

DATE 02/13/2013

**Columbia County Building Permit**  
This Permit Must Be Prominently Posted on Premises During Construction

**PERMIT**  
**000030783**

APPLICANT JOSEPH CALVET PHONE 858-964-7410  
ADDRESS 181 SW SKYHAWK LN LAKE CITY FL 32025  
OWNER JOSEPH CALVET PHONE 858-964-7410  
ADDRESS 181 SW SKYHAWK LN LAKE CITY FL 32025  
CONTRACTOR JOSEPH CALVET PHONE \_\_\_\_\_  
LOCATION OF PROPERTY 90 W, L SISTERS WELCOME, L BROTHERS LN, L SKYHAWK DR,  
3RD ON RIGHT  
TYPE DEVELOPMENT METAL BLDG/GARAGE ESTIMATED COST OF CONSTRUCTION 18000.00  
HEATED FLOOR AREA \_\_\_\_\_ TOTAL AREA 1600.00 HEIGHT 19.00 STORIES 1  
FOUNDATION CONCRETE WALLS METAL ROOF PITCH 4/12 FLOOR SLAB  
LAND USE & ZONING RSF-2 MAX. HEIGHT 35  
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 10.00 SIDE 10.00  
NO. EX.D.U. 1 FLOOD ZONE AE DEVELOPMENT PERMIT NO. 13-001

PARCEL ID 12-4S-16-02942-012 SUBDIVISION \_\_\_\_\_  
LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ PHASE \_\_\_\_\_ UNIT \_\_\_\_\_ TOTAL ACRES 2.00

OWNER X Joseph Calvet  
Culvert Permit No. \_\_\_\_\_ Culvert Waiver \_\_\_\_\_ Contractor's License Number \_\_\_\_\_ Applicant/Owner/Contractor  
EXISTING X12-90 BK TC N  
Driveway Connection \_\_\_\_\_ Septic Tank Number \_\_\_\_\_ LU & Zoning checked by \_\_\_\_\_ Approved for Issuance \_\_\_\_\_ New Resident

COMMENTS: ACCESSORY STRUCTURE, ONE FOOT RISE LETTER REC'D

MINIMUM FLOOR ELEVATION 113', NEED ELEVATION CERTIFICATE BEFORE CO

Check # or Cash 1293

**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power \_\_\_\_\_ Foundation \_\_\_\_\_ Monolithic \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Framing \_\_\_\_\_ Insulation \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Rough-in plumbing above slab and below wood floor \_\_\_\_\_ Electrical rough-in \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Heat & Air Duct \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_ Pool \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Permanent power \_\_\_\_\_ C.O. Final \_\_\_\_\_ Culvert \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Pump pole \_\_\_\_\_ Utility Pole \_\_\_\_\_ M/H tie downs, blocking, electricity and plumbing \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Reconnection \_\_\_\_\_ RV \_\_\_\_\_ Re-roof \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

BUILDING PERMIT FEE \$ 90.00 CERTIFICATION FEE \$ 8.00 SURCHARGE FEE \$ 8.00  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ \_\_\_\_\_  
FLOOD DEVELOPMENT FEE \$ 50.00 FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ \_\_\_\_\_ **TOTAL FEE** 231.00  
INSPECTORS OFFICE L. J. Nolan CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

**The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.**



## Columbia County Building Permit Application

Owner Disclosure Form Rec'd

For Office Use Only Application # 1210-53 Date Received 10/25/12 By SW Permit # 30783  
 Zoning Official BLK Date 7 FEB. 2013 Flood Zone AE Land Use Res. Low Dens. Zoning RSF-2  
 FEMA Map # 0293 Elevation 112 MFE 113 River Cannon Creek Plans Examiner T.C. Date 10-29-12  
 Comments Accessory Structure OP Required (One ft Rise letter on file) T.C. 2-8-12  
☒ NOC ☒ DEH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☒ Well letter ☒ 911 Sheet ☐ Parent Parcel # \_\_\_\_\_  
☒ Dev Permit # 13-001 ☐ In Floodway ☒ Letter of Auth. from Contractor ☒ F W Comp. letter  
 IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_ ☒ Sub VF Form  
 Road/Code \_\_\_\_\_ School \_\_\_\_\_ = TOTAL (Suspended) ☐ Ellisville Water ☒ App Fee Paid 15.00

Septic Permit No. X-12-90-2 RELEASE BOX Fax \_\_\_\_\_  
 Name Authorized Person Signing Permit Joseph L Calvet Phone 858-964-7410  
734-272-3660  
 Address 181 Sky Hawk Drive Lake City, FL 32025  
 Owners Name Joseph L Calvet Phone \_\_\_\_\_  
 911 Address 181 Sky Hawk Drive Lake City, FL 32025  
 Contractors Name Joe Calvet Phone \_\_\_\_\_  
 Address 181 Sky Hawk Drive Lake City, FL 32025  
 Fee Simple Owner Name & Address \_\_\_\_\_  
 Bonding Co. Name & Address N/A  
 Architect/Engineer Name & Address \_\_\_\_\_  
 Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 12-4 S-16-02942-012 Estimated Cost of Construction \$18,000

Subdivision Name \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions Sisters Welcome, Left on Brothers Lane, Left on Sky Hawk Drive, 3rd property on Right Side.

Number of Existing Dwellings on Property 1

Construction of Metal Building Total Acreage 2.0 Lot Size \_\_\_\_\_

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 19.0'

Actual Distance of Structure from Property Lines - Front 30' Side 100' Side 115' Rear 440'

Number of Stories 1 Heated Floor Area N/A Total Floor Area 1600 sq ft Roof Pitch 4/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2010 and the 2008 National Electrical Code.

Spoke to Joseph on 2-12-13

ck#



**Columbia County Building Permit Application**

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number \_\_\_\_\_  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this \_\_\_\_ day of \_\_\_\_\_ 20\_\_.

Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

SEAL:

State of Florida Notary Signature (For the Contractor)

**Columbia County Building Department  
Flood Development Permit**

**Development Permit  
F 023- 13-001**

DATE 02/13/2013 BUILDING PERMIT NUMBER 000030783  
APPLICANT JOSEPH CALVET PHONE 858-964-7410  
ADDRESS 181 SW SKYHAWK LN LAKE CITY FL 32025  
OWNER JOSEPH CALVET PHONE 858-964-7410  
ADDRESS 181 SW SKYHAWK LN LAKE CITY FL 32025  
CONTRACTOR JOSEPH CALVET PHONE \_\_\_\_\_  
ADDRESS \_\_\_\_\_ FL \_\_\_\_\_  
SUBDIVISION \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_  
TYPE OF DEVELOPMENT METAL BLDG/GARAGE PARCEL ID NO. 12-4S-16-02942-012

FLOOD ZONE AE BY BK 2-4-2009 FIRM COMMUNITY # 120070 - PANEL # 0293  
FIRM 100 YEAR ELEVATION 112 PLAN INCLUDED YES or NO  
REQUIRED LOWEST HABITABLE FLOOR ELEVATION 113  
IN THE REGULATORY FLOODWAY YES or NO RIVER Cannon Creek  
SURVEYOR / ENGINEER NAME Gregory Bailey LICENSE NUMBER 43858

X ONE FOOT RISE CERTIFICATION INCLUDED  
\_\_\_\_ ZERO RISE CERTIFICATION INCLUDED  
\_\_\_\_ SRWMD PERMIT NUMBER \_\_\_\_\_  
(INCLUDING THE ONE FOOT RISE CERTIFICATION)

DATE THE FINISHED FLOOR ELEVATION CERTIFICATE WAS PROVIDED \_\_\_\_\_

INSPECTED DATE \_\_\_\_\_ BY \_\_\_\_\_

COMMENTS \_\_\_\_\_  
\_\_\_\_\_

135 NE Hernando Ave., Suite B-21  
Lake City, Florida 32055  
Phone: 386-758-1008  
Fax: 386-758-2160





# Columbia County Property Appraiser

CAMA updated: 8/2/2012

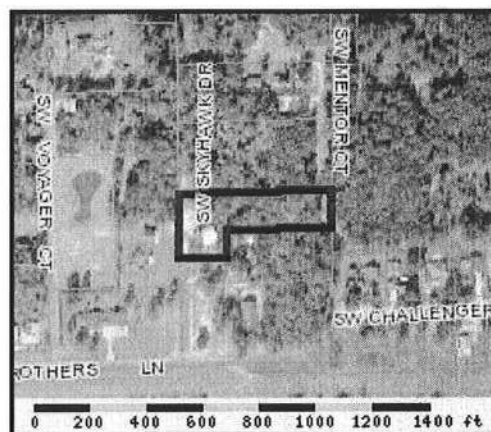
**2011 Tax Year****Parcel:** 12-4S-16-02942-012

&lt;&lt; Next Lower Parcel   Next Higher Parcel &gt;&gt;

**Owner & Property Info**

Search Result: 1 of 1

Owner's Name	CALVET JOSEPH L		
Mailing Address	181 SW SKYHAWK DR LAKE CITY, FL 32025-1621		
Site Address	181 SW SKYHAWK LN		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	2 (County)	Neighborhood	12416
Land Area	2.000 ACRES	Market Area	06
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
COMM NE COR OF SE1/4, RUN S 1079.03 FT FOR POB, CONT S 134.37 FT, W 354.86 FT, S 97.60 FT, W 170 FT, N 231.97 FT, E 524.86 FT TO POB. ORB 692-568, 954-2323, WD 1029-420, QC 1041-2792 NO S-T-R ON DEED.			

**Property & Assessment Values**

2011 Certified Values		
<b>Mkt Land Value</b>	cnt: (0)	\$52,650.00
<b>Ag Land Value</b>	cnt: (1)	\$0.00
<b>Building Value</b>	cnt: (1)	\$134,899.00
<b>XFOB Value</b>	cnt: (1)	\$940.00
<b>Total Appraised Value</b>		\$188,489.00
<b>Just Value</b>		\$188,489.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$181,384.00
<b>Exempt Value</b>	(code: HX)	\$50,000.00
<b>Total Taxable Value</b>	Cnty: \$131,384 Other: \$131,384   Schl: \$156,384	

**2012 Working Values**

**NOTE:**  
2012 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

**Sales History**


Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
12/31/2004	1041/2792	QC	I	U	06	\$100.00
10/22/2004	1029/420	WD	I	Q		\$192,000.00
6/3/2002	954/2323	WD	I	Q	99	\$140,000.00
6/25/1989	692/568	WD	I	Q		\$29,500.00

**Building Characteristics**

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1993	PREFIN MTL (27)	1458	3216	\$132,824.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

**Extra Features & Out Buildings**

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	0	\$940.00	0000470.000	10 x 47 x 0	(000.00)



**SUBCONTRACTOR VERIFICATION FORM**

APPLICATION NUMBER 1210-53 CONTRACTOR Joseph Calvet PHONE 734-276-3660

**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

***Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.***

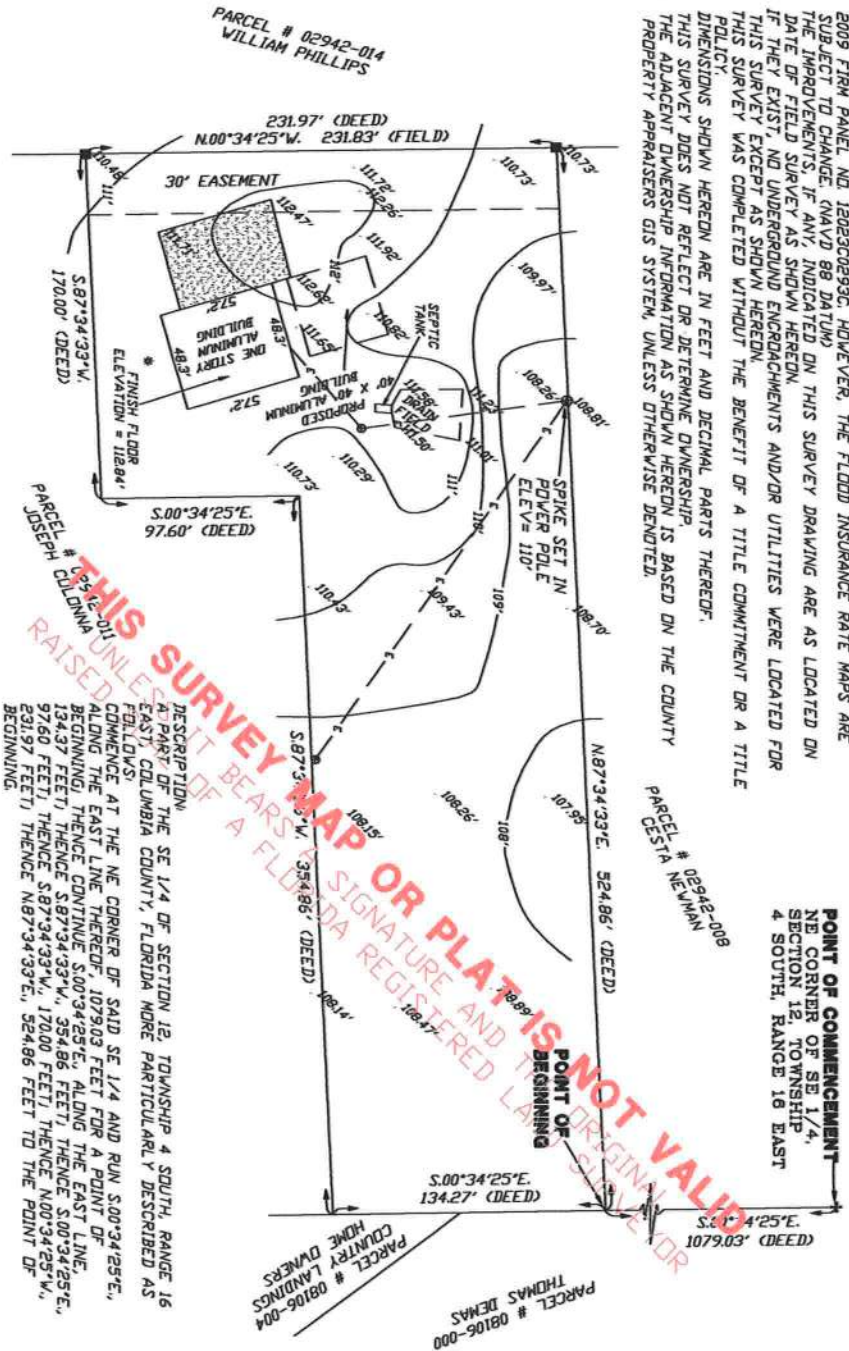
<b>ELECTRICAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>MECHANICAL/ A/C _____</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>PLUMBING/ GAS</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>ROOFING</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SHEET METAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>FIRE SYSTEM/ SPRINKLER</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SOLAR</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER	<u>Owner</u>	<u>Joseph Calvet</u>	<u>Joseph Calvet</u>
FRAMING			
INSULATION	<u>Owner</u>	<u>Joseph Calvet</u>	<u>Joseph Calvet</u>
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR	<u>Owner</u>	<u>Joseph Calvet</u>	<u>Joseph Calvet</u>
METAL BLDG ERECTOR	<u>Owner</u>	<u>Joseph Calvet</u>	<u>Joseph Calvet</u>

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



- SURVEYOR'S NOTES:
1. BOUNDARY BASED ON A DEED OF RECORD.
  2. BEARINGS ARE BASED ON SAID DEED OF RECORD.
  3. THIS PARCEL IS IN ZONE 14E AND IS SUBJECT TO FLOODING. A BASE FLOOD ELEVATION IS ESTABLISHED TO BE 112 FEET AS PER FLOOD INSURANCE RATE MAP, DATED 4 FEBRUARY, 2009 FIRM PANEL NO. 12023C0293C. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE (NAVY 88 DATUM).
  4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
  5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
  6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
  7. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
  8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
  9. THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.



FLOOD NOTE: ALL ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 DATUM.

CERTIFIED TO:  
JOSEPH L. CALVET

FIELD BOOK 333

PAGES: 20

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPERS IN CHAPTER 22-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 112.03, FLORIDA STATUTES.

DATE OF SURVEY: 11/19/12  
DATE OF PLAT: 11/20/12  
FIELD SURVEY DATE: 11/19/12  
PLAT DATE: 11/20/12

NOTES: UNLESS IT BEARS THE SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SECTION, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.



**BRITT SURVEYING & MAPPING, LLC**

LAND SURVEYORS AND MAPERS, L.B. # 7593  
2006 SV MAIN BLVD., SUITE 118, LAKE CITY, FLORIDA 32829  
(386) 752-7163 FAX (386) 752-5573  
WWW.BRITTSURVEYING.COM

WORK ORDER # L-22387

# SYMBOL LEGEND:

- 4"x4" CONCRETE MONUMENT FOUND
- 4"x4" CONCRETE MONUMENT SET
- IRON PIN AND CAP SET
- ✕ 1" CUT IN PAVEMENT
- ⊕ CALCULATED PROPERTY CORNER
- ⊙ NAIL & DISK
- ⊕ POWER POLE
- ⊕ SIGN POST
- ⊕ WATER METER
- ⊕ UTILITY BOX
- ⊕ WELL
- ⊕ SANITARY MANHOLE
- ⊕ CENTERLINE
- ⊕ SECTION LINE
- ⊕ ELECTRIC LINES
- ⊕ WIRE FENCE
- ⊕ CHAIN LINK FENCE
- ⊕ WOODEN FENCE
- ⊕ (PLAT) AS PER A PLAT OF RECORD
- ⊕ (DEED) AS PER A DEED OF RECORD
- ⊕ (CALC) AS PER CALCULATIONS
- ⊕ (FIELD) AS PER FIELD MEASUREMENTS
- ⊕ P.R.M. PERMANENT REFERENCE MARKER
- ⊕ P.C.P. PERMANENT CONTROL POINT

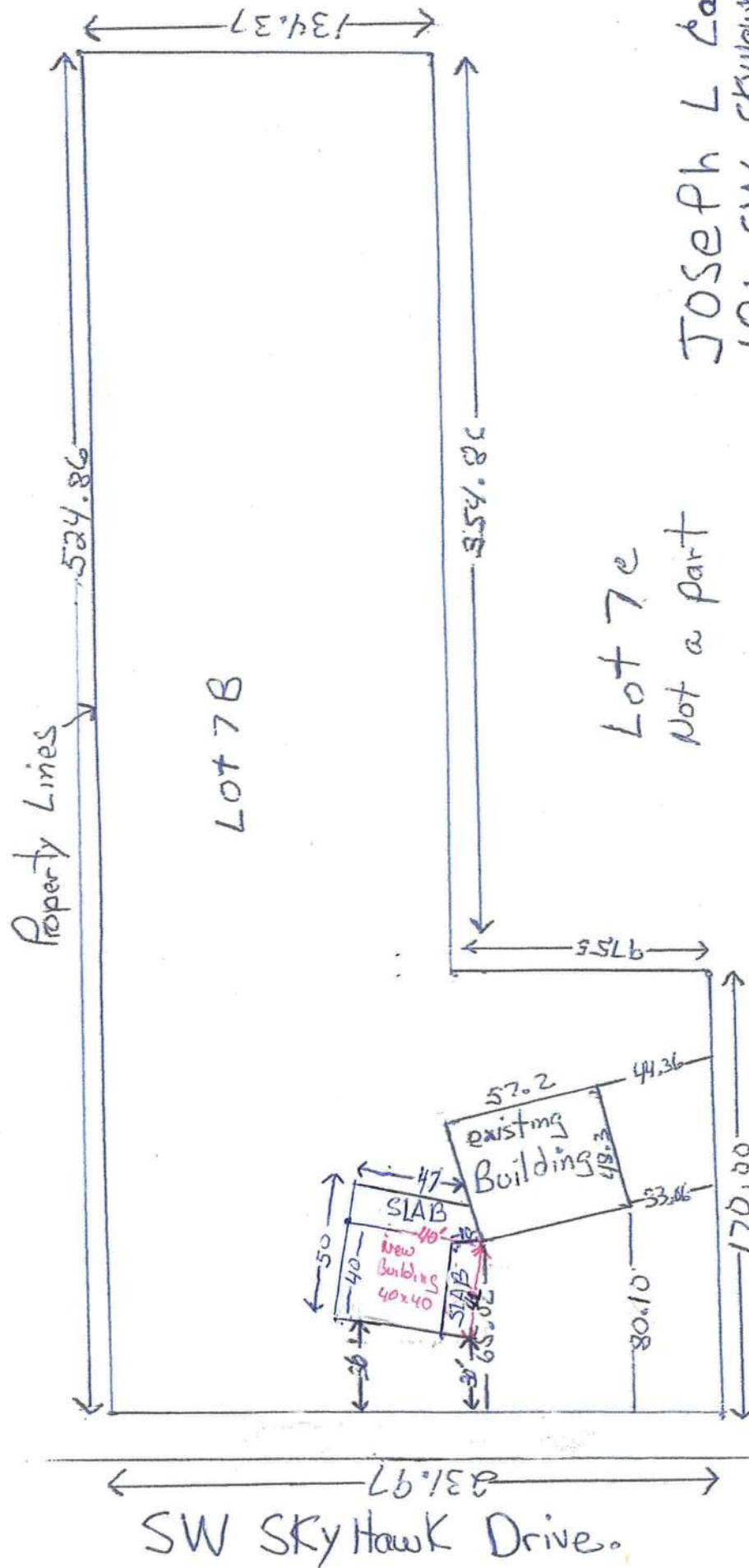


SCALE: 1" = 60'



A TOPOGRAPHIC SURVEY IN SECTION 12, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.





Joseph L Calvet  
181 SW SkyHawk Drive  
Lake City, Florida  
32025



District No. 1 - Ronald Williams  
District No. 2 - Rusty DePratter  
District No. 3 - Bucky Nash  
District No. 4 - Stephen E. Bailey  
District No. 5 - Scarlet P. Frisina

Permit # 30783



## BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

### Memo of review for correctness and completion

In accordance with participation in the NFIP/CRS program, all elevation certificates are required to be reviewed for correctness and completion prior to acceptance by the community. This form shall be attached to all elevation certificates maintained on file and provided with requested copies of elevation certificates.

- \_\_\_\_\_ The attached certificate requires correction by the surveyor of section (s) \_\_\_\_\_ prior to acceptance by the community.
- ✓ \_\_\_\_\_ The attached elevation certificate is complete and correct.
- \_\_\_\_\_ Minor corrections have been made in the below marked section(s) by the authorized Community Official.

SECTION A - PROPERTY INFORMATION		For Insurance Company Use:
A1. Building Owner's Name		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.		Company NAIC Number
City	State	ZIP Code
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.)		
A5. Latitude/Longitude: Lat. _____ Long. _____		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number _____		
A8. For a building with a crawl space or enclosure(s), provide: a) Square footage of crawl space or enclosure(s) _____ sq ft b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade _____ c) Total net area of flood openings in A8.b _____ sq in		A9. For a building with an attached garage, provide: a) Square footage of attached garage _____ sq ft b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade _____ c) Total net area of flood openings in A9.b _____ sq in

### SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number		B2. County Name		B3. State	
B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	B7. FIRM Panel Effective/Revised Date	B8. Flood Zone(s)	B9. Base Flood Elevation(s) (Zone AO, use base flood depth)
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Designation Date _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA <input type="checkbox"/> Yes <input type="checkbox"/> No					

Comments: \_\_\_\_\_

Date of Review: 18 Aug 2013

Community Official: B. J. Lyman

All elevation certificates shall be maintained by the community and copies with the attached memo made available upon request.

BOARD MEETS FIRST THURSDAY AT 7:00 P.M.  
AND THIRD THURSDAY AT 7:00 P.M.



# ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-9.

OMB No. 1660-0008  
Expires March 31, 2012

## SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name Joe Calvet		For Insurance Company Use:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 181 Skyhawk Dr.		Policy Number
City Lake City State FL ZIP Code 32025		Company NAIC Number
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 7B Cannon Creek Estates / 12-4S-16-02942-012		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Non-Residential</u>		
A5. Latitude/Longitude: Lat. <u>30°09.148'</u> Long. <u>082°39.719'</u>		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <u>1B</u>		
A8. For a building with a crawlspace or enclosure(s):		
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft		
b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>		
c) Total net area of flood openings in A8.b <u>N/A</u> sq in		
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
A9. For a building with an attached garage:		
a) Square footage of attached garage <u>N/A</u> sq ft		
b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>		
c) Total net area of flood openings in A9.b <u>N/A</u> sq in		
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number Columbia 120070		B2. County Name Columbia		B3. State FL	
B4. Map/Panel Number 12032C0293C	B5. Suffix C	B6. FIRM Index Date Feb 4 2009	B7. FIRM Panel Effective/Revised Date Feb 4 2009	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 112.00
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings\* ☐ Building Under Construction\* ☒ Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE.  
Benchmark Utilized See Comments Vertical Datum NAVD 88  
Conversion/Comments None

Check the measurement used.


a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>113.00</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade next to building (LAG)	<u>112.4</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade next to building (HAG)	<u>112.7</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

☒ Check here if comments are provided on back of form.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No

Certifier's Name L. Scott Britt	License Number PSM 5757
Title Chief Surveyor	Company Name Britt Surveying & Associates, Inc.
Address 830 W. Duval St.	City Lake City State FL ZIP Code 32055
Signature 	Date 06/14/13 Telephone 386-752-7163

PLACE  
SEAL  
HERE



<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 181 Skyhawk Dr.	Policy Number
City Lake CityState FL ZIP Code 32025	Company NAIC Number

### SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments L-22556A

See Attached comments sheet

  
Signature L. Scott Britt

Date 06/14/13

☒ Check here if attachments

### SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

### SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name

Address	City	State	ZIP Code
Signature	Date	Telephone	
Comments			

☐ Check here if attachments

### SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_
- G10. Community's design flood elevation \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_

Local Official's Name	Title
Community Name	Telephone
Signature	Date
Comments	

☐ Check here if attachments

# Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 181 Skyhawk Dr.	For Insurance Company Use: Policy Number
City Lake City State FL ZIP Code 32025	Company NAIC Number
<p>If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page on the reverse.</p>	

Front View



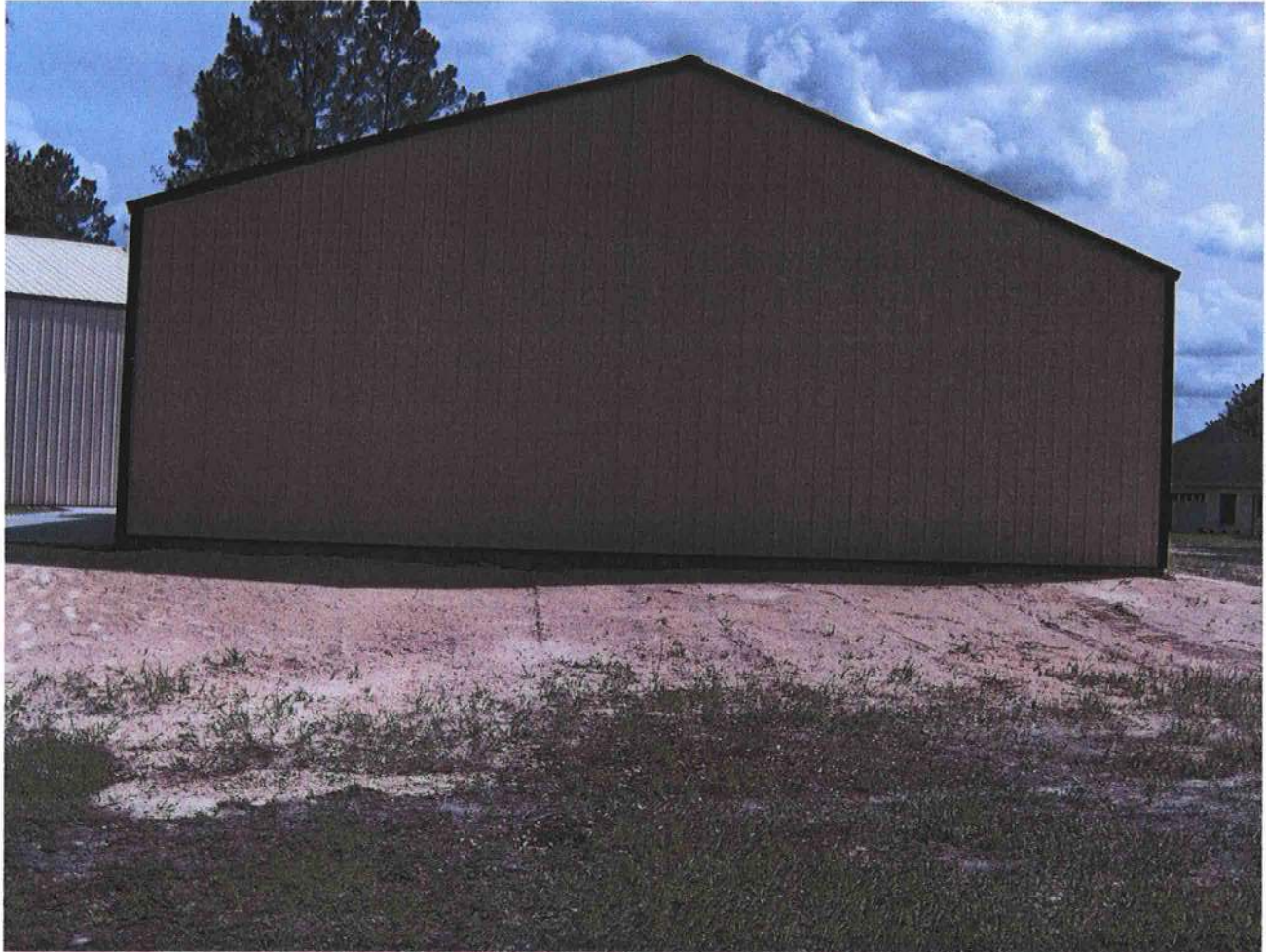


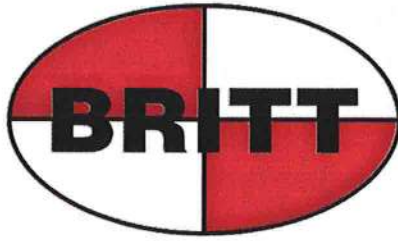
# Building Photographs

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 181 Skyhawk Dr.	For Insurance Company Use: Policy Number
City Lake City State FL ZIP Code 32025	Company NAIC Number
If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."	

Rear View





**BRITT SURVEYING**  
***Land Surveyors and Mappers***

**LAKE CITY • VENICE • SARASOTA**

Section A

A1 No additional comment

A2 The address is taken from the public records

A3 – A4 No additional comment

A5 Hand Held GPS coordinate at the center of building along the center of the front wall

A6 No additional comment

A7 No additional comment

A8 None

A9 None

Section B

B1 – B7 No additional comment

B8 This building appears to be in Zone AE as per the attached flood report.

B9 – B10 The BFE as shown hereon is based on the FIRM map and prorated between crosssections.

B11 – B12 No additional comment

Section C

C1 No additional comment

C2 There is a benchmark set in a power pole at an elevation of 110.00 feet NAVD 88 datum. See attached conversion sheet.

C2 a building

C2 b-c No additional comment

C2 d No Attached Garage

C2 e Air conditioning unit located in the rear of the building

C2 f - h No additional comment

Section D

No additional comment

Section E

No additional comment

Section F

No additional comment

Section G

No additional comment

Photographs

The attached photographs were taken by Britt Surveying & Associates, Inc. Rear view photo was obstructed by dense vegetation in the rear of the lot adjacent to residence.



DATE: 2-18-13

**JOB NO.:** \_\_\_\_\_

## REPORT OF IN-PLACE DENSITY TEST - Page 2

PROJECT:	Joseph Calbet* Metal Building/ Garage		
CLIENT:	Richardson's Suite Prep		# 30783
	C. Day		
SPECIFICATION REQUIREMENTS:	95%	Building full	

[illegible]

REMARKS: Northeast to Northwest side had full placed to a little past center

PROCTORS				
PROCTOR NO.	SOIL DESCRIPTION	MAXIMUM DRY UNIT WEIGHT (lb/ft <sup>3</sup> )	OPT. MOIST.	TYPE
1	Tannish Brown Sand	104	10	Med.
	Refer to 12-234			



**COLUMBIA COUNTY BUILDING DEPARTMENT**  
135 NE Hernando Ave., Suite B-21  
Lake City, FL 32055  
Office: 386-758-1008 Fax: 386-758-2160

### **OWNER BUILDER DISCLOSURE STATEMENT**

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.



I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

181 SW SkyHawk Drive

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

**TYPE OF CONSTRUCTION**

- ☐ Single Family Dwelling      ☐ Two-Family Residence      ☐ Farm Outbuilding  
☐ Addition, Alteration, Modification or other Improvement  
☐ Commercial, Cost of Construction \_\_\_\_\_ Construction of \_\_\_\_\_  
☒ Other Detached, Metal building

I Joseph L Calvet, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

[Signature] \_\_\_\_\_ Date Sep. 18, 2012  
Owner Builder Signature

**NOTARY OF OWNER BUILDER SIGNATURE**

The above signer is personally known to me or produced identification Drivers License

Notary Signature Maria Susacasa Date 9-18-12 (Seal)



**MARIA SUSACASA**  
MY COMMISSION # DD 806033  
EXPIRES: November 15, 2012  
Bonded Thru Budget Notary Services

**FOR BUILDING DEPARTMENT USE ONLY**

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative [Signature]



## NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

12-48-16-02942-012

Clerk's Office Stamp

Inst. 201212015864 Date: 10/25/2012 Time: 1:30 PM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1243 P: 1723

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Cannon Creek air park  
a) Street (job) Address: 181 SW Sky Hawk Drive, Lake City, FL 32025
2. General description of improvements: 40x40 Metal Building
3. Owner Information  
a) Name and address: Joseph L Calvet 181 SW Sky Hawk Drive 32025  
b) Name and address of fee simple titleholder (if other than owner):  
c) Interest in property: owner
4. Contractor Information  
a) Name and address: Joseph L Calvet 181 SW  
b) Telephone No.: 734 272 3660 Fax No. (Opt.):
5. Surety Information  
a) Name and address: N/A  
b) Amount of Bond:  
c) Telephone No.: Fax No. (Opt.):
6. Lender  
a) Name and address: N/A  
b) Phone No.:
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
a) Name and address: Same as I  
b) Telephone No.: Fax No. (Opt.):
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
a) Name and address: N/A  
b) Telephone No.: Fax No. (Opt.):
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Joseph L Calvet  
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager  
Joseph L Calvet  
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 18<sup>th</sup> day of September, 2012, by:  
Joseph Calvet as owner (type of authority, e.g. officer, trustee, attorney  
fact) for Self (name of party on behalf of whom instrument was executed).

Personally Known OR Produced Identification ☒ Type FL DL

Notary Signature Laurie Hodson Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Joseph L Calvet  
Signature of Natural Person Signing (in line #10 above.)



COLUMBIA COUNTY BUILDING DEPARTMENT  
RESIDENTIAL CHECK LIST

MINIMUM PLAN REQUIREMENTS: FLORIDA BUILDING CODE RESIDENTIAL 2010 EFFECTIVE 15 MARCH 2012 AND THE NATIONAL ELECTRICAL 2008 EFFECTIVE 1 OCTOBER 2009

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT 2010 FLORIDA BUILDING CODES RESIDENTIAL, EFFECTIVE 15 MARCH 2012. NATIONAL ELECTRICAL CODE 2008 EFFECTIVE 1 OCTOBER 2009. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.**

**FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609-A THROUGH 1609-C ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL			Items to Include- Each Box shall be Circled as Applicable		
			Yes	No	N/A
1	Two (2) complete sets of plans containing the following:		<input checked="" type="checkbox"/>		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void				
3	Condition space (Sq. Ft.)	Total (Sq. Ft.) under roof			

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

**Site Plan information including:**

4	Dimensions of lot or parcel of land	<input checked="" type="checkbox"/>		
5	Dimensions of all building set backs	<input checked="" type="checkbox"/>		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	<input checked="" type="checkbox"/>		
7	Provide a full legal description of property.	<input checked="" type="checkbox"/>		

**Wind-load Engineering Summary, calculations and any details are required.**



GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	IIII	IIII	IIII
		YES	NO	N/A
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	✓		
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient, Components and Cladding	✓		
13	The design wind pressure in terms of psf (kN/m <sup>2</sup> ), to be used for the design of exterior component, cladding materials not speciffally designed by the registered design professional.	✓		

### Elevations Drawing including:

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys			
18	Location and size of skylights with Florida Product Approval			
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

### Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies			✓
21	Raised floor surfaces located more than 30 inches above the floor or grade	✓		✓
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBC 1405.13.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.			✓
25	Safety glazing of glass where needed			✓
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 and chapter 24 of FBCR)			✓
27	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails			✓
28	Identify accessibility of bathroom (see FBCR SECTION 320)			✓

**All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)**

**GENERAL REQUIREMENTS:**  
**APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

Items to Include-  
Each Box shall be  
Circled as  
Applicable

**FBCR 403: Foundation Plans**

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
30	All posts and/or column footing including size and reinforcing	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
31	Any special support required by soil analysis such as piling.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
32	Assumed load-bearing value of soil <u>1,000</u> Pound Per Square Foot	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

**FBCR 506: CONCRETE SLAB ON GRADE**

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

**FBCR 318: PROTECTION AGAINST TERMITES**

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Submit other approved termite protection methods. <b>Protection shall be provided by registered termiticides</b>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
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**FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)**

37	Show all materials making up walls, wall height, and Block size, mortar type	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

**Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect**

**Floor Framing System: First and/or second story**

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
42	Attachment of joist to girder	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
43	Wind load requirements where applicable	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
44	Show required under-floor crawl space	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
45	Show required amount of ventilation opening for under-floor spaces	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
46	Show required covering of ventilation opening	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
47	Show the required access opening to access to under-floor spaces	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
48	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & inter of the areas structural panel sheathing	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>



49	Show Draftstopping, Fire caulking and Fire blocking			
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 302.6			
51	Provide live and dead load rating of floor framing systems (psf).			

### **FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls			
53	Fastener schedule for structural members per table IRC 602.3 are to be shown			
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing			
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems			
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per IRC Table 502.5 (1)			
57	Indicate where pressure treated wood will be placed			
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas			
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail			

### **FBCR :ROOF SYSTEMS:**

60	Truss design drawing shall meet section FBCR 802.1.6.1 Wood trusses			
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer			
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters			
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details			
64	Provide dead load rating of trusses			

### **FBCR 802:Conventional Roof Framing Layout**

65	Rafter and ridge beams sizes, span, species and spacing			
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating			
67	Valley framing and support details			
68	Provide dead load rating of rafter system			

### **FBCR 803 ROOF SHEATHING**

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness			
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas			

### **ROOF ASSEMBLIES FRC Chapter 9**

71	Include all materials which will make up the roof assembles covering			
72	Submit Florida Product Approval numbers for each component of the roof assembles covering			

## **FBCR Chapter 11 Energy Efficiency Code for residential building**

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. **Two of the required forms are to be submitted, N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.**

<b>GENERAL REQUIREMENTS:</b> APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure			
74	Attic space			
75	Exterior wall cavity			
76	Crawl space			

### **HVAC information**

77	Submit two copies of a Manual J sizing equipment or equivalent computation study			
78	Exhaust fans shown in bathrooms <b>Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required</b>			
79	Show clothes dryer route and total run of exhaust duct			

### **Plumbing Fixture layout shown**

80	All fixtures waste water lines shall be shown on the foundation plan			
81	Show the location of water heater			

### **Private Potable Water**

82	Pump motor horse power			
83	Reservoir pressure tank gallon capacity			
84	Rating of cycle stop valve if used			

### **Electrical layout shown including**

85	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans			
86	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by <b>Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A</b>			
87	Show the location of smoke detectors & Carbon monoxide detectors			
88	Show service panel, sub-panel, location(s) and total ampere ratings			
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.  <b>For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3</b>			



90	Appliances and HVAC equipment and disconnects			X
91	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed <b>Combination arc-fault circuit interrupter</b> , Protection device.			X

**Disclosure Statement for Owner Builders** *If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

**Notice Of Commencement**

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

<p align="center"><b>GENERAL REQUIREMENTS:</b>  APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</p>	<p align="center">Items to Include-  Each Box shall be  Circled as  Applicable</p>
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**THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS**

		YES	NO	N/A
92	<b>Building Permit Application</b> A current On-Line Building Permit Application <a href="http://www.ccpermit.com">www.ccpermit.com</a> is to be completed, by following the Checklist all supporting documents must be submitted. There is a <b>\$15.00</b> application fee.			
93	<b>Parcel Number</b> The parcel number (Tax ID number) from the Property Appraisers Office (386) 758-1083 is required. A copy of property deed is also requested. <a href="http://www.columbiacountyfla.com">www.columbiacountyfla.com</a>	X		
94	<b>Environmental Health Permit or Sewer Tap Approval</b> A copy of a approved Columbia County Environmental Health (386) 758-1058			X
95	<b>City of Lake City</b> A permit showing an approved waste water sewer tap 386-752-2031			X
96	<b>Toilet facilities shall be provided for all construction sites</b>	X		
97	<b>Town of Fort White</b> (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White, an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			X
98	<b>Flood Information:</b> All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations			X
99	<b>CERTIFIED FINISHED FLOOR ELEVATIONS</b> will be required on any project where the approved FIRM Flood Maps show the property is in a AE, Floodway, and AH flood zones. Additionally One Foot Rise letters are required for AE and AH zones. In the Floodway Flood zones a Zero Rise letter is required.			X
100	A Flood development permit is also required for AE, Floodway & AH. Development permit cost is <b>\$50.00</b>			X
101	<b>Driveway Connection:</b> If the property does not have an existing access to a public road, then an application for a culvert permit ( <b>\$25.00</b> ) must be made. County Public Works Dept. determines the size and length of every culvert before instillation and completes a final inspection before permanent power is granted. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver ( <b>\$50.00</b> ) Separate Check when issued. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.			X
102	<b>911 Address:</b> An application for a 911 address must be applied for and <b>received</b> through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125 Ext. 3			X

## **Section R101.2.1 of the Florida Building Code Residential:**

The provisions of Chapter 1, Florida Building Code shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

### **Time limitation of application.**

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

### **Single-family residential dwelling.**

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

### **Permit intent.**

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

### **If work has commenced.**

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

### **New Permit.**

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

### **Work Shall Be:**

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

### **The Fee:**

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the application is approved for permitting the applicant will be notified by phone as to the status by the Columbia County Building & Zoning Department.



# Quitclaim Deed

THIS QUITCLAIM DEED, executed this 31<sup>st</sup> day of December, 2004,  
 by first party, Grantor, MARIA SUSACASA  
 whose post office address is 1851 S.W. 11<sup>th</sup> TERR. MIAMI, FL 33135  
 to second party, Grantee, Joseph L. Calvet  
 whose post office address is 181 SW SKY HAWK LANE, LAKE CITY FL 32025

WITNESSETH, That the said first party, for good consideration and for the sum of \_\_\_\_\_  
One Dollars (\$ 1.00 )  
 paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quitclaim unto the  
 said second party forever, all the right, title, interest and claim which the said first party has in and to the following described  
 parcel of land, and improvements and appurtenances thereto in the County of Columbia  
 State of FLORIDA to wit:

Comm NE COR OF SE 1/4, RUN S 1079.03 FT  
 FOR POB, CONT S 134.37 FT, W 354.86 FT,  
 S 97.60 FT, W 170 FT, N 231.97 FT,  
 E 524.86 FT TO POB. ORB 692-568,  
 954-2323

IN WITNESS WHEREOF, The said first party has signed and sealed these presents the day and year first above written.  
Signed, sealed and delivered in presence of:

Signature of Witness: \_\_\_\_\_

Print name of Witness: Rick Blanco

Signature of Witness: \_\_\_\_\_

Print name of Witness: Felipe MorejonSignature of First Party: Maria SusacasaPrint name of First Party: MARIA SUSACASASignature of Second Party: Joseph L CalvetPrint name of Second Party: Joseph L CalvetSignature of Preparer: Maria SusacasaPrint Name of Preparer: MARIA SUSACASAAddress of Preparer: 1851 SW 11 Terr. Miami FL 33135State of Florida  
County of DadeOn 12/31/04 before me, Teresita M. Ramos  
appeared Maria Susacasa & Joseph L. Calvet

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized  
capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the  
person(s) acted, executed the instrument.

WITNESS my hand and official seal.

NOTARY PUBLIC STATE OF FLORIDA  
Signature of Notary Teresita M. Ramos  
Commission # DD362951  
Expires OCT 14, 2008  
Bonded thru Atlantic Bonding Co., Inc.

Affiant Known ☒ Produced ID  
Type of ID \_\_\_\_\_

(Seal)





## **ONE FOOT RISE LETTER**

PROPERTY DESCRIPTION: ***Residential Lot Canon Creek Airpark***

OWNER: ***Joseph Calvet***

PARCEL ID NUMBER: ***12-4S-16-02942-012***

MINIMUM FINISHED FLOOR ELEVATION: ***113.0***

PROJECT REQUIREMENTS: The proposed metal building will be located adjacent to the existing residence / hangar building. This location is not in the regulatory floodzone as depicted in the map effective on this date. The proposed site is located in the floodplain fringe. Filling within the floodplain fringe will not increase flood elevations by more than one foot as determined by the FEMA flood study. Therefore construction of the building at the minimum finished floor elevation will not increase flood elevations by more than one foot.



*Gregory G. Bailey*  
\_\_\_\_\_  
Gregory G. Bailey, P.E.  
Date: February 6, 2013  
P.E. No. 43858



## ONE FOOT RISE LETTER

PROPERTY DESCRIPTION: **Residential Lot Canon Creek Airpark**

OWNER: **Joseph Calvet**

PARCEL ID NUMBER: **12-4S-16-02942-012**

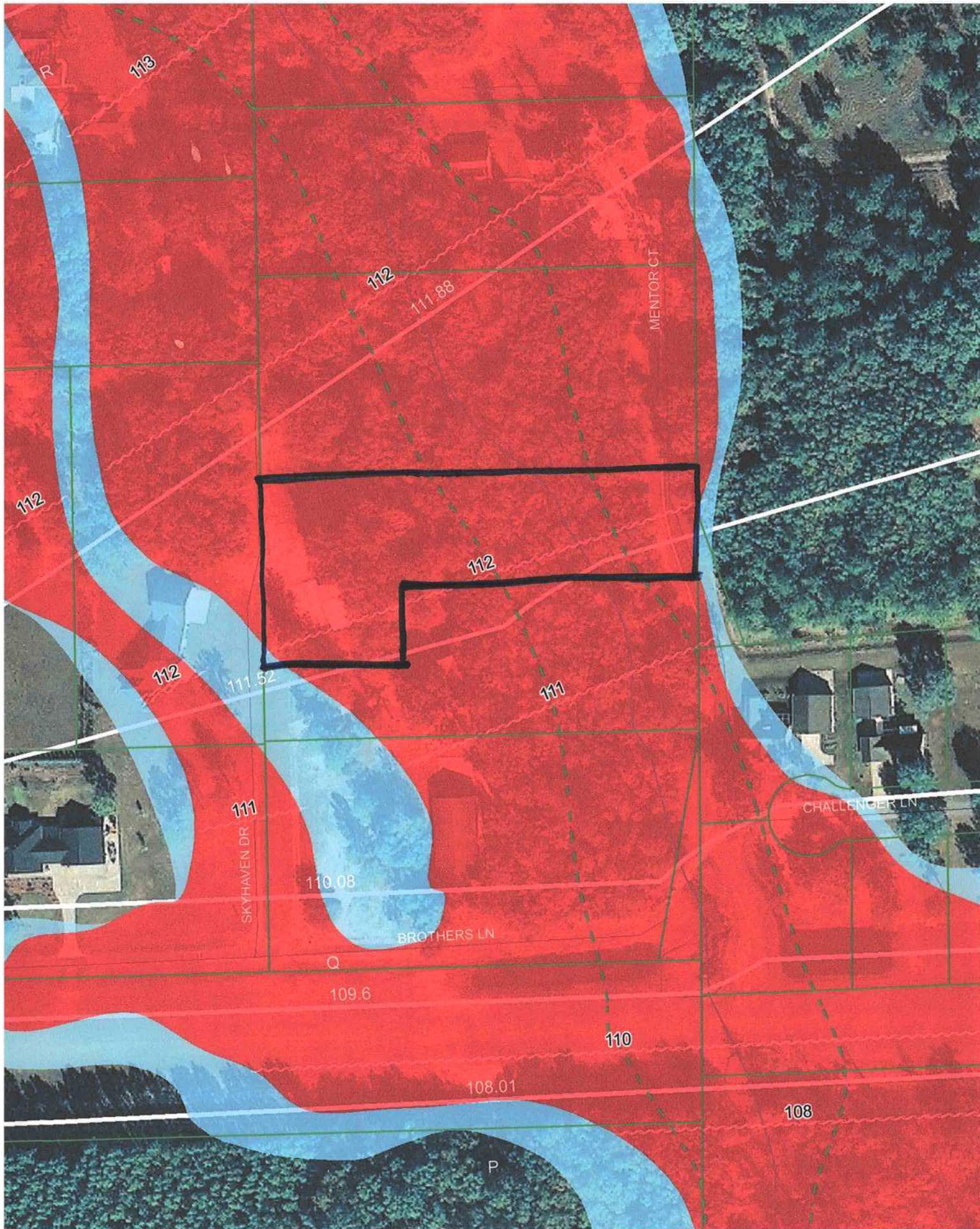
MINIMUM FINISHED FLOOR ELEVATION: **113.0**

PROJECT REQUIREMENTS: The proposed metal building will be located adjacent to the existing residence / hangar building. This location is not in the regulatory floodzone as depicted in the map effective on this date. The proposed site is located in the floodplain fringe. Filling within the floodplain fringe will not increase flood elevations by more than one foot as determined by the FEMA flood study. Therefore construction of the building at the minimum finished floor elevation will not increase flood elevations by more than one foot.



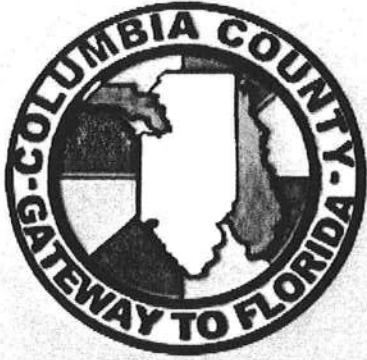
Gregory G. Bailey, P.E.  
Date: February 6, 2013  
P.E. No. 43858





1210-53





## Columbia County, Florida Planning & Zoning Department

Review of Building Permit for compliance with  
County's Comprehensive Plan and  
Land Development Regulations

8 November 2012

Joseph L. Calvet  
181 Southwest Skyhawk Drive  
Lake City, FL 32025

RE: Building Permit for a Metal Building, Application #1210-53

Dear Mr. Calvet:

The property for the above referenced application for a metal building is located within the 100 year flood zone (Zone AE) in accordance with the Flood Insurance Rate Maps (FIRM) for Columbia County with an effective date of 4 February 2009. In accordance with the Flood Damage Prevention Regulations of the County's Land Development Regulations (LDR's), a signed and sealed letter from a registered engineer stating that the placement of the metal building will not cause the flood water to rise greater than one (1) foot is required prior to the building permit being issued. The 2010 Florida Building Code requires that the metal building must also be elevated to the determined flood elevation of 112 feet above average mean sea level. The existing elevation of the proposed location of the metal building will have to be determined in order to see if the building has to be elevated. Once the building is constructed an elevation certificate prepared by a licensed surveyor will be required to insure that the bottom of the finished floor meets the 112 foot elevation.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.754.7119.

Sincerely,

Brian L. Kepner  
Land Development Regulation Administrator,  
County Planner

*Spoke to Mr. Calvet on 11-14-12*

*1 ft rise on Elevation Survey at 112' or above  
of proposed site.*



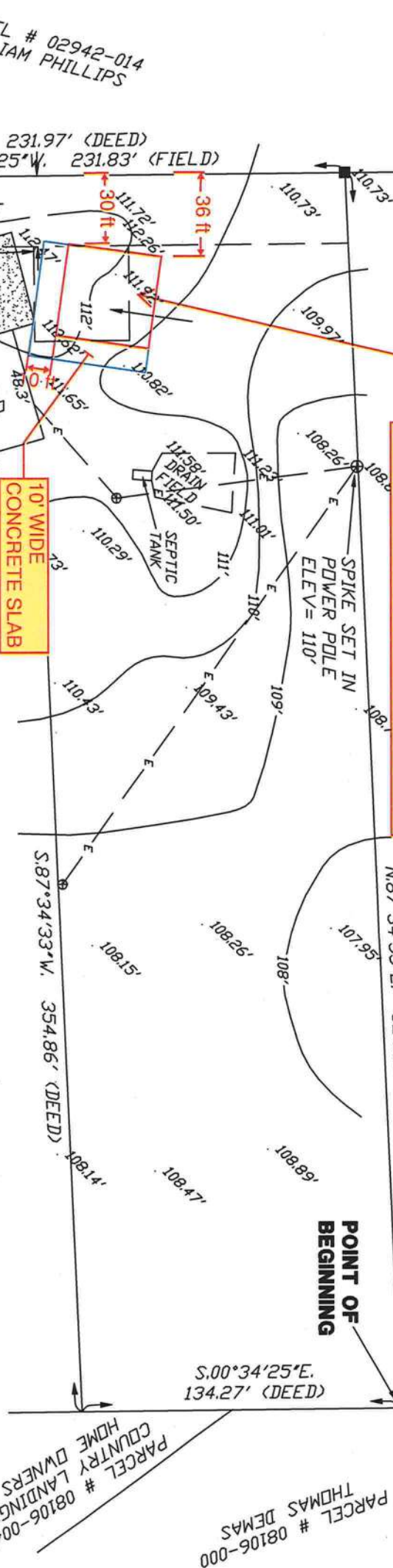
SURVEYOR'S NOTES:  
1. BOUNDARY BASED ON A DEED OF RECORD.  
2. BEARINGS ARE BASED ON SAID DEED OF RECORD.  
3. THIS PARCEL IS IN ZONE "AE" AND IS SUBJECT TO FLOODING. A BASE FLOOD ELEVATION IS ESTABLISHED TO BE 112 FEET AS PER FLOOD INSURANCE RATE MAP, DATED 4 FEBRUARY, 2009 FIRM PANEL NO. 12023C0293C. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE. (NAVD 88 DATUM)

4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.  
5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.  
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.  
7. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.  
8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.  
9. THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

A TOPOGRAPHIC SURVEY IN SECTION 12, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.

POINT OF COMMENCEMENT  
NE CORNER OF SE 1/4, SECTION 12, TOWNSHIP 4 SOUTH, RANGE 16 EAST

PROPOSED 40'X40' METAL BUILDING  
MINIMUM FINISH FLOOR ELEVATION 113.0'



DESCRIPTION:  
A PART OF THE SE 1/4 OF SECTION 12, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT THE NE CORNER OF SAID SE 1/4 AND RUN S.00°34'25"E., ALONG THE EAST LINE THEREOF, 1079.03 FEET FOR A POINT OF BEGINNING, THENCE CONTINUE S.00°34'25"E., ALONG THE EAST LINE, 134.37 FEET, THENCE S.87°34'33"W., 354.86 FEET, THENCE S.00°34'25"E., 97.60 FEET, THENCE S.87°34'33"W., 170.00 FEET, THENCE N.00°34'25"W., 231.97 FEET, THENCE N.87°34'33"E., 524.86 FEET TO THE POINT OF BEGINNING.

FLOOD NOTE: ALL ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 DATUM.

CERTIFIED TO:

JOSEPH L. CAL VET

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER SJ-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

FIELD SURVEY DATE

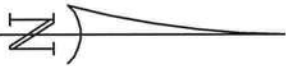
DRAWING DATE

SCOTT BRITT, P.S.M.  
CERTIFICATION # 5757

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.



SCALE: 1" = 60'



SYMBOL LEGEND:

- 4"X4" CONCRETE MONUMENT FOUND
- 4"X4" CONCRETE MONUMENT SET
- IRON PIPE FOUND
- IRON PIN AND CAP SET
- "X" CUT IN PAVEMENT
- CALCULATED PROPERTY CORNER
- NAIL & DISK
- POWER POLE
- SIGN POST
- WATER METER
- UTILITY BOX
- WELL
- SANITARY MANHOLE
- CENTERLINE
- SECTION LINE
- ELECTRIC LINES
- WIRE FENCE
- CHAIN LINK FENCE
- WOODEN FENCE
- AS PER A PLAT OF RECORD
- AS PER A DEED OF RECORD
- (CALC.) AS PER CALCULATIONS
- (FIELD) AS PER FIELD MEASUREMENTS
- P.R.M. PERMANENT REFERENCE MARKER
- P.C.P. PERMANENT CONTROL POINT

BRITT SURVEYING  
& MAPPING, LLC

LAND SURVEYORS AND MAPPERS, L.B. # 7593

2086 SW MAIN BLVD, SUITE 112, LAKE CITY, FLORIDA 32025  
(386)752-7163 FAX (386)752-5573  
www.brittsurvey.com

WORK ORDER # L-22387



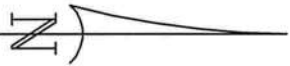
A TOPOGRAPHIC SURVEY IN SECTION 12, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.

- SURVEYOR'S NOTES:
1. BOUNDARY BASED ON A DEED OF RECORD.
  2. BEARINGS ARE BASED ON SAID DEED OF RECORD.
  3. THIS PARCEL IS IN ZONE 4E AND IS SUBJECT TO FLOODING. A BASE FLOOD ELEVATION IS ESTABLISHED TO BE 112 FEET AS PER FLOOD INSURANCE RATE MAP, DATED 4 FEBRUARY, 2009 FIRM PANEL NO. 12023C0293C. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE. (NAVD 88 DATUM)
  4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
  5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
  6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
  7. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
  8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
  9. THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

**POINT OF COMMENCEMENT**  
NE CORNER OF SE 1/4,  
SECTION 12, TOWNSHIP  
4 SOUTH, RANGE 16 EAST

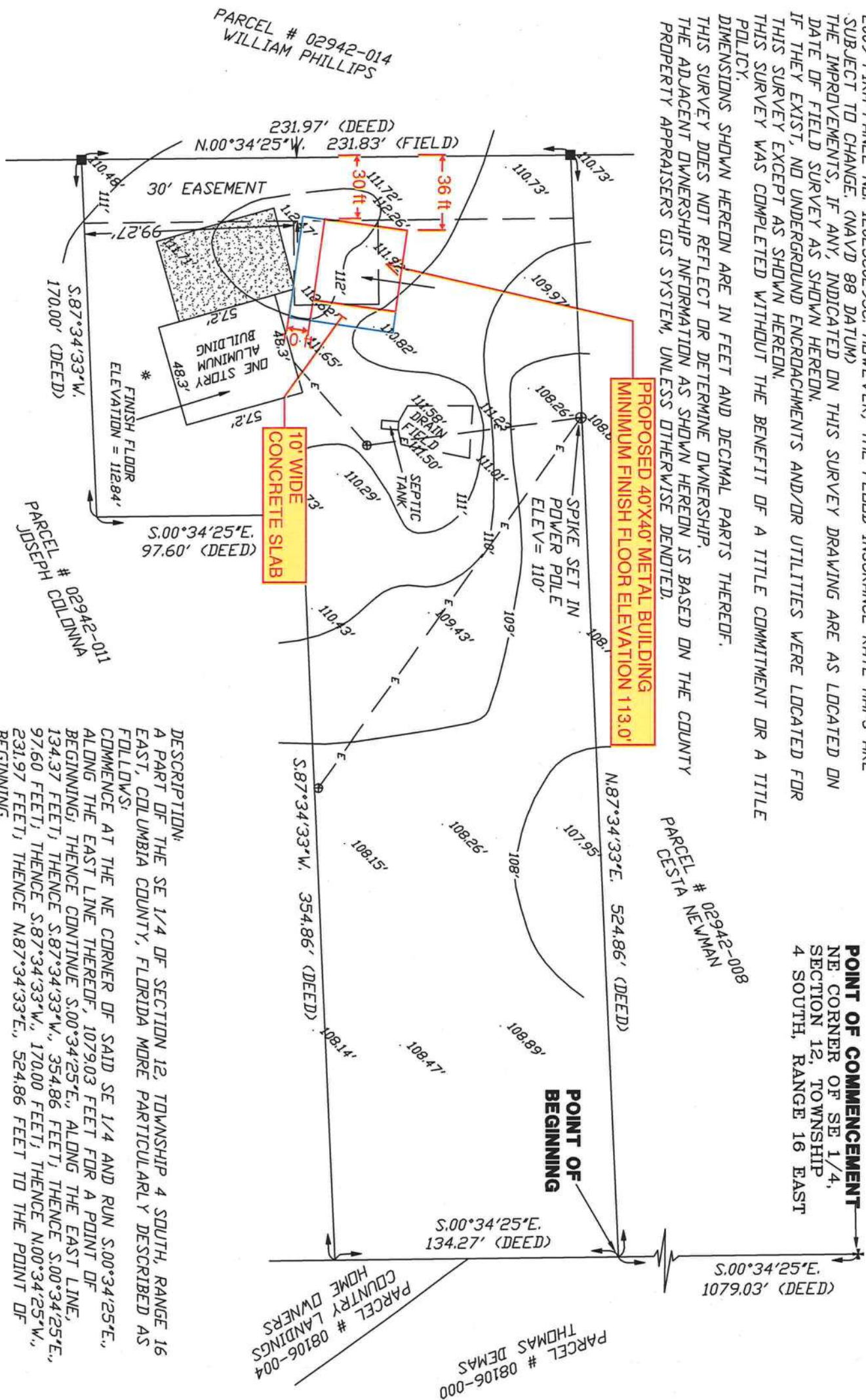


SCALE: 1" = 60'



**S Y M B O L L E G E N D:**

- 4"x4" CONCRETE MONUMENT FOUND
- 4"x4" CONCRETE MONUMENT SET
- IRON PIPE FOUND
- IRON PIN AND CAP SET
- "X" CUT IN PAVEMENT
- CALCULATED PROPERTY CORNER
- MAIL & DISK
- POWER POLE
- SIGN POST
- WATER METER
- UTILITY BOX
- WELL
- ▲ SANITARY MANHOLE
- CENTERLINE
- SECTION LINE
- E- ELECTRIC LINES
- X- WIRE FENCE
- O- CHAIN LINK FENCE
- D- WOODEN FENCE
- (PLAT) AS PER A PLAT OF RECORD
- (DEED) AS PER A DEED OF RECORD
- (CALC) AS PER CALCULATIONS
- (FIELD) AS PER FIELD MEASUREMENTS
- P.R.M. PERMANENT REFERENCE MARKER
- P.C.P. PERMANENT CONTROL POINT



FLOOD NOTE: ALL ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 DATUM.

CERTIFIED TO:  
JOSEPH L. CALVET

FIELD BOOK: 333 PAGE(S): 20

**SURVEYOR'S CERTIFICATION**

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER SJ-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

FIELD SURVEY DATE: 11/19/12  
DRAWING DATE: 11/20/12

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.



**BRITT SURVEYING & MAPPING, LLC**

LAND SURVEYORS AND MAPPERS, L.B. # 7593  
2086 SW MAIN BLVD, SUITE 112, LAKE CITY, FLORIDA 36025  
(386)752-7163 FAX (386)752-5573  
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WORK ORDER # L-22387



#30783



13618 NW 270<sup>th</sup> Ave.  
Alachua, FL 32615  
(386) 418-4387  
dwpest@windstream.net

**NOTICE OF TREATMENT**

Date 2/19/13 Time 12:00

Treatment Address	<u>1361 SW Skyhawk Dr.</u>
Subdivision	<u>Lake City</u>
Lot #	

Type of Treatment: Soil or Wood  
Square Feet 1600 Linear Feet 60'  
Chemical Imiprostar .05 %  
Gallons Applied 160  
Area Treated Handbody  
Remarks By Soil  
\_\_\_\_\_  
\_\_\_\_\_  
Technician [Signature]

Per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

DW Pest – White      Permit File – Yellow      Permit Holder – Pink