

172-75
Javier - Lrb

Columbia County New Building Permit Application

For Office Use Only		Application # <u>44271</u>		Date Received <u>1/2/20</u>		By <u>MG</u>		Permit # <u>39140</u>	
Zoning Official <u>LW</u>		Date <u>1-3-20</u>		Flood Zone <u>X</u>		Land Use <u>Ag</u>		Zoning <u>A-3</u>	
FEMA Map # _____		Elevation _____		MFE _____		River _____		Plans Examiner <u>1.C.</u>	
Date <u>1-8-20</u>									
Comments <u>non-habitable structure</u>									
<input checked="" type="checkbox"/> NOC <input checked="" type="checkbox"/> LEH <input checked="" type="checkbox"/> Deed or PA <input type="checkbox"/> Site Plan <input type="checkbox"/> State Road Info <input checked="" type="checkbox"/> Well letter <input type="checkbox"/> 911 Sheet <input type="checkbox"/> Parent Parcel # _____									
<input type="checkbox"/> Dev Permit # _____ <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Auth. from Contractor <input type="checkbox"/> F W Comp. letter									
<input checked="" type="checkbox"/> Owner Builder Disclosure Statement <input type="checkbox"/> Land Owner Affidavit <input type="checkbox"/> Ellisville Water <input type="checkbox"/> App Fee Paid <input checked="" type="checkbox"/> Sub VF Form									

Septic Permit No. 19-0934 OR City Water ☐ Fax _____

Applicant (Who will sign/pickup the permit) Royce J. Phillips Phone 321-213-5235

Address 359 SW Feather LN Fort White FL 32038

Owners Name Royce J Phillips Phone 321-213-5235

911 Address 359 SW Feather LN Fort white FL 32038

Contractors Name Javier Lara Phone 877-272-8276

Address 820 Reeves Drive, Mt. Airy, NC 27030

Contractor Email Sbspermitting@sbsinc.com ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address Wayne S. Moore, 401 S. Main St., Mt. Airy, NC 27030

Mortgage Lenders Name & Address _____

Circle the correct power company ☐ FL Power & Light ☒ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 25-75-116-04321-006 Estimated Construction Cost \$9,610.00

Subdivision Name Rum Island Ranches Umr. Lot 29 Block _____ Unit _____ Phase _____

Driving Directions from a Major Road 47 S TO 138 LEFT TO RUM ISLAND TERR RIGHT TO SW FEATHER LN LEFT TO 359 SW FEATHER LN ON LEFT

Construction of 20x41 accessory structure Commercial OR ☒ Residential

Proposed Use/Occupancy Storage / Carport Number of Existing Dwellings on Property 4

Is the Building Fire Sprinkled? NO If Yes, blueprints included _____ Or Explain _____

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☒ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 256 Side 88 Side 201 Rear 1044

Number of Stories 1 Heated Floor Area 0 Total Floor Area 820 Acreage 10

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) _____

Francis

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

ROYCE J PHILLIPS *Royce Phillips* ****Property owners must sign here before any permit will be issued.**
Print Owners Name Owners Signature

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Francis Garcia
Contractor's Signature

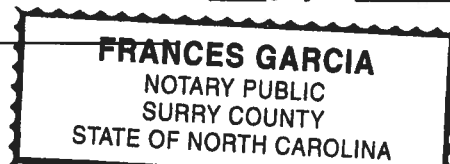
Contractor's License Number CBC1260497
Columbia County
Competency Card Number 1838 ✓

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 18th day of December 2019.

Personally known ☒ or Produced Identification _____

Frances Garcia
State of Florida Notary Signature (For the Contractor)

SEAL:



SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # _____ JOB NAME Royce Phillips

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

ELECTRICAL <input type="checkbox"/> CC# _____	Print Name <u>No electrical</u> Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
MECHANICAL/A/C <input type="checkbox"/> CC# _____	Print Name <u>No mechanical</u> Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
PLUMBING/GAS <input type="checkbox"/> CC# _____	Print Name <u>No Plumbing</u> Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
ROOFING <input type="checkbox"/> CC# _____	Print Name <u>N/A</u> Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SHEET METAL <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
FIRE SYSTEM/SPRINKLER <input type="checkbox"/> CC# _____	Print Name <u>N/A</u> Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SOLAR <input type="checkbox"/> CC# _____	Print Name <u>N/A</u> Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
STATE SPECIALTY <input type="checkbox"/> CC# _____	Print Name <u>N/A</u> Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

SITE PLAN CHECKLIST

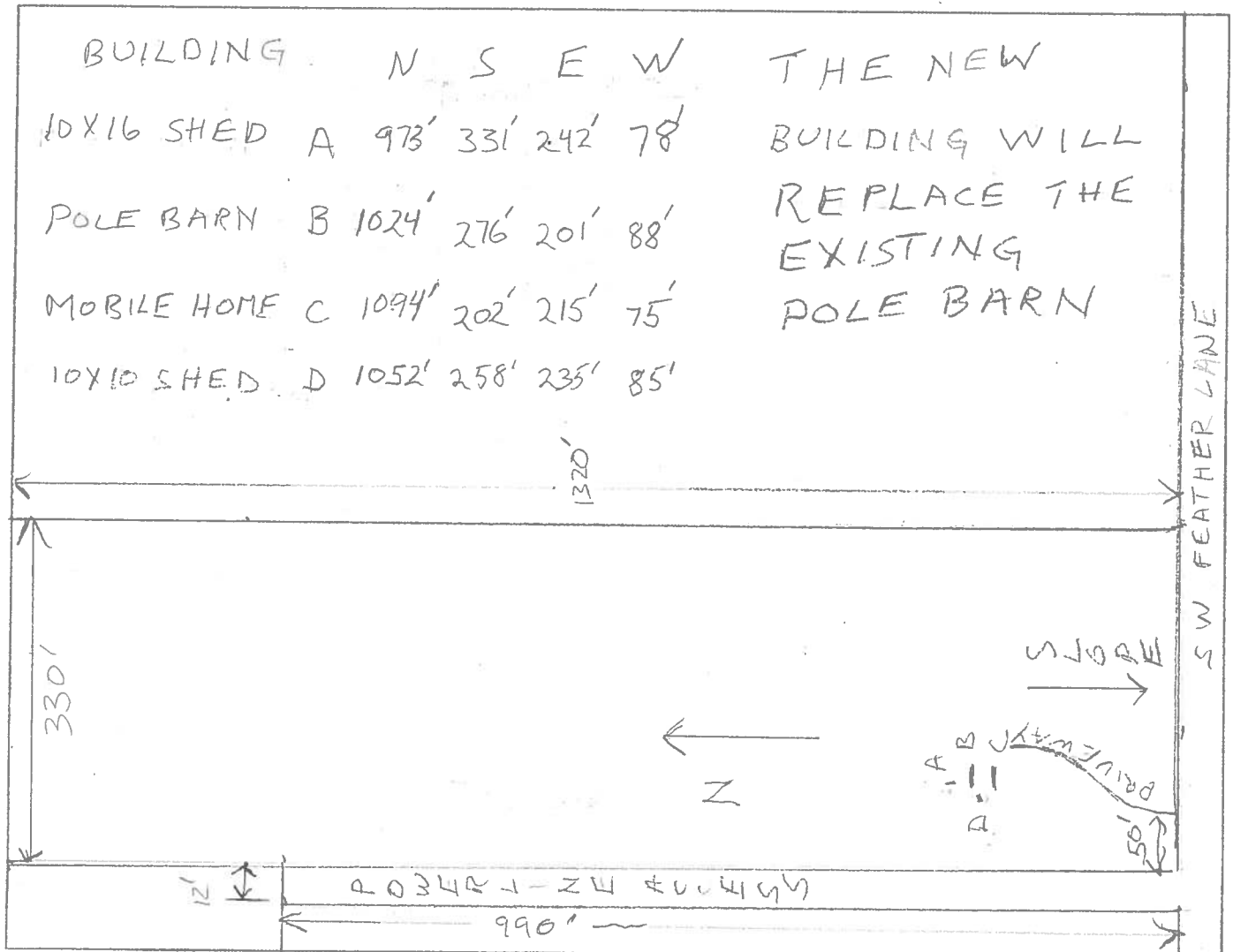
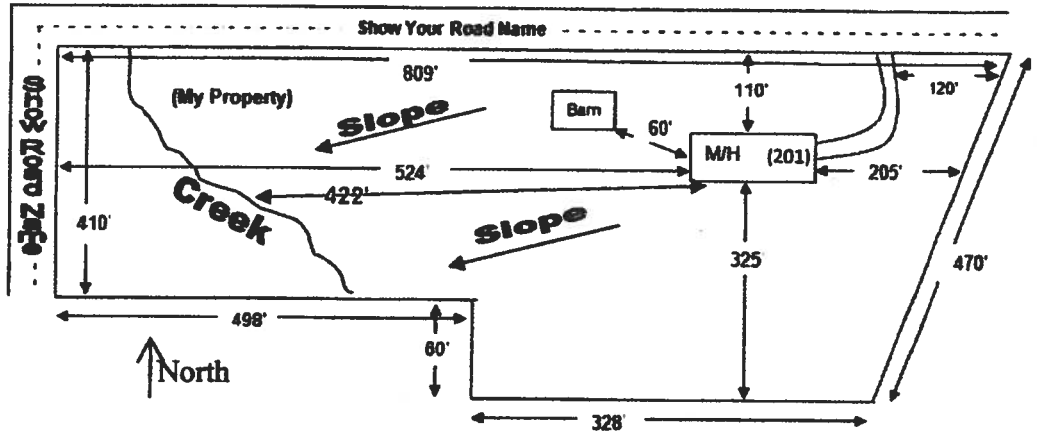
- ☒ 1) Property Dimensions
- ☒ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ☒ 3) Distance from structures to all property lines
- ☒ 4) Location and size of easements
- ☐ 5) Driveway path and distance at the entrance to the nearest property line
- ☒ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ☒ 7) Show slopes and or drainage paths
- ☒ 8) Arrow showing North direction

SITE PLAN EXAMPLE

Revised 7/1/15

NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.



Columbia County Property Appraiser

Jeff Hampton

2020 Working Values

updated 11/27/2019

Parcel: << 25-7S-16-04321-006 >>

Owner & Property Info

Result 1 of 1

Owner	PHILLIPS ROYCE J 359 SW FEATHER LANE FT WHITE, FL 32038		
Site	359 FEATHER LN, FT WHITE		
Description*	W1/2 OF W1/2 OF NE1/4 OF SW1/4. (AKA LOT 29 RUM ISLAND RANCHES) ORB 345-479, 667-521, DC FRIEDA M CHAFFINS 1142-577, WD 1367-2369,		
Area	10 AC	S/T/R	25-7S-16
Use Code**	MOBILE HOM (000200)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2019 Certified Values		2020 Working Values	
Mkt Land (2)	\$47,867	Mkt Land (2)	\$47,867
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (1)	\$20,228
XFOB (4)	\$2,000	XFOB (4)	\$2,000
Just	\$49,867	Just	\$70,095
Class	\$0	Class	\$0
Appraised	\$49,867	Appraised	\$70,095
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$49,867	Assessed	\$70,095
Exempt	\$0	Exempt	\$0
Total	county:\$49,867	Total	county:\$70,095
Taxable	city:\$49,867	Taxable	city:\$70,095
	other:\$49,867		other:\$70,095
	school:\$49,867		school:\$70,095

Aerial Viewer Pictometry Google Maps

2019 2016 2013 2010 2007 2005 Sales



Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
8/29/2018	\$52,000	1367/2369	WD	I	Q	01
11/5/1988	\$34,900	667/0521	WD	I	U	

Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	2	SFR MANUF (000200)	1999	960	960	\$20,228

*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0296	SHED METAL	1993	\$200.00	80.000	8 x 10 x 0	AP (050.00)
0285	SALVAGE	2017	\$500.00	1.000	0 x 0 x 0	(000.00)
0020	BARN,FR	2017	\$500.00	1.000	0 x 0 x 0	(000.00)
0296	SHED METAL	2017	\$800.00	1.000	0 x 0 x 0	(000.00)

Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000700	MISC RES (MKT)	10.000 AC	1.00/1.00 1.00/1.00	\$4,462	\$44,617
009945	WELL/SEPT (MKT)	1.000 UT - (0.000 AC)	1.00/1.00 1.00/1.00	\$3,250	\$3,250

Search Result: 1 of 1

© Columbia County Property Appraiser | Jeff Hampton | Lake City, Florida | 386-758-1083

by: Gintyl LLC.com

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

25-75-16-04321-006

Clerk's Office Stamp

Inst: 202012000139 Date: 01/02/2020 Time: 2:27PM
Page 1 of 1 B: 1402 P: 1317, P. DeWitt Cason, Clerk of Court
Columbia, County, By: PT
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description):

a) Street (job) Address: 359 SW Feather Lane, Ft. White, FL 32038

2. General description of improvements: 20x41 detached accessory structure

3. Owner Information or Lessee information if the Lessee contracted for the improvements:

a) Name and address: Royce J. Phillips

b) Name and address of fee simple titleholder (if other than owner):

c) Interest in property: Storage / Carport

4. Contractor Information

a) Name and address: Steel Buildings + Structures, Inc.: 820 Reeves dr, Mt. Airy, NC 27030

b) Telephone No.: 877-272-8274

5. Surety Information (if applicable, a copy of the payment bond is attached):

a) Name and address:

b) Amount of Bond:

c) Telephone No.:

6. Lender

a) Name and address:

b) Phone No.:

7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:

a) Name and address:

b) Telephone No.:

8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:

a) Name: OF

b) Telephone No.:

9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10.

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager

ROYCE J PHILLIPS

Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 2 day of January, 2020, by:

Nicholas Losi
(Name of Person)

as Notary
(Type of Authority)

for Royce Phillips
(name of party on behalf of whom instrument was executed)

Personally Known OR Produced Identification X Type Florida Drivers Lic

Notary Signature

Nicholas Losi

Notary Stamp or Seal:



NICHOLAS LOSI
Commission # GG 317213
Expires March 28, 2023
Honor! Thru Budget Notary Services



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0934
DATE PAID: _____
FEE PAID: _____
RECEIPT #: _____

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐ _____

APPLICANT: ROYCE J PHILLIPS

AGENT: _____

TELEPHONE: 321-213-5235MAILING ADDRESS: 359 SW FEATHER LN FT WHITE FL 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: _____ BLOCK: _____ SUBDIVISION: _____ PLATTED: _____

PROPERTY ID #: 25-75-16-0431-006 ZONING: _____ I/M OR EQUIVALENT: ☐ Y ☐ NPROPERTY SIZE: 10 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ $\leq 2000\text{GPD}$ ☐ $> 2000\text{GPD}$ IS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☐ N DISTANCE TO SEWER: 80 FTPROPERTY ADDRESS: 359 SW FEATHER LN FT WHITE FL 32038

DIRECTIONS TO PROPERTY: 47S TO 138 TURN LEFT TO RUM ISLAND
TERR. RIGHT TO FEATHER LN LEFT TO 359 SW
FEATHER ON LEFT

BUILDING INFORMATION

☒ RESIDENTIAL☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	MOBILE HOME	3	960	Existing
2	FRAME BARN	0	820	New Add
3	METAL SHED	0	160	
4	METAL SHED	0	100	Existing

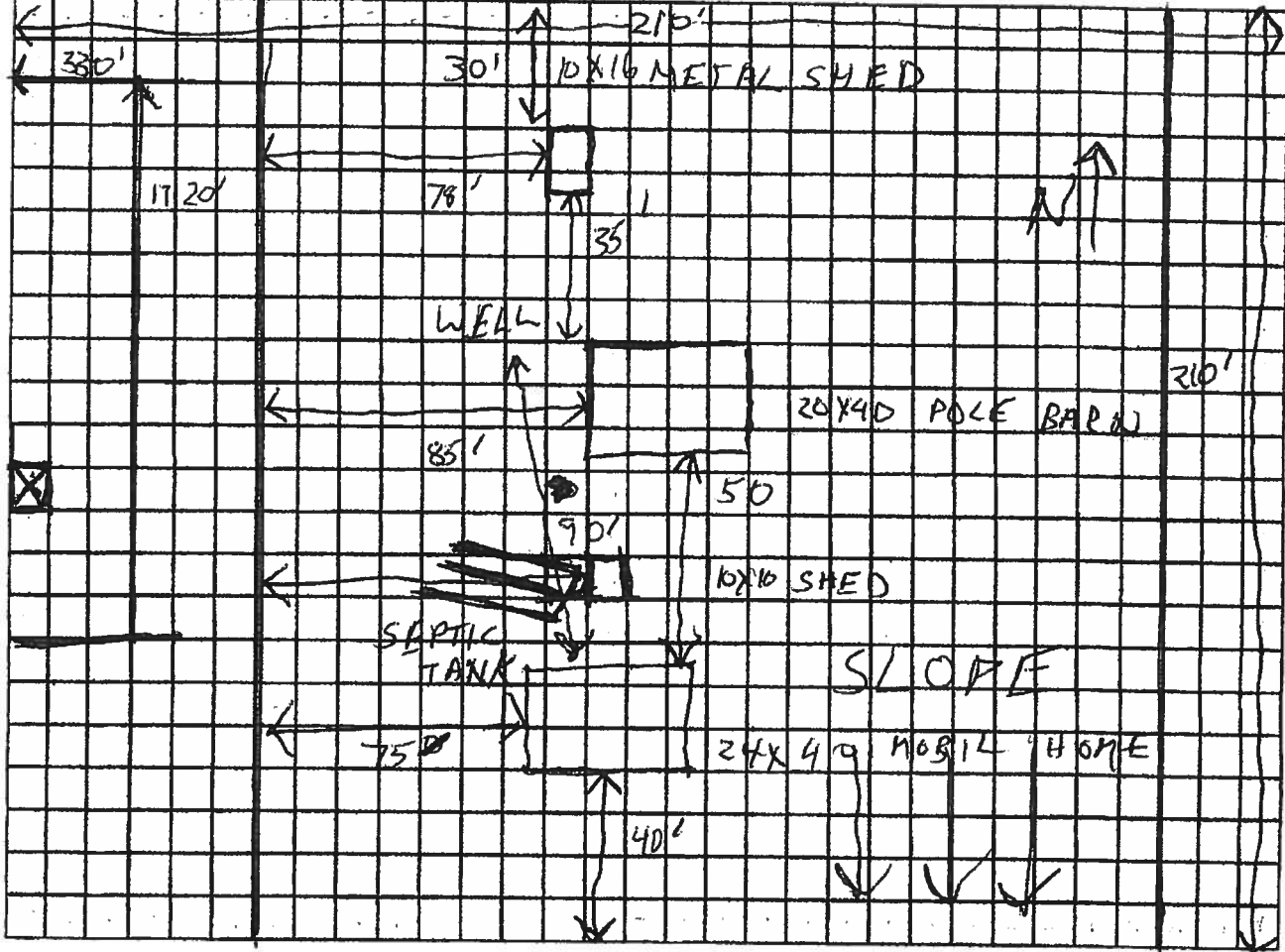
☐ Floor/Equipment Drains ☐ Other (Specify) _____SIGNATURE: Royce J PhillipsDATE: 12/26/2019

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 19-0934

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes:

Site Plan submitted by Roy Phillips

Plan Approved [Signature]

Not Approved _____

Date 12/30/19

By [Signature]

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



Steel Buildings and Structures Inc.

820 Reeves Drive
Mt. Airy, NC 27030
877-272-8276
fgarcia@sbsihq.com
Date: 01-10-2020

I Javier Lara hereby give permission to Royce Phillips to obtain a one time/ pick up building permit under my license number, CBC1260497 for the carport/garage to be installed at 359 SW Feather Lane, Fort White, FL 32038. If there are any questions you may reach me at 336-367-6600 Ext: 122. Thank you.

JAVIER LARA

(General Contractor) Print

Date: 01-10-2020

Javier Lara

(General Contractor) Signature

State Of North Carolina

County Of Surry

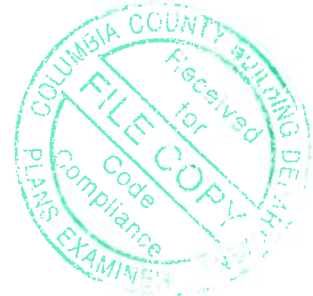
The foregoing instrument was acknowledged before me this 10th day of January, 2020, by Javier Lara, who is personally known to me ☒ or produced _____ as identification.

Frances Garcia
(Notary Signature)

FRANCES GARCIA

Seal NOTARY PUBLIC
SURRY COUNTY
STATE OF NORTH CAROLINA

My Commission Expires: February 05, 2023



STRUCTURAL DESIGN **ENCLOSED BUILDING**

**MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE
FRAME**

14 December 2018

Revision 7

M&A Project No. 16062S/16155S/16207S/17155S/17200S/18068S/18156S/18290S

Prepared for:

**Steel Buildings and Structures, Inc.
P.O. Box 1287
Mt. Airy, NC 27030**

Prepared by:

**Moore and Associates Engineering
and Consulting, Inc.**

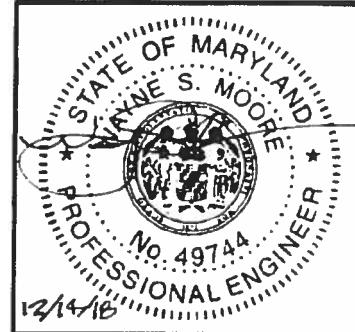
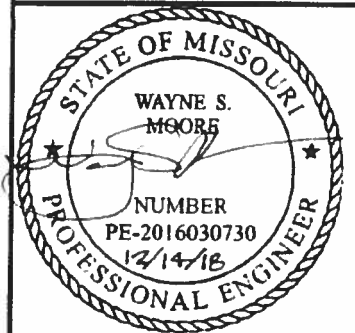
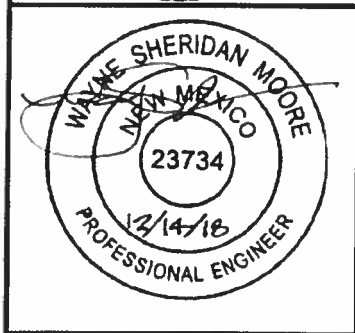
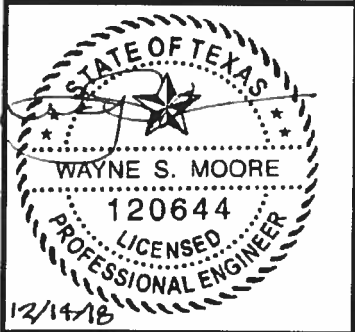
**1009 East Avenue
North Augusta, SC 29841**

**401 S. Main St., Suite 200
Mount Airy, NC 27030**



MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.		STEEL BUILDINGS AND STRUCTURES, INC. P.O. BOX 1287, MOUNT AIRY, NC 27030 30'-0" x 20'-0" ENCLOSED STRUCTURE	
THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.		DRAWN BY: AT CHECKED BY: PJH PROJECT NGR VSM CLIENT: SRST	DATE: 12-14-18 SHT. 1 SCALE: NTS DWG. NO: SK-3 JOB NO: 180693/181545/182905 REV: 7

	Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 49744, Expiration Date <u>6/6/20</u>		
			
			
			
MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.		DRAWN BY: AT CHECKED BY: PDH	STEEL BUILDINGS AND STRUCTURES, INC. P.O. BOX 1287, MOUNT AIRY, NC 27030 30'-0" x 20'-0" ENCLOSED STRUCTURE
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SHEET 1	PE SEAL COVER SHEET (1 OF 2)
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SHEET 4A	TYPICAL RAFTER/COLUMN FRAME AND SIDE FRAMING SECTION (BOX EAVE STRUCTURE)
SHEET 4B	TYPICAL RAFTER/COLUMN FRAME AND SIDE FRAMING SECTION (BOX EAVE STRUCTURE)
SHEET 4C	TYPICAL RAFTER/COLUMN FRAME AND SIDE FRAMING SECTION (BOX EAVE STRUCTURE)
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MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: AT	STEEL BUILDINGS AND STRUCTURES, INC. P.O. BOX 1287, MOUNT AIRY, NC 27030 30'-0" x 20'-0" ENCLOSED STRUCTURE		
	CHECKED BY: PDH			
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	CLIENT: SRSI	SHT. 2	DWG. NO: SK-3	REV: 7

INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION, 2018 NORTH CAROLINA BUILDING CODE, 2006 INTERNATIONAL BUILDING CODE (IBC), 2009 IBC, 2012 IBC AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
 - A) DEAD LOAD = 15 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 30 PSF ($\leq 26'-0"$), 35 PSF ($26'-0" < W \leq 30'-0"$)
(UNBALANCED SNOW LOADS DUE TO DRIFTING HAVE NOT BEEN EVALUATED)
4. 3-SECOND GUST ULTIMATE WIND SPEED (V_{ULT}) 105 TO 145 MPH (NOMINAL WIND SPEED 82 TO 112 MPH); MAXIMUM RAFTER/COLUMN AND END COLUMN SPACING = 5.0 FEET (UNLESS NOTED OTHERWISE).
5. END WALL COLUMNS (POST) ARE EQUIVALENT TO SIDE WALL POSTS UNLESS NOTED OTHERWISE.
6. RISK CATEGORY I.
7. WIND EXPOSURE CATEGORY B.
8. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS (UNLESS NOTED OTHERWISE).
9. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR HAT CHANNELS, AND COLUMNS (INTERIOR OR END) = 8 INCHES.
10. FASTENERS CONSIST OF 1/4"x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14° (3:12 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
11. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6" OF EACH COLUMN.
12. GROUND ANCHORS CONSIST OF #4 REBAR W/ WELDED NUT x 36" LONG IN SUITABLE SOIL CONDITIONS. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED.
13. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:

SOIL SITE CLASS = D
RISK CATEGORY I/II/III

$R = 3.25$ $I_E = 1.0$
 $S_{DS} = 2.039$ $V = C_S W$
 $S_M = 1.258$
14. WINDOW AND DOOR DESIGN PRESSURES ARE APPLICABLE TO THE STATE OF FLORIDA ONLY.

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STEEL BUILDINGS AND STRUCTURES, INC.

P.O. BOX 1287,
MOUNT AIRY, NC 27030

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

SHT. 3

DWG. NO: SK-3

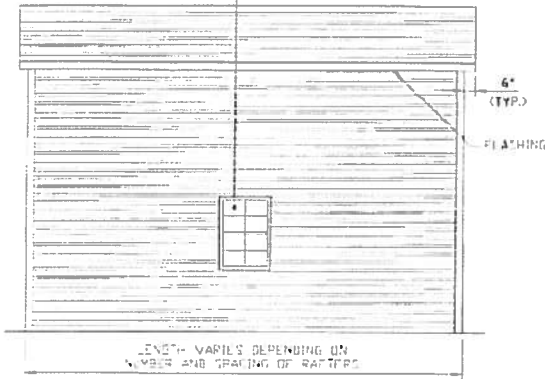
JOB NO: 180685/181563/182905

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BOX EAVE FRAME RAFTER STRUCTURE

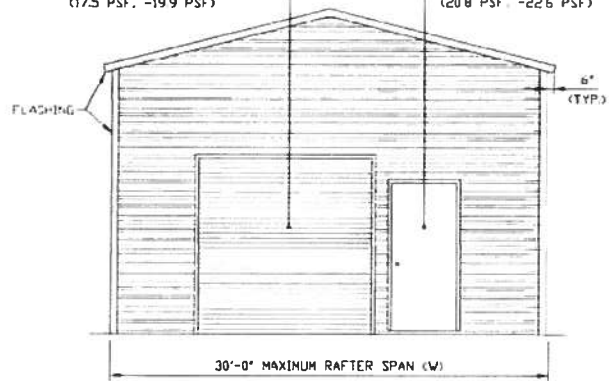
WINDOW (AS APPLICABLE)
DESIGN PRESSURE
(210 PSF, -236 PSF)



TYPICAL SIDE ELEVATION
SCALE: NTS

ROLL-UP DOOR
(AS APPLICABLE)
DESIGN PRESSURE
(175 PSF, -199 PSF)

PERSONNEL DOOR
(AS APPLICABLE)
DESIGN PRESSURE
(200 PSF, -226 PSF)



TYPICAL END ELEVATION
SCALE: NTS

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DATE: 12-14-19

SHT. 3A

SCALE: NTS

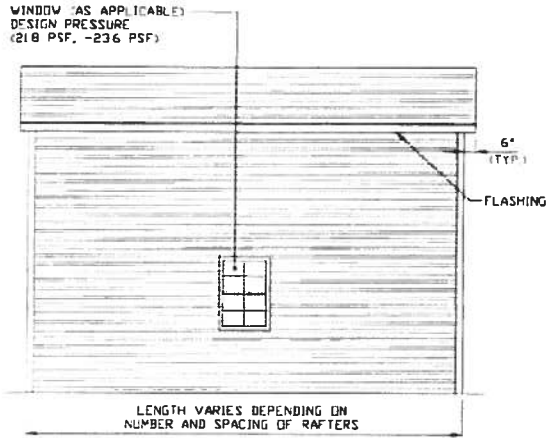
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**JOB NO: 18060S/
18154S/18290S**

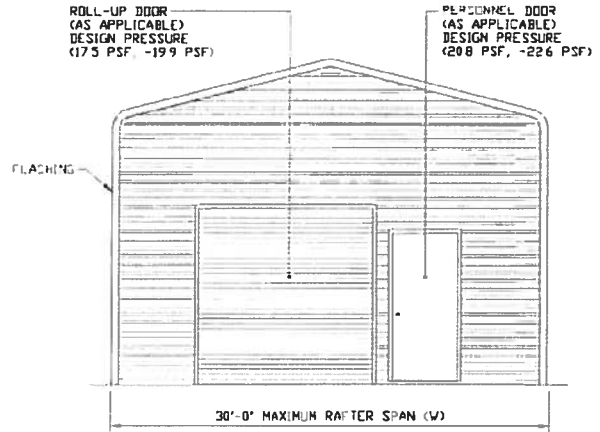
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BOX EAVE FRAME RAFTER STRUCTURE



TYPICAL SIDE ELEVATION
SCALE: NTS



TYPICAL END ELEVATION
SCALE: NTS

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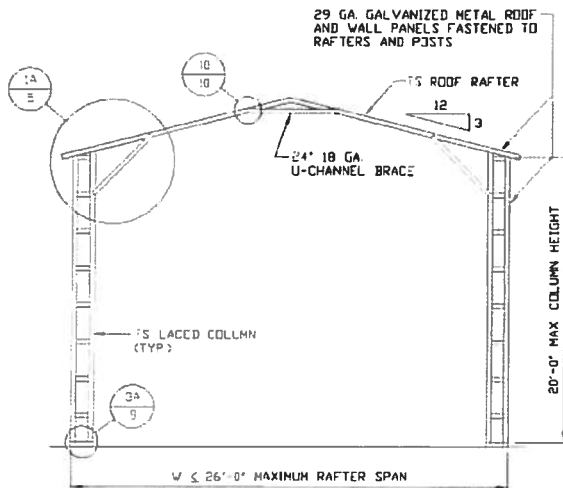
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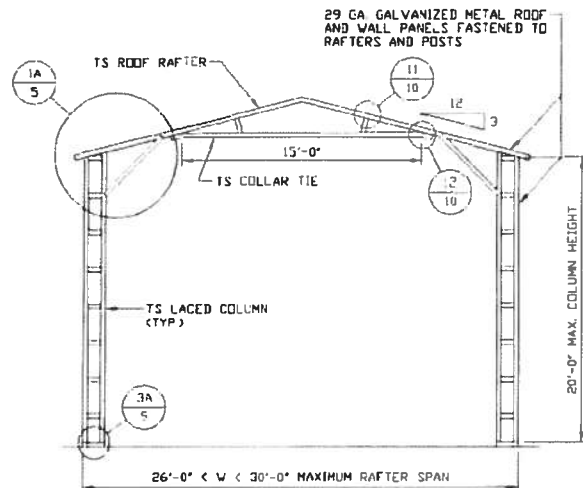
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REV: 7

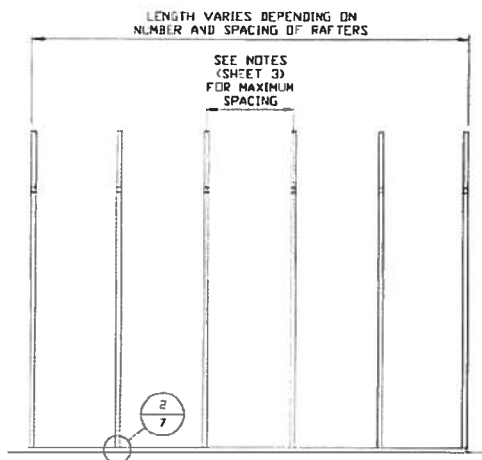
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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SHT. 4

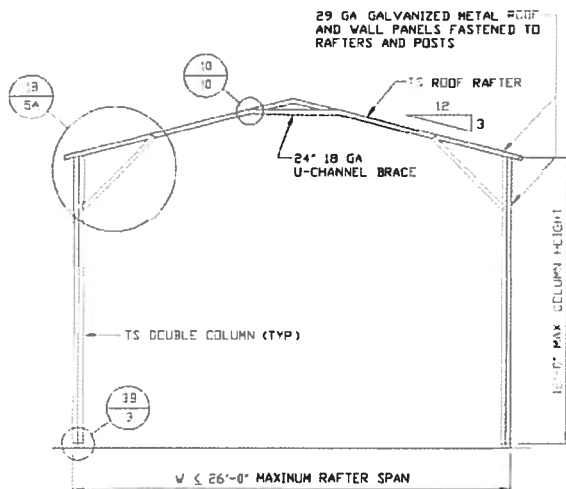
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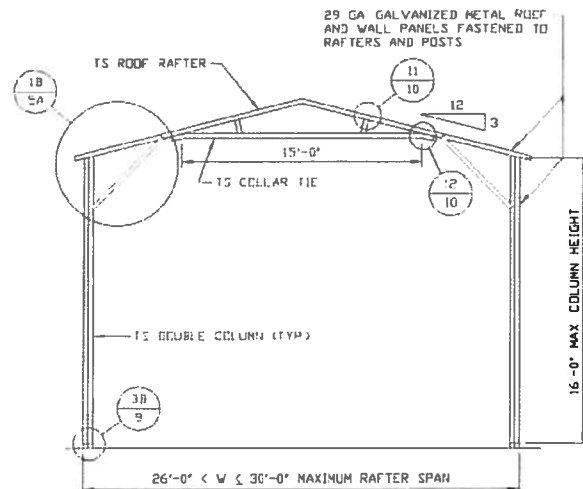
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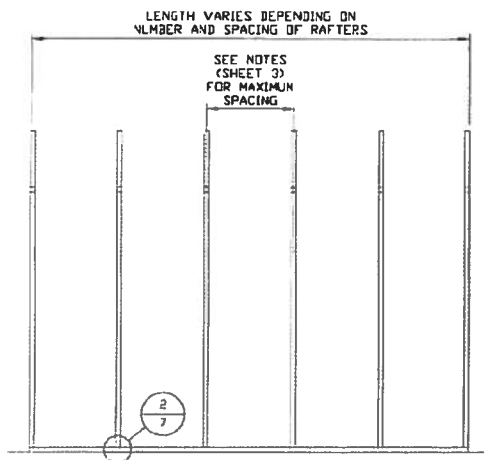
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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DATE: 12-14-18

SHT. 4A

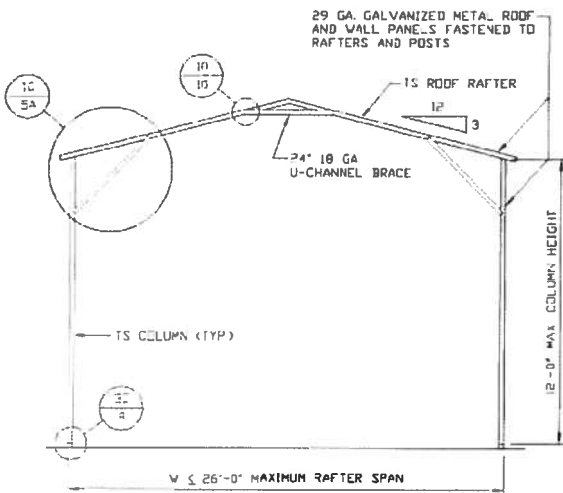
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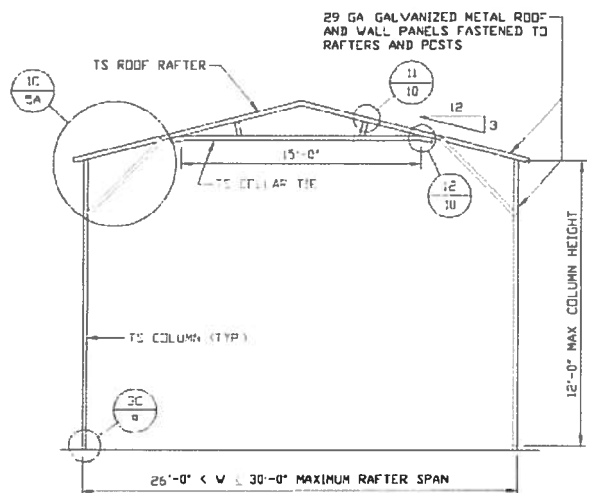
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REV. 7

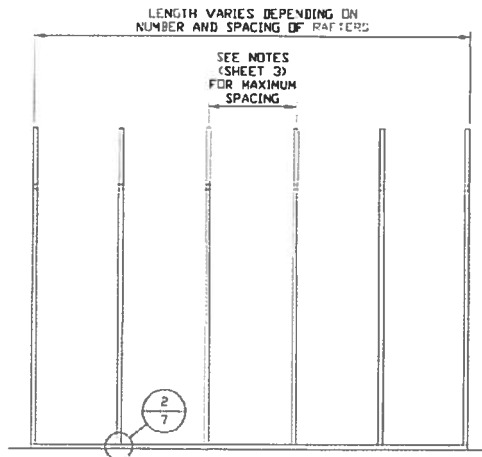
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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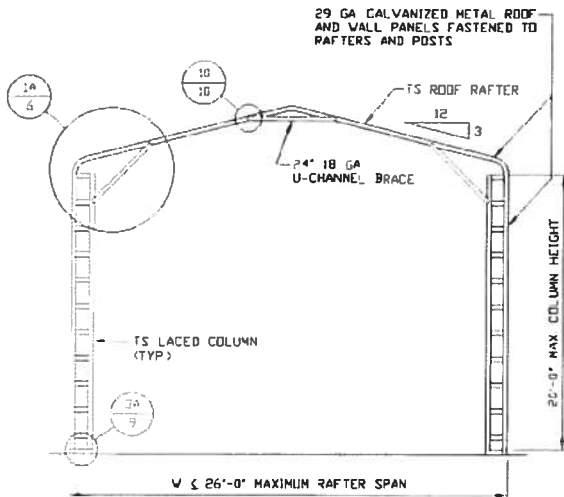
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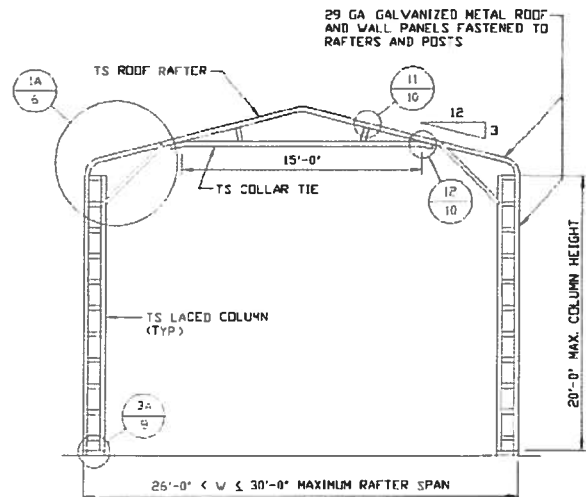
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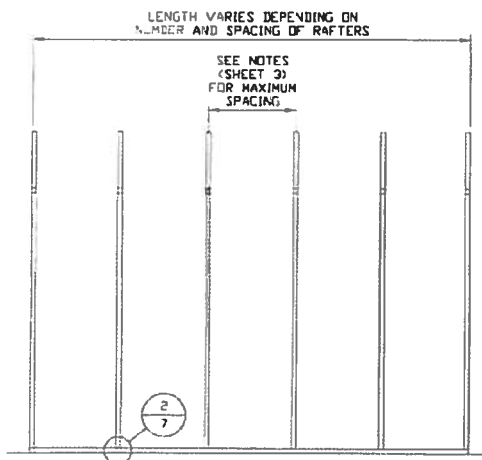
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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SHT. 4C

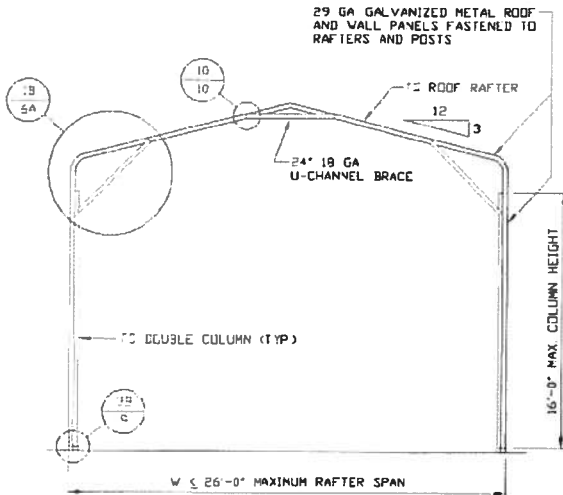
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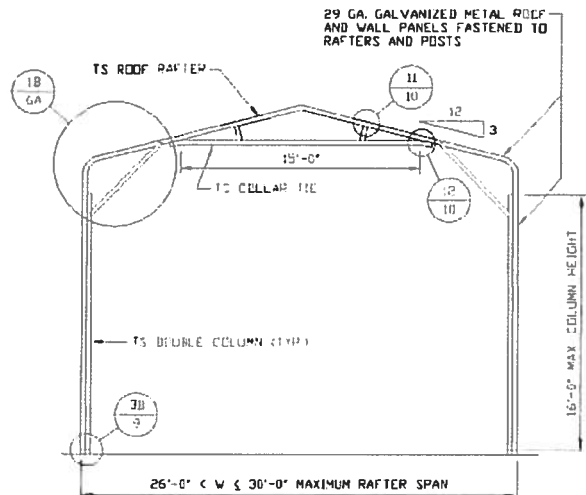
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REV: 7

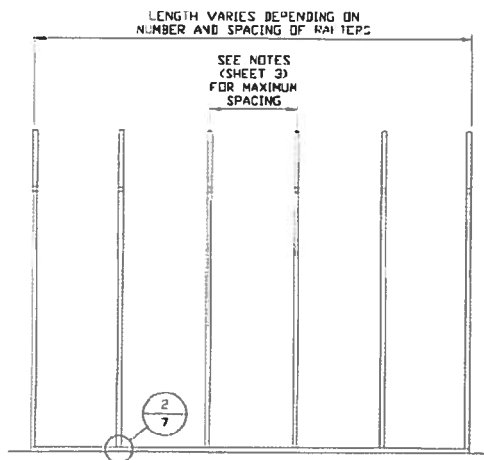
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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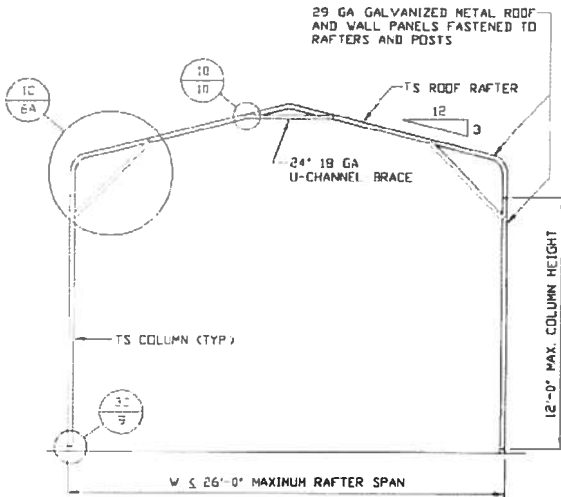
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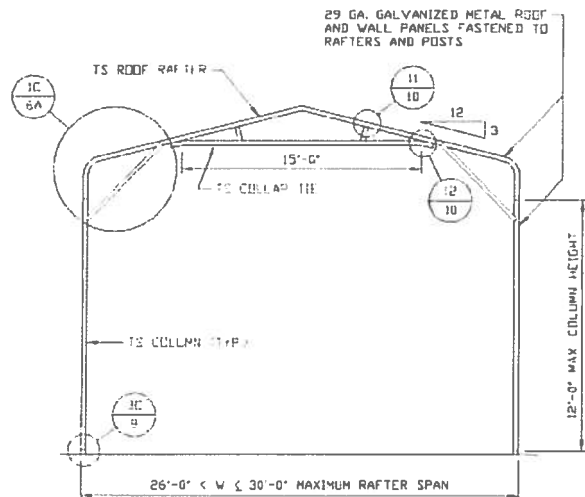
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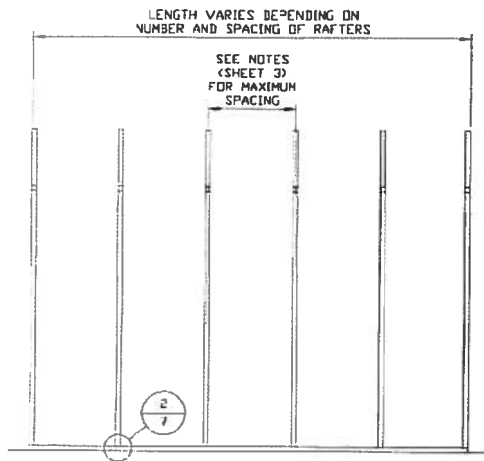
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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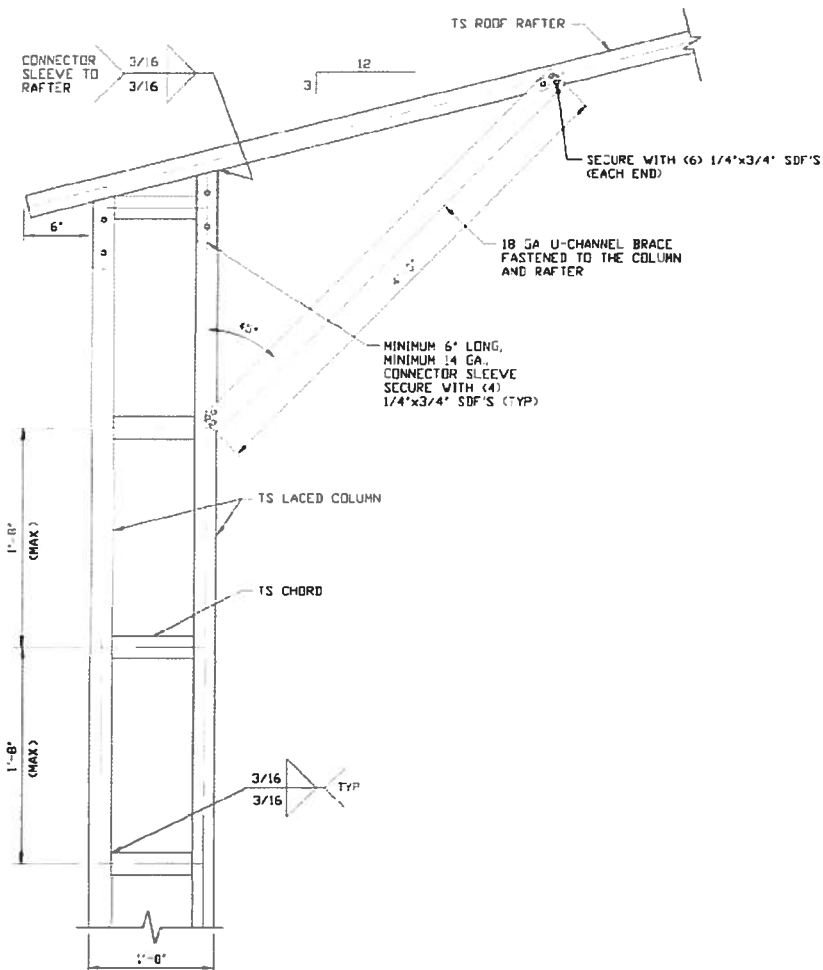
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DWG. NO: SK-3

JOB NO: 180695/182905

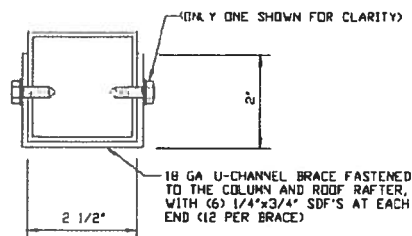
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**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"**

1A

SCALE: NTS



BRACE SECTION

SCALE: NTS

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30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 5

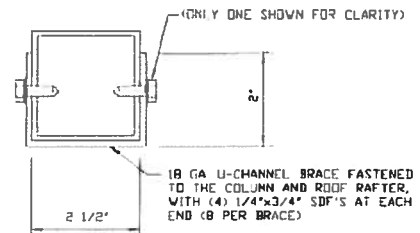
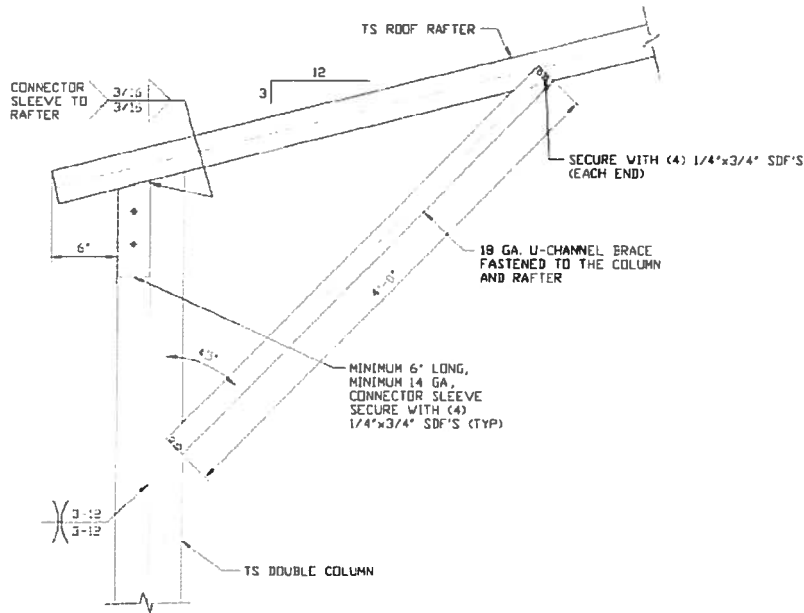
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DWG. NO. SK-3

JOB NO. 180685/182905

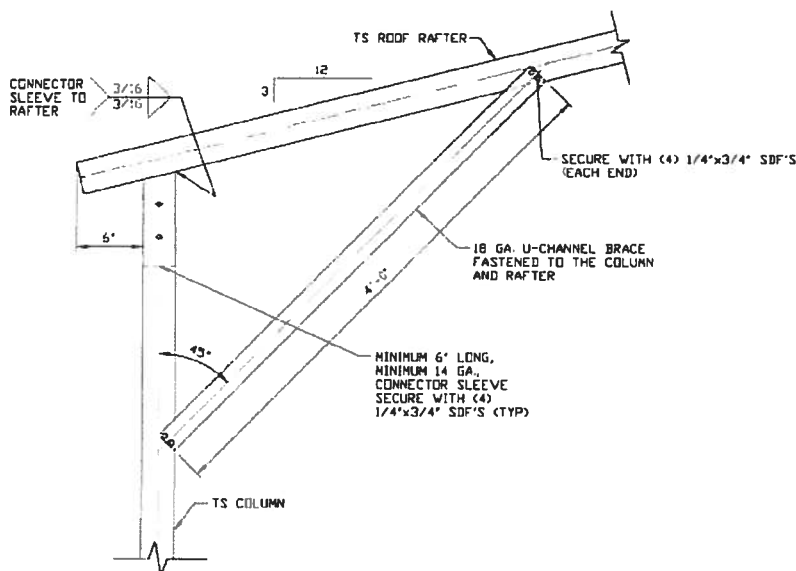
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BRACE SECTION
SCALE: NTS

1B
BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 12'-0" < TO ≤ 16'-0"
SCALE: NTS



1C
BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS ≤ 12'-0"
SCALE: NTS

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30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 5A

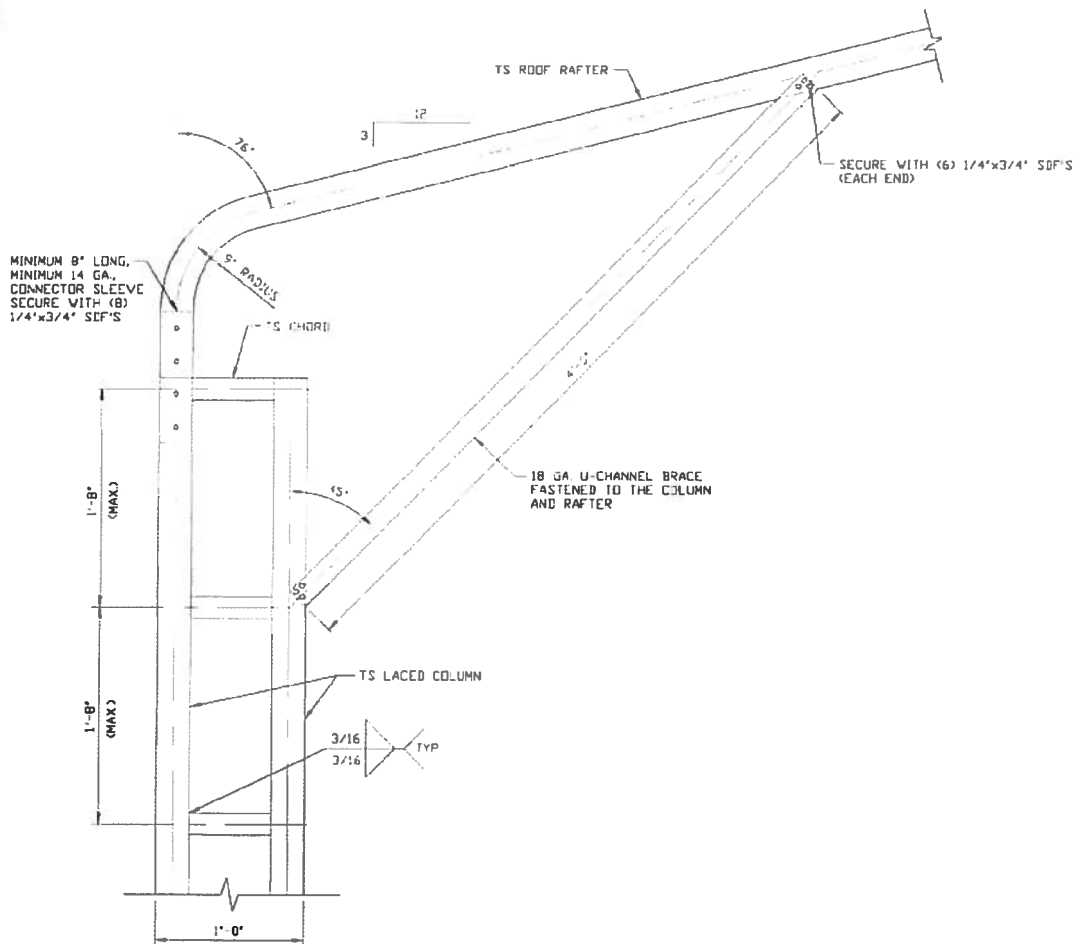
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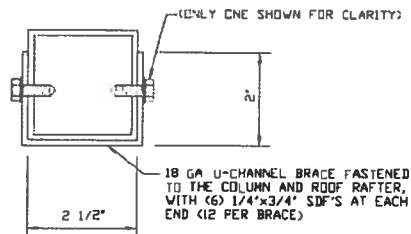
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**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"**
SCALE: NTS

1A



BRACE SECTION
SCALE: NTS

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SCALE: NTS

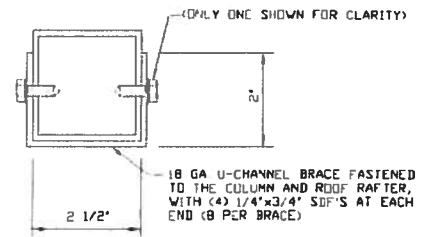
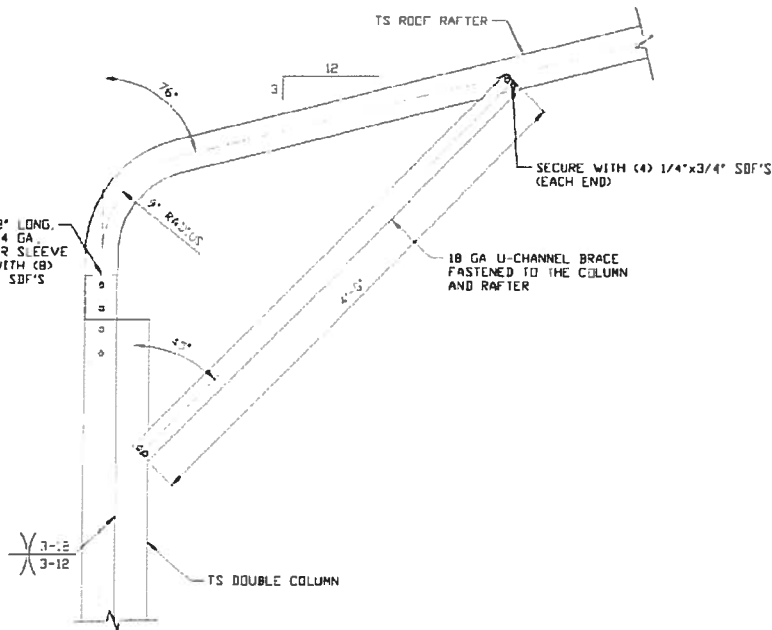
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DWG. NO. SK-3

JOB NO. 180493/181945/182705

REV. 7

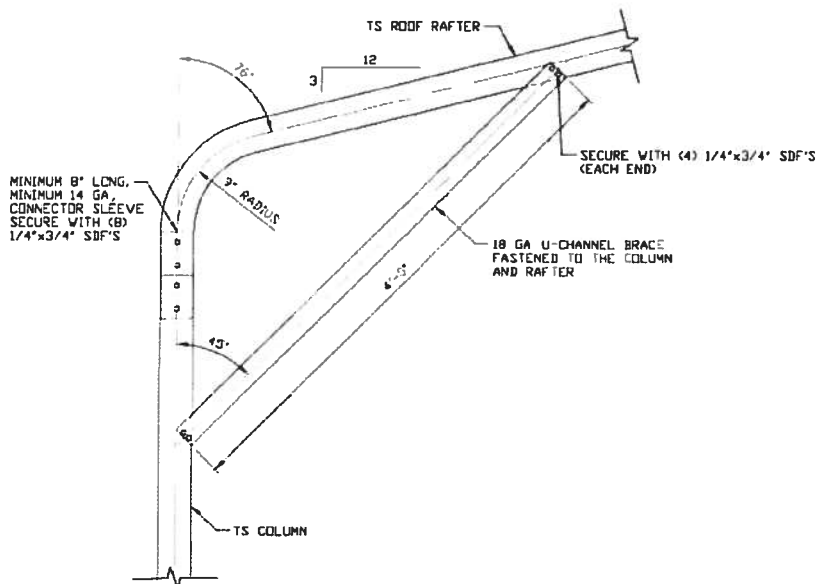
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BRACE SECTION
SCALE: NTS

1B

**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 12'-0" < TO ≤ 16'-0"**
SCALE: NTS



1C

**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS ≤ 12'-0"**
SCALE: NTS

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CLIENT: SPSI

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DATE: 12-14-18

SHT. 6A

SCALE: NTS

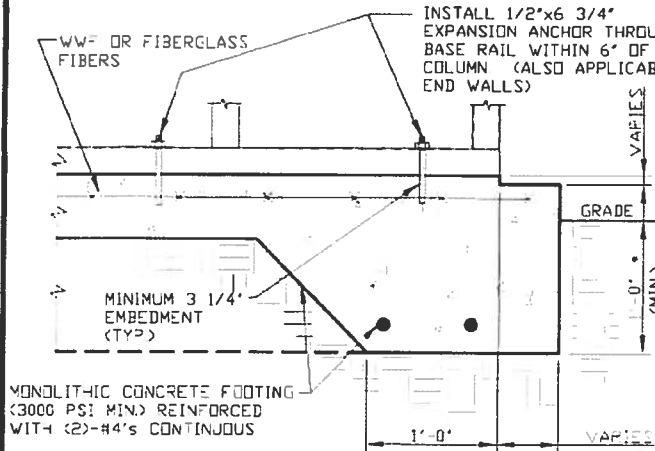
DWG NO: SK-3

JOB NO: 180693/182905

REV: 7

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BASE RAIL ANCHORAGE OPTIONS

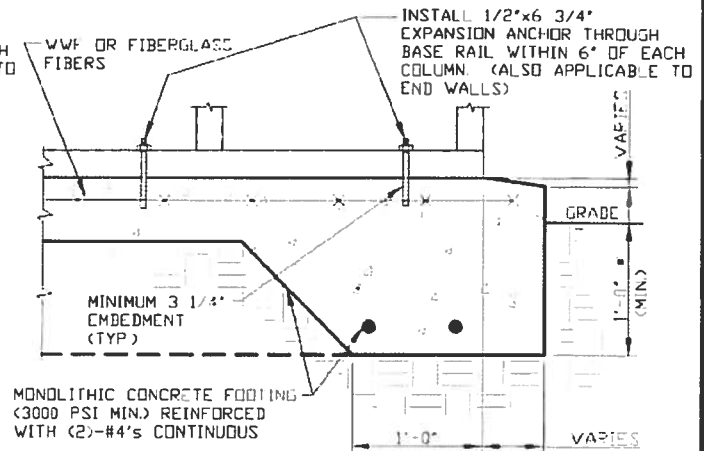


2A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

MINIMUM ANCHOR EDGE DISTANCE IS 4"
* COORDINATE WITH LOCAL CODES/ORD.



2B

CONCRETE SLAB BASE RAIL ANCHORAGE

SCALE: NTS

MINIMUM ANCHOR EDGE DISTANCE IS 4"
* COORDINATE WITH LOCAL CODES/ORD.

GENERAL NOTES

NOTE: CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:

3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2" ELSEWHERE.

REINFORCING STEEL:

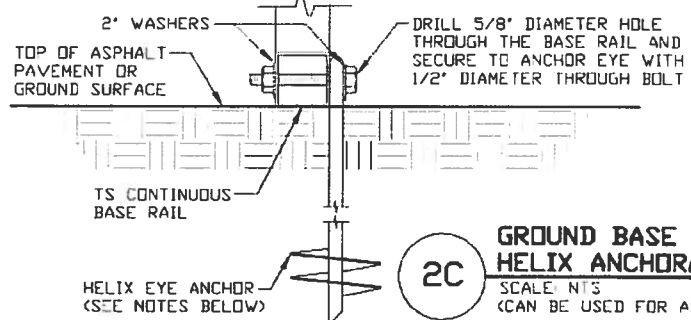
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM 50" EMBEDMENT.
5. FOR VERY LOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES WITH MINIMUM 60" EMBEDMENT.



2C

GROUND BASE HELIX ANCHORAGE

SCALE: NTS

(CAN BE USED FOR ASPHALT)

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CHECKED BY: PDH

PROJECT NGR VSM

CLIENT: SSSI

STEEL BUILDINGS AND STRUCTURES, INC.

P.O. BOX 1287,
MOUNT AIRY, NC 27030

30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 7

SCALE: NTS

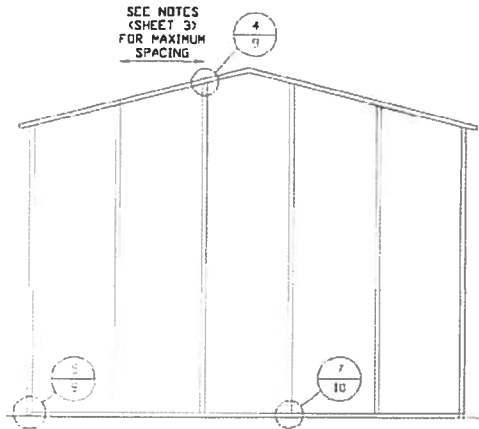
DWG. NO. SK-3

JOB NO. 18068S/18220S

REV. 7

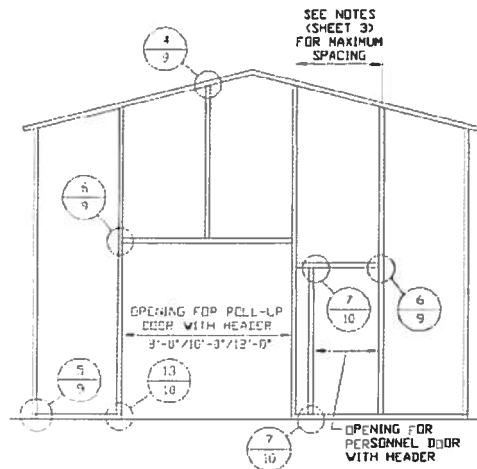
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BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



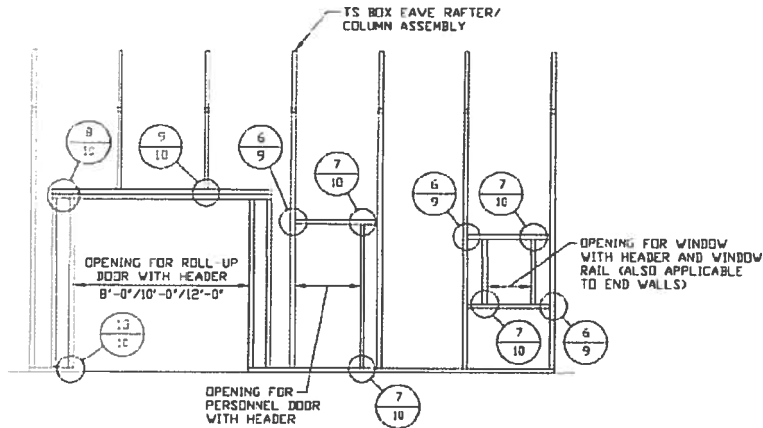
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS

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STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 8

SCALE: NTS

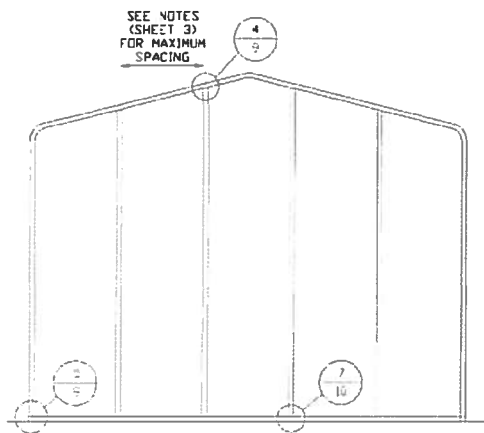
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JOB NO: 180683/182905

REV: 7

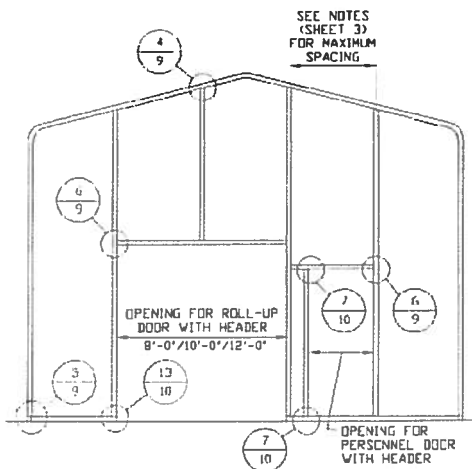
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BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



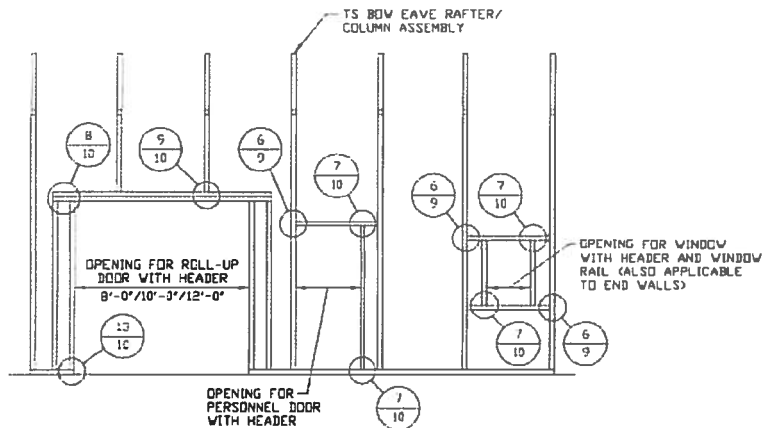
TYPICAL BOX EAVE RAFTER END WALL FRAMING SECTION

SCALE: NTS



TYPICAL BOX EAVE RAFTER END WALL OPENINGS FRAMING SECTION

SCALE: NTS



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS

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30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

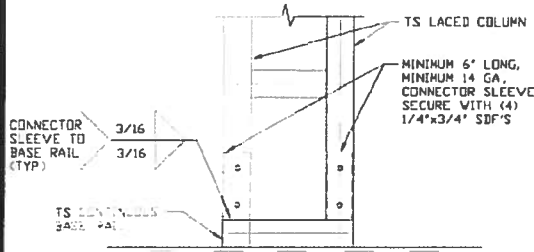
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DWG. NO. SK-3

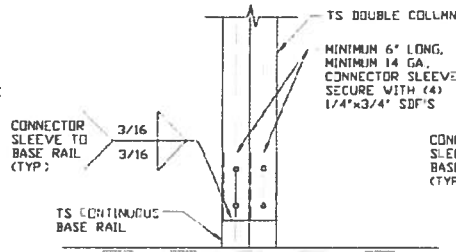
JOB NO 18068S/
18156S/18290S

REV. 7

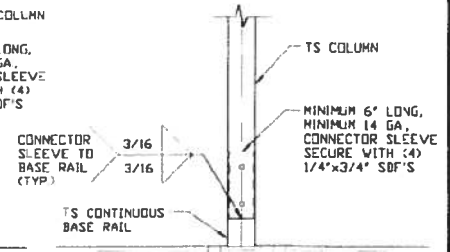
CONNECTION DETAILS



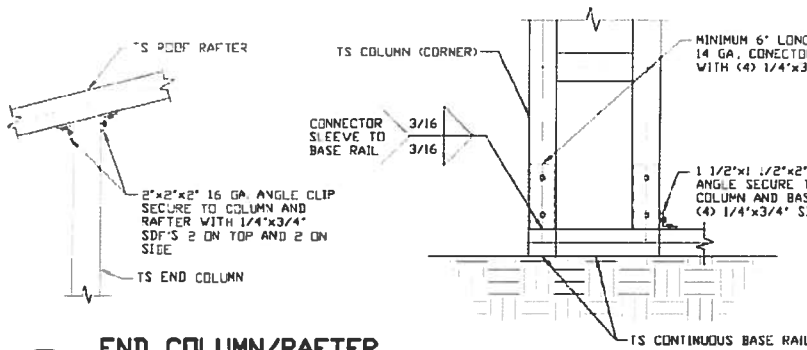
3A POST/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



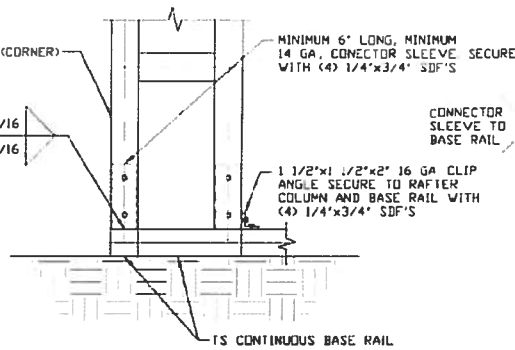
3B POST/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



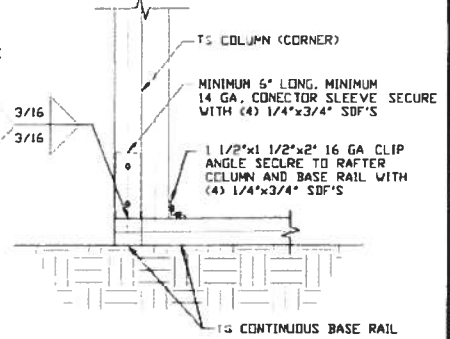
3C POST/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



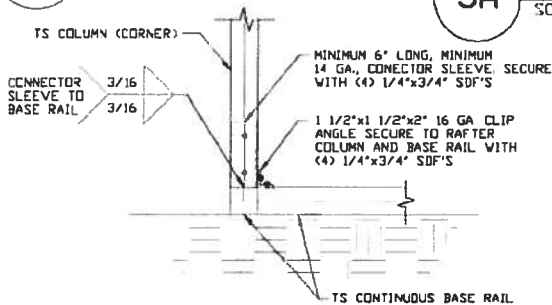
4 END COLUMN/RAFTER
CONNECTION DETAIL
SCALE: NTS



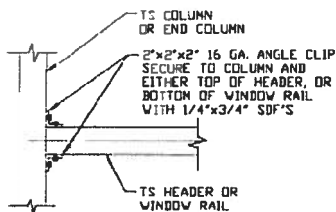
5A END COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



5B END COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



5B END COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



6 COLUMN OR WINDOW RAIL
TO POST CONNECTION DETAIL
SCALE: NTS

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CLIENT: SPSI

STEEL BUILDINGS AND STRUCTURES, INC.

**P.O. BOX 1287,
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30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

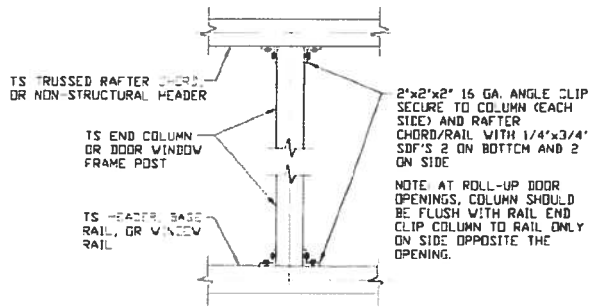
INV. NO: SK-3

JOB NO: 180563/182905

REV: 7

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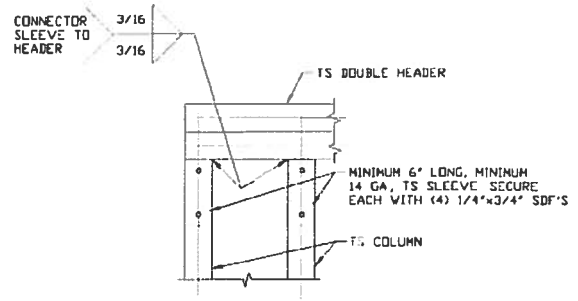
CONNECTION DETAILS



7

COLUMN TO HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL

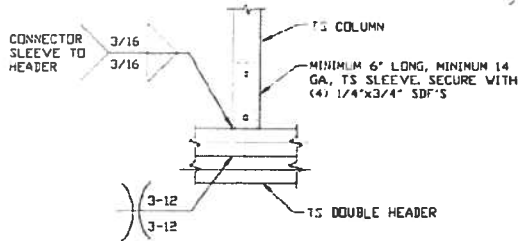
SCALE: NTS



8

DOUBLE HEADER/COLUMN CONNECTION DETAIL

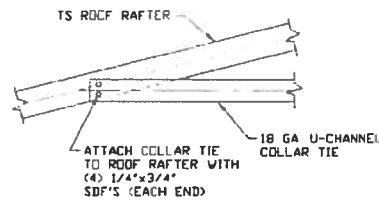
SCALE: NTS



9

COLUMN/DOUBLE HEADER CONNECTION DETAIL

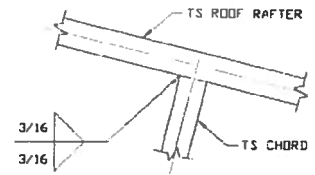
SCALE: NTS



10

COLLAR TIE CONNECTION DETAIL

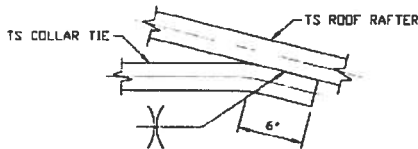
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11

RAFTER TO CHORD CONNECTION DETAIL

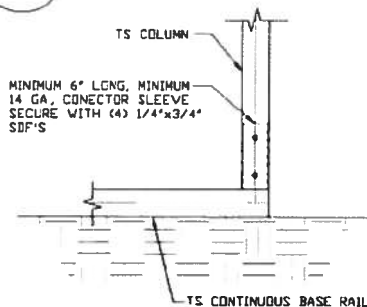
SCALE: NTS



12

COLLAR TIE CONNECTION DETAIL

SCALE: NTS



13

COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS

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CLIENT: SBCS

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P.O. BOX 1287.

MOUNT AIRY, NC 27030

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 10

SCALE: NTS

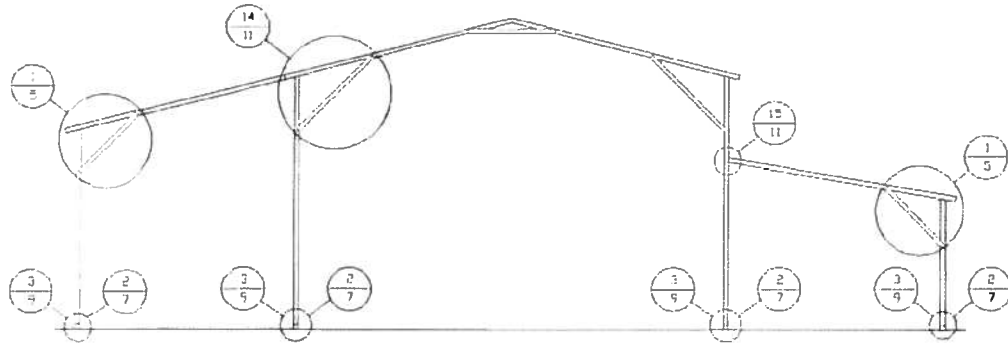
DWG. NO SK-3

JOB NO. 180685/182905

REV: 7

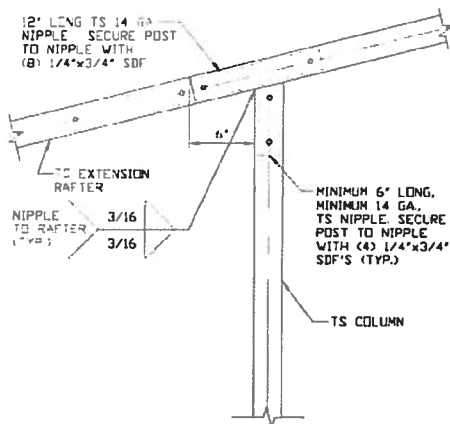
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BOX EAVE RAFTER LEAN-TO OPTIONS



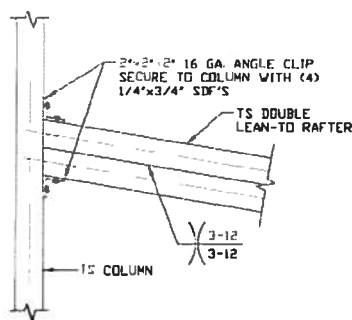
TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: NTS



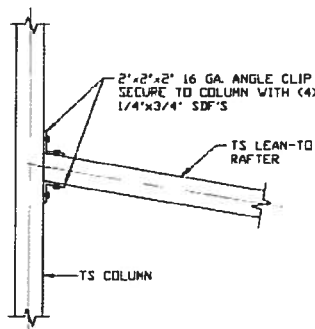
**14 SIDE EXTENSION RAFTER/
CORNER POST DETAIL**

SCALE: NTS



**15A LEAN-TO RAFTER TO
RAFTER POST CONNECTION
DETAIL FOR WIDTHS
12'-0" < TO ≤ 16'-0"**

SCALE: NTS



**15B LEAN-TO RAFTER
TO RAFTER POST
CONNECTION DETAIL
FOR WIDTHS ≤ 12'-0"**

SCALE: NTS

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PROJECT NO: VSM

CLIENT: SRST

STEEL BUILDINGS AND STRUCTURES, INC.

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30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 12-14-19

SHT. 11

SCALE: NTS

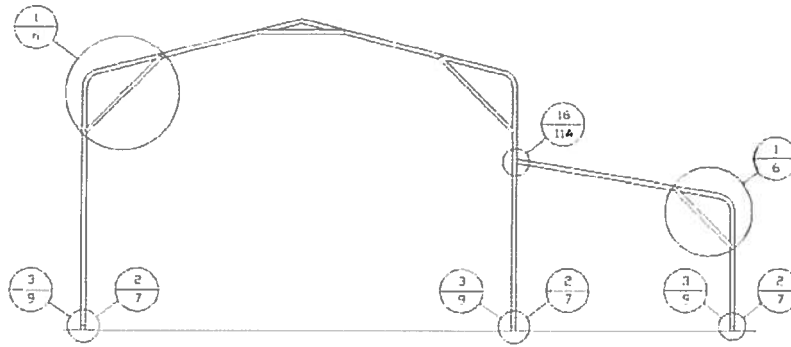
DWG. NO SK-3

JOB NO. 180563/182905

REV: 7

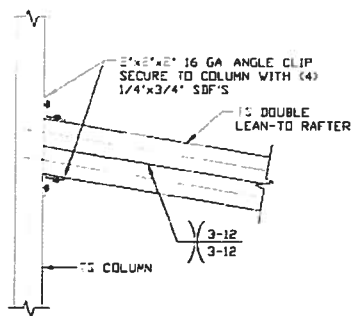
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BOW EAVE RAFTER LEAN-TO OPTIONS



TYPICAL BOW EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION

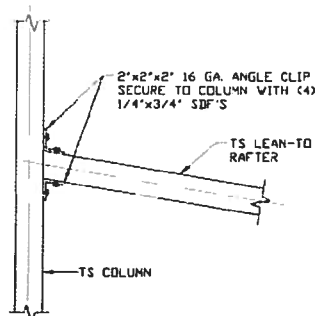
SCALE: NTS



**LEAN-TO RAFTER TO
RAFTER POST CONNECTION
DETAIL FOR WIDTHS
12'-0" < TO ≤ 16'-0"**

16A

SCALE: NTS



**LEAN-TO RAFTER
TO Rafter POST
CONNECTION DETAIL
FOR WIDTHS ≤ 12'-0"**

16B

SCALE: NTS

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30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

SHT. 11A

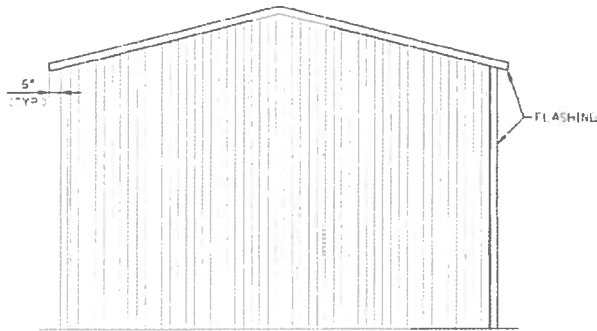
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JOB NO. 180593/182905

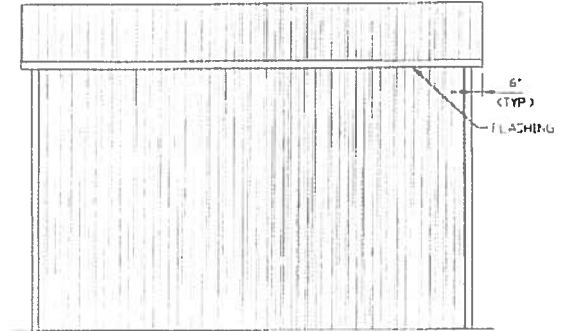
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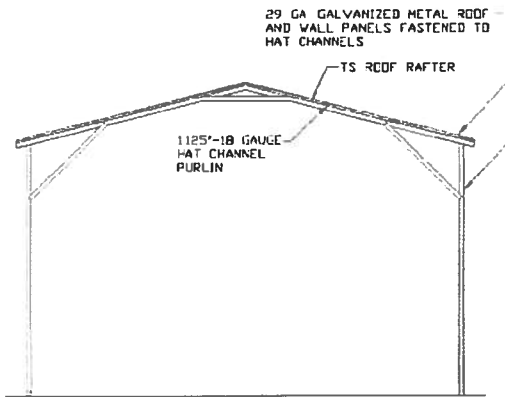
BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



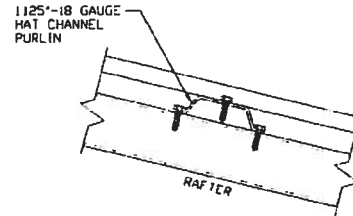
**TYPICAL END ELEVATION
VERTICAL ROOF/SIDING**
SCALE: NTS



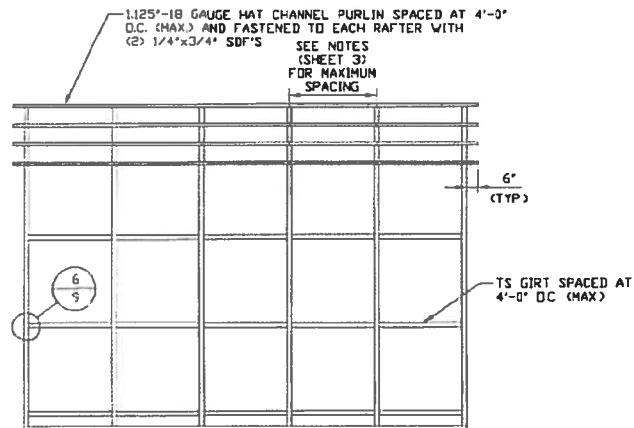
**TYPICAL SIDE ELEVATION
VERTICAL ROOF/SIDING**
SCALE: NTS



**TYPICAL SECTION
VERTICAL ROOF/SIDING OPTION**
SCALE: NTS



PANEL ATTACHMENT
(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS



**TYPICAL FRAMING SECTION
VERTICAL ROOF/SIDING OPTION**
SCALE: NTS

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STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
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30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 12

SCALE: NTS

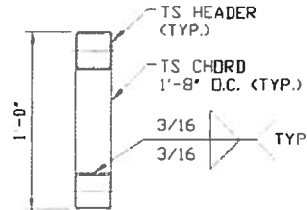
DWG. NO. SK-3

JOB NO: 180485/180485/180485

REV: 6A

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OPTIONAL HEADER



**HEADER DETAIL FOR DOOR
OPENINGS 12'-0" < LENGTH < 20'-0"**
SCALE: NTS

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CLIENT: SRSI

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30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 13

SCALE: NTS

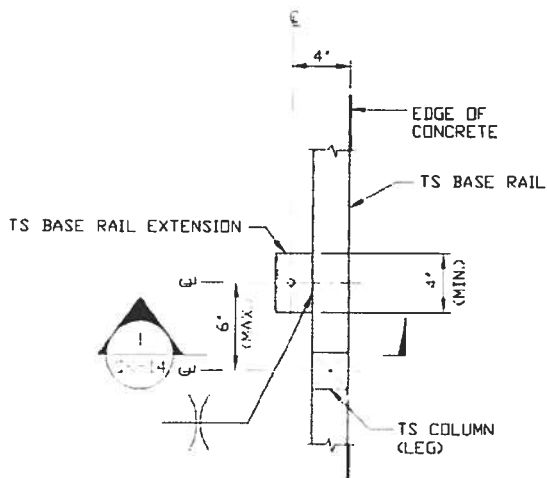
DWG. NO: SK-3

JOB NO: 180583/181563/182905

REV: 7

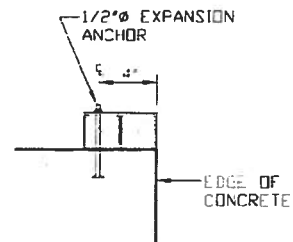
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ADDITIONAL BASE RAIL ANCHORAGE OPTION



TYPICAL ANCHOR DETAIL WHEN BASE RAIL IS NEAR EDGE OF CONCRETE

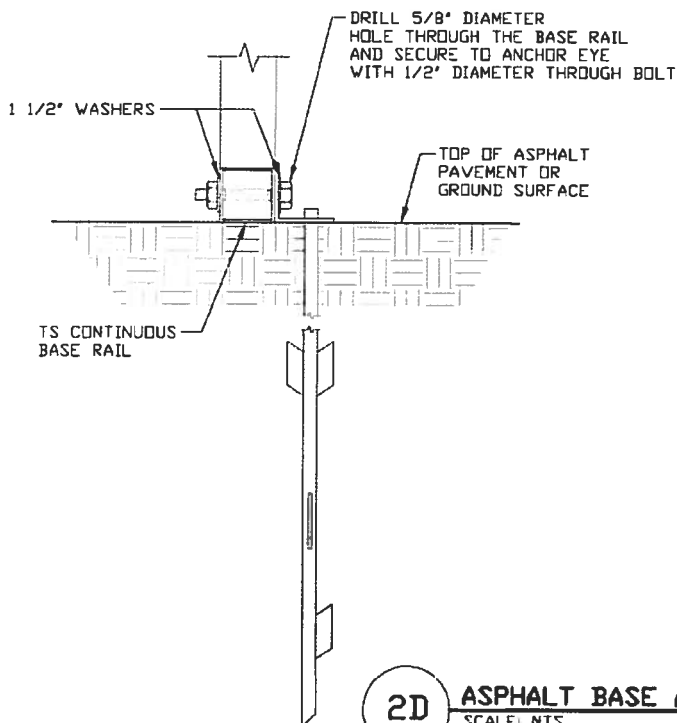
SCALE: NTS



SECTION 1

SCALE: NTS

SK-14



2D

ASPHALT BASE ANCHORAGE

SCALE: NTS

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STEEL BUILDINGS AND STRUCTURES, INC.

P.O. BOX 1287,

MOUNT AIRY, NC 27030

30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 14

SCALE: NTS

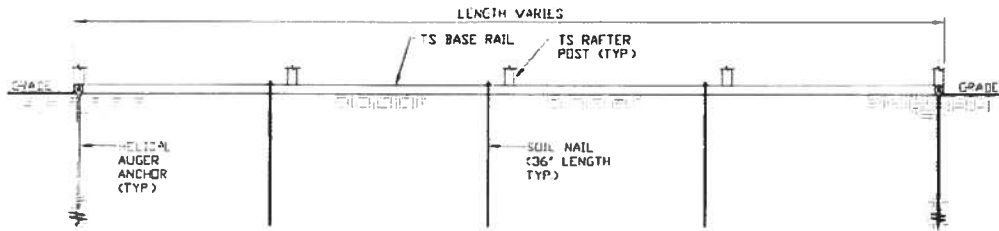
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JOB NO. 18069S/18156S/18290S

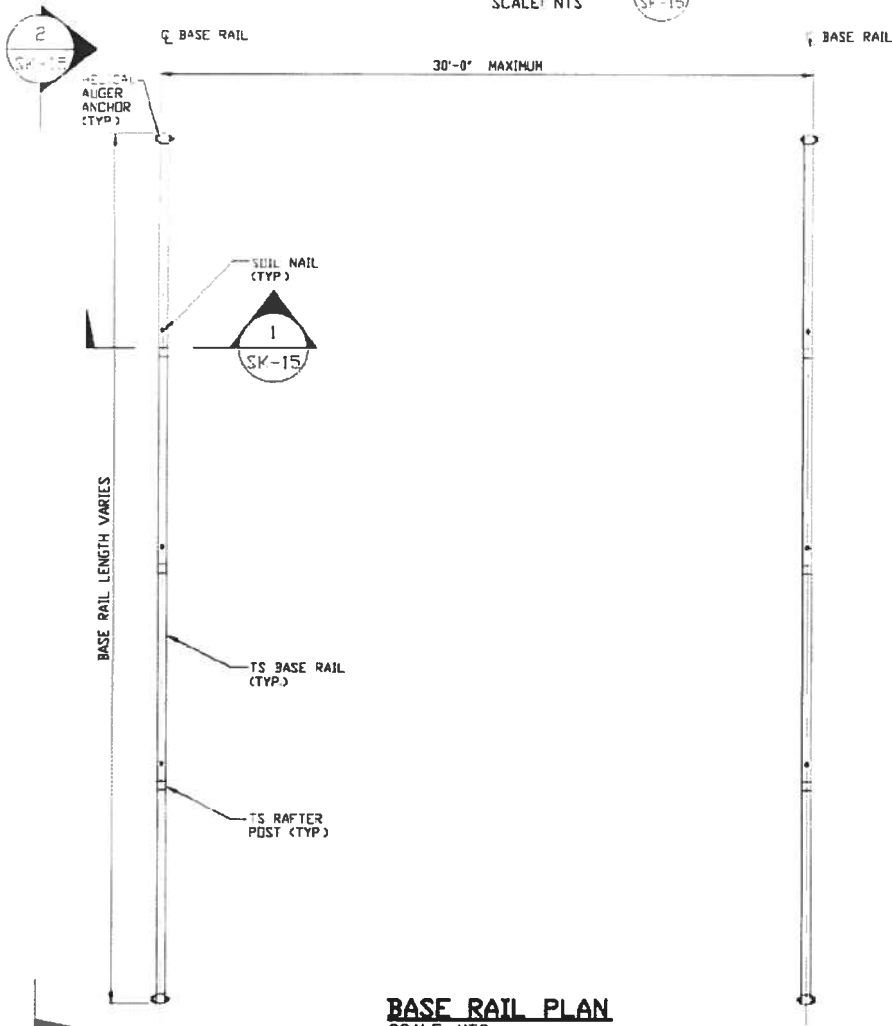
REV. 7

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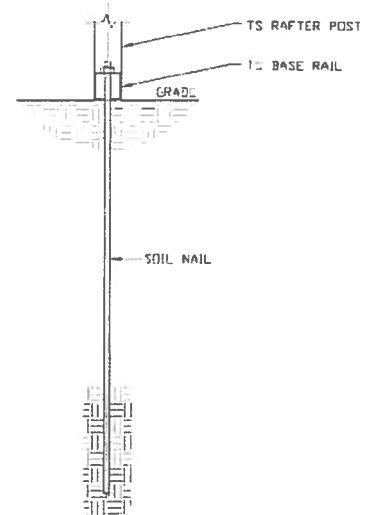
OPTIONAL BASE RAIL ON GRADE APPLICATION



SECTION 2
SCALE: NTS



BASE RAIL PLAN
SCALE: NTS



SECTION 1
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)

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CHECKED BY: PTH

PROJECT MGR: VSM

CLIENT: SPSI

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30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 15

SCALE: NTS

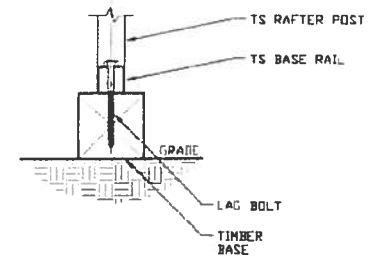
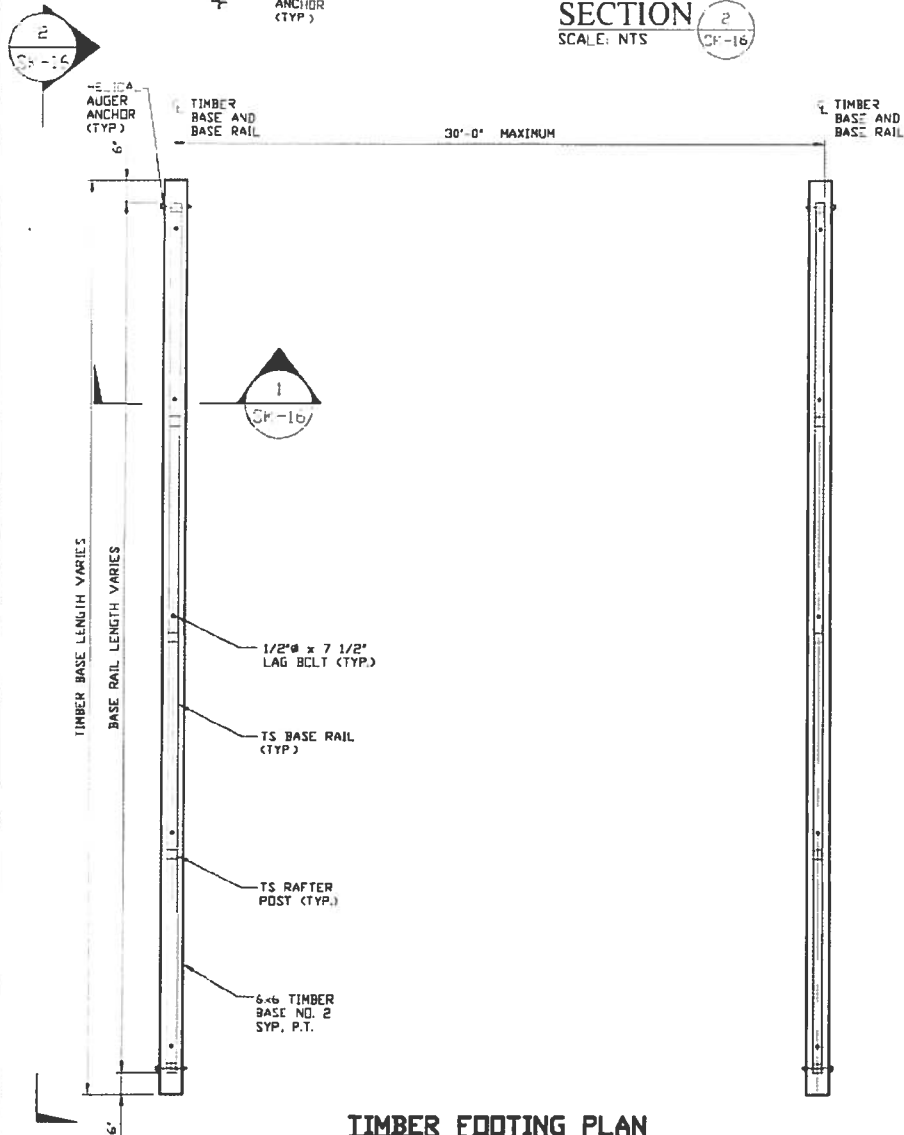
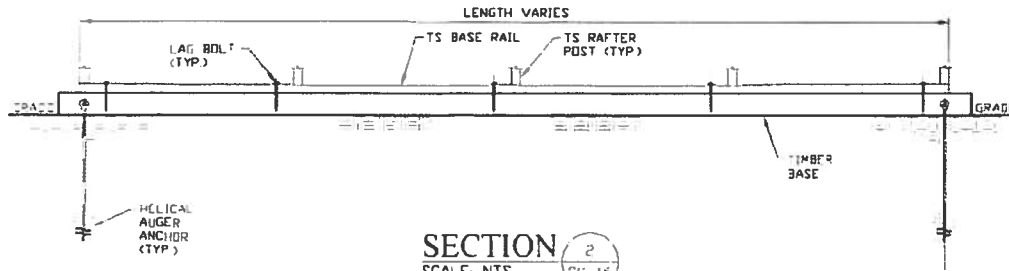
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JOB NO. 1806RS/181363/18290S

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OPTIONAL BASE RAIL ON TIMBER BEAM



TIMBER FOOTING PLAN
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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CLIENT: SRSI

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30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 16

SCALE: NTS

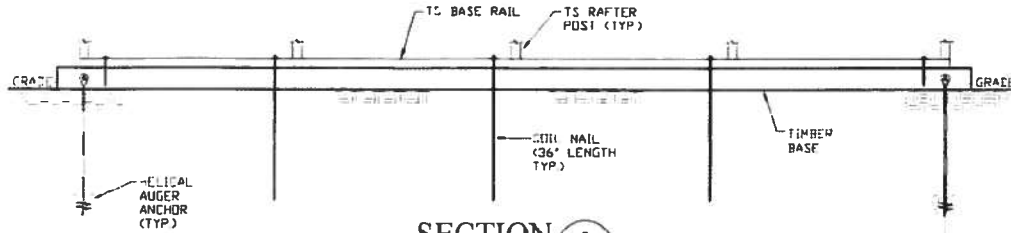
DWG. NO. SK-3

JOB NO. 180685/180695

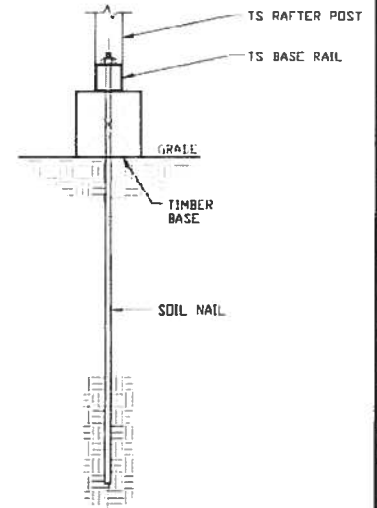
REV. 7

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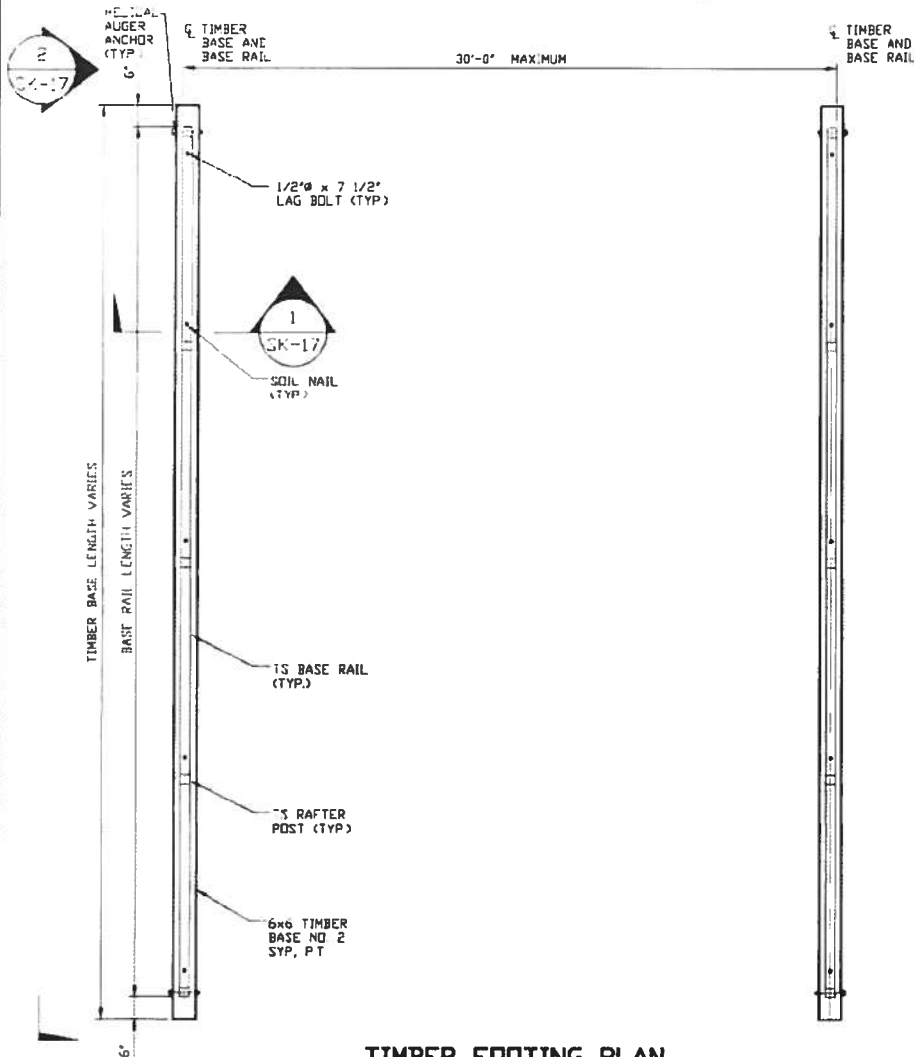
OPTIONAL BASE RAIL ON TIMBER BEAM WITH SOIL NAIL



SECTION 2
SCALE: NTS
SK-17



SECTION 1
SCALE: NTS
SK-17



TIMBER FOOTING PLAN
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: SRSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 17

SCALE: NTS

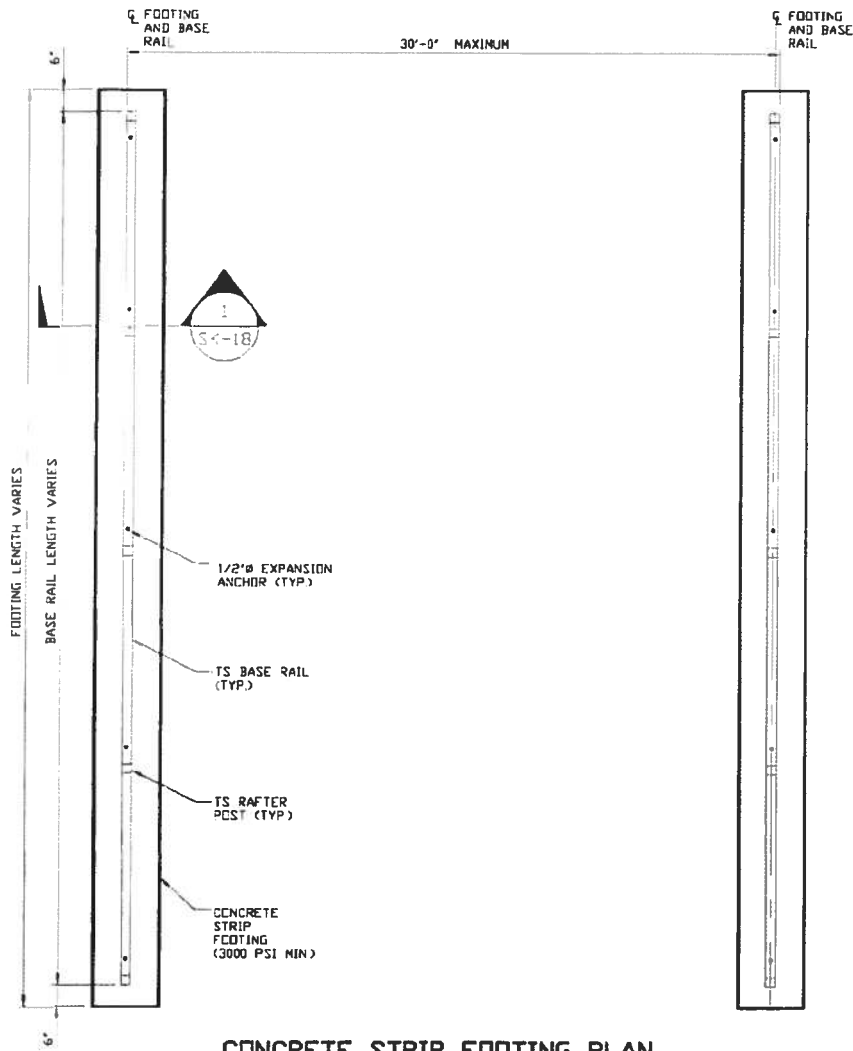
DWG. NO. SK-3

JOB NO. 180683/182905

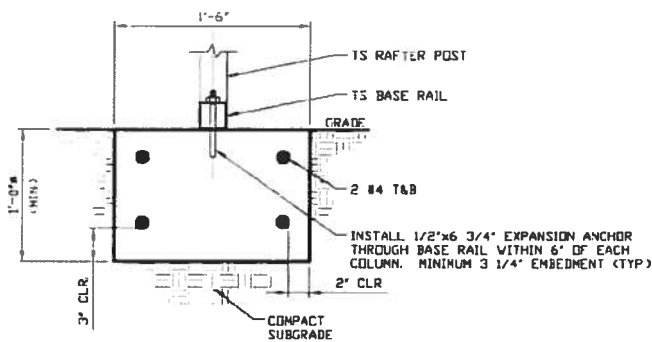
REV. 7

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OPTIONAL CONCRETE STRIP FOOTING



CONCRETE STRIP FOOTING PLAN
SCALE: NTS



SECTION 1
SCALE: NTS

* COORDINATE WITH LOCAL CODES/ORD.

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: SRSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 18

SCALE: NTS

DWG. NO: SK-3

JOB NO: 180683/182905

REV: 7

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As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS			
A. SWINGING	Pocahontas	Entry Door	12903.1
B. SLIDING			
C. SECTIONAL/ROLL UP	Janus Doors	750 Series	12765.8
D. OTHER			
2. WINDOWS			
A. SINGLE/DOUBLE HUNG			
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. FIXED			
E. MULLION			
F. SKYLIGHTS			
G. OTHER			
3. PANEL WALL			
A. SIDING			
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER	Steel Buildings	Ag metal wall	22562.1
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES			
B. NON-STRUCT METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER			
5. STRUCT COMPONENTS			
A. WOOD CONNECTORS			
B. WOOD ANCHORS			
C. TRUSS PLATES			
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS	Steel Buildings	Ag metal roof	22561.1
6. NEW EXTERIOR ENVELOPE PRODUCTS			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

NOTES: _____

