



HOUSE CRAFT HOMES, LLC
12501 US Hwy 441 Alachua, FL 32615 Office: 386-462-5323 Fax: 888-769-0105
CGC 1516998

NAME: Miranda MODEL: Glchrist

Kitchen Cabinets Uppers [VIP 42"]
Other: Cambridge Alpine white 42" upper
Kitchen Countertops
Granite Color: # 1
Master Bath Vanity [VIP 36"]
Other: Cambridge Alpine white 36"
Master Bath Countertops
Granite Color: # 1
Master Toilet: White
Master Shower: Tile Acrylic
Wall Tile Color: 1x2 CT 76
Wall Grout Color: Debrean Gray #165
Floor Tile Color: No
Floor Grout Color: No
Floor Laminate Color: Galveston Oak
Bath 2 Vanity [VIP standard 36"]
Other: Cambridge Alpine White 36"
Bath 2 Countertops
Granite Color: # 1
Bath 2 Toilet: White Bone
Bath 2 Tub: Acrylic Shower/seat: White
Bath 2 Bath: No
Wall Tile Color: No
Floor Tile Color: Galveston Oak
Allowance \$3.50 per sq. foot includes
Paint One Color Throughout: Interior White
Interior Walls: Grayish HESW 2447 Semi-gloss
Interior Trim: Bright White semi-gloss
Flooring:
Carpet (one color throughout) or laminate or Tile
Master Bedroom: Galveston Oak
Utility Room: Galveston Oak
Great Room: Galveston Oak
Other: All flooring
Interior Doors (standard choices) & Hardware (standard choices)
Convado 2 panel square smooth
Hardware: Satin Nickel

Trim
5 1/4 Base Boards
Exterior Doors
Front Door color: A-Glenda 84 as per elevation peep hole standard
Back Door: 1/2" x 6" French doors - call owner may upgrade
Side: 6" panel
French Doors: yes, with blinds
All doors white
Windows: Standard white (colonial style in front only)
Bath Window: Clear
Appliances: (standard GE or equivalent)
Refrigerator: Standard
Stove: Standard
Dishwasher: Standard
Customer to take credit: Yes - owner take credit
Exterior Dryvit
Main House Color: Gull Gray #131
Trim Color: China Shite #310
Roof HVO Shingles
Color: Dark Grey
Soffit: White

**Any changes after final plans are printed are \$250 to cover additional costs

Allowances in Contract:
\$10,000 well & septic allowance

Additional Notes to Dan Harrington
H/C to install microwave no charge
Plumber satin nickel fixtures
Subcontractors call owner - 407-931-1560 home - 407-301-6895 - cell
While bottles call owner to locate phone and TV jacks
Owner to provide address
AC man call owner to go over location of return filter

Electrical symbols	
\$	single pole switch
\$	dimmer switch
\$	3 way switch
\$	110 amp outlet tamper resistant
\$	220 OUTLET
\$	GFI outlet
\$	switched outlet
\$	std overhead light
\$	recessed light
\$	light / exhaust fan 50 cfm
\$	wall mount light fixture
\$	std overhead light
\$	double flood light
\$	track bar light
\$	vanity bar light
\$	fluorescent light

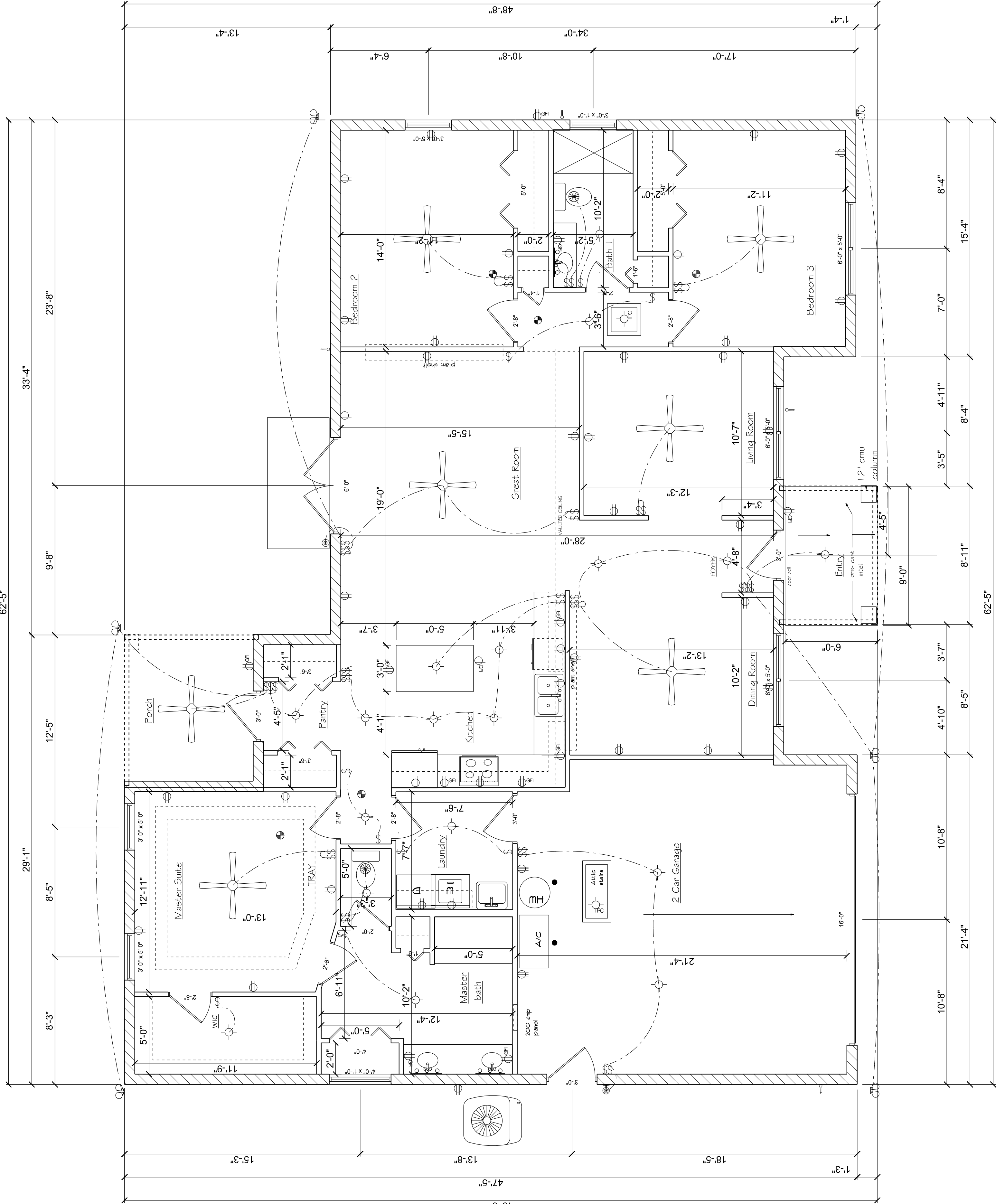
ceiling fan-light
smoke/ carbon monoxide detector
phone outlet
tv outlet
THERMOSTAT

UNDERGROUND POWER

1. THIS RESIDENCE SHALL BE CONSTRUCTED IN ACCORD WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2020 7TH EDITION
2. ALL CEILING SHEETROCK SHALL BE MIN 5/8"
3. ALL AREAS EXCEPT WHERE GFI RECEPTICALS ARE REQUIRED RECEPTICALS SHALL BE ARC FAULT
4. ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING
6. SMOKE DETECTORS SHALL BE WIRED TO ALARM SIMULTANIOUS WITH BATTERY BACKUP.

DESIGN CRITERIA	
ULTIMATE WIND SPEED:	130
NOMINAL WIND SPEED:	101
WIND EXPOSURE CATEGORY:	B
RISK CATEGORY	11
INTERIOR PRESSURE COEFFICIENT OR Gcpi=	+/- 0.18
ASSUMED DESIGN LOAD BEARING VALUE OF SOIL	1,500 PSF
FLOOR LIVE LOAD	40 PSF
ROOF LIVE LOAD	20 PSF

SQUARE FOOTAGE	
LIVING AREA	1850
ENTRY	54
REAR PORCH	79
GARAGE	460
TOTAL	2443



FLOOR PLAN VIEW

William Johnson Drafting
2905 NW 104th Ct
Gainesville, FL 32606
494-2041

MIRANDA
788 SW MORNING STAR GLEN
FORT WHITE, FL DS22-40

DATE: 6-20-22

Technical drawing of a roof cross-section. The roof pitch is indicated as 12/6. The drawing shows the roof structure, insulation, and the placement of the roof membrane and fasteners. The insulation is shown as a series of wavy lines, and the roof membrane is shown as a solid line. The fasteners are shown as small circles with lines pointing to them.

4" THICK 3000 PSI CONCRETE SLAB WITH
WUF/W/FIBER REINFORCED CONCRETE OVER
_____ 6 MIL VAPOR BARRIER

UNDISTURBED SOIL

DISTURBED SOIL

ASPHALT SHINGLES OVER 2-1/2 LB. FELT
(ON 25 YR. ARCH SHINGLES) OVER 1/2" OSB
NOTE: ALL SHINGLES ARE FUNGUS RESISTANT

SIMPSON METAL[®]
IN CONCR. LINTEL

ENGINEERED ROOF TRUSS
24 C.C. W/ METAL SEATS
R30 FIBERGLASS INSULATION
5'-0" A.F.F. → TRUSS BEARING

WINDOW HEAD HT. 6'-8" A.F.F.

5/8" IMPERIAL BOARD
GALV. METAL TRUSS SHIELD

CONTINUOUS FIRE BLOCKING NAILER

6" TIE BEAM W/ (1) #5 CONT. 25" MIN LAP

LINTEL OR SQUARES L2

DEAD WOOD ALL 4 SIDES

4 WINDOW HEAD TYP.

FOR SIZE & TYPE

CULTURED MARBLE SILL

PRECAST CONC. SILL WITH DRIP

6 CMU WALL

1/2" IMPERIAL BOARD ON TOP OF 1/2" X 1/4" CONTINUOUS NAILER

P.T. 1/4" CONTINUOUS NAILER

4" THICK 3000PSI CONCRETE SLAB
W/ WUE 6"x6"x1' L OR FIBRETECH
6 MIL VAPOR BARRIER
0'-0" A.F.F.
FINISHED FLOOR →

TERMITE TREATED EARTH FILL

20" WIDE X 12" DEEP CONT. FOOTING W/ (2) #5 CONT. REINFORCEMENT TYP.

UNDISTURBED SOIL

SEALANT
→ VARIES SEE ELEV'S

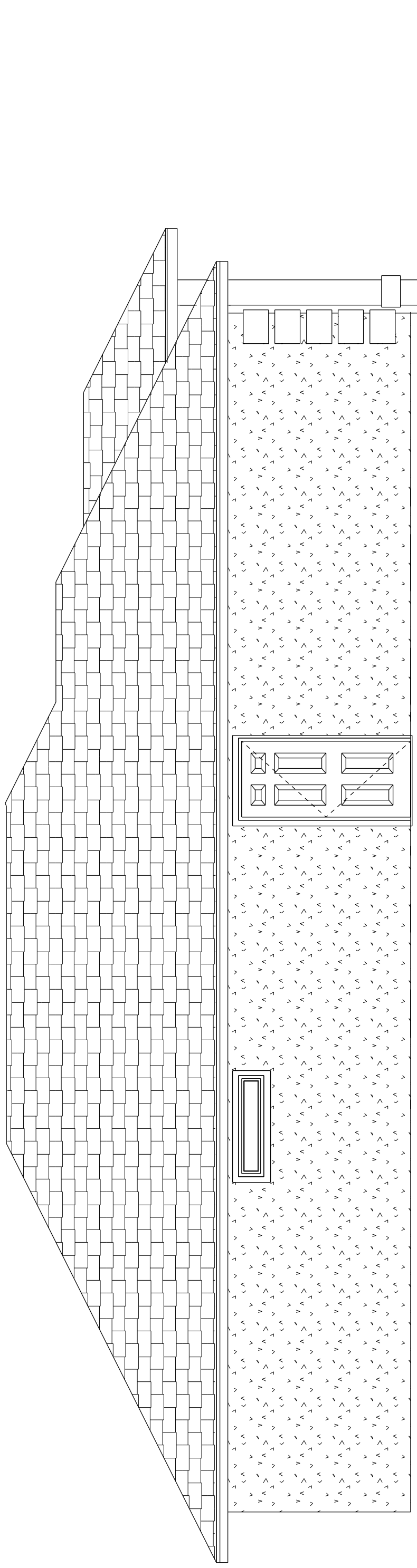
DRY VIT FINISH

15 BAR CONT.

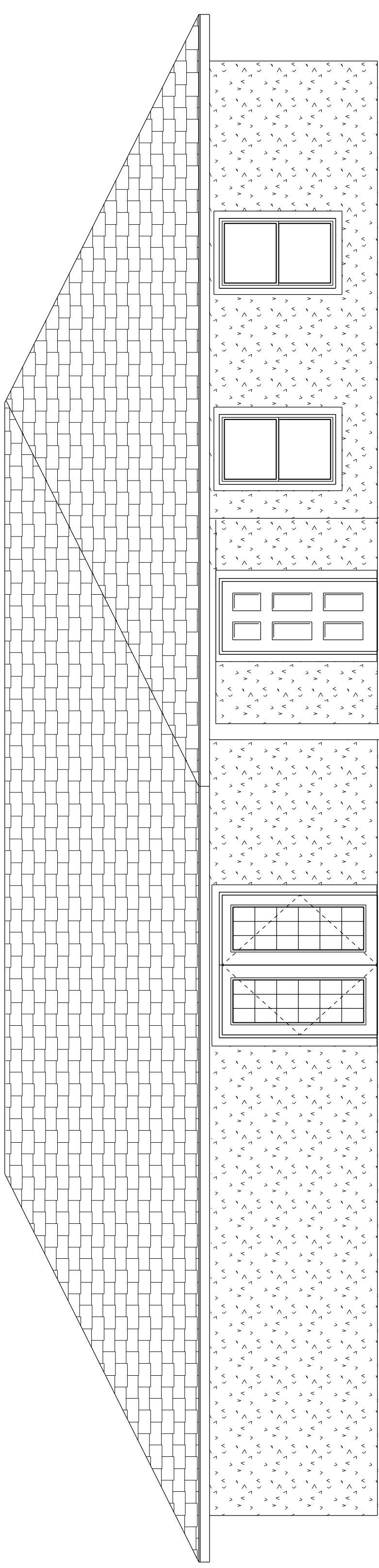
GROUT CELLS SOLID BELOW SLAB
FIN. GRADE (VARIES)

VERTICAL REINFORCEMENT TIED TO REBAR FROM FOOTING. PLACE EACH SIDE OF OPENINGS AT MAX SPACING (TYP.)

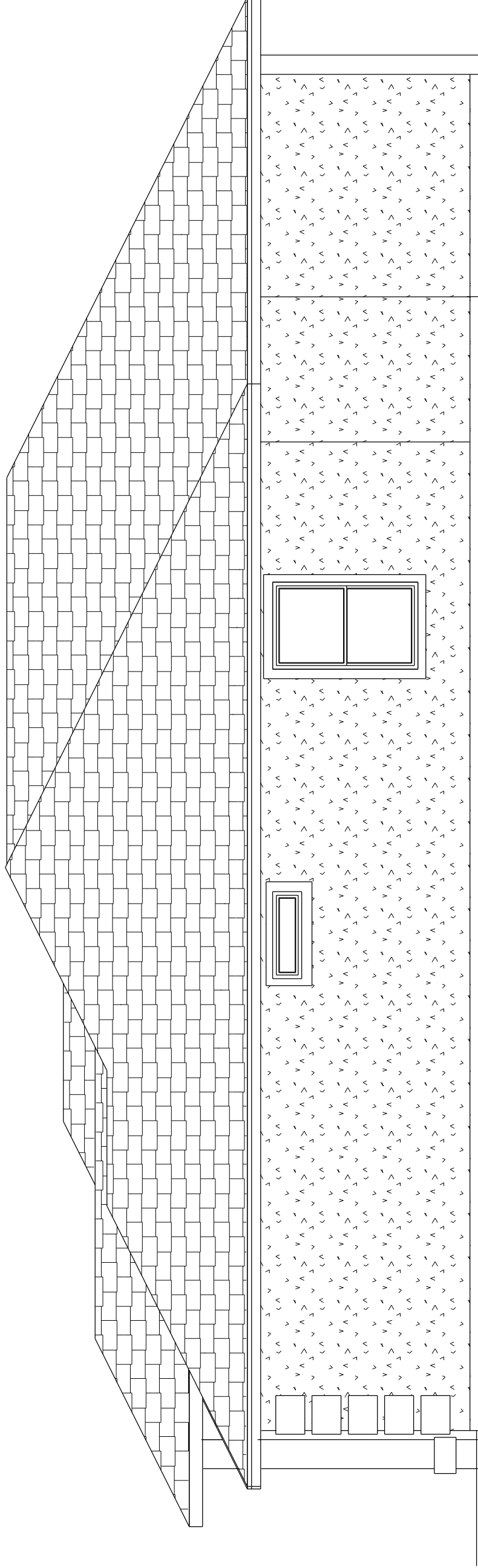
MAX SPACING (TYP.)



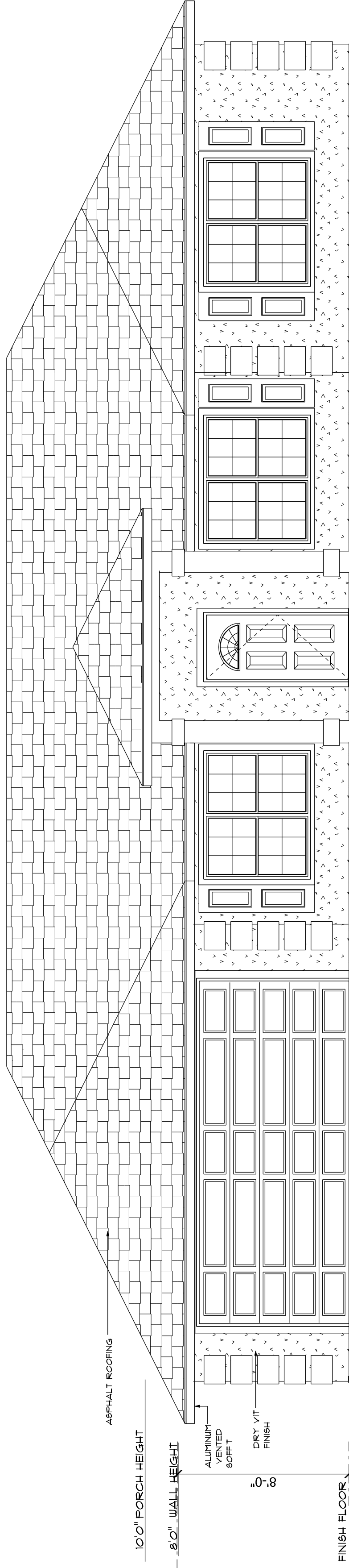
LEFT ELEVATION



REAR ELEVATION



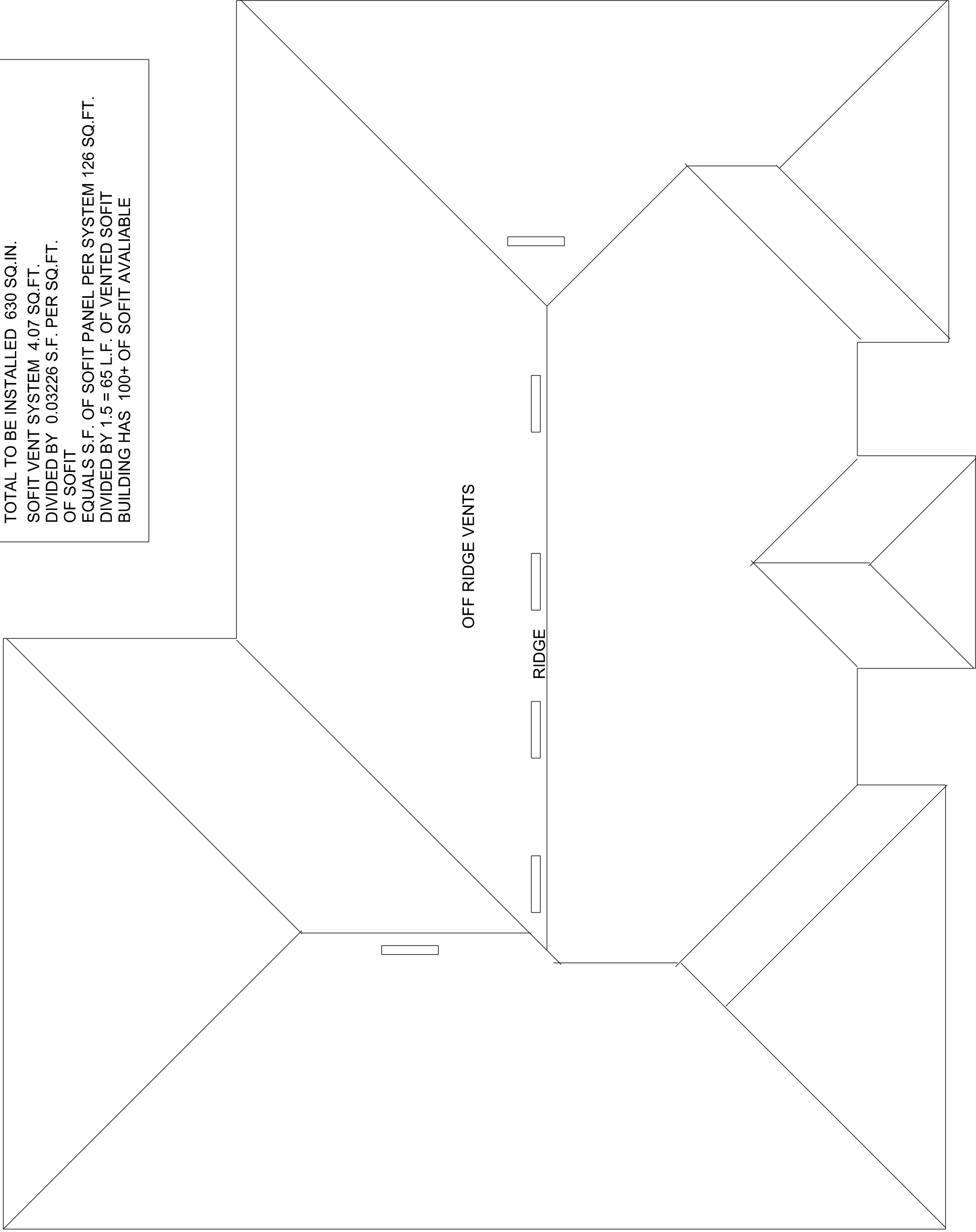
RIGHT ELEVATION



FRONT ELEVATION

VENTILATION

SQ.FT. OF NEW CEILING 2443 / 300 = 8.14 SQ.FT.
NET FREE AREA / 2 = 4.07 SQ.FT. VENT SYSTEM
REQUIRED
EQUALS 586 SQ. IN.
6 OFF RIDGE VENTS = 630 SQ. IN.
TOTAL TO BE INSTALLED 630 SQ. IN.
SOFT VENT SYSTEM 4.07 SQ.FT.
DIVIDED BY .003226 S.F. PER SQ.FT.
EQUALS S.F. OF SOFT PANEL PER SYSTEM 126 SQ.FT.
DIVIDED BY 1.5 = 85 L.F. OF VENTED SOFT
BUILDING HAS 100+ OF SOFT AVAILABLE



ROOF PLAN

ASPHALT ROOFING
100' PORCH HEIGHT
80' WALL HEIGHT
ALUMINUM VENTED SOFT
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PROFESSIONAL SERVICES BY
DRISCOLL ENGINEERING, INC.
PO BOX 357577
GAINESVILLE, FL 32609
PH (352)-331-1513
CA 8690

PLANS AND SPECIFICATIONS

The plans and specifications presented herein are applicable only for the anticipated construction at the locations shown. If construction plans change, the Design Professional should be notified so the plans and specifications can be re-evaluated. The Design Professional should be given the opportunity to review final plans and specifications to see if the intent of the plans and specifications has been followed and/or if supplemental details and recommendations are needed. The Design Professional warrants that the plans and specifications contained herein, have been prepared in accordance with generally accepted professional engineering practice. No other warranties are implied or expressed.

CORPORATE PROTECTION

It is understood and agreed that the Design Professional's Basic Services under this Agreement do not include project observation or review of the Contractor's performance or any other construction phase services, and that such services will be provided by the Client. The Client assumes all responsibility for interpretation of the contractor Documents and for construction observation and supervision and waives any claims against the Design Professional that may be in any way connected thereto.

In addition, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any loss, claim or cost, including reasonable attorney's fees and costs of defense, arising or resulting from the performance of such services by other person or entities and from any and all claims arising from modifications, clarifications, interpretations, adjustments or changes made to Contract Documents to reflect changed field or other conditions, except for claims arising from the sole negligence or willful misconduct to the Design Professional.

OWNERSHIP OF INSTRUMENTS OF SERVICE

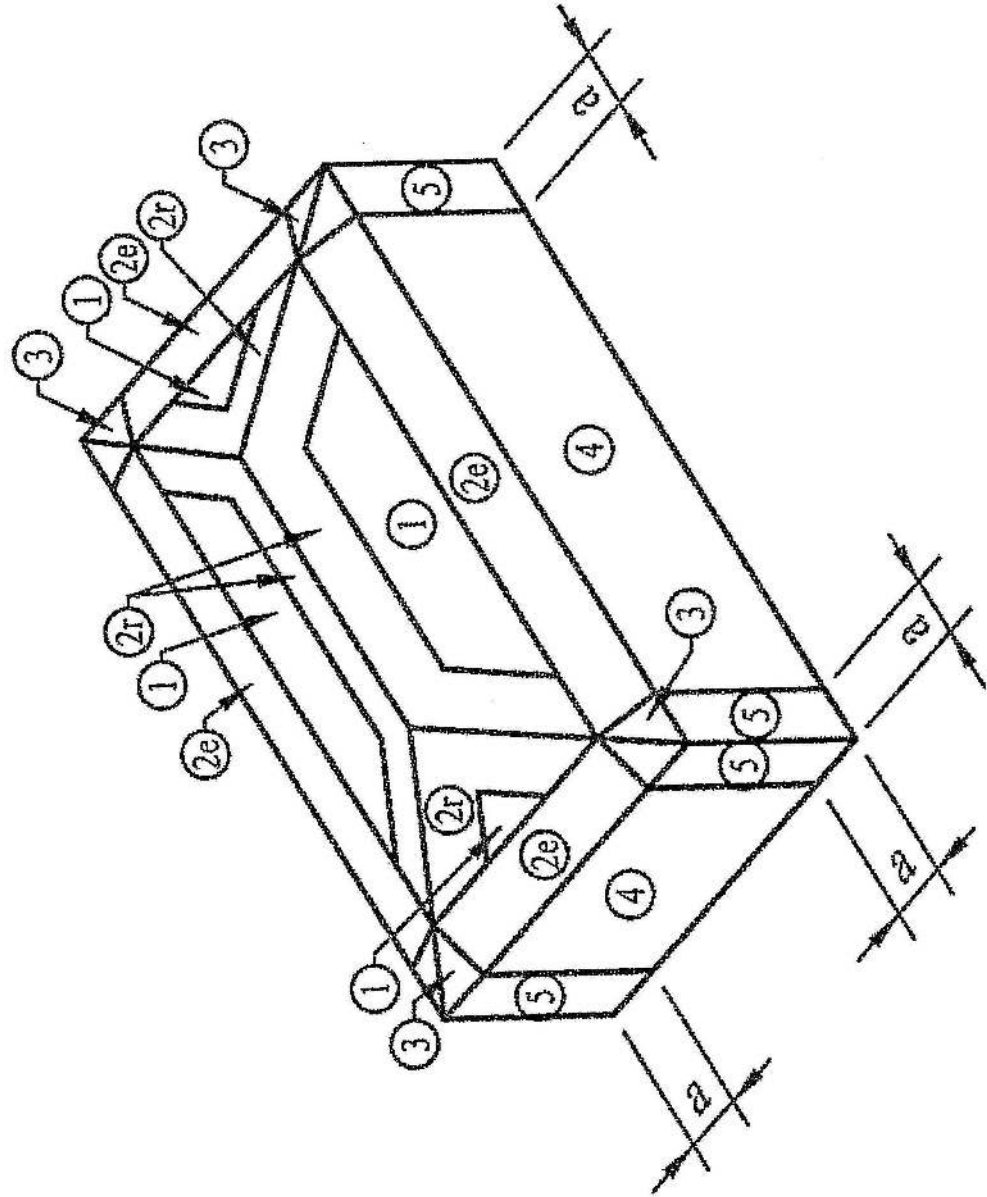
All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Design Professional as instruments of service shall remain the property of the Design Professional. The Design Professional shall retain all common law, statutory and other reserved rights, including the copyright thereto.

DEFECTS IN SERVICE

The Client shall promptly report to the Design Professional any defects or suspected defects in the Design Professional's work or services of which the Client becomes aware, so that the Design Professional may take measures to minimize the consequences of such a defect. The Client warrants that he or she will impose a similar notification requirement on all subcontractors in his or her Client/Contractor contract and shall require all subcontractors at any level to obtain a like requirement. Failure by the Client, and the Client's contractors or subcontractors to notify the Design Professional, shall relieve the Design Professional of the costs of remedying the defects above the sum such remedy would have cost had prompt notification been given.

VERIFICATION OF EXISTING CONDITIONS

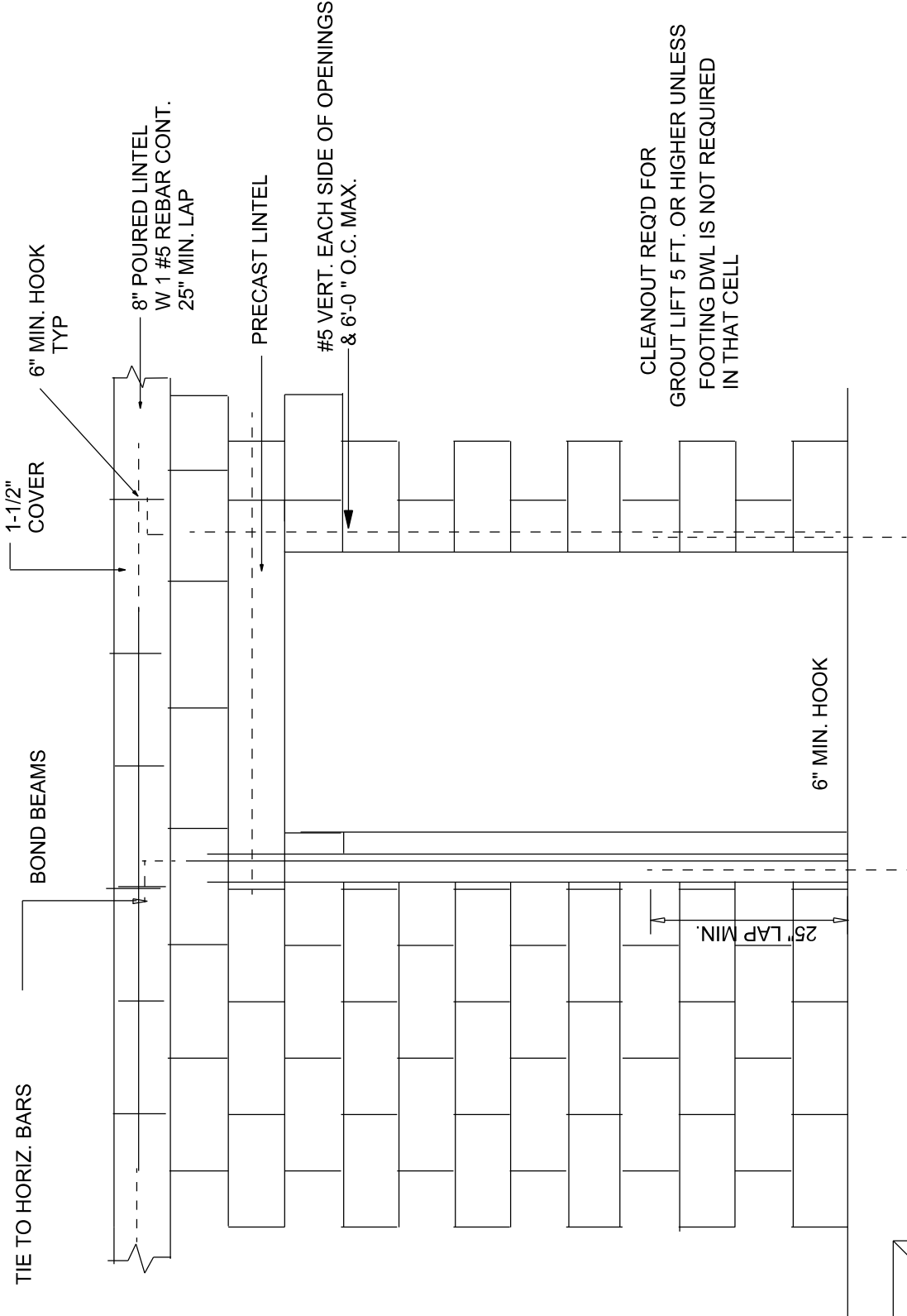
Inasmuch as the remodeling and/or rehabilitation of an existing building requires that certain assumptions be made regarding existing conditions, and because some of these assumptions may not be verifiable without expending additional sums of money or destroying otherwise adequate or serviceable portions of the building, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any claim, liability or cost (including reasonable attorney's fees and costs of defense) for injury or economic loss arising or allegedly arising out of the professional services provided under this Agreement, excepting only those damages, liabilities, or costs attributable to the sole negligence or willful misconduct of the Design Professional.



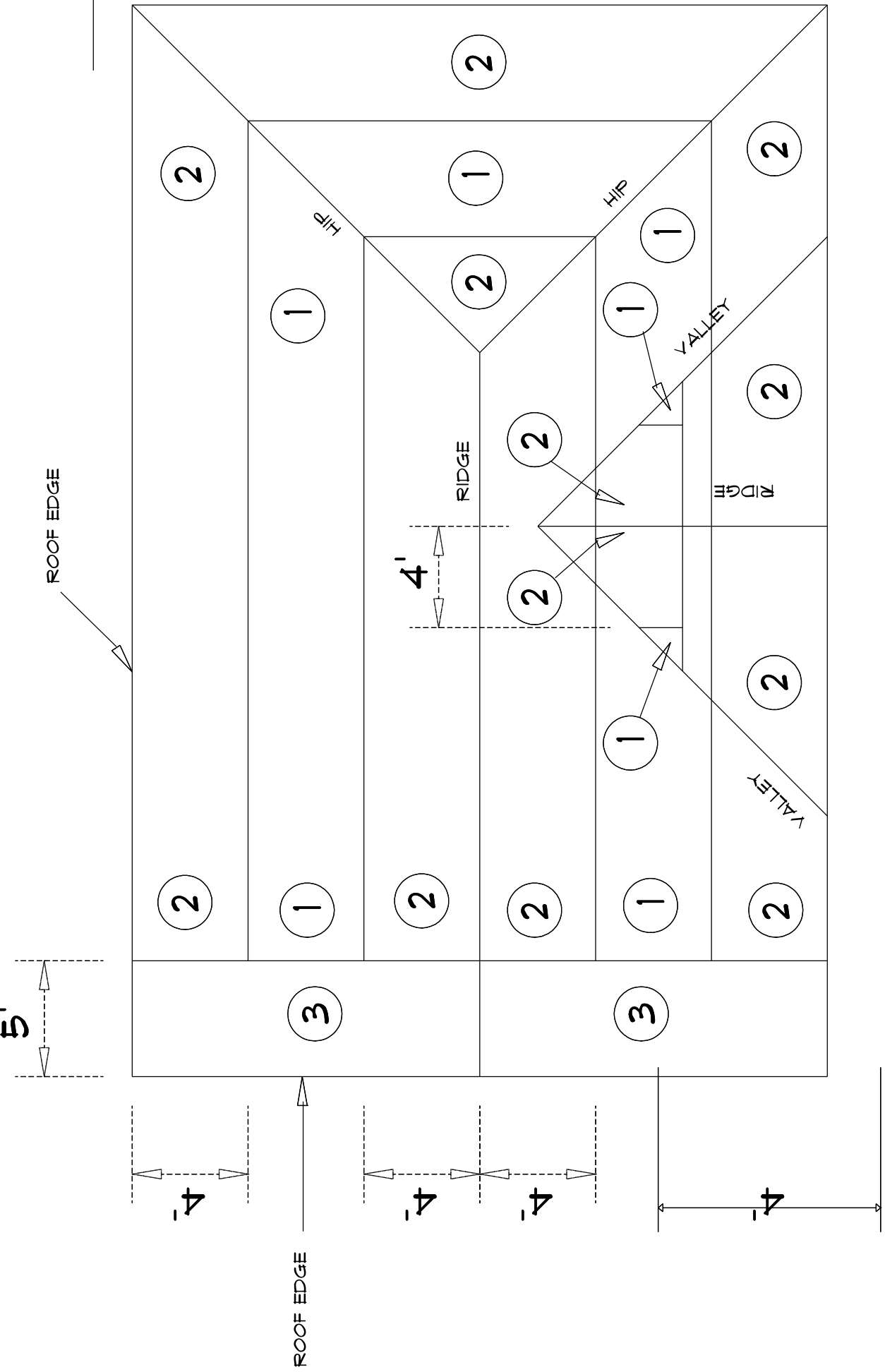
Hip Roof ($7^\circ \leq \theta \leq 45^\circ$)

Wind Pressure Summary for G/C Zones based Upon Areas in 30 Ps. 1 (Table 1 of 3)
All wind pressures include a load factor of 0.6

Zone	Figure	A ≤ 2.00 sq ft psf	A = 4.00 sq ft psf	A = 10.00 sq ft psf
1	30.3-2C	11.16 -21.30	10.26 -21.30	9.60 -21.30
2a	30.3-2C	11.16 -21.30	10.26 -21.30	9.60 -21.30
2b	30.3-2C	11.16 -33.99	10.26 -33.99	9.60 -33.99
2c	30.3-2C	11.16 -33.99	10.26 -33.99	9.60 -33.99
3a	30.3-2C	11.16 -33.99	10.26 -33.99	9.60 -33.99
3b	30.3-2C	11.16 -33.99	10.26 -33.99	9.60 -33.99
3c	30.3-2C	11.16 -33.99	10.26 -33.99	9.60 -33.99
4	30.3-1	14.96 -16.23	14.96 -16.23	14.96 -16.23
5	30.3-1	14.96 -20.04	14.96 -20.04	14.96 -20.04



CMU WALL OPENING REINFORCING
NTS



NOTES:
ALL EDGES AT TRUSSES 6" O.C. ON THE EDGE AND INTERMEDIATE TRUSSES 12" O.C.
1. ALL NAILS TO BE #9 RING SHANK NAILS MIN.

ROOF ATTACHMENT PLAN
(NTS)

Certification

I hereby certify that the accompanying wind load analysis for the New Residence as described above demonstrates compliance with the FBC 2020 7th Edition Section 1609, to the best of my knowledge.

Project Wind load Information

- Ultimate wind speed = 130 MPH
- Nominal wind speed = 101 MPH
- Risk Category = II
- Wind exposure for this design is Exposure B
- Interior Pressure Coefficient or Gcpi = +/- 0.18
- For design of MWFRS: see attached MECAWind Version 2.1.0.6 per ASCE 7-10
- Roof Design live load 20 psf.
- Floor Design load 40 psf.

Drawings

See drawings for additional details. In case of conflict, the more restrictive requirements of the drawings or these calculations govern.

Roof Structure

- Trusses: Pre-engineered wood trusses at 24" o.c. The Truss engineering for this project was provided bt Builders FirstSource job# 3182083 Signed & Sealed by Joaquin Velez P.E. # 68182 Dated: May 19, 2022.

- Roof Sheathing: Sheathing to be or 1/2" Structural Sheathing or equal min. to adequately resist exterior shear and uplift forces due to nailing. Panels to be facenailed w/ #8 ring shank (0.113 Dia.) @ 4" oc along edges and @ 8" oc along interior supports. Galv. metal edging to be nailed @ 4" oc.

- Roofing : Asphalt Shingles shall be installed per mfg. specifications to meet 130 m.p.h. windloading & in accord with the Florida Building Code 2020.

Exterior Walls

- Exterior Wall: 8" Concrete Masonry Units (ASTM C90 or C145, 1500 psi min) will adequately resist exterior shear forces. Mortar type M.

- Bond Beam to be (1) 8" min. Masonry with (1) #5 reinforcement with grout continuous. Note bond beam to remain continuous without breaks or interruptions to maintain shear transfer capacity. Minimum splice lap of #5 rebar is 25" at all locations. Install plated steel bearing plate at truss/masonry bearing points. Vertical spacing of grouted reinforced cells w/ (1) #5 rebar is to be 6'-0" o.c. typical. Install a minimum of 1 each vertical #5 bar in each cell on either side of each corner and on each side of any openings. Minimum splice lap of #5 rebar is 25" .

Foundations (sizes based on wind load requirements only :

Footing: 20" wide x 10" deep w/ 2 #5 bars cont. 25"min bar lap.

Interior footing: 16" wide x 8" thickened slab w/ 2 #5 bars cont.

CAST CRETE LINTEL SCHEDULE	
LENGTH	TYPE
3'-0" TO 7'-0"	8F80B
7'-0" TO 10'-0"	8F81B
GARAGE	8F161B

SHEAR WALLS QUANTITY _____

TRANSVERSAL SHEARWALLS = 59'-0"

LONGITUDINAL SHEARWALLS = 82'-0"

Digitally signed by
Michael E. Driscoll PE
Date: 2022.06.30 14:34:21 -04'00'

MICHAEL E DRISCOLL PE
FL REG # 43922

DRISCOLL ENGINEERING, INC.
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MIRANDA
788 SW MORNING STAR GLEN
FORT WHITE, FL DS22-40

6-30-22

Sheet
WL 1