ESTIMATED QUANTITIES

- 1 1" PAVEMENT OVER 8 LIMEROCK BASE
- 2 HANDICAP SPACE PER DETAIL
- 3 HANDICAP PARKING SIGN PER DETAIL
- 4 WHEEL STOPS PER DETAIL
- 5 4" THICK CONCRETE THRESHOLD
- 6 SILT FENCE PER DETAIL
- 7 4" THICK CONCRETE SIDEWALK
- 8 CHAIN LINK FENCE - MATCH EXISTING
- 9 REMOVE EXISTING FENCE - SALVAGE AND REUSE IF POSSIBLE
- 10 RELOCATE L.P. TANK
- 11 CREPE MYRTLE TREES, 30 GALLON



NOTES

1. CONTRACTOR TO VERIFY EXISTING BLDG FINISHED FLOOR ELEVATION PRIOR TO CONSTRUCTION. MATCH NEW BLDG TO EXISTING.
2. EXISTING BLDG TO REMAIN OPEN DURING CONSTRUCTION. CONTRACTOR TO PROVIDE PARKING AND ACCESS TO BLDG DURING ALL STAGES OF CONSTRUCTION.

